

**SUBMISSION REQUIREMENTS FOR LARGE SCOPE PROJECTS**

**Definition of a Large Scope Project:** New buildings or modification(s) of existing buildings, including, but not limited to: the construction, reconstruction, replacement or alteration of any building or structure which after said construction, reconstruction, replacement or alteration will cause changes to the height, bulk, mass, square footage, footprint, roof structure, attached porch or deck. This shall include any unattached accessory structure such as a shed, playhouse, pool house, garage, greenhouse or other structure which use is incidental to the principal building.

Applicant Name: Thomas Haynes - Haynes Architecture PC Date Filed 04-28-2020

Property Address: 26 Judson Avenue

Check Application Type (may be more than one):

☐ New Building      ☒ Altered Building      ☐ Accessory Building      ☐ Porch or Deck

Description of Proposed Work:

Proposed right side addition and interior alteration- including kitchen renovation, reconfigured space and removal of staircase

A copy of this completed form is to be included as a cover sheet for each of the 11 submissions to the AHRB.

In the table below, please indicate the type of submission by checking the applicable box or boxes indicated. Items denoted • in the column below your project type are the minimum required items for a complete application to the AHRB. Please indicate the type of submission. Please indicate by initialing each box in the appropriate column confirming that the information has been submitted. Do not initial for items if they are not included.

The AHRB reserves the right to ask for any additional information as specified on this form, if not included in the initial application, and may deem the application incomplete and not ready for review until this information is included. Resubmissions should reflect all comments made at the previous meeting and should be indicated with a note or a bubble on the plan, and shall include any additional requested information.

Initial Below ↓	<input type="checkbox"/> 1 <sup>st</sup> Story Porch or Deck	<input type="checkbox"/> Accessory Building	<input checked="" type="checkbox"/> Altered Building	<input type="checkbox"/> New Building	
TH	•	•	•	•	Proof of notification of the AHRB hearing to owners of properties within 200 feet of the subject property by certified mailing in the form of an affidavit as per 300-8.4.G (1) (One copy only, not 9)
*SEE ATTACHED LETTER	•	•	•	•	Photo of subject property showing "Under AHRB Review" sign as per 300-8.4.G (2). (One copy only, not 9)

← Check Box (or Boxes) Above Appropriate Columns

### REQUIRED PLAN AND DOCUMENT SUBMISSION

11 COPIES OF EACH ITEM  
(unless otherwise specified)

CONTINUED ON NEXT PAGE

Initial Below ↓	<input type="checkbox"/> 1 <sup>st</sup> Story Porch or Deck	<input type="checkbox"/> Accessory Building	<input checked="" type="checkbox"/> Altered Building	<input type="checkbox"/> New Building	
TH	●	●	●	●	Aerial site location map noting proposed building site and all nearby existing buildings. (Google Maps satellite view may be used.)
TH	●	●	●	●	Current Survey
TH	●	●	●	●	Detailed 1/4" scale elevations <u>and</u> floor plans of <u>both</u> existing and proposed conditions.
TH	●	●	●	●	Material, finish and color schedule is included <u>on</u> submitted plans.
TH	●	●	●	●	Provide a note on plan indicating that all exterior lighting shall comply with section 300-4.1
TH	●	●	●	●	Specification sheet for each new exterior light fixture.
TH	●	●	●	●	Site Plan
TH	●	●	●	●	Specification sheets for all new windows and doors.
TH	●	●	●	●	(One set only, not nine) of actual material, finish and color samples to be presented at AHRB meeting.
TH	●	●	●	●	Site location plan indicating proposed building site and all relevant buildings as noted in section: 300-4.1.C (3)
TH	●	●	●	●	Topographical Site Plan for (but not limited to) context based bulk analysis as per section: 300-4.1.C (3)
TH	●	●	●	●	Mechanical Equipment locations, including visual screening and sound attenuation provisions.
TH	●	●	●	●	Table of Zoning Calculations indicating compliance with Dimensional Tables, Appendix B,
TH	●	●	●	●	Table of eave & ridge heights as noted in the Appendix B, Table B-7
TH	●	●	●	●	A scaled streetscape drawing, using the above information, showing the houses on the contiguous lots, facing upon the same street, as the subject property.
TH	●	●	●	●	Diagram of Sky Exposure Plane envelope as per Definitions, section 300.2.1
TH	●	●	●	●	Landscape Plan
TH	●	●	●	●	Sections through important elevations.
TH	●	●	●	●	Sections through typical trim at a scale to clearly show profiles, trims, corners and their sizes.
TH	●	●	●	●	Photos of streetscape as noted in section: 300-4.1.C (3)
TH	●	●	●	●	Photos of all affected sides of existing structure and context.

Applicant Name: Thomas Haynes Signature:  Date: 04-27-2020  
By signing this form you are affirming that you have included all the required information listed above.

Complete application received by the Village of Dobbs Ferry, on behalf of the Dobbs Ferry AHRB by:

Name: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

**Date Mailed** 04-28-2020

**Via Certified Mail**

**Dear Neighbor:**

**This is a notification that the owner of the property located at:**

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❖ 26 Judson Avenue

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**Has filed an application with the Village of Dobbs Ferry to do the following:**

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✎ Proposed right side addition and interior alteration- including kitchen renovation,  
reconfigured space and removal of staircase

**The applicant will present the proposal to the following checked Board/Boards at their next available meeting, please check the calendars and agendas on the village web site for the exact date they will first appear before the board:**

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- Board Of Trustees; meet 2<sup>nd</sup> & 4<sup>th</sup> Tuesdays at 7:30 PM
- Planning Board; meet 1<sup>st</sup> Thursday at 8:00 PM
- Zoning Board of Appeals; meet 2<sup>nd</sup> Wednesday at 8:00 PM
- ✎ Architectural & Historic Review Board; meet 2<sup>nd</sup> & 4<sup>th</sup> Mondays at 8:00 PM

**The meetings are held in the Village Board room located at 112 Main St and the plans are on file at the Building Department. Any comments or questions pertaining to this application should be voiced at the appropriate board meeting.**

**Owner name:**

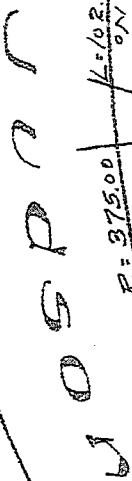
Robert Musliner

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607439

Robert F. Marshall

# The Masters School



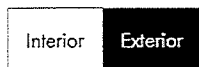
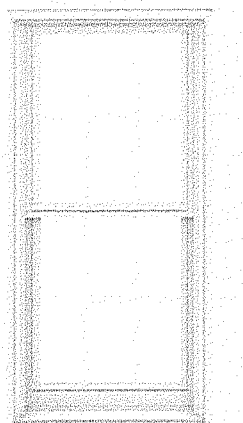
Prepared for

in the Village of

Town of Greerburgh

000121-40-000000-000000

# 400 Series Double-Hung Window



SAVE

FIND A DEALER

PRODUCT  
DETAILS

REQUEST A  
QUOTE

Product Name	400 Series Double-Hung Window
Product ID#	TW2642
Unit Width	31 5/8"
Unit Height	52 7/8"
Interior Color	White
Glass	Low-E4® Glass
Hardware	Standard Lock and Keeper, White
Optional Hardware	None, White
Grille Pattern	Colonial
Grille Width	3/4"
Exterior Color	White
Exterior Trim Profile	3.5" Flat w/ Sill Nose
Exterior Trim Color	White

\* Distressed bronze and oil rubbed bronze are 'living' finishes that will change with time and use.

