TABLE OF ZONING DATA

ZONING DISTRICT: DT TAX DESIGNATION: SECTION 3.90 BLOCK: 55, LOT 32.4

	REQUIRED	EXISTING	PROPOSED
LOT AREA	NO MINIMUM LOT AREA	16,712 SF	16,712 SF
NUMBER OF DWELLING UNITS	N/A	3 RETAIL & 2 RESIDENTIAL	2 RETAIL & 12 RESIDENTIAL
MINIMUM RESIDENTIAL UNIT SIZE	600 SF PER UNIT	1,800 - 1,900 SF PER UNIT	703 -1,367 SF PER UNIT
MAXIMUM BUILDING COVERAGE	60% (10,027 SF)	+/- 25% (+/-4,241 SF)	46% (7,643 SF)
MAXIMUM IMPERVIOUS COVERAGE	80% (13,370 SF)	+/- 92% (+/-15,412)	80% (13,370 SF)
MINIMUM PERVIOUS COVERAGE	20%	+/- 8% (+/-1,300 SF)	20% (3,349 SF) 1,577 SF PLANTINGS + 1,699 SF PERVIOUS PAVING + 292 SF GRASS BLOCK OR CONCRETE PERVIOUS PAVERS WITH MIN. 25% PERVIOUS 25% X 292 SF = 73 SF 1,577 + 1,699 + 73 SF = 3,349 SF
MINIMUM LOT WIDTH FRONTAGE	N/A	164.45 FT	164.45 FT
MAXIMUM BUILDING HEIGHT	3 STORIES / 35 FT	2 STORIES / +/-26.5 FT	3 STORIES / 35 FT
BULKHEAD AREA	MAX. 20% TOTAL ROOF AREA	N/A	AREA OF ROOF: 5,941 SF AREA OF BULKHEAD: 580 SF (9.7%)
FRONT YARD SETBACK	0 FT	0 FT	0 FT
REAR YARD SETBACK	25 FT	45.8 FT	27.8 FT
SIDE ONE	5 FT	0.3 FT	0.3 FT EXIST. NON-CONFORMING
SIDE TWO	5 FT	72.3 FT	42.0 FT
TOTAL OF TWO SIDES	10 FT	72.6 FT	42.3 FT
DRIVEWAY SLOPE	14%	5%	2% - 5%
PARKING REQUIREMENT	19 PARKING SPACES REQUIRED	19 PARKING SPACES	20 PARKING SPACES
RESIDENTIAL: 1 SPACE PER DWELLING UNIT + $\frac{1}{4}$ PER BEDROOM RETAIL: 1 SPACE PER 500 SF OF FLOOR AREA (OFFICE/RETAIL)	PARKING CALCULATION RESIDENTIAL: PROPOSED NUMBER OF UNITS: (8) 2-BEDROOM X 1.5 = 12 PARKING SPACES (4) 1-BEDROOM X 1.25 = 5 PARKING SPACES 17 RESIDENTIAL PARKING SPACES REQUIRED RETAIL: (2) SPACES AT 999 SF / 500 SF = 2 2 RETAIL / LIVE-WORK PARKING SPACES REQUIRED		
AFFORDABLE HOUSING 300-40: FOR RESIDENTIAL DEVELOPMENTS CONTAINING 10 DWELLING UNITS OR MORE, NO LESS THAN 10% OF ALL UNITS IN SUCH DEVELOPMENT SHALL MEET THE DEFINITION OF AN "AFFORDABLE HOUSING UNIT."	10% AFFORDABLE HOUSING UNITS = 10% X 12 = 1.2 OR (1) AFFORDABLE UNIT AFFORDABLE UNIT MUST BE MIN. 80% OF FLOOR AREA OF COMPARABLE MARKET RATE UNIT AVERAGE SIZE OF MARKET RATE 2-BEDROOM UNIT **UNIT 1** 1,350 SF **UNIT 3** 1,289 SF **UNIT 5** 1,177 SF **UNIT 9** 1,131 SF **UNIT 10** 1,367 SF **UNIT 11** 1,201 SF **UNIT 12** 1,315 SF TOTAL 8,830 SF / 7 UNITS = 1,261 SF 1,261 SF x 80% = 1,009 SF = MIN. SIZE OF AFFORDABLE UNIT	N/A	(1) AFFORDABLE UNIT AFFORDABLE UNIT AREA **UNIT 2** 1,079 SF

MIXE-USE BUILDING AT
185 - 191 ASHFORD AVENUE
DOBBS FERRY, NY 10522

CHRISTINA GRIFFIN ARCHITECT PC
10 Spring Street
Hastings-on-Hudson, New York 10706
914.478.0799
www.christinagriffinarchitect.com

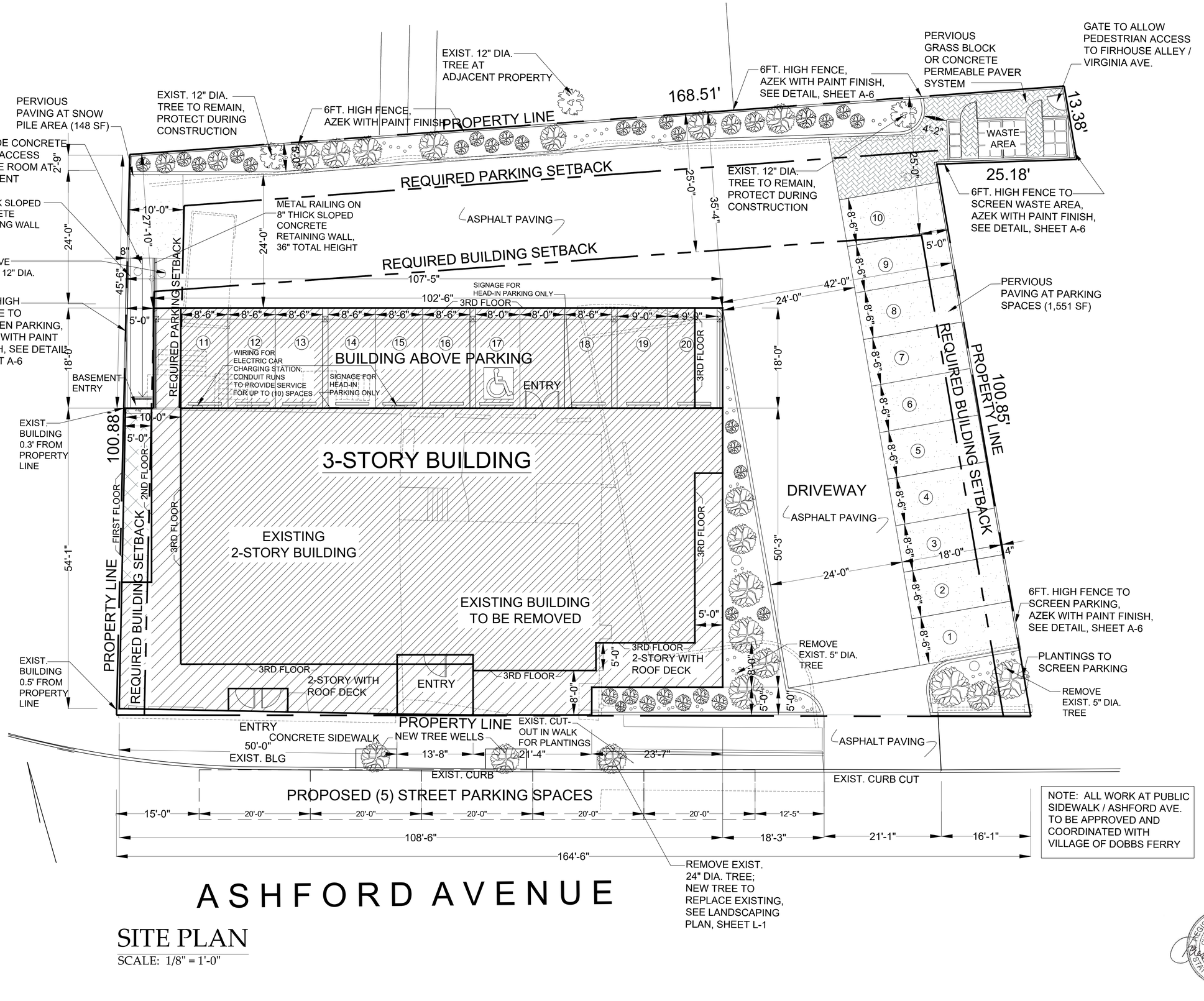
Date
DESIGN DRAWINGS 5-29-20
DESIGN DRAWINGS 6-24-20
BOT SUBMISSION 8-14-20
REVISED BOT SUBMISSION 10-16-20
PLANNING BOARD SUBMISSION 12-21-20
PLANNING BOARD / BOT REVISIONS 1-27-21
PLANNING BOARD SUBMISSION 3-24-21
PLANNING BOARD SUBMISSION 4-22-21
PB SUB. 6-17-21

Drawing Title
ZONING DATA

Scale
AS SHOWN

REGISTERED ARCHITECT
CHRISTINA MARIE GRIFFIN
17889
STATE OF NEW YORK

S-1



SITE PLAN

SCALE: 1/8" = 1'-0"

MIXE-USE BUILDING AT

185 - 191 ASHFORD AVENUE

DOBBS FERRY, NY 10522

CHRISTINA GRIFFIN ARCHITECT PC
10 Spring Street
Hastings-on-Hudson, New York 10706
914.478.0799
www.christinagriffinarchitect.com