\* Options shown are not available for all products within the series. Computer monitor limitations prevent exact color duplication. For an accurate representation of color options please view actual color samples available at your Andersen window & patio door supplier.

**Table of Tilt-Wash Double-Hung Window Sizes**

Scale 1/8" (3) = 1'-0" (305) – 1:96

Window Dimension	1'-9 5/8"	2'-1 5/8"	2'-5 5/8"	2'-7 5/8"	2'-9 5/8"	2'-11 5/8"	3'-1 5/8"	3'-5 5/8"	3'-9 5/8"
	(549)	(651)	(752)	(803)	(854)	(905)	(956)	(1057)	(1159)
Minimum Rough Opening	1'-10 1/8"	2'-2 1/8"	2'-6 1/8"	2'-8 1/8"	2'-10 1/8"	3'-0 1/8"	3'-2 1/8"	3'-6 1/8"	3'-10 1/8"
	(562)	(664)	(765)	(816)	(867)	(917)	(968)	(1070)	(1172)
Unobstructed Glass (lower sash only)	15"	19"	23"	25"	27"	29"	31"	35"	39"
	(381)	(483)	(584)	(635)	(686)	(737)	(787)	(889)	(991)

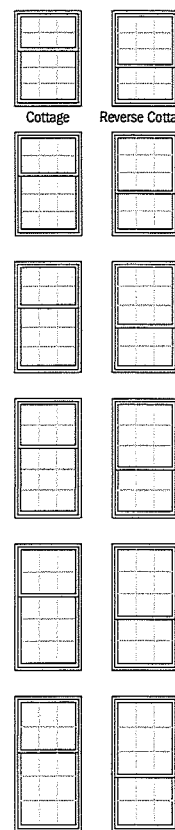
**CUSTOM WIDTHS — 21 5/8" to 45 5/8"**

**CUSTOM HEIGHTS — 36 7/8" to 92 7/8"**

3'-0 7/8" (937)	TW18210	TW20210	TW24210	TW26210	TW28210	TW210210	TW30210	TW34210	TW38210
3'-4 7/8" (1038)	TW1832	TW2032	TW2432	TW2632	TW2832	TW21032	TW3032	TW3432	TW3832
3'-8 7/8" (1140)	TW1836	TW2036	TW2436	TW2636	TW2836	TW21036	TW3036	TW3436	TW3836
4'-0 7/8" (1241)	TW18310	TW20310	TW24310	TW26310	TW28310	TW210310	TW30310	TW34310	TW38310
4'-4 7/8" (1343)	TW1842	TW2042	TW2442	TW2642	TW2842	TW21042	TW3042	TW3442	TW3842
4'-8 7/8" (1445)	TW1846	TW2046	TW2446	TW2646	TW2846	TW21046	TW3046°	TW3446°	TW3846°
5'-0 7/8" (1546)	TW18410	TW20410	TW24410	TW26410	TW28410	TW210410°	TW30410°	TW34410°	TW38410°
5'-4 7/8" (1648)	TW1852	TW2052	TW2452	TW2652	TW2852°	TW21052°	TW3052°	TW3452°	TW3852°
5'-8 7/8" (1749)	TW1856	TW2056	TW2456	TW2656°	TW2856°	TW21056°	TW3056°	TW3456°	TW3856°
6'-0 7/8" (1851)	TW18510	TW20510	TW24510°	TW26510°	TW28510°	TW210510°	TW30510°	TW34510°	TW38510°
6'-4 7/8" (1953)	TW1862	TW2062	TW2462°	TW2662°	TW2862°	TW21062°	TW3062°	TW3462°	TW3862°

Custom-size windows are available in 1/8" (3) increments

Cottage or reverse cottage sash ratio available for these heights in all widths. Size tables for cottage or reverse cottage sash are available at [andersenwindows.com](http://andersenwindows.com).

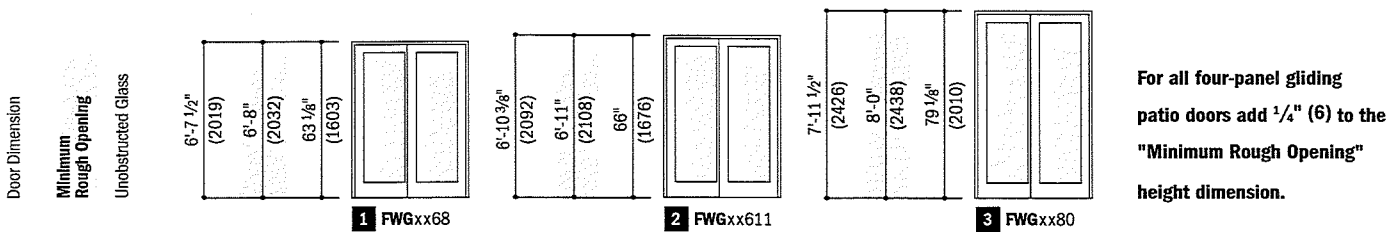


- "Window Dimension" always refers to outside frame to frame dimension.
- "Minimum Rough Opening" dimensions may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items.
- Dimensions in parentheses are in millimeters.
- Meet or exceed clear opening area of 5.7 sq.ft. or 0.53 m², clear opening width of 20" (508) and clear opening height of 24" (610).

continued on next page

# FRENCHWOOD® GLIDING PATIO DOORS

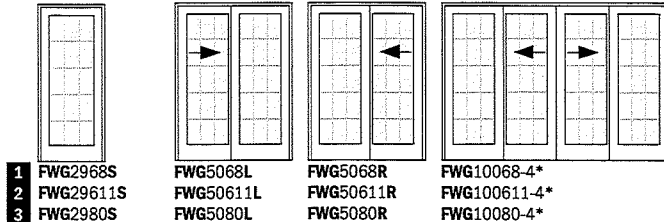
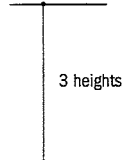
## Three Patio Door Heights



## Table of Frenchwood® Gliding Patio Door Sizes

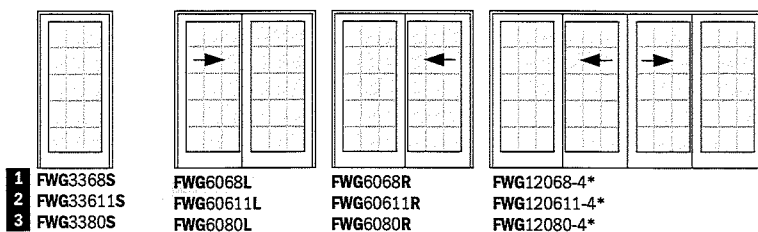
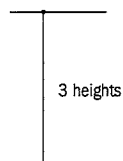
Scale 1/8" (3) = 1'-0" (305) – 1:96

Door Dimension	2'-8"	4'-11 1/4"	4'-11 1/4"	9'-9"
	(813)	(1505)	(1505)	(2972)
<b>Minimum Rough Opening</b>	2'-8 3/4"	5'-0"	5'-0"	9'-9 3/4"
	(832)	(1524)	(1524)	(2991)
Unobstructed Glass (single panel only)	21 1/8"	21 1/8"	21 1/8"	21 1/8"
	(537)	(537)	(537)	(537)



Custom-size doors are available in 1/8" (3) increments between the smallest and largest standard door sizes. **Measurement guide** can be found at [andersenwindows.com/measure](http://andersenwindows.com/measure). Some restrictions apply. Contact your Andersen supplier for availability.

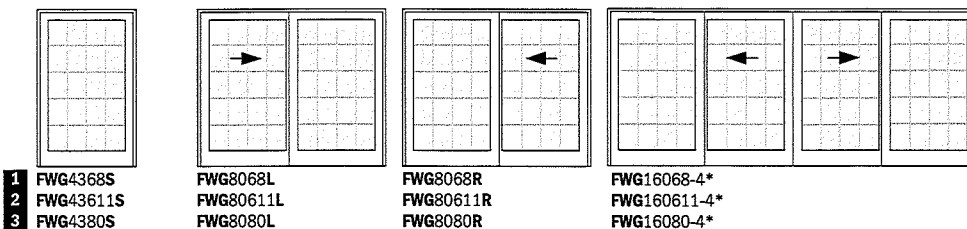
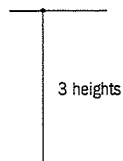
Door Dimension	3'-2"	5'-11 1/4"	5'-11 1/4"	11'-9"
	(965)	(1810)	(1810)	(3581)
<b>Minimum Rough Opening</b>	3'-2 3/4"	6'-0"	6'-0"	11'-9 3/4"
	(984)	(1829)	(1829)	(3600)
Unobstructed Glass (single panel only)	27 1/8"	27 1/8"	27 1/8"	27 1/8"
	(689)	(689)	(689)	(689)



Exterior views shown. Arrow indicates direction of panel operation.

Stationary (S) doors can be used as an individual unit or as a sidelight. Two-panel doors are available factory assembled and arrive at the jobsite ready to install.

Door Dimension	4'-2"	7'-11 1/4"	7'-11 1/4"	15'-9"
	(1270)	(2419)	(2419)	(4801)
<b>Minimum Rough Opening</b>	4'-2 3/4"	8'-0"	8'-0"	15'-9 3/4"
	(1289)	(2438)	(2438)	(4820)
Unobstructed Glass (single panel only)	39 1/8"	39 1/8"	39 1/8"	39 1/8"
	(994)	(994)	(994)	(994)



- \* "Door Dimension" always refers to outside frame to frame dimension.
- \* "Minimum Rough Opening" dimensions may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items.
- \* Dimensions in parentheses are in millimeters.
- \* Add 1/4" (6) to the "Minimum Rough Opening" height dimension for four-panel doors.

### Custom Patio Door Size Range



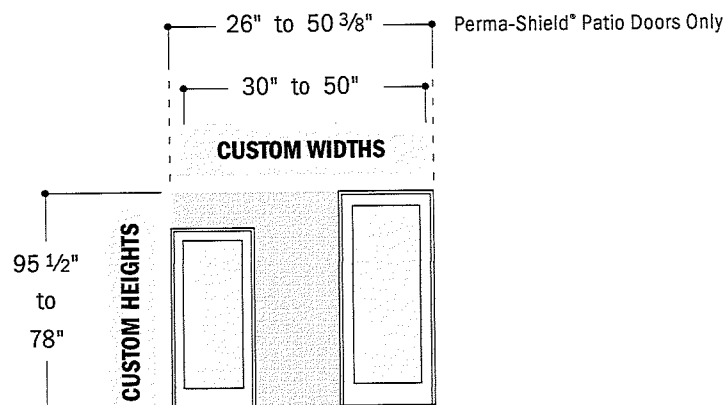
Available in 1/8" (3) increments between minimum and maximum widths and heights.

Some restrictions apply, contact your Andersen supplier. **Measurement guide** for custom sized patio doors can be found at [andersenwindows.com/measure](http://andersenwindows.com/measure).

#### Single Stationary Panel

ANDERSEN<sup>®</sup> 400 SERIES  
FRENCHWOOD<sup>®</sup> GLIDING PATIO  
DOORS

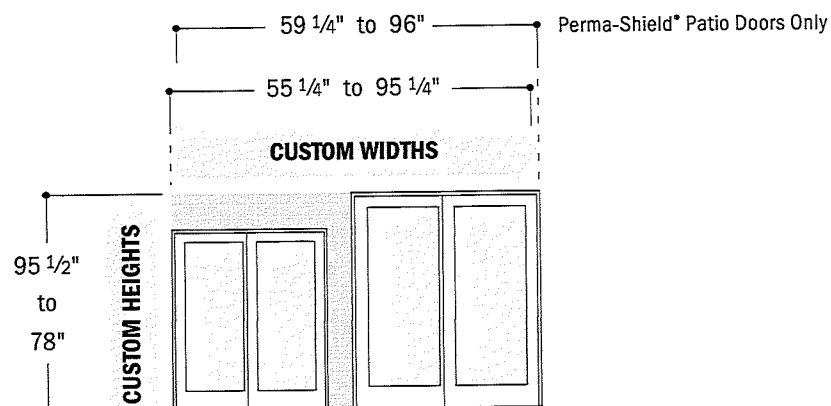
ANDERSEN 200 SERIES  
NARROLINE<sup>®</sup> & PERMA-SHIELD<sup>®</sup>  
GLIDING PATIO DOORS



#### 2-Panel

ANDERSEN 400 SERIES  
FRENCHWOOD GLIDING PATIO  
DOORS

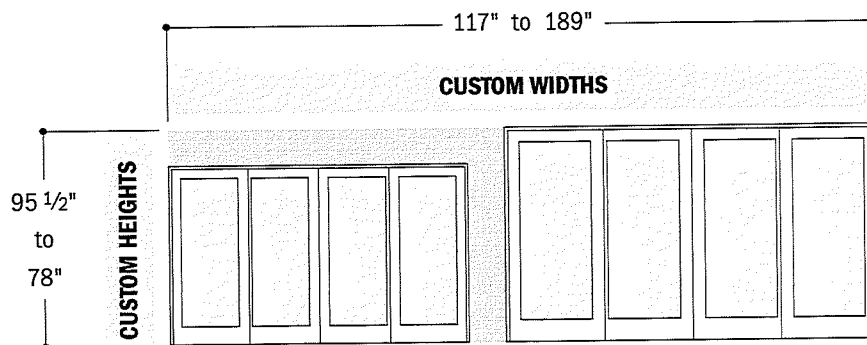
ANDERSEN 200 SERIES  
NARROLINE & PERMA-SHIELD  
GLIDING PATIO DOORS



#### 4-Panel

ANDERSEN 400 SERIES  
FRENCHWOOD GLIDING  
PATIO DOORS

ANDERSEN 200 SERIES  
NARROLINE GLIDING PATIO  
DOORS



- "Door Dimension" always refers to outside frame to frame dimension.
- Dimensions in parentheses are in millimeters.