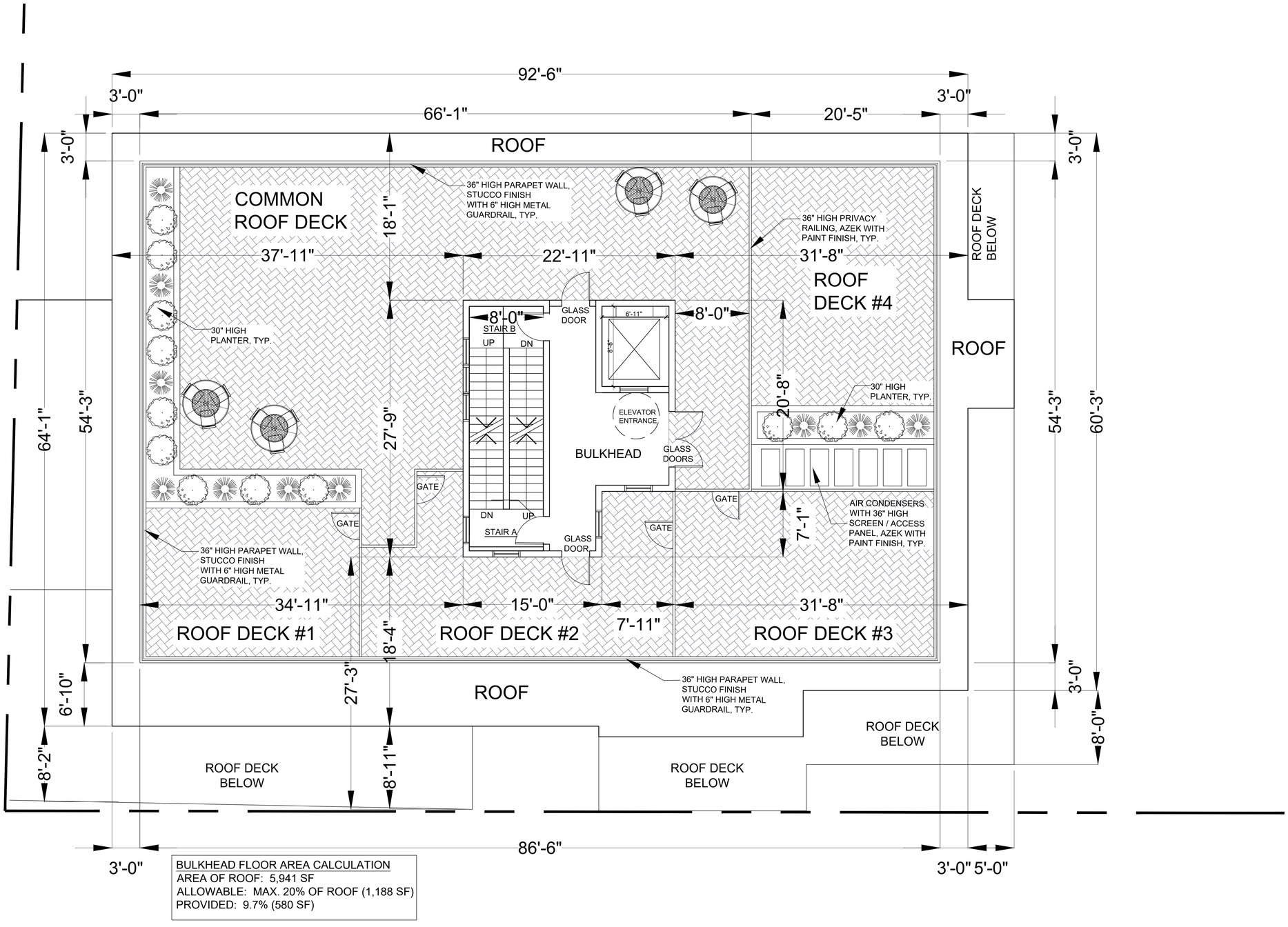
Date
PLANNING BOARD PRESENTATION 5-5-21
PB SUB. 5-12-21
PB SUB. 6-17-21

Drawing Title: SITE PLAN

Scale: AS SHOWN

REGISTERED ARCHITECT CHRISTINA MARIE GRIFFIN 17869 STATE OF NEW YORK

S-2



BULKHEAD FLOOR AREA CALCULATION
AREA OF ROOF: 5,941 SF
ALLOWABLE: MAX. 20% OF ROOF (1,188 SF)
PROVIDED: 9.7% (580 SF)

ROOF PLAN

SCALE: 3/16" = 1'-0"

MIXED-USE BUILDING AT
185 - 191 ASHFORD AVENUE
DOBBS FERRY, NY 10522

CHRISTINA GRIFFIN ARCHITECT PC
10 Spring Street
Hastings-on-Hudson, New York 10706
914.478.0799
www.christinagriffinarchitect.com

Date	
BOT SUBMISSION 8-14-20	
REVISIONS 9-23-20	
REVISED BOT SUBMISSION 10-16-20	
PLANNING BOARD SUBMISSION 12-21-20	
PLANNING BOARD / BOT REVISIONS 1-22-21	
PLANNING BOARD SUBMISSION 3-24-21	
PB SUB. 5-12-21	
PB SUB. 5-18-21	
PB SUB. 6-17-21	

Drawing Title: ROOF PLAN
Scale: AS SHOWN

REGISTERED ARCHITECT
CHRISTINA MARIE GRIFFIN
17869
STATE OF NEW YORK

A-4

SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

MIXE-USE BUILDING AT

185 - 191 ASHFORD AVENUE

DOBBS FERRY, NY 10522

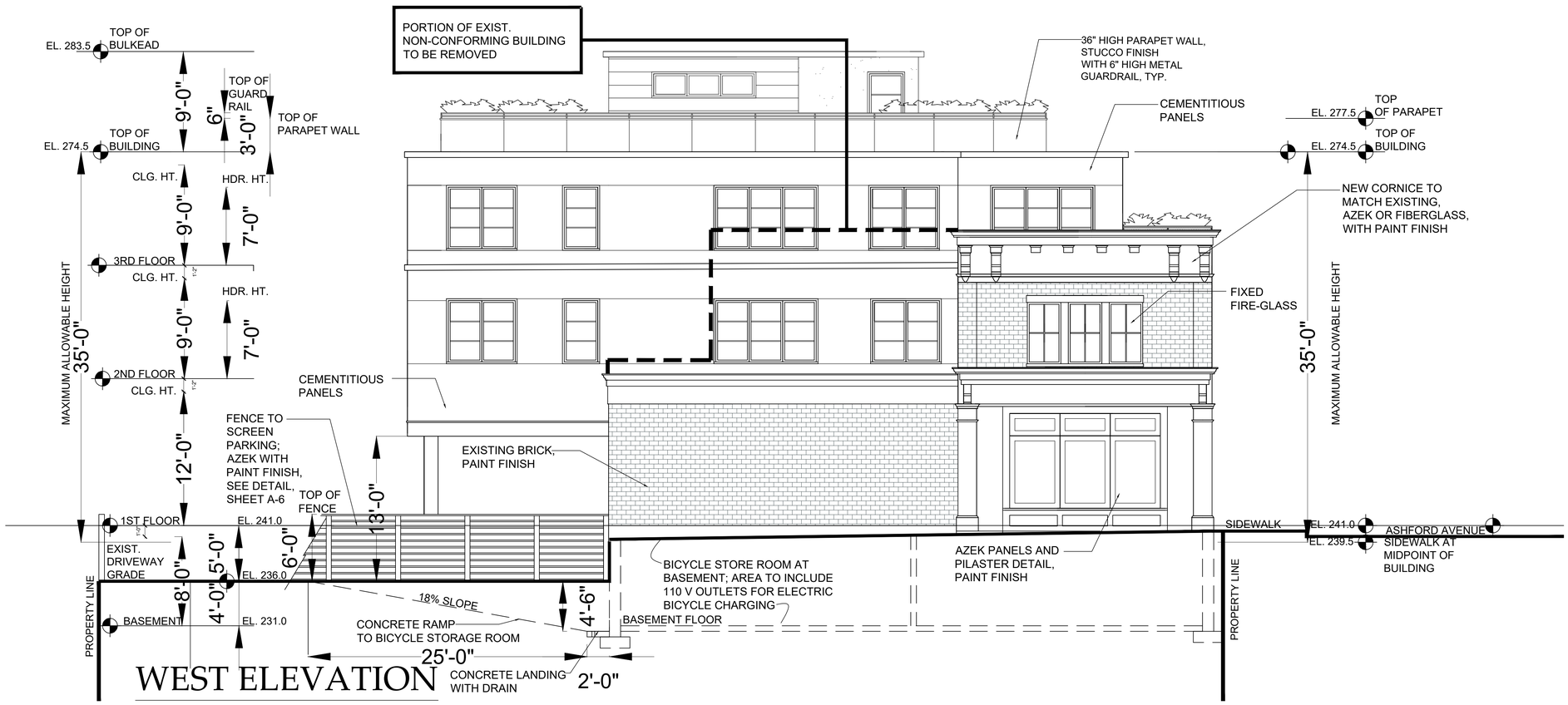
CHRISTINA GRIFFIN ARCHITECT PC
10 Spring Street
Hastings-on-Hudson, New York 10706
914.478.0799
www.christinagriffinarchitect.com

Date
BOT SUBMISSION 8-14-20
REVISED BOT SUBMISSION 10-16-20
PLANNING BOARD SUBMISSION 12-21-20
PLANNING BOARD / BOT REVISIONS 1-27-21
PLANNING BOARD REVISIONS 3-12-21
PLANNING BOARD SUBMISSION 3-24-21
PB SUB. 5-18-21
PB SUB. 6-17-21

Drawing Title
EXTERIOR ELEVATIONS

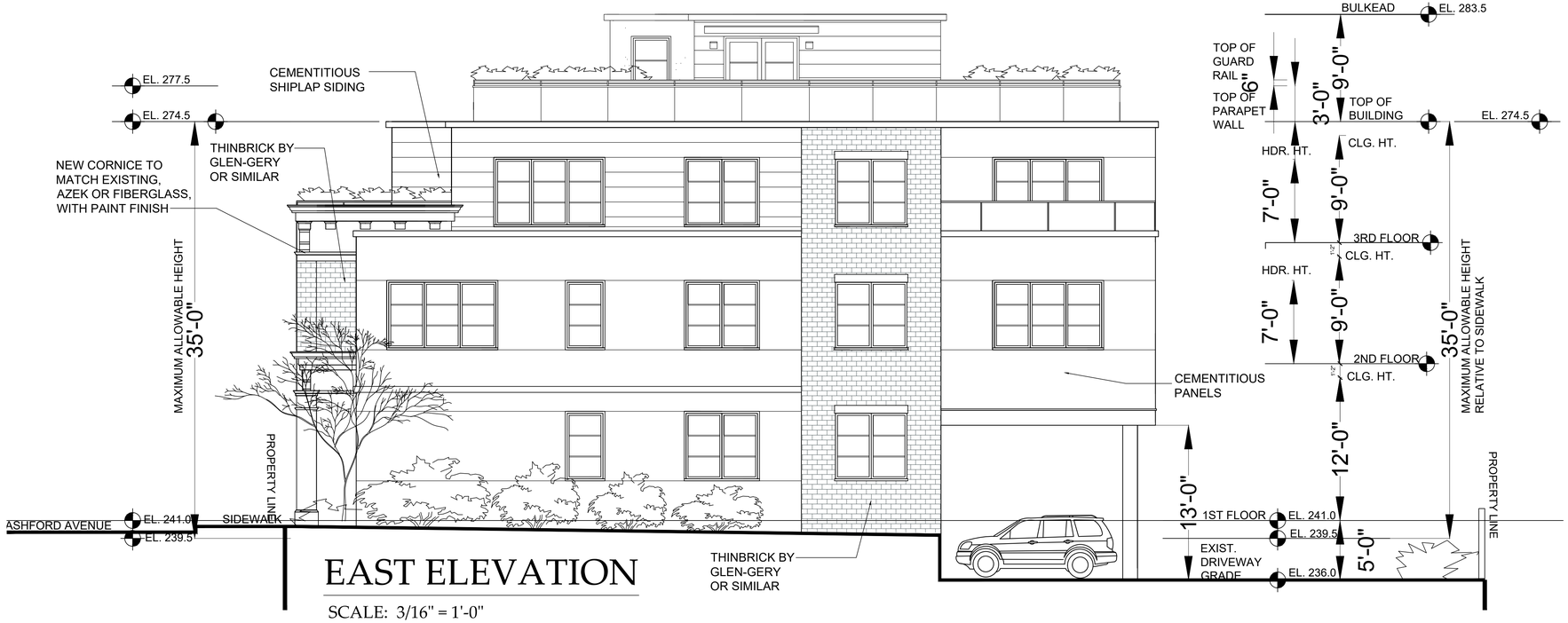
Scale:
AS SHOWN

A-5



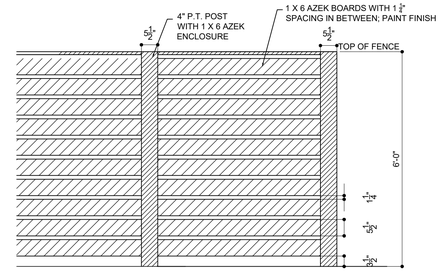
WEST ELEVATION

SCALE: 3/16" = 1'-0"