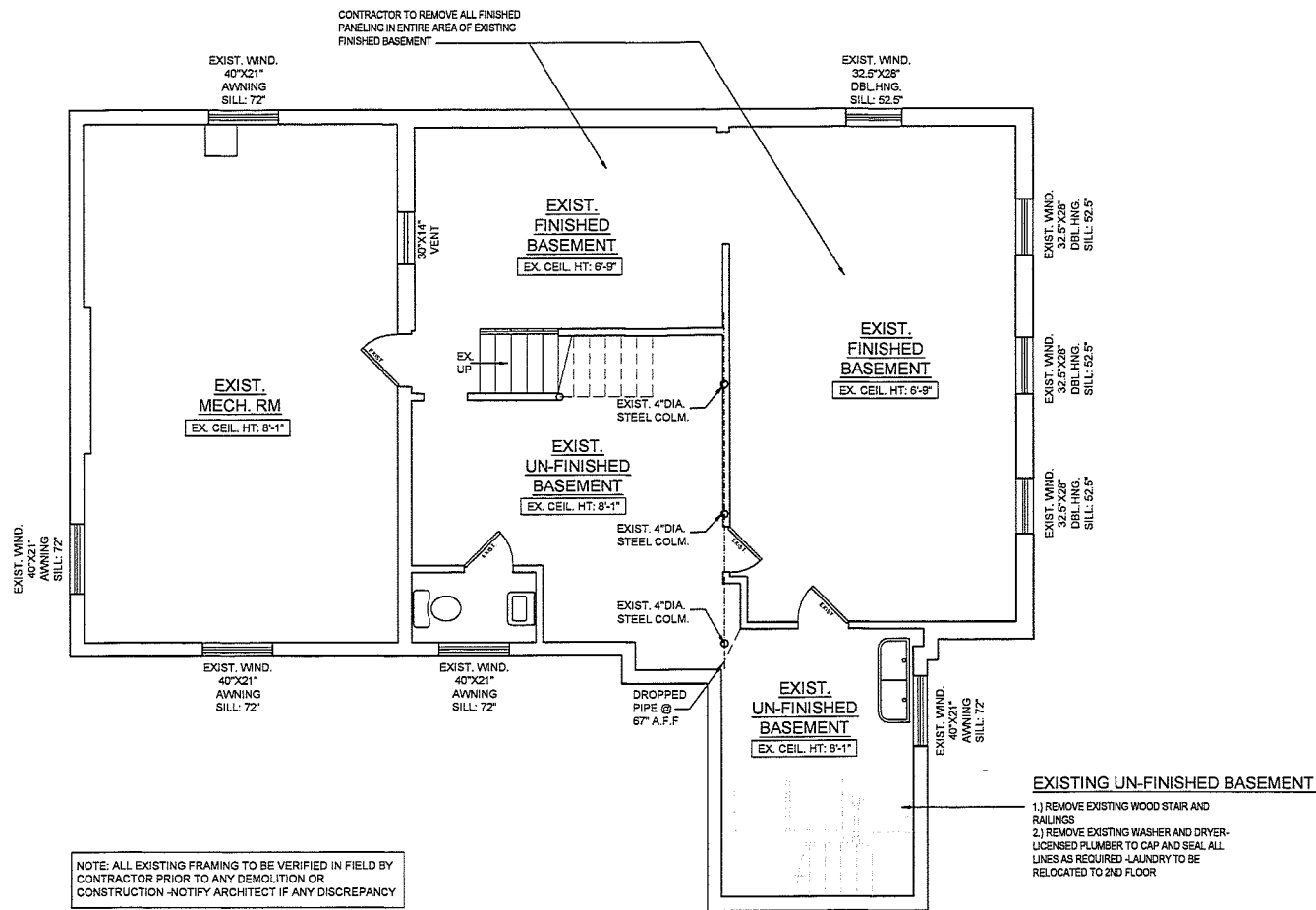
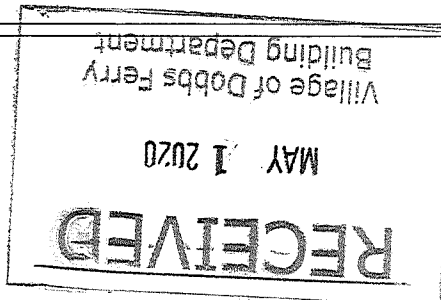


**Frenchwood® Gliding Patio Door Opening and Area Specifications**

Door Number	Clear Opening in Full Open Position			Glass Area Sq. Ft./ (m²)	Vent Sq. Ft./ (m²)	Overall Door Area Sq. Ft./ (m²)
	Clear Opening Sq. Ft./ (m²)	Width Inches/ (mm)	Height Inches/ (mm)			
FWG2968	—	—	—	9.26 (0.86)	—	17.67 (1.64)
FWG3368	—	—	—	11.89 (1.11)	—	20.98 (1.95)
FWG4368	—	—	—	17.15 (1.59)	—	27.60 (2.56)
FWG5068	11.58 (1.08)	22 1/8" (562)	75 3/8" (1915)	18.52 (1.72)	11.58 (1.08)	32.71 (3.04)
FWG6068	14.72 (1.37)	28 1/8" (714)	75 3/8" (1915)	23.78 (2.21)	14.72 (1.37)	39.34 (3.66)
FWG8068	21.00 (1.95)	40 1/8" (1019)	75 3/8" (1915)	34.30 (3.19)	21.00 (1.95)	52.59 (4.89)
FWG10068	23.42 (2.18)	44 3/4" (1137)	75 3/8" (1915)	37.04 (3.44)	23.42 (2.18)	64.59 (6.00)
FWG12068	29.70 (2.76)	56 3/4" (1441)	75 3/8" (1915)	47.55 (4.42)	29.70 (2.76)	77.84 (7.23)
FWG16068	42.27 (3.93)	80 3/4" (2051)	75 3/8" (1915)	68.60 (6.37)	42.27 (3.93)	104.34 (9.69)
FWG29611	—	—	—	9.68 (0.90)	—	18.31 (1.70)
FWG33611	—	—	—	12.43 (1.16)	—	21.74 (2.02)
FWG43611	—	—	—	17.93 (1.67)	—	28.60 (2.66)
FWG50611	12.04 (1.12)	22 1/8" (562)	78 3/16" (1987)	19.36 (1.80)	12.04 (1.12)	33.89 (3.15)
FWG60611	15.31 (1.42)	28 1/8" (714)	78 3/16" (1987)	24.86 (2.31)	15.31 (1.42)	40.76 (3.79)
FWG80611	21.84 (2.03)	40 1/8" (1019)	78 3/16" (1987)	35.85 (3.33)	21.84 (2.03)	54.49 (5.06)
FWG100611	24.36 (2.26)	44 3/4" (1137)	78 3/16" (1987)	38.72 (3.60)	24.36 (2.26)	66.93 (6.22)
FWG120611	30.89 (2.87)	56 3/4" (1441)	78 3/16" (1987)	49.71 (4.62)	30.89 (2.87)	80.66 (7.49)
FWG160611	43.95 (4.08)	80 3/4" (2051)	78 3/16" (1987)	71.71 (6.66)	43.95 (4.08)	108.12 (10.04)
FWG2980	—	—	—	11.60 (1.08)	—	21.22 (1.97)
FWG3380	—	—	—	14.90 (1.38)	—	25.20 (2.34)
FWG4380	—	—	—	21.49 (2.00)	—	33.16 (3.08)
FWG5080	14.04 (1.30)	22 1/8" (562)	91 3/8" (2321)	23.20 (2.16)	14.04 (1.30)	39.29 (3.65)
FWG6080	17.85 (1.66)	28 1/8" (714)	91 3/8" (2321)	29.80 (2.77)	17.85 (1.66)	47.25 (4.39)
FWG8080	25.46 (2.37)	40 1/8" (1019)	91 3/8" (2321)	42.98 (3.99)	25.46 (2.37)	63.17 (5.87)
FWG10080	28.40 (2.64)	44 3/4" (1137)	91 3/8" (2321)	46.40 (4.31)	28.40 (2.64)	77.59 (7.21)
FWG12080	36.01 (3.35)	56 3/4" (1441)	91 3/8" (2321)	59.60 (5.54)	36.01 (3.35)	93.51 (8.69)
FWG16080	51.24 (4.76)	80 3/4" (2051)	91 3/8" (2321)	85.96 (7.99)	51.24 (4.76)	125.34 (11.64)