EAST ELEVATION

SCALE: 3/16" = 1'-0"



FENCE DETAIL

SCALE: 1/2" = 1'-0"

MIXE-USE BUILDING AT

185 - 191 ASHFORD AVENUE

DOBBS FERRY, NY 10522

CHRISTINA GRIFFIN ARCHITECT PC
10 Spring Street
Hastings-on-Hudson, New York 10706
914.478.0799
www.christinagriffinarchitect.com

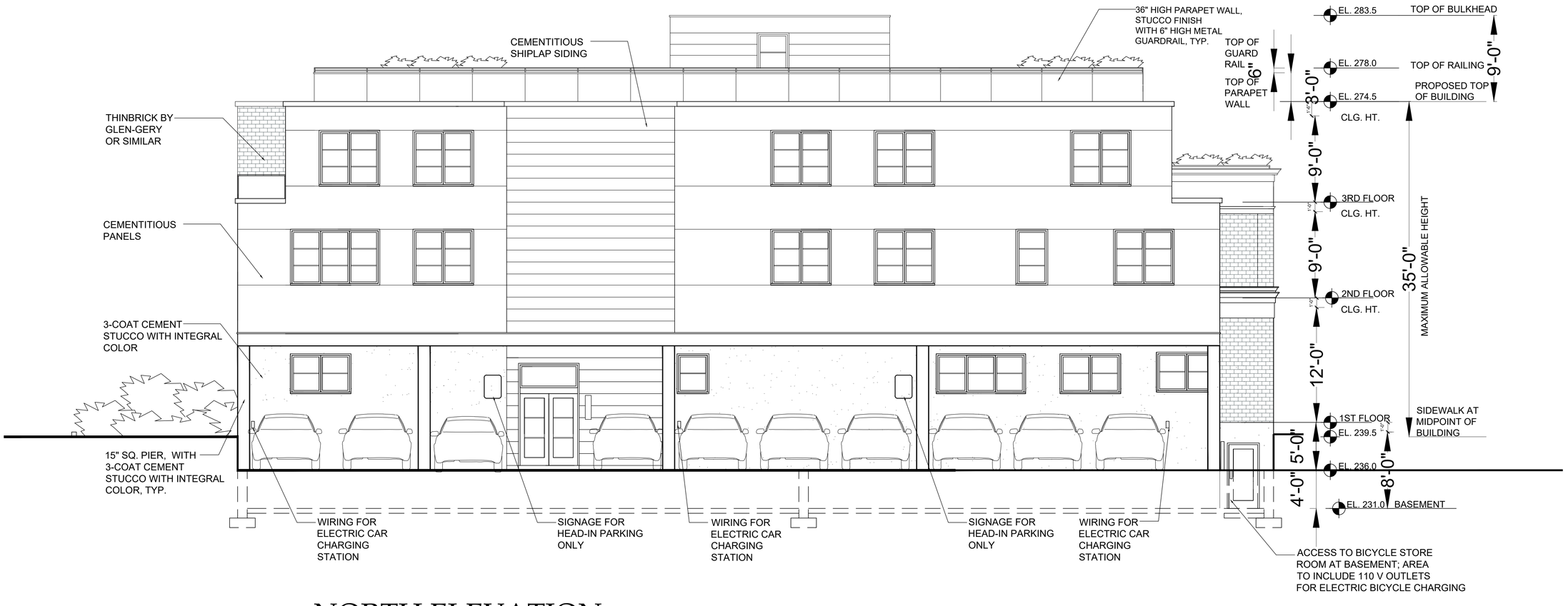
Date	
BOT SUBMISSION 8-14-20	
REVISED BOT SUBMISSION 10-16-20	
PLANNING BOARD SUBMISSION 12-21-20	
PLANNING BOARD / BOT REVISIONS 1-27-21	
PLANNING BOARD REVISIONS 3-12-21	
PLANNING BOARD SUBMISSION 3-24-21	
PLANNING BOARD SUBMISSION 4-22-21	
PB SUB. 5-12-21	
PB SUB. 6-18-21	

Drawing Title: EXTERIOR ELEVATIONS

Scale: AS SHOWN

REGISTERED ARCHITECT CHRISTINA MARIE GRIFFIN STATE OF NEW YORK 17869

A-6



NORTH ELEVATION

SCALE: 3/16" = 1'-0"

MIXE-USE BUILDING AT

185 - 191 ASHFORD AVENUE

DOBBS FERRY, NY 10522

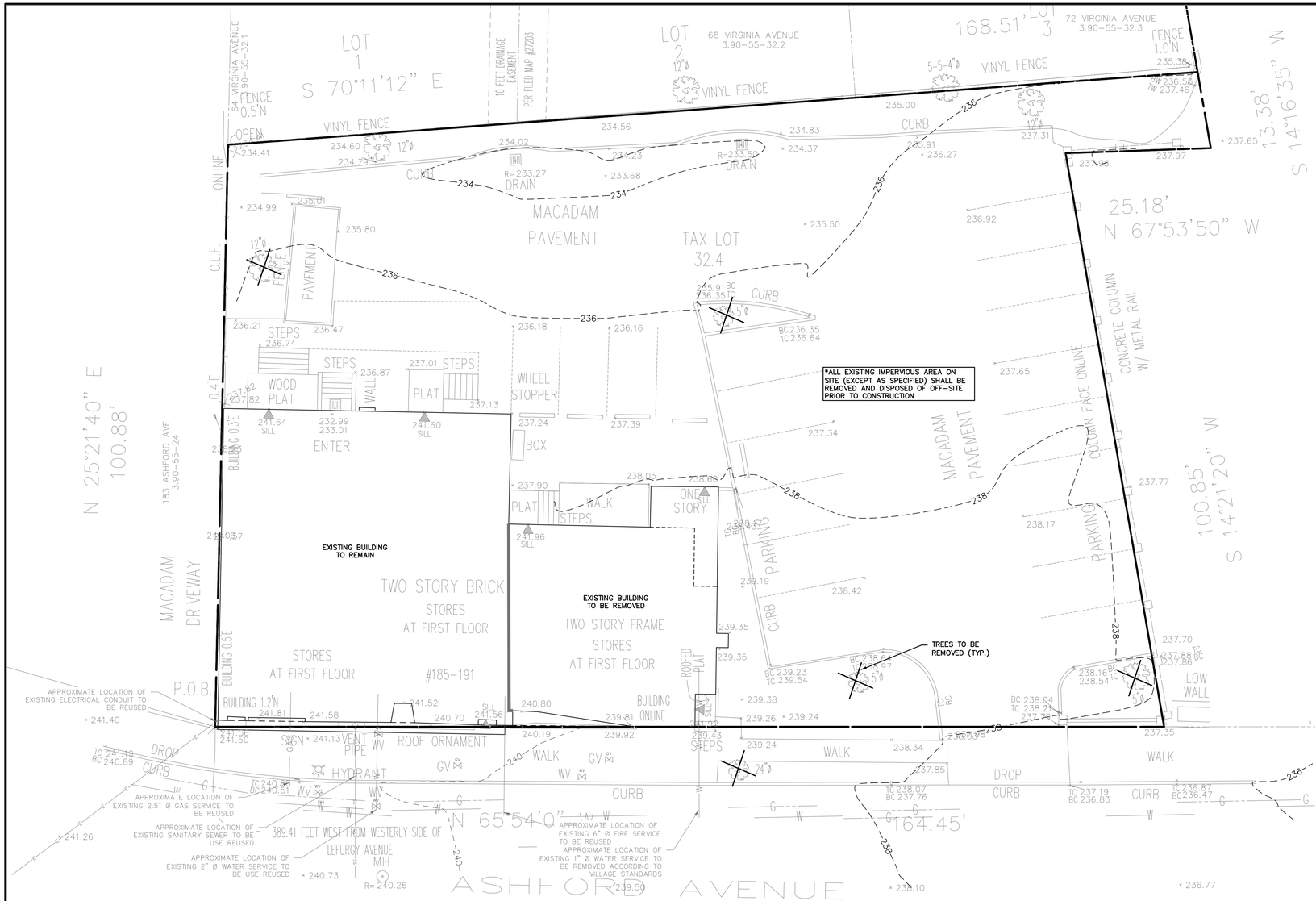
CHRISTINA GRIFFIN ARCHITECT PC
10 Spring Street
Hastings-on-Hudson, New York 10706
914.478.0799
www.christinagriffinarchitect.com

Date
BOT SUBMISSION 8-14-20
REVISED BOT SUBMISSION 10-16-20
PLANNING BOARD SUBMISSION 12-21-20
PLANNING BOARD / BOT REVISIONS 1-27-21
PLANNING BOARD REVISIONS 3-12-21
PLANNING BOARD SUBMISSION 3-24-21
PLANNING BOARD SUBMISSION 4-22-21
PB SUB. 5-12-21
PB SUB. 5-19-21
PB SUB. 6-17-21

Drawing Title: EXTERIOR ELEVATIONS

Scale: AS SHOWN

A-7



LEGEND

PROPERTY LINE

PROPOSED TREE TO BE REMOVED

NOTES:

1. ALL MATERIAL TO BE REMOVED SHALL BE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.

191 ASHFORD AVENUE EXISTING AND DEMOLITION PLAN BASED UPON EXISTING INFORMATION PROVIDED BY SUMMIT LAND SURVERYING P.C. LOCATED AT 21 DRAKE LANE, WHITE PLAINS, NY 10607, DATED MAY 8, 2020

GRAPHIC SCALE

10 0 5 10 20 40

(IN FEET)
1 inch = 10 ft.

No.	Revisions	Date
3	TOWN COMMENTS	6/15/2021
2	TOWN COMMENTS	5/17/2021
1	ADDING PERVIOUS PAVEMENT	4/19/2021

THIS PLAN NOT VALID FOR CONSTRUCTION WITHOUT ENGINEERS SEAL & SIGNATURE

PROJECT:

PROPOSED BUILDING
191 ASHFORD AVENUE
VILLAGE OF DOBBS FERRY
WESTCHESTER COUNTY – NEW YORK

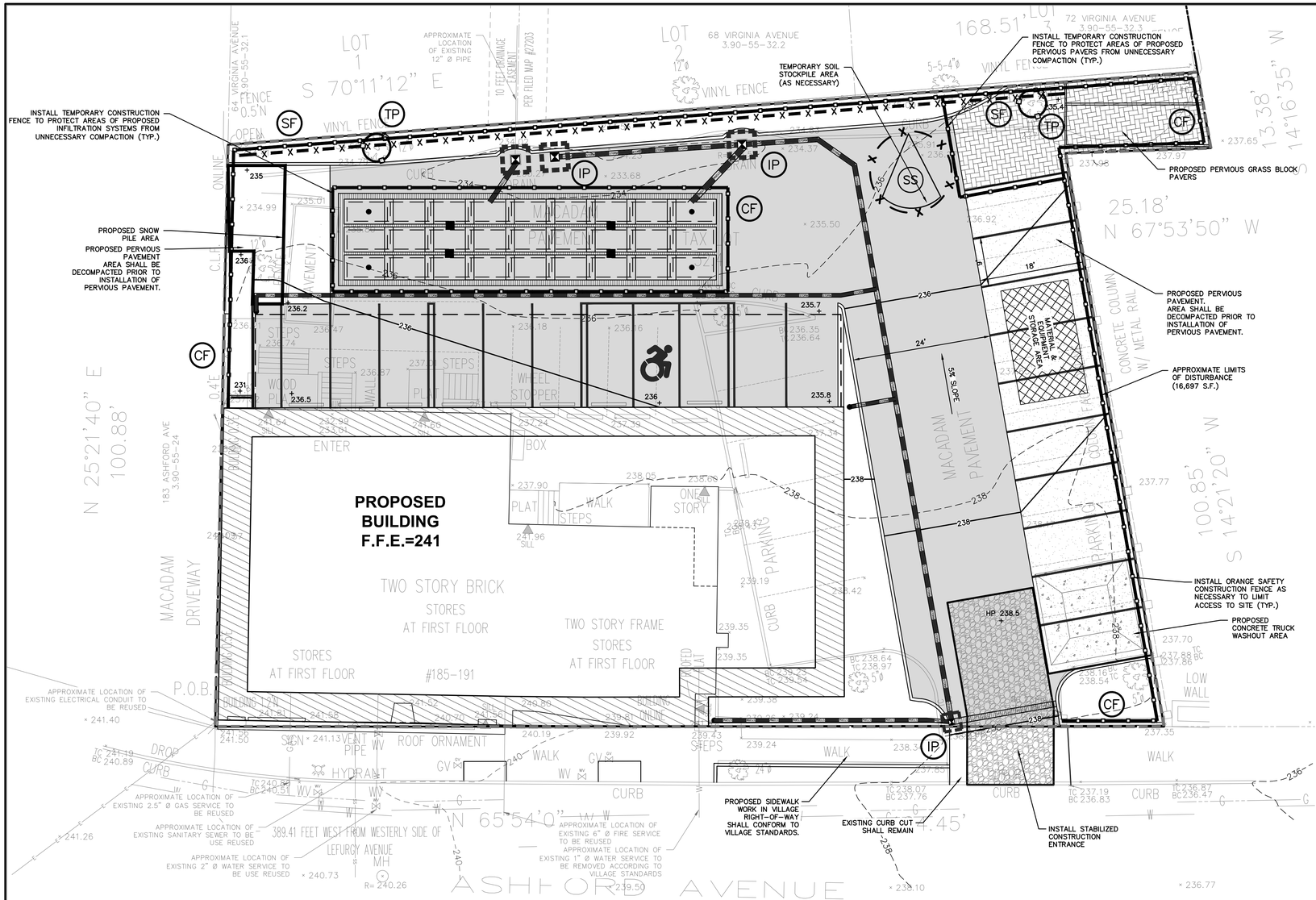
EXISTING AND DEMOLITION PLAN

STATE OF NEW YORK MICHAEL A. STEVENS LICENSED PROFESSIONAL ENGINEER No. 80637

HEC

HUDSON ENGINEERING & CONSULTING, P.C.
45 Knollwood Road - Suite 201
Elmsford, New York 10523
T: 914-909-0420
F: 914-560-2086

Date: 03/23/21
Scale: 1" = 10'
Designed By: D.Y.
Checked By: M.S.
Sheet: 1 / 4
Sheet No. C-1



INSTALLATION & MAINTENANCE OF EROSION CONTROL:

CONSTRUCTION SCHEDULE
NOTIFY APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 5 DAYS PRIOR TO START.

EROSION CONTROL MEASURES
INSTALL ALL EROSION CONTROL MEASURES PRIOR TO START OF CONSTRUCTION. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY
MAINTENANCE (TO BE PERFORMED DURING ALL PHASES OF CONSTRUCTION)

AFTER ANY RAIN CAUSING RUNOFF, CONTRACTOR TO INSPECT HAYBALES, ETC. AND REMOVE ANY EXCESSIVE SEDIMENT AND INSPECT STOCKPILES AND CORRECT ANY PROBLEMS WITH SEED ESTABLISHMENT.
INSPECTIONS SHALL BE DOCUMENTED IN WRITING AND SUBMITTED TO THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION.

INSPECTION BY MUNICIPALITY – FINAL GRADING
REMOVE UNNEEDED SUBGRADE FROM SITE.
CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY – LANDSCAPING

SPREAD TOPSOIL EVENLY OVER AREAS TO BE SEEDED. HAND RAKE LEVEL. BROADCAST 1.25 LB. BAG OF JONATHAN GREEN "FASTGROW" MIX OR EQUAL OVER AREA TO BE SEEDED. APPLY STRAW MULCH AND WATER WITHIN 2 DAYS OF COMPLETION OF TOPSOILING. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY – FINAL LANDSCAPING

GRASS ESTABLISHED.
CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY – FINAL INSPECTION

ALL EROSION CONTROL MEASURES REMOVED AND GRASS ESTABLISHED.
CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

LEGEND

- PROPERTY LINE
- PROPOSED CONCRETE CURB
- PROPOSED CONTOUR — 238
- PROPOSED SPOT GRADE +238.5
- PROPOSED STORM PIPE
- PROPOSED DRAIN INLET
- PROPOSED CHANNEL DRAIN
- PROPOSED TRENCH DRAIN
- TEMPORARY INLET PROTECTION (IP)
- TEMPORARY SILT FENCE (SF)
- TEMPORARY CONSTRUCTION FENCE (CF)
- TEMPORARY SOIL STOCKPILE AREA (SS)
- STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED LIMIT OF DISTURBANCE
- PROPOSED TREE PROTECTION (TP)
- PROPOSED ASPHALT DRIVEWAY/PARKING LOT
- PROPOSED PERVIOUS GRASS PAVERS
- PROPOSED PERVIOUS PAVEMENT

VILLAGE NOTES:

1. TEMPORARY PEDESTRIAN TRAFFIC CONTROLS WILL BE REQUIRED TO MAINTAIN SAFE AND ACCESSIBLE USE OF THE SIDEWALK THROUGHOUT CONSTRUCTION. ADDITIONAL TRAFFIC CONTROLS MAY BE REQUESTED BY THE VILLAGE IF DEEMED APPROPRIATE.
2. THE LIMITS OF POROUS PAVEMENT AND PERVIOUS GRASS BLOCK PAVERS SHALL BE SHOWN ON THE "AS-BUILT" SURVEY SUBMITTED TO THE VILLAGE

191 ASHFORD AVENUE EROSION & SEDIMENT CONTROL PLAN BASED UPON EXISTING INFORMATION PROVIDED BY SUMMIT LAND SURVERYING P.C. LOCATED AT 21 DRAKE LANE, WHITE PLAINS, NY 10607, DATED MAY 8, 2020

GRAPHIC SCALE
10 0 5 10 20 40
(IN FEET)
1 inch = 10 ft.

No.	Description	Date
3	TOWN COMMENTS	6/15/2021
2	TOWN COMMENTS	5/17/2021
1	ADDING PERVIOUS PAVEMENT	4/19/2021

THIS PLAN NOT VALID FOR CONSTRUCTION WITHOUT ENGINEERS SEAL & SIGNATURE

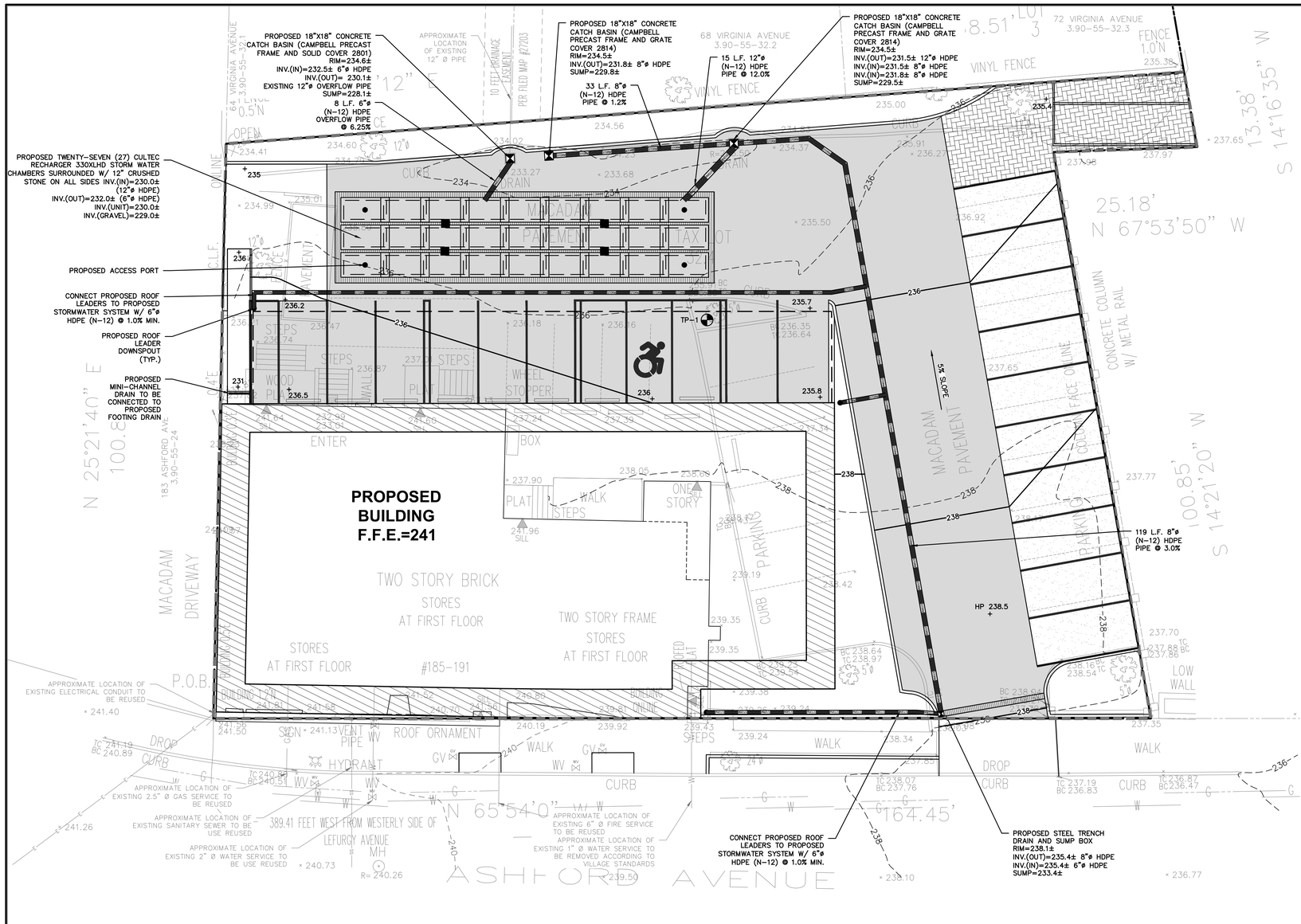
PROJECT:
PROPOSED BUILDING
191 ASHFORD AVENUE
VILLAGE OF DOBBS FERRY
WESTCHESTER COUNTY – NEW YORK

EROSION & SEDIMENT CONTROL PLAN

STATE OF NEW YORK · MICHAEL F. STEIN · No. 80637 · LICENSED PROFESSIONAL ENGINEER

HUDSON ENGINEERING & CONSULTING, P.C.
45 Knollwood Road - Suite 201
Elmsford, New York 10523
T: 914-909-0420
F: 914-560-2086

Date: 03/23/21 Sheet: 2/4
Scale: 1" = 10'
Designed By: D.Y.
Checked By: M.S.
Sheet No. C-2