• Dimensions in parentheses are in millimeters or square meters.

Proposed Alterations at:  
**26 JUDSON AVENUE**  
DOBBS FERRY, NEW YORK



BASEMENT FLOOR DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA											
2017 NEW YORK STATE UNIFORM CODE SUPPLEMENT											
Ground Snow Load (psf)	Wind Speed (mph)	Topographic effects	Special wind region	Wind-borne debris zone	Seismic Design Category	Subject to Damage From:		Wind Design Temp.	Ice Barrier Underlayment Required	Flood Hazards	Mean Annual Temp.
30	120	NO	YES	NO	B	Weathering	Frost Line Depth	Temperate	15deg F	See Below	52deg F

FLOOD HAZARDS:  
A) First code date of adoption July 9, 1980  
B) Date of Flood Insurance Study Jan. 21, 1999  
C) Map panel numbers 35119C0307F through 35119C0338F effective Sept. 28, 2007

**SMOKE DETECTOR NOTES**

PROVIDE DETECTORS AS PER SECTION R314 OF THE 2015 IRC.

DEVICES TO BE LOCATED AS FOLLOWS:

- ONE FOR EACH SLEEPING ROOM
- ONE DIRECTLY OUTSIDE EACH SLEEPING ROOM
- ONE FOR EACH STORY, INCLUDING BASEMENT

DEVICES LOCATED IN AREAS WHERE INTERIOR WALL OR CEILING FINISHES ARE NOT REMOVED TO EXPOSE THE STRUCTURE CAN BE BATTERY OPERATED AND ARE NOT REQUIRED TO BE INTERCONNECTED, EXCEPT THAT INTERCONNECTION IS REQUIRED IF THE ROOMS CAN BE ACCESSED THROUGH THE ATTIC FLOOR.

**CARBON MONOXIDE ALARM NOTES**

PROVIDE DETECTORS AS PER SECTION R314 OF THE 2015 IRC.

DEVICES TO BE LOCATED AS FOLLOWS:

- ONE FOR EACH STORY HAVING A SLEEPING AREA
- ONE FOR EACH STORY WHERE FUEL FIRED APPLIANCES AND EQUIPMENT OR ATTACHED GARAGES ARE LOCATED

DEVICES LOCATED IN AREAS WHERE INTERIOR WALL OR CEILING FINISHES ARE NOT REMOVED TO EXPOSE THE STRUCTURE CAN BE BATTERY OPERATED AND ARE NOT REQUIRED TO BE INTERCONNECTED. ALARMS MUST BE LOCATED WITHIN 10 FEET OF ANY BEDROOM DOOR AND MUST HAVE A DIGITAL READ-OUT.

# 2016 IECC - CODE

NOTE: CHART UPDATED AS PER THE 2016 SUPPLEMENT NYS IECC

DESIGN DATA: FIGURE 301.1 AND TABLE 301.1

CLIMATE ZONE: 4A

CODE DESIGN APPROACH: CHAPTER 4 (TABLE 402.1.2)

HEATING TYPE: GAS FIRED FORCED HOT AIR

## R-VALUE

DESCRIPTION	REQUIRED	PROPOSED
CEILING	R-49	R-49
WOOD FRAME WALL	R-20-5 or 13+10	R-20 + 5
MASS WALL	R-15/20	N.A.
FLOOR	R-30	R-30
BASEMENT WALL	R-15/19	N.A.
SLAB FLOOR	R-10 / 4-FT.	N.A.
CRAWL SPACE WALL	R-15 / 19	N.A.

## U-VALUE

DESCRIPTION	COMMENTS	REQUIRED	PROPOSED
FENESTRATION	DOUBLE PANE, LOW E WITH ARGON	0.32	0.25

### NOTES:

- ALL NEW WINDOWS SHALL HAVE INSULATED GLASS
- ALL NEW DOORS SHALL BE FULLY WEATHERSTRIPPED
- PROVIDE CAULKING AROUND ALL DOORS AND WINDOWS TO PREVENT AIR INFILTRATION INTO BUILDING
- PROVIDE CAULKING AROUND ALL FLOOR & CEILING PENETRATIONS (MECHANICAL, PLUMBING AND ELECTRICAL)
- ALL NEW INSULATIONS TO BE FIBERGLASS BATT WITH FOIL FACED VAPOR BARRIER

1. THOMAS E. HAYNES CERTIFY THAT THE DESIGN SHOWN ON THESE CONSTRUCTION DOCUMENTS IS IN COMPLIANCE WITH ALL REQUIREMENTS OF THE 2015 INTERNATIONAL ENERGY CONSERVATION CONSTRUCTION CODE AND THE 2016 ENERGY CODE SUPPLEMENT

PROJECT DIRECTORY

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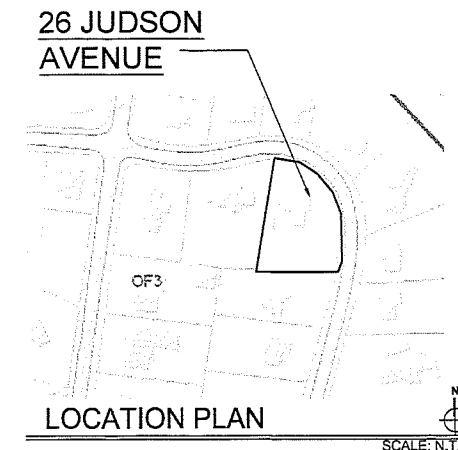
OWNER:

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DESIGNATION FOR STRUCTURAL COMPONENTS THAT ARE OF TRUSS TYPE CONSTRUCTION

4\"/>	FLOOR FRAMING, INCLUDING GIRDERS AND BEAMS
4\"/>	ROOF FRAMING
4\"/>	FLOOR AND ROOF FRAMING

Printkey/TaxID: 3.120-116-6  
ZONE: OF3



Proposed Alterations at:  
**26 JUDSON AVENUE**  
Dobbs Ferry, New York

LOCATION PLAN / PLOT PLAN

Seal: Architect Thomas E. Haynes

date: 02-10-2020  
drawn by: TJH  
checked by: TEH  
drawing no.: A001



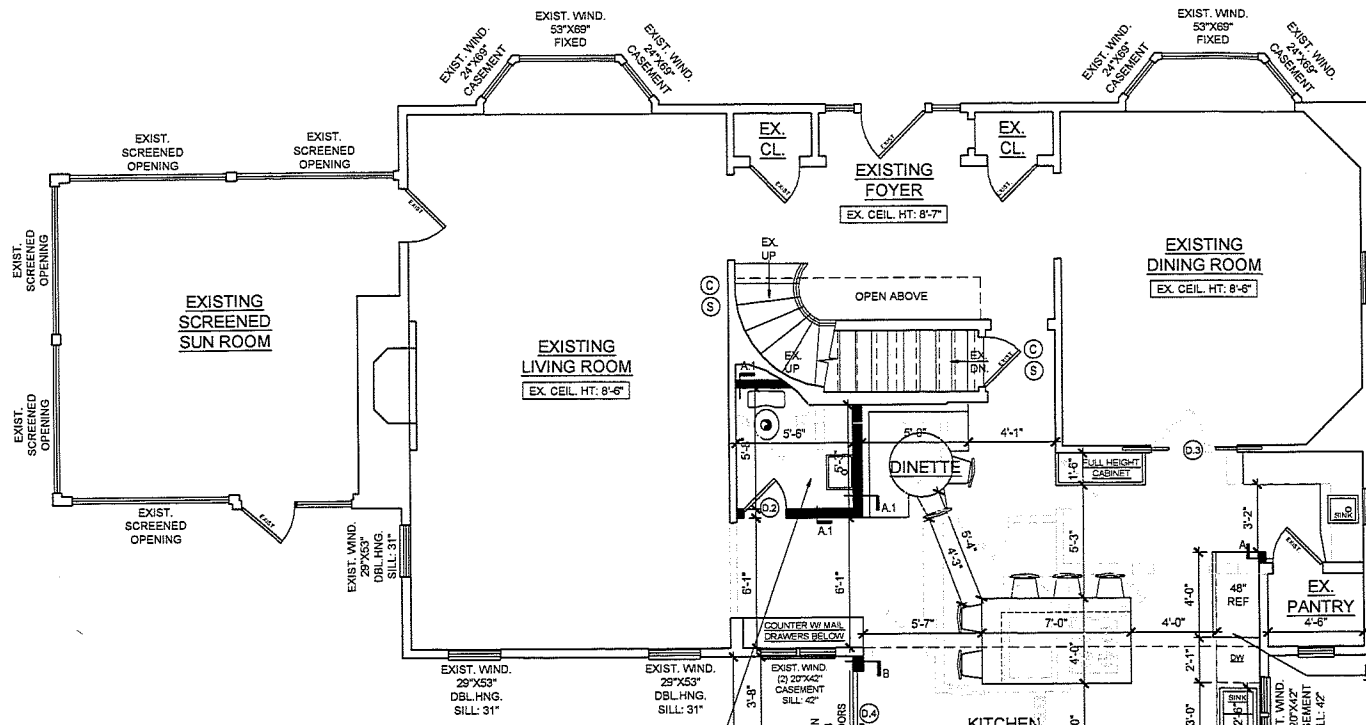
NOTE: ROOF DESIGN LOAD IS 40# LIVE LOAD  
ATTIC DESIGN LOAD IS 35# LIVE LOAD  
1ST FLOOR DESIGN LOAD IS 40# LIVE LOAD / 10# DEAD LOAD  
WOOD DECK DESIGN LOAD IS 40# LIVE LOAD / 10# DEAD LOAD  
ALL LUMBER IS TO BE DOUGLAS FIR #2 OR BETTER  
ATTACH ATTIC JOISTS TO RAFTERS RUNNING PERPENDICULAR  
WITH 1"x4"x32" LONG MIN. CROSSIES @ 16" O.C. PER R 602.3.1  
ALL FASTENING OF STRUCTURAL MEMBERS SHALL BE AS  
PER TABLE R 602.3(1)  
ALL FLUSH WOOD CONNECTIONS TO RECEIVE TIED  
CONNECTOR / JOIST HANGER -TYP, EACH JOIST AND/OR RAFTER

## CONSTRUCTION LEGEND

#	NEW WALL - SEE WALL DESCRIPTION BELOW
⑤	SMOKE DETECTOR -HARDWARE & BATT. BACK-UP
⑥	CARBON MONOXIDE DETECTOR W/ DIGITAL READ-OUT
⑦	50 CFM MECH. EXHAUST FAN-CONNECT TO SEPARATE SWITCH DUCT TO EXTERIOR

## WALL DESCRIPTIONS

A	NEW 2" X 4" WOOD STUDS @ 16" O.C. FROM F.F. TO WOOD JOIST ABOVE, W/ 1 LAYER 5/8" F.C.-60 GYP. EACH SIDE FROM F.F. TO W.D. JOIST ABOVE.
A.1	SAME AS WALL TYPE "A" WITH ONE LAYER OF 5/8" WATER RESISTANT GREEN BOARD ON MOISTURE SIDE FROM F.F. TO WOOD JOIST ABOVE -NOTE: IN AREAS TO BE TILED, CONTRACTOR TO INSTALL (1) LAYER OF 5/8" CEMENT BOARD
B	VINYL SIDING AS SELECTED BY OWNER -3/4" FELT -5/8" CDX PLYWD. SHEATHING-R-21 CLOSED CELL INSULATION-2"x6" WD. STUDS @ 16" O.C. W/ (1) LAY 5/8" PAINTED GYP. BOARD FINISH ON INTERIOR SIDE -INSTALL BASEBOARD MOLDING AS SELECTED BY OWNER
B.1	SAME AS WALL TYPE "B" WITH ONE LAYER OF 5/8" WATER RESISTANT GREEN BOARD ON BATHROOM SIDE FROM F.F. TO WOOD JOIST ABOVE -NOTE: IN AREAS TO BE TILED, CONTRACTOR TO INSTALL (1) LAYER OF 5/8" CEMENT BOARD
B.2	NEW 2" X 6" WOOD STUDS @ 16" O.C. FROM F.F. TO WOOD JOIST ABOVE, W/ 1 LAYER 5/8" F.C.-60 GYP. EACH SIDE
B.3	NEW 2" X 6" WOOD STUDS @ 16" O.C. FROM F.F. TO WOOD JOIST ABOVE, W/ 1 LAYER 5/8" F.C.-60 GYP. EACH SIDE -R-21 CLOSED CELL INSULATION -INSTALL BASEBOARD MOLDING AS SELECTED BY OWNER
C	10" THK. CONCRETE BLOCK FOUNDATION WALL WITH #4 BARS VERT. @ 16" O.C. (fill cavity in solid) ON 24" WIDE X 12" THICK POURED CONCRETE FOOTING (3,500PSI) -3'-6" MIN. BELOW GRADE WITH 3 #5 BARS CONT. BOTTOM