LEGEND

- PROPERTY LINE
- PROPOSED CONCRETE CURB
- PROPOSED CONTOUR — 238
- PROPOSED SPOT GRADE +238.5
- PROPOSED STORM PIPE
- PROPOSED DRAIN INLET
- PROPOSED TRENCH DRAIN
- TEST PIT LOCATION TP-1
- PROPOSED LIMIT OF DISTURBANCE
- PROPOSED ASPHALT DRIVEWAY/PARKING LOT
- PROPOSED PERVOUS GRASS PAVERS
- PROPOSED PERVOUS PAVEMENT

TEST HOLE DATA:

TEST HOLE #1
DEPTH – 98"
0–6" TOPSOIL
6–12" CONCRETE/STONE
12–48" BROWN SANDY SILT W/ ROCKS
48–98" LOOSELY COMPACT BROWN SANDY LOAM W/ ROCKS
NO GROUNDWATER
LEDGE ROCK AT 98"
PERC. = 181.82 INCHES/HOUR

STORMWATER MANAGEMENT FACILITIES MAINTENANCE PROGRAM

MEASURE	DATES FOR INSPECTION	TIMING, ACTIVITY, AND LOCATION
GENERAL MAINTENANCE (STORM SEWER, CATCH BASINS/ DRAIN INLETS, MANHOLES, PRE-TREATMENT DEVICE AND INFILTRATION BASIN)	ALL	ALL STORMWATER FACILITIES SHALL BE INSPECTED IMMEDIATELY AFTER COMPLETION OF CONSTRUCTION, AND THEN MONTHLY FOR THE FIRST THREE (3) MONTHS FOLLOWING THE COMPLETION OF THE PROJECT. WITHIN THE FIRST THREE (3) MONTHS, INSPECTIONS SHALL IMMEDIATELY BE PERFORMED FOLLOWING A LARGE STORM EVENT (I.E. PRODUCING 1/2" (ONE-HALF INCH) OF RAIN OR GREATER. THEREAFTER, THESE FACILITIES SHALL BE INSPECTED AS DESCRIBED AS FOLLOWS. UPON INSPECTION, FACILITIES SHALL BE IMMEDIATELY MAINTAINED AND/OR CLEANED AS MAY BE REQUIRED. ANY SITE AREAS EXHIBITING SOIL EROSION OF ANY KIND SHALL BE IMMEDIATELY RESTORED AND STABILIZED WITH VEGETATION, MULCH OR STONE, DEPENDING ON THE AREA TO BE STABILIZED. UPON EACH INSPECTION, ALL VISIBLE DEBRIS INCLUDING, BUT NOT LIMITED TO, TWIGS, LEAF AND FOREST LITTER SHALL BE REMOVED FROM THE BASIN, OVERFLOW DISCHARGE POINTS AND FRAMES AND GRATES OF DRAINAGE STRUCTURES.
SUMPS – CATCH BASIN/DRAIN INLETS AND DRAIN MANHOLES	UPON COMPLETION OF CONSTRUCTION: –ONCE A MONTH FOR THE FIRST THREE (3) MONTHS AFTER FIRST THREE (3) MONTHS: –EVERY FOUR (4) MONTHS THEREAFTER	ALL CATCH BASIN/DRAIN INLETS AND DRAIN MANHOLES WITH SUMPS HAVE BEEN DESIGNED TO TRAP SEDIMENT PRIOR TO ITS TRANSPORT TO THE INFILTRATION PRACTICE AND, ULTIMATELY, DOWNSTREAM. THESE SUMPS WILL REQUIRE PERIODIC INSPECTION AND MAINTENANCE TO ENSURE THAT ADEQUATE DEPTH IS MAINTAINED WITHIN THE SUMPS. THE OWNER, OR THEIR DULY AUTHORIZED REPRESENTATIVE, SHALL TAKE MEASUREMENTS OF THE SUMP DEPTH. IF SEDIMENT HAS ACCUMULATED TO 1/2 (ONE-HALF) THE DEPTH OF THE SUMP, ALL SEDIMENT SHALL BE REMOVED FROM THE SUMP. SEDIMENTS CAN BE REMOVED WITH HAND-LABOR OR WITH A VACUUM TRUCK. THE USE OF ROAD SALT SHALL BE MINIMIZED FOR MAINTENANCE OF ROADWAY AND DRIVEWAY AREAS.
SUBSURFACE EXFILTRATION CHAMBERS/DRY WELL	UPON COMPLETION OF CONSTRUCTION: –IMMEDIATELY AFTER CONSTRUCTION –EVERY SIX (6) MONTHS THEREAFTER (SPRING & FALL) BY INDIVIDUAL HOMEOWNERS)	ALL EXFILTRATION SYSTEMS SHALL BE INSPECTED EVERY SIX (6) MONTHS (SPRING AND FALL) FOR EXCESS SEDIMENT ACCUMULATION AND CLOGGING OF INLET AND OUTLET PIPING. DURING DRY WEATHER CONDITIONS, WHEN SEDIMENT HAS ACCUMULATED TO AN AVERAGE DEPTH EXCEEDING 3" (THREE INCHES), THE GALLERY SHALL BE WATER JETTED CLEAN, AND ALL ACCUMULATED SEDIMENTS SHALL BE VACUUMED OUT OR REMOVED MANUALLY. A STADIA ROD MAY BE INSERTED TO DETERMINE THE DEPTH OF THE SEDIMENT. MAINTENANCE OF THE INFILTRATION SYSTEMS LOCATED ON EACH INDIVIDUAL LOT SHALL BE THE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.
PERMEABLE PAVER AND PAVEMENT	UPON COMPLETION OF CONSTRUCTION: –GENERAL MAINTENANCE PROCEDURES –WINTER MAINTENANCE PROCEDURES	PERMEABLE PAVEMENT AND PAVER AREA SHOULD BE SWEPT/BLOWN CLEAN AS PART OF GENERAL LAWN/YARD MAINTENANCE SCHEDULE. AREA SHOULD REMAIN FREE OF CONTAMINANTS SUCH AS GRASS/HEDGE CLIPPINGS, MULCH, SOIL, ETC. TO ENSURE MAXIMUM PERMEABILITY. PERMEABLE PAVEMENT AND PAVER AREA SHALL BE TWICE A YEAR (EARLY SPRING & LATE FALL) TO MAINTAIN MAXIMUM INFILTRATION. IF PONDING IS OBSERVED, THE AREA SHALL BE VACUUMED AND JOINT AGGREGATE REPLACED TO THE LIP OF THE PAVER. PAVEMENT WASHING SYSTEMS OR COMPRESSED AIR UNITS ARE NOT RECOMMENDED FOR MAINTENANCE. IMMEDIATELY CLEAN ANY SOIL DEPOSITED ON THE SURFACE. ABRASIVES SUCH AS SAND OR ONDERS SHOULD NOT BE APPLIED ON OR ADJACENT TO THE PERVOUS PAVEMENT AND PAVERS. SNOW PLOWING IS ACCEPTABLE, PROVIDED IT IS DONE BY SETTING THE BLADE SLIGHTLY HIGHER THAN USUAL (APPROXIMATELY 1 INCH). SALT IS ACCEPTABLE FOR USE AS A DEICER ON THE PERVOUS SURFACE, THOUGH NONTOXIC, ORGANIC DEICERS APPLIED EITHER AS BLENDED MAGNESIUM CHLORIDE BASED LIQUID PRODUCTS, OR AS PRETREATED SALT ARE PREFERABLE.

CONSTRUCTION SEQUENCING:

THE FOLLOWING EROSION CONTROL SCHEDULE SHALL BE UTILIZED:

1. ESTABLISH A CONSTRUCTION ENTRANCE TO THE DEVELOPMENT AREA.
2. ESTABLISH CONSTRUCTION STAGING AREA.
3. SELECTIVE VEGETATION REMOVAL FOR SILT FENCE INSTALLATION.
4. INSTALL SILT FENCE DOWN SLOPE OF ALL AREAS TO BE DISTURBED AS SHOWN ON THE PLAN.
5. STRIP TOPSOIL AND STOCKPILE AT THE LOCATIONS SPECIFIED ON THE PLANS (UP GRADIENT OF EROSION CONTROL MEASURES). MAINTAIN/STABILIZE TOPSOIL STOCKPILES (HYDROSEED DURING MAY 1ST THROUGH OCTOBER 31ST PLANTING SEASON OR BY COVERING WITH A TARPAULIN(S) NOVEMBER 1ST THROUGH APRIL 30TH.
6. INSTALL SILT FENCE AROUND TOE OF SLOPE.
6. DEMOLISH ANY EXISTING SITE FEATURES AND/OR STRUCTURES NOTED AS BEING REMOVED ON THE CONSTRUCTION DCCUMENTS, AND DISPOSE OF OFF-SITE.
7. ROUGH GRADE SITE.
8. EXCAVATE AND INSTALL EXFILTRATION SYSTEMS PER MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS. EXFILTRATION SYSTEMS SHALL BE TEMPORARILY PLUGGED UNTIL THE COMPLETION OF CONSTRUCTION AND THE SITE IS STABILIZED.
9. INSTALL ALL PRETREATMENT DEVICES, CATCH BASINS AND PIPING.
10. EXCAVATE AND CONSTRUCT FOUNDATION.
11. CONSTRUCT BUILDING
12. FINE GRADE AND SEED ALL DISTURBED AREAS. CLEAN DRAIN LINES, CATCH BASINS, PRETREATMENT DEVICES AND EXFILTRATION SYSTEMS. ENSURE GRASS STAND IS ACHIEVED.
13. UNPLUG INFILTRATION/EXFILTRATION/ SYSTEMS. CONNECT ALL PROPOSED PIPING TO PREVIOUSLY INSTALLED EXFILTRATION/ATTENUATION GALLERIES.
14. INSTALL 4"–6" TOPSOIL, FINE GRADE, SEED THE ENTIRE PROJECT SITE AND INSTALL LANDSCAPE PLANTINGS. SPREAD SALT HAY OVER SEEDED AREAS.
15. DE–COMPACT AND AERATE ALL DISTURBED AREAS TO BE PLANTED (LAWN & LANDSCAPING) UTILIZING MODEL AE401H5T AERATOR AS MANUFACTURED BY BILLY GOAT
16. PAVE PARKING LOT AS SHOWN ON PLANS
17. REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES AFTER THE SITE IS STABILIZED WITH VEGETATION.

*SOIL EROSION AND SEDIMENT CONTROL MAINTENANCE MUST OCCUR WEEKLY AND PRIOR TO AND AFTER EVERY ½" OR GREATER RAINFALL EVENT.

ANY ALTERATIONS OR REVISIONS OF THESE PLANS, UNLESS DONE BY OR UNDER THE DIRECTION OF THE NYS LICENSED AND REGISTERED ENGINEER THAT PREPARED THEM, IS A VIOLATION OF THE NYS EDUCATION LAW.