LIGHT & VENTILATION REQUIREMENTS	
KITCHEN/DINETTE = 358.27 SQ. FT.	REQUIRED LIGHT: 358.27 SQ. FT. X .08 = 28.66 SQ. FT.
REQUIRED VENTILATION: 358.27 SQ. FT. X .04 = 14.33 SQ. FT.	
PROPOSED LIGHT: 5'-1'-8" X 3'-6" CASEMENT = 20.0 SQ. FT.	
2'-3'-0" X 6'-0" SLIDING DOOR = 23.78 SQ. FT.	
PROPOSED VENTILATION: 5'-1'-8" X 3'-6" CASEMENT = 18.0 SQ. FT.	
2'-3'-0" X 6'-0" SLIDING DOOR = 14.72 SQ. FT.	
42.78 SQ. FT. > 28.66 SQ. FT. ✓	
32.72 SQ. FT. > 14.33 SQ. FT. ✓	

## POWER ROOM

- 29.14 SQ. FT.
- 1) INSTALL NEW PARTITIONS AND DOORS AS INDICATED
  - 2) INSTALL NEW PLUMBING FIXTURES AS INDICATED
  - 3) INSTALL NEW 1/2" WOODBOARD ON NEW FLOOR AND CERAMIC TILE/MARBLE OVER AS SPECIFIED BY OWNER
  - 4) INSTALL NEW 1/2" CEMENT BOARD ON WALLS UNDER ANY PROPOSED TILE (IF APPLICABLE)
  - 5) INSTALL NEW 75 CFM (MIN.) MECHANICAL EXHAUST FAN-CONNECT TO SEPARATE SWITCH AND VENT OUT TO EXTERIOR
  - 6) PATCH, TAPE, SAND AND PAINT (1) COAT PRIMER AND (2) COATS OF FINISH PAINT AS SELECTED BY OWNER ON ALL NEW AND EXISTING WALLS AND CEILING. EXISTING WALLS TO BE SKIM COATED WHERE REQUIRED
  - 7) INSTALL NEW VANITY, MIRRORS, LIGHT FIXTURES AND HARDWARE AS SELECTED BY OWNER

## MUDROOM

- 48.44 SQ. FT.
- 1) INSTALL NEW PARTITIONS AND DOORS AS INDICATED
  - 2) INSTALL NEW 7/8" T&G PLYWOOD SUBFLOOR IN REQUIRED AREAS
  - 3) INSTALL NEW 1/2" WOODBOARD (OR APPROVED EQUAL) WITH NEW CERAMIC TILE OR STONE FLOORING (AS SELECTED BY OWNER) OVER WOOD SUBFLOOR AND JOISTS
  - 4) INSTALL NEW WOOD BASEBOARD MOLDINGS AS SELECTED BY OWNER
  - 5) PATCH TAPE, SAND AND PAINT (1) COAT PRIMER AND (2) COATS OF FINISH PAINT AS SELECTED BY OWNER ON ALL WALLS AND CEILING.
  - 6) INSTALL NEW BUILT-IN BENCH SEAT WITH INTEGRATED STORAGE AND COAT HOOKS OVER AS SELECTED BY OWNER -COORDINATE WITH MILLWORKER AND/OR OWNER
  - 7) INSTALL 5/8" GYP. BD. FINISH ON CEILING

## KITCHEN/DINETTE

- 358.27 SQ. FT.
- 1) INSTALL NEW WALLS AS INDICATED
  - 2) INSTALL NEW 3/4" T&G PLYWOOD SUBFLOOR WHERE REQUIRED -INSTALL NEW HARDWOOD FLOORING AS SELECTED BY OWNER -SAND, STAIN AND FLOOR TO RECEIVE (3) COATS OF POLYURETHANE
  - 3) INSTALL NEW WOOD BASEBOARD MOLDINGS AS SELECTED BY OWNER
  - 4) INSTALL REPLACEMENT WINDOWS TO MATCH EXISTING AND NEW DOORS AS SHOWN -INSTALL NEW INTERIOR AND EXTERIOR WINDOW AND DOOR TRIM
  - 5) INSTALL NEW HEADERS WHERE INDICATED ON FRAMING PLAN
  - 6) INSTALL NEW ISLAND AS INDICATED
  - 7) INSTALL NEW KITCHEN CABINETS, COUNTER APPLIANCES AND PLUMBING FIXTURES
  - 8) INSTALL 5/8" GYP. BD. FINISH ON CEILING
  - 9) INSTALL NEW SMOKE & CARBON DETECTOR W/ DIGITAL READ-OUT -HARDWARE WITH BATTERY BACK-UP
  - 10) PATCH, TAPE, SAND AND PAINT (1) COAT PRIMER AND (2) COATS OF FINISH PAINT AS SELECTED BY OWNER ON ALL NEW AND EXISTING WALLS AND CEILING. EXISTING WALLS TO BE SKIM COATED WHERE REQUIRED
  - 11) PROPOSED RANGE TO BE VENTED TO EXTERIOR VENT TO TERMINATE A MIN. OF 36" AWAY FROM ALL WINDOWS OR DOORS

## W.I.C./PANTRY

- 24.24 SQ. FT.
- 1) INSTALL NEW PARTITIONS AND DOOR AS INDICATED
  - 2) INSTALL NEW 7/8" T&G PLYWOOD SUBFLOOR OVER NEW WOOD JOISTS IN AREAS OF REMOVED STAIR
  - 3) IN LOCATION OF NEW TILE FLOORING: ADD NEW 1/2" PERMABASE CEMENT BOARD SUBFLOOR (OR APPROVED EQUAL) WITH NEW CERAMIC TILE OR STONE FLOORING OVER WOOD JOISTS -AS SELECTED BY OWNER
  - 4) INSTALL NEW WOOD BASEBOARD MOLDINGS AS SELECTED BY OWNER
  - 5) PATCH TAPE, SAND AND PAINT (1) COAT PRIMER AND (2) COATS OF FINISH PAINT AS SELECTED BY OWNER ON ALL WALLS AND CEILING.
  - 6) INSTALL 5/8" GYP. BD. FINISH ON CEILING

NOTE: CONTRACTOR TO PROVIDE CLOTHES POLE & SHELF AT ALL CLOSET LOCATIONS -COORDINATE PANTY SHELVING AND ALL BUILT-IN MILLWORK WITH CONTRACTOR AND/OR MILLWORKER -SHOP DRAWINGS TO BE PRESENTED TO OWNER FOR REVIEW AND APPROVAL