VILLAGE NOTES:

1. THE PROPERTY IS LOCATED APPROXIMATELY 1.0 MILES FROM THE HUDSON RIVER AND THERE ARE NO WETLANDS/WATERCOURSES IN THE VICINITY OF THE PROPERTY
2. THE VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.
3. AS–BUILT PLANS OF THE PROPOSED DRIVEWAY AND DRAINAGE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
4. FILL MATERIAL IMPORTED TO THE SITE SHALL BE CERTIFIED IN WRITING BY A NEW YORK LICENSED PROFESSIONAL ENGINEER AS CLEAN, NON–CONTAMINATED FILL SUITABLE FOR THE INTENDED USE
5. "BEFORE THE SITE PLAN IS SIGNED BY THE CHAIRMAN OF THE PLANNING BOARD, THE APPLICANT SHALL BE REQUIRED TO POST A PERFORMANCE BOND OR OTHER TYPE OF ACCEPTABLE MONETARY GUARANTY WHICH SHALL BE IN AN AMOUNT DETERMINED BY THE PLANNING BOARD AND THE VILLAGE ENGINEER AND IN A FORM SATISFACTORY TO THE VILLAGE ATTORNEY".
6. THE APPLICANT SHALL NOTIFY THE BUILDING DEPARTMENT OR VILLAGE'S CONSULTING ENGINEER IN WRITING AT LEAST 48 HOURS BEFORE ANY OF THE FOLLOWING SO THAT ANY INSPECTION MAY BE PERFORMED.
   - 6.1. START OF CONSTRUCTION.
   - 6.2. INSTALLATION OF SEDIMENT AND EROSION CONTROL MEASURES.
   - 6.3. COMPLETION OF SITE CLEARING.
   - 6.4. INSTALLATION OF SMP'S.
   - 6.5. COMPLETION OF FINAL GRADING AND STABILIZATION OF DISTURBED AREAS.
   - 6.6. CLOSURE OF CONSTRUCTION.
   - 6.7. COMPLETION OF FINAL LANDSCAPING; AND
   - 6.8. SUCCESSFUL ESTABLISHMENT OF LANDSCAPING IN PUBLIC AREAS
7. "THE OWNER OR OPERATOR SHALL HAVE A QUALIFIED INSPECTOR INSPECT AND DOCUMENT THE EFFECTIVENESS OF ALL EROSION AND SEDIMENTATION CONTROL PRACTICES AND PREPARE INSPECTION REPORTS AT LEAST ONCE A MONTH. THESE REPORTS MUST BE KEPT ON SITE AND AVAILABLE FOR REVIEW".

EARTHWORK ANALYSIS

CUT	FILL	NET
108.94 CU. YD.	44.10 CU. YD.	64.84 CU. YD.<CUT>

GENERAL NOTES:

1. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE SUPERVISION OF THE CONSTRUCTION.
2. NO CHANGES SHALL BE MADE TO THESE PLANS EXCEPT AS PER NYS LAW CHAPTER 987.
3. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO ACI, AISC, ZONING, AND THE NEW YORK STATE BUILDING CODE.
4. ALL CONDITIONS, LOCATIONS AND DIMENSIONS SHALL BE FIELD VERIFIED AND THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED OF ANY DISCREPANCIES.
5. ALL CHANGES MADE TO THE PLANS SHALL BE APPROVED BY THE ENGINEER AND ANY SUCH CHANGES SHALL BE FILED AS AMENDMENTS TO THE ORIGINAL BUILDING PERMIT.
6. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
7. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF HIS EMPLOYEES, SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES, AND OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTACT WITH THE CONTRACTOR.
8. SAFETY DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL AGENCIES IN EFFECT DURING THE PERIOD OF CONSTRUCTION.
9. THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL MAKE APPLICATION TO RECEIVE ALL NECESSARY PERMITS TO PERFORM THE WORK UNDER CONTRACT. THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL BE LICENSED TO DO ALL WORK AS REQUIRED BY THE LOCAL, COUNTY, AND STATE AGENCIES WHICH MAY HAVE JURISDICTION OVER THOSE TRADES, AND SHALL PRESENT THE OWNER WITH COPIES OF ALL LICENSES AND INSURANCE CERTIFICATES.
10. FINAL GRADING AROUND THE BUILDING AREA SHALL SLOPE AWAY FROM THE STRUCTURE.
11. ALL WRITTEN DIMENSIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER ANY SCALED DIMENSIONS.
12. ADJOINING PUBLIC AND PRIVATE PROPERTY SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION, REMODELING AND DEMOLITION WORK. PROTECTION MUST BE PROVIDED FOR FOOTINGS, FOUNDATIONS, PARTY WALLS, CHIMNEYS, SKYLIGHTS AND ROOFS. PROVISIONS SHALL BE MADE TO CONTROL WATER RUNOFF AND EROSION DURING CONSTRUCTION OR DEMOLITION ACTIVITIES. THE PERSON MAKING OR CAUSING AN EXCAVATION TO BE MADE SHALL PROVIDE WRITTEN NOTICE TO THE OWNERS OF ADJOINING BUILDINGS ADVISING THEM THAT THE EXCAVATION IS TO BE MADE AND THAT THE ADJOINING BUILDING SHOULD BE PROTECTED. SAID NOTIFICATION SHALL BE DELIVERED NOT LESS THAN 10 DAYS PRIOR TO THE SCHEDULED STARTING DATE OF THE EXCAVATION.
13. OWNER SHALL INSURE THAT THE INSURANCE PROVIDED BY THE CONTRACTOR HIRED TO PERFORM THE WORK SHALL BE ENDORSED TO NAME HUDSON ENGINEERING & CONSULTING, P.C., AND ANY DIRECTORS, OFFICERS, EMPLOYEES, SUBSIDIARIES, AND AFFILIATES, AS ADDITIONAL INSURED ON ALL POLICIES AND HOLD HARMLESS DOCUMENTS, AND SHALL STIPULATE THAT THIS INSURANCE IS PRIMARY, AND THAT ANY OTHER INSURANCE OR SELF–INSURANCE MAINTAINED BY HUDSON ENGINEERING & CONSULTING, P.C., SHALL BE EXCESS ONLY AND SHALL NOT BE CALLED UPON TO CONTRIBUTE WITH THIS INSURANCE. ISO ADDITIONAL INSURED ENDORSEMENT FORM NUMBER CG2010 1185 UNDER GL. COPIES OF THE INSURANCE POLICIES SHALL BE SUBMITTED TO HUDSON ENGINEERING & CONSULTING, P.C., FOR APPROVAL PRIOR TO THE SIGNING OF THE CONTRACT.
14. INDUSTRIAL CODE RULE 753: THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 72 HOURS PRIOR TO THE START OF HIS OPERATIONS AND SHALL COMPLY WITH ALL THE LATEST INDUSTRIAL CODE RULE 753 REGULATIONS.

NOTES:

1. THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.
2. "AS–BUILT" DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY.
3. "THE RESTORATION FOR WORK PERFORMED WITHIN THE VILLAGE RIGHT–OF–WAY SHALL BE PERFORMED TO THE SATISFACTION OF THE VILLAGE ENGINEER AND DEPARTMENT OF PUBLIC WORKS."
4. "BEFORE THE SITE PLANS ARE SIGNED BY THE CHAIRMAN OF THE PLANNING BOARD, THE APPLICANT SHALL BE REQUIRED TO POST A PERFORMANCE BOND OR OTHER TYPE OF ACCEPTABLE MONETARY GUARANTY WHICH SHALL BE IN THE AMOUNT DETERMINED BY THE PLANNING BOARD AND THE VILLAGE ENGINEER IN A FORM SATISFACTORY TO THE VILLAGE ATTORNEY."
5. CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.

191 ASHFORD AVENUE STORMWATER MANAGEMENT PLAN BASED UPON EXISTING INFORMATION PROVIDED BY SUMMIT LAND SURVERYING P.C. LOCATED AT 21 DRAKE LANE, WHITE PLAINS, NY 10607, DATED MAY 8, 2020

GRAPHIC SCALE

10 0 5 10 20 40

(IN FEET)

1 inch = 10 ft.

No.	Description	Date
3	TOWN COMMENTS	6/15/2020
2	TOWN COMMENTS	5/17/2020
1	ADDING PERVIOUS PAVEMENT	4/16/2020

THIS PLAN NOT VALID FOR CONSTRUCTION WITHOUT ENGINEERS SEAL & SIGNATURE

PROJECT:

PROPOSED BUILDING
191 ASHFORD AVENUE
VILLAGE OF DOBBS FERRY
WESTCHESTER COUNTY – NEW YORK

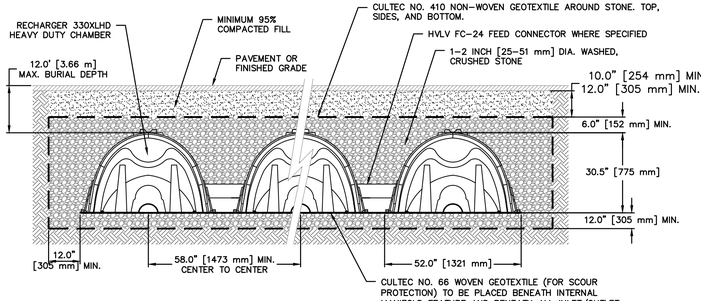
STORMWATER MANAGEMENT PLAN

STATE OF NEW YORK · MICHAEL F. STEIN · 10 · 2020 · No. 80857 · LICENSED PROFESSIONAL ENGINEER

HUDSON ENGINEERING & CONSULTING, P.C.
45 Knollwood Road – Suite 201
Elmsford, New York 10523
T: 914-909-0420
F: 914-560-2086

Date: 03/23/21 Sheet: 3
Scale: 1" = 10' of 4
Designed By: D.Y.
Checked By: M.S.

Sheet No. C-3

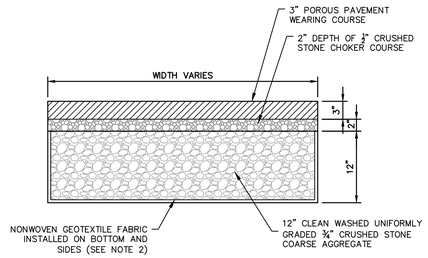


GENERAL NOTES

RECHARGER 330XL HD BY CULTEC, INC. OF BROOKFIELD, CT.
STORAGE PROVIDED = 11.32 CF/FT [1.05 m³/m] PER DESIGN UNIT.
REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES.
THE CHAMBER WILL BE DESIGNED TO WITHSTAND TRAFFIC LOADS WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS

ALL RECHARGER 330XL HD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER.
ALL RECHARGER 330XL HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS

CULTEC RECHARGER 330XLHD TRAFFIC

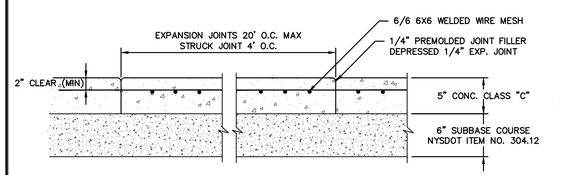


TYPICAL POROUS PAVEMENT SECTION

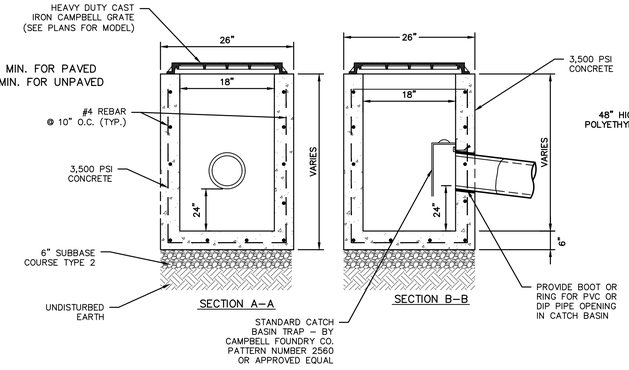
N.T.S.

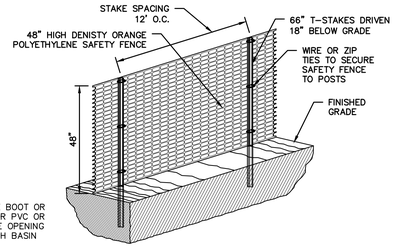
NOTES:

1. STONE FOR INFILTRATION BEDS SHALL BE 3/4 INCH UNIFORMLY GRADED COARSE AGGREGATE WITH A WASH LOSS OF NO MORE THAN 0.5% IN ACCORDANCE WITH PROJECT SPECIFICATIONS, VOID SPACE SHALL BE 40% AS MEASURED BY ASTM-C29.
2. NONWOVEN GEOTEXTILE SHALL CONSIST OF NEEDLED NONWOVEN POLYPROPYLENE FIBERS AND MEET THE FOLLOWING PROPERTIES: 3. GRAD TENSILE STRENGTH (ASTM-D4632) >=120 LBS, MULLEN BURST STRENGTH (ASTM-D3786) >=225 LBS, FLOW RATE (ASTM-D4491) >=95 GALLONS/MINUTE/SQUARE FOOT UV RESISTANCE AFTER 500 HRS (ASTM-D4355) >=70% HEAT-SET OR HEAT-CALENDARED FABRICS ARE NOT PERMITTED. GEOTEXTILE FABRIC SHALL BE MIRAFI 140 N OR APPROVED EQUAL.
3. POROUS PAVEMENT SHALL NOT BE INSTALLED ON WET SURFACES OR WHEN THE AMBIENT AIR TEMPERATURE IS 50 DEGREES FAHRENHEIT OR LOWER.
4. INFILTRATION BMP FILTER FABRIC AND STONE SHOULD BE KEPT CLEAN OF SOIL/SEDIMENT DURING THE INSTALLATION PROCESS. IF INSPECTION INDICATES THAT SOIL SEDIMENT HAS ENTERED ANY OF THE INFILTRATION SEEPAGE BEDS, APPROPRIATE MEASURES (i.e. CLEANING THE SOIL/SEDIMENT FROM THE FABRIC, STONE, ETC. AND OR REPLACEMENT OF THE FABRIC AND STONE) SHOULD BE ADDRESSED.
5. ALL STONE FOR THE CONSTRUCTION OF THE INFILTRATION BMP SHOULD BE UNIFORMLY GRADED AND CLEAN WASHED AGGREGATE.
6. THE BOTTOM OF ALL INFILTRATION BMPs SHALL BE UNDISTURBED OR UNCOMPACTED SUBGRADE.
7. PERVIOUS PAVEMENT SHOULD BE INSTALLED TOWARD THE END OF THE CONSTRUCTION PERIOD IF POSSIBLE. THIS WILL AVOID COMPACTION OF THE SUBGRADE AND SUBJECTION TO EXCESSIVE CONSTRUCTION EQUIPMENT TRAFFIC.
8. GEOTEXTILE AND BED AGGREGATE FOR PERVIOUS PAVEMENT SHOULD BE PLACED IMMEDIATELY AFTER APPROVAL OF SUBGRADE PREPARATION AND INSTALLATION OF STRUCTURES. ADJACENT STRIPS OF GEOTEXTILE SHOULD OVERLAP A MINIMUM OF 16 INCHES, AND SHOULD BE SECURED AT LEAST 4 FEET OUTSIDE OF BED TO PREVENT ANY RUNOFF OR SEDIMENT FROM ENTERING THE STORAGE BED. THIS EDGE STRIP SHOULD REMAIN IN PLACE UNTIL ALL BARE SOILS OR DISTURBED AREAS CONTIGUOUS TO THE BED ARE STABILIZED, AS THE SITE IS FULLY STABILIZED, EXCESS GEOTEXTILE ALONG BED EDGES CAN BE CUT BACK TO THE BED EDGE.
9. THE FULL PERMEABILITY OF THE PAVEMENT SURFACE SHOULD BE TESTED BY APPLICATION OF CLEAN WATER AT THE RATE OF AT LEAST 5 GPM OVER THE SURFACE, USING A HOSE OR OTHER DISTRIBUTION DEVICE. ALL APPLIED WATER SHOULD INFILTRATE DIRECTLY WITHOUT FORMATION OR SURFACE RUNOFF.
10. PLANTED AREAS ADJACENT TO THE PERVIOUS PAVEMENT SHOULD BE MAINTAINED AND INSPECTED ON A SEMIANNUAL BASIS.
11. PERVIOUS PAVEMENT SHALL BE VACCUMED 2 TO 3 TIMES PER YEAR. PAVEMENT WASHING SYSTEMS OR COMPRESSED AIR UNITS ARE NOT RECOMMENDED. IMMEDIATELY CLEAN ANY SOIL DEPOSITED ON PAVEMENT.
12. FOR WINTER MAINTENANCE OPERATIONS, ABRASIVES SUCH AS SAND OR CINDERS SHOULD NOT BE APPLIED ON OR ADJACENT TO THE PERVIOUS PAVEMENT.
13. SNOW PLOWING IS ACCEPTABLE, PROVIDED IT IS DONE BY SETTING THE BLADE SLIGHTLY HIGHER THAN USUAL (APPROXIMATELY 1 INCH).
14. SALT IS ACCEPTABLE FOR USE AS A DEICER ON THE PERVIOUS PAVEMENT, THOUGH NONTOXIC, ORGANIC DEICERS APPLIED EITHER AS BLENDED MAGNESIUM CHLORIDE BASED LIQUID PRODUCTS, OR AS PRETREATED SALT ARE PREFERABLE.
15. IF PORTIONS OF THE PERVIOUS PAVEMENT EXPERIENCE SETTLING, FOR AREAS LESS THAN 50 SQUARE FEET, REPAIR CAN BE MADE WITH STANDARD PAVEMENT OR WITH THE PERVIOUS PAVEMENT MIX. IF THE AREA IS GREATER THAN 50 SQUARE FEET, THE CONTRACOT SHALL RECEIVE APPROVAL OF THE PATCH TYPE FROM WOODARD & CURRAN, PA PC.



CONCRETE WALK

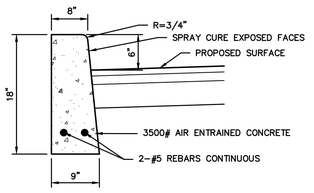




CONSTRUCTION FENCE

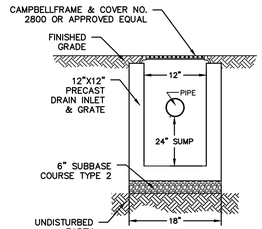
18"x18" PRECAST CONCRETE CATCH BASIN

NOTES:
1. CONCRETE - 3,500 PSI MINIMUM STRENGTH @ 28 DAYS
2. DESIGN LOADING - AASHTO HS20-44
3. EARTH COVER - 0 TO 5 FEET
4. CONSTRUCTION JOINT - LAPPED

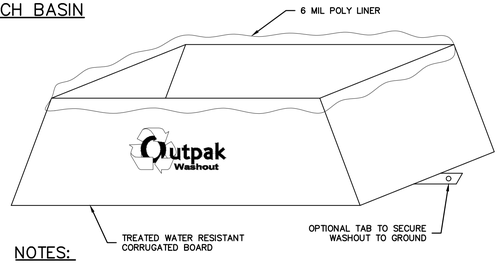


NOTE:
EXPANSION JOINTS TO BE INSTALLED EVERY 10 FEET.

CONCRETE CURB



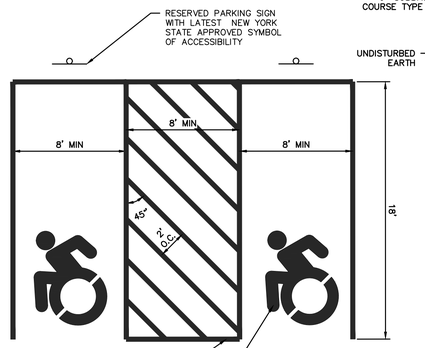
SUMP BOX



NOTES:

1. THE WASHOUT SHALL BE INSTALLED PRIOR TO USING MATERIALS THAT REQUIRE WASHOUT ON THIS PROJECT.
2. AS NECESSARY, SIGNS SHALL BE PLACED THROUGHOUT THE SITE TO INDICATE THE LOCATION OF THE WASHOUT.
3. THE WASHOUT AREA WILL BE REPLACED AS NECESSARY TO MAINTAIN CAPACITY FOR LIQUID WASTE.
4. WASHOUT RESIDUE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED WASTE FACILITY.
5. DO NOT WASHOUT INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS.
6. AVOID DUMPING EXCESS CONCRETE IN NON-DESIGNATED DUMPING AREAS.
7. LOCATE WASHOUT AT LEAST 50' (15 METERS) FROM STORM DRAIN, OPEN DITCHES, OR WATER BODIES.
8. THE WASHOUT SHALL BE USED ONLY FOR NON-HAZARDOUS WASTES.

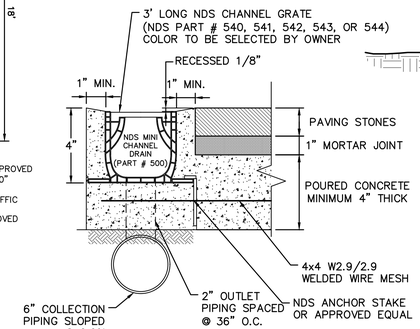
CORRUGATED CONCRETE WASHOUT



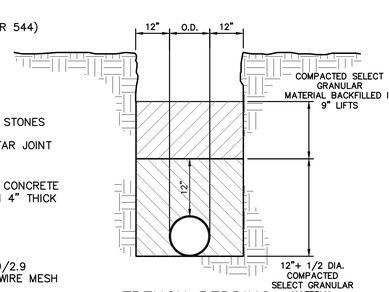
HANDICAP PARKING SPACE

NOTES:

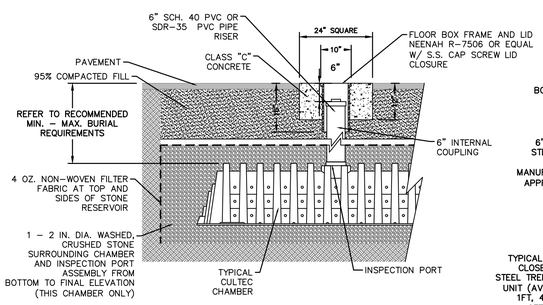
1. PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 (2%) IN ANY DIRECTION.
2. HANDICAPPED STALLS SHALL BE DESIGNATED AS RESERVED BY A SIGN. THE SIGN SHALL BE SET A MINIMUM OF 84" ABOVE GRADE AND NOT BE OBSCURED BY A VEHICLE WHEN PARKED.



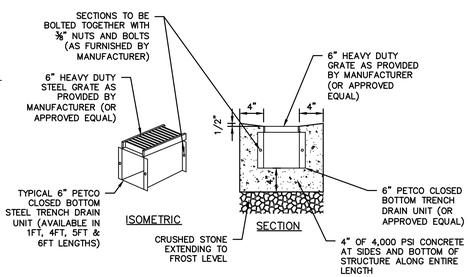
NDS MINI CHANNEL DRAIN



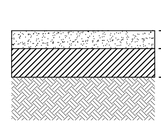
TRENCH BEDDING



CULTEC ACCESS PORT



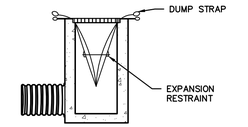
STEEL TRENCH DRAIN



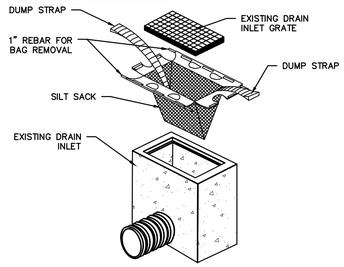
A- 2" TOP COURSE- N.Y.S.D.O.T. ITEM, 403.178202, TYPE 6 F2
B- 4" SUBBASE COURSE- N.Y.S.D.O.T. ITEM, 304.12, TYPE 2

DRIVEWAY PAVEMENT SECTION

Siltsack Inlet Protection

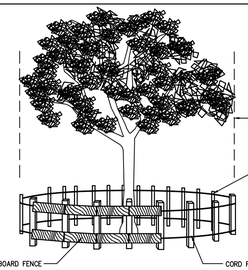


INSTALLATION DETAIL



NOTE:
1. EACH SILTSACK SHALL BE PROPERLY SIZED FOR EACH INLET.
2. ALL CURB INLETS SHALL UTILIZE SILTSACK MODELS WITH BUILT IN CURB DEFLECTOR
3. SILTSACKS SHOULD ONLY BE UTILIZED ON DRAIN INLETS OUTSIDE OF THE DISTURBED AREAS TO PREVENT CONTAMINATION OF DOWN STREAM STORMWATER STRUCTURES.
4. SEDIMENT SHALL BE REMOVED FROM EACH SILTSACK WHEN SILT DEPTH EXCEEDS 6-INCHES.
5. SILTSACKS SHOULD BE INSPECTED REGULARLY FOR DAMAGE. ANY DAMAGED SILTSACKS SHOULD BE REPLACED.

FENCING AND ARMORING

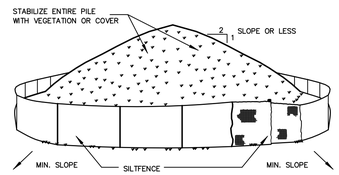


CORRECT METHODS OF TREE FENCING

TRIANGULAR BOARD FENCE

CORRECT TRUNK ARMORING

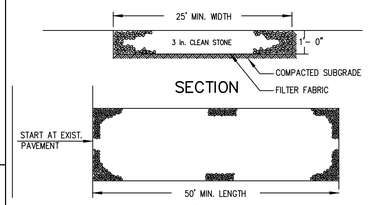
SOIL STOCKPILING



INSTALLATION NOTES

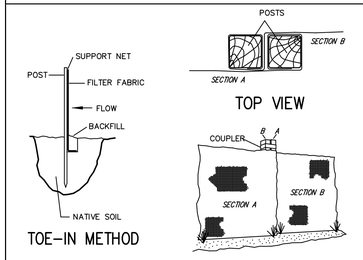
INSTALLATION NOTES:
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. SOILS OR FILL TO BE STOCKPILED ON SITE DURING CUTTING AND FILLING ACTIVITIES SHOULD BE LOCATED ON LEVEL PORTIONS OF THE SITE WITH A MINIMUM OF 50-75 FOOT SETBACKS FROM TEMPORARY DRAINAGE SWALES.
3. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
4. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
5. STOCKPILES REMAINING IN PLACE FOR MORE THAN A WEEK SHOULD BE SEEDED AND MULCHED OR COVERED WITH GEOTEXTILE FABRIC SURROUNDED BY SILT FENCE.
6. SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILT FENCE.

STABILIZED CONSTRUCTION ENTRANCE

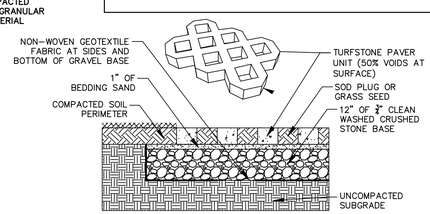


INSTALLATION NOTES:
1. STONE SIZE - USE 3" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - 25 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

SILT FENCE



INSTALLATION NOTES:
1. EXCAVATE A 4 INCH * 4 INCH TRENCH ALONG THE LOWER PERIMETER OF THE SITE.
2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM)WALL OF THE TRENCH (NET SIDE AWAY FROM DIRECTION OF FLOW).
3. DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS APPROXIMATELY 2 INCHES FROM THE TRENCH BOTTOM.
4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH, BACKFILL THE TRENCH AND TAMP THE SOIL. STEEPER SLOPES REQUIRE AN INTERCEPT TRENCH.
5. JOIN SECTIONS AS SHOWN ABOVE.



TURFSTONE PAVER

ANY ALTERATIONS OR REVISIONS OF THESE PLANS, UNLESS DONE BY OR UNDER THE DIRECTION OF THE NYS LICENSED AND REGISTERED ENGINEER THAT PREPARED THEM, IS A VIOLATION OF THE NYS EDUCATION LAW.

No.	Description	Date
3	TOWN COMMENTS	6/15/2021
2	TOWN COMMENTS	5/17/2021
1	ADDING PERVIOUS PAVEMENT	4/19/2021

Revisions

THIS PLAN NOT VALID FOR CONSTRUCTION WITHOUT ENGINEER'S SEAL & SIGNATURE

PROJECT:

PROPOSED ADDITION & ALTERATIONS
191 ASHFORD AVENUE
VILLAGE OF DOBBS FERRY
WESTCHESTER COUNTY - NEW YORK

DETAILS

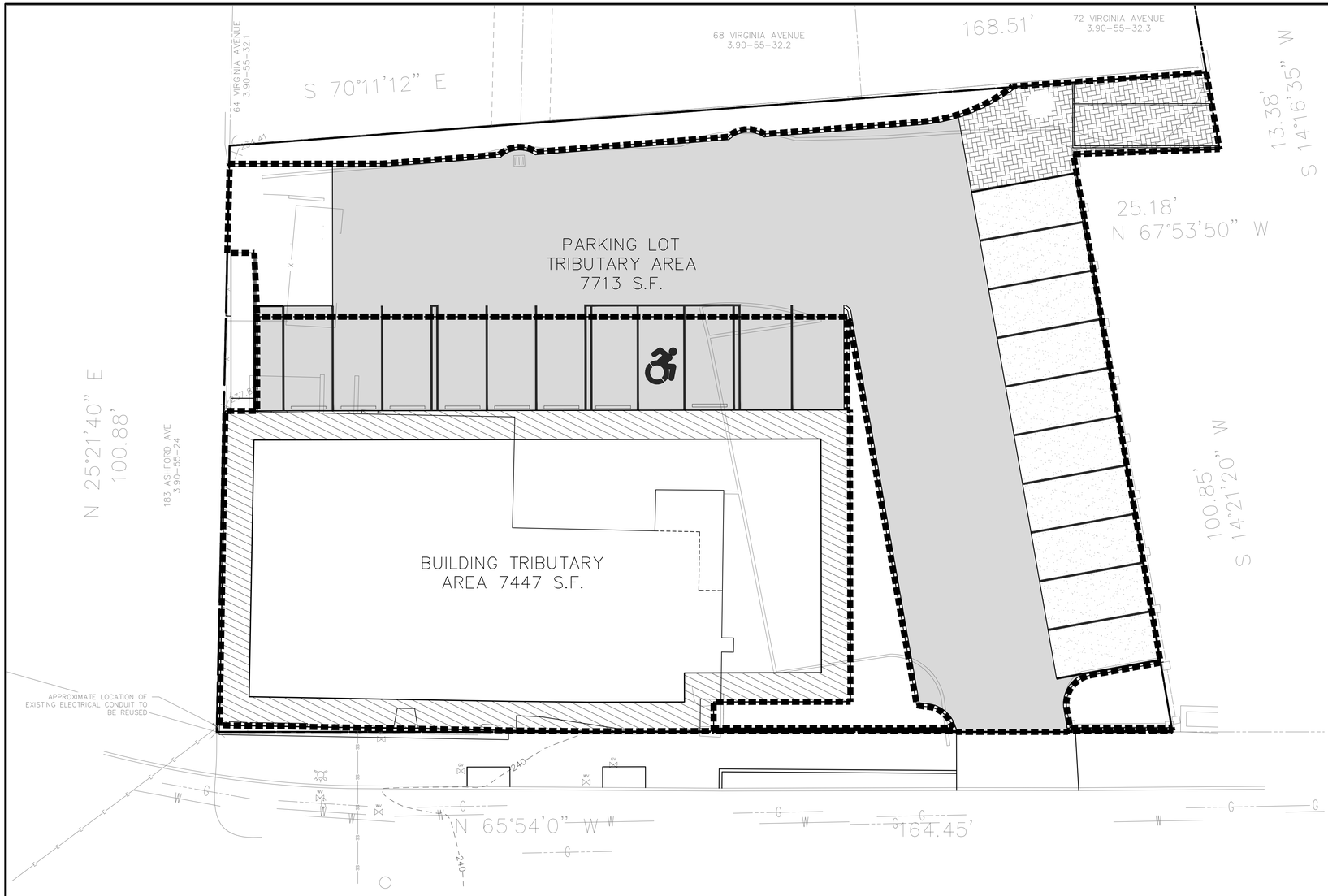
STATE OF NEW YORK · MICHAEL F. STEIN · No. 80657 · LICENSED PROFESSIONAL ENGINEER

HEC

HUDSON ENGINEERING & CONSULTING, P.C.
45 Knollwood Road - Suite 201
Elmsford, New York 10523
T: 914-909-0420
F: 914-560-2086

Date: 03/23/21 Sheet:
Scale: N.T.S. 4
Designed By: D.Y. 4
Checked By: M.S.
Sheet No.

C-4



LEGEND

- PROPERTY LINE
- PROPOSED BELGIAN BLOCK CURB
- PROPOSED ASPHALT DRIVEWAY/PARKING LOT
- PROPOSED PERVIOUS GRASS PAVERS
- PROPOSED PERVIOUS PAVEMENT

191 ASHFORD AVENUE TRIBUTARY AREA MAP BASED UPON EXISTING INFORMATION PROVIDED BY SUMMIT LAND SURVERYING P.C. LOCATED AT 21 DRAKE LANE, WHITE PLAINS, NY 10607, DATED MAY 8, 2020

GRAPHIC SCALE

10 0 5 10 20 40

(IN FEET)
1 inch = 10 ft.

No.	Revisions	Date
3	TOWN COMMENTS	6/15/2021
2	TOWN COMMENTS	5/17/2021
1	ADDING PERVIOUS PAVEMENT	4/19/2021

THIS PLAN NOT VALID FOR CONSTRUCTION WITHOUT ENGINEERS SEAL & SIGNATURE

PROJECT:

PROPOSED BUILDING
191 ASHFORD AVENUE
VILLAGE OF DOBBS FERRY
WESTCHESTER COUNTY – NEW YORK

TRIBUTARY AREA MAP

STATE OF NEW YORK
MICHAEL F. STEIN
10 Dec 2021
No. 80657
LICENSED PROFESSIONAL ENGINEER

HEC
HUDSON ENGINEERING & CONSULTING, P.C.
45 Knollwood Road - Suite 201
Elmsford, New York 10523
T: 914-909-0420
F: 914-560-2086

Date: 03/23/21
Scale: 1" = 10'
Designed By: D.T.
Checked By: M.S.
Sheet: 1 / 1
Sheet No.
TAP