NOTE: ALL EXISTING FRAMING TO BE VERIFIED IN FIELD BY CONTRACTOR PRIOR TO ANY DEMOLITION OR CONSTRUCTION -NOTIFY ARCHITECT IF ANY DISCREPANCY

NOTE: ALL EXISTING WINDOWS TO BE REPLACED WITH NEW TO MATCH EXISTING

NOTE: ALL EXISTING HARDWOOD FLOORING TO BE SANDED, STAINED AS PER OWNER'S SUGGESTION AND FINISHED WITH (3) COATS OF POLYURETHANE

## FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

## DOOR TYPE SCHEDULE

NO.	DOOR OPNG	TYPE	REMARKS
D.1	30"x80"	SWING	1 3/4" SOLID CORE DOOR SHAKER STYLE DOOR -SINGLE PANEL -HARDWARE PROVIDED BY OWNER -HINGES AS SPECIFIED BY OWNER AND SUPPLIED BY DOOR MANUFACTURER
D.2	24"x80"	SWING	1 3/4" SOLID CORE DOOR SHAKER STYLE DOOR -SINGLE PANEL -HARDWARE PROVIDED BY OWNER -HINGES AS SPECIFIED BY OWNER AND SUPPLIED BY DOOR MANUFACTURER
D.3	(2) 24"x80"	POCKET	1 3/4" SOLID CORE DOOR SHAKER STYLE DOOR -SINGLE PANEL -HARDWARE PROVIDED BY OWNER -HINGES AS SPECIFIED BY OWNER AND SUPPLIED BY DOOR MANUFACTURER
D.4	(2) 36"x80"	SLIDING	1 3/4" THICK SOLID CORE INSULATED ENTRY DOOR -STAIN GRADE WOOD -STYLE AND MANUFACTURER AS SELECTED BY OWNER
D.5	28"x80"	SWING	1 3/4" SOLID CORE DOOR SHAKER STYLE DOOR -SINGLE PANEL -HARDWARE PROVIDED BY OWNER -HINGES AS SPECIFIED BY OWNER AND SUPPLIED BY DOOR MANUFACTURER
D.6	(2) 36"x80"	SWING	1 3/4" SOLID CORE DOOR SHAKER STYLE DOOR -SINGLE PANEL -HARDWARE PROVIDED BY OWNER -HINGES AS SPECIFIED BY OWNER AND SUPPLIED BY DOOR MANUFACTURER

\*\* NOTE: ALL INSULATED, TYPE "B" LABEL AND ENTRY DOORS TO BE WEATHER STRIPPED AND W/ U-VALUE OF U0.35 MAX



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## REVISIONS:

project title:

## Proposed Alterations at:

26 JUDSON AVENUE

Dobbs Ferry, New York

## FLOOR PLANS / DOOR SCHEDULE / WALL LEGEND

Seal: Architect Thomas E. Haynes

date: 02-10-2020



drawn by: TJH  
checked by: TEH  
drawing no.:

A003

job number:

## BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"

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revisions: \_\_\_\_\_

project title: \_\_\_\_\_

### **Proposed Alterations at:**

**26 JUDSON AVENUE**

**Dobbs Ferry , New York**

## FLOOR PLAN

seal: Architect Thomas E. Haynes

date: 02-10-2020

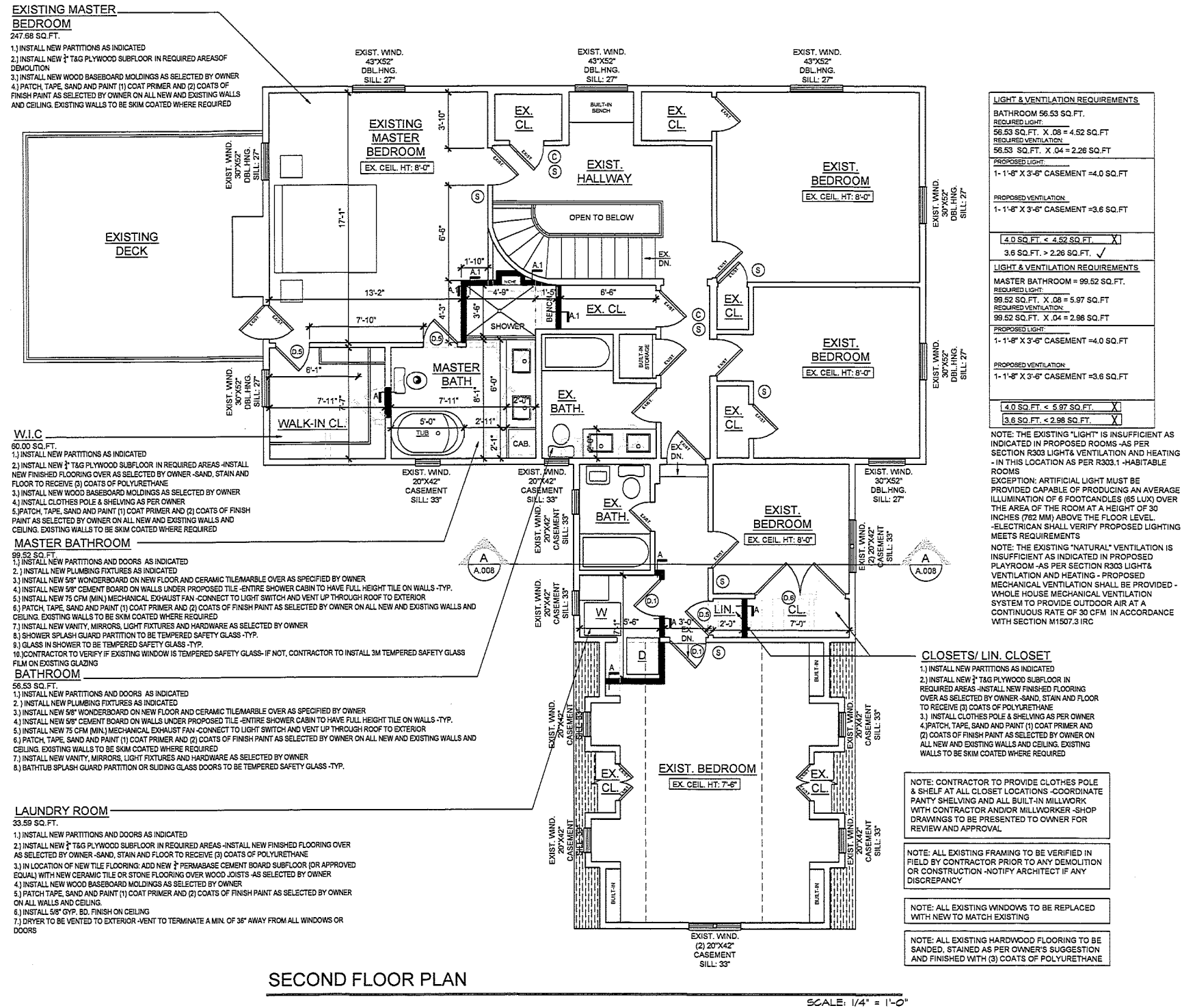
drawn by: TJH

checked by: TEH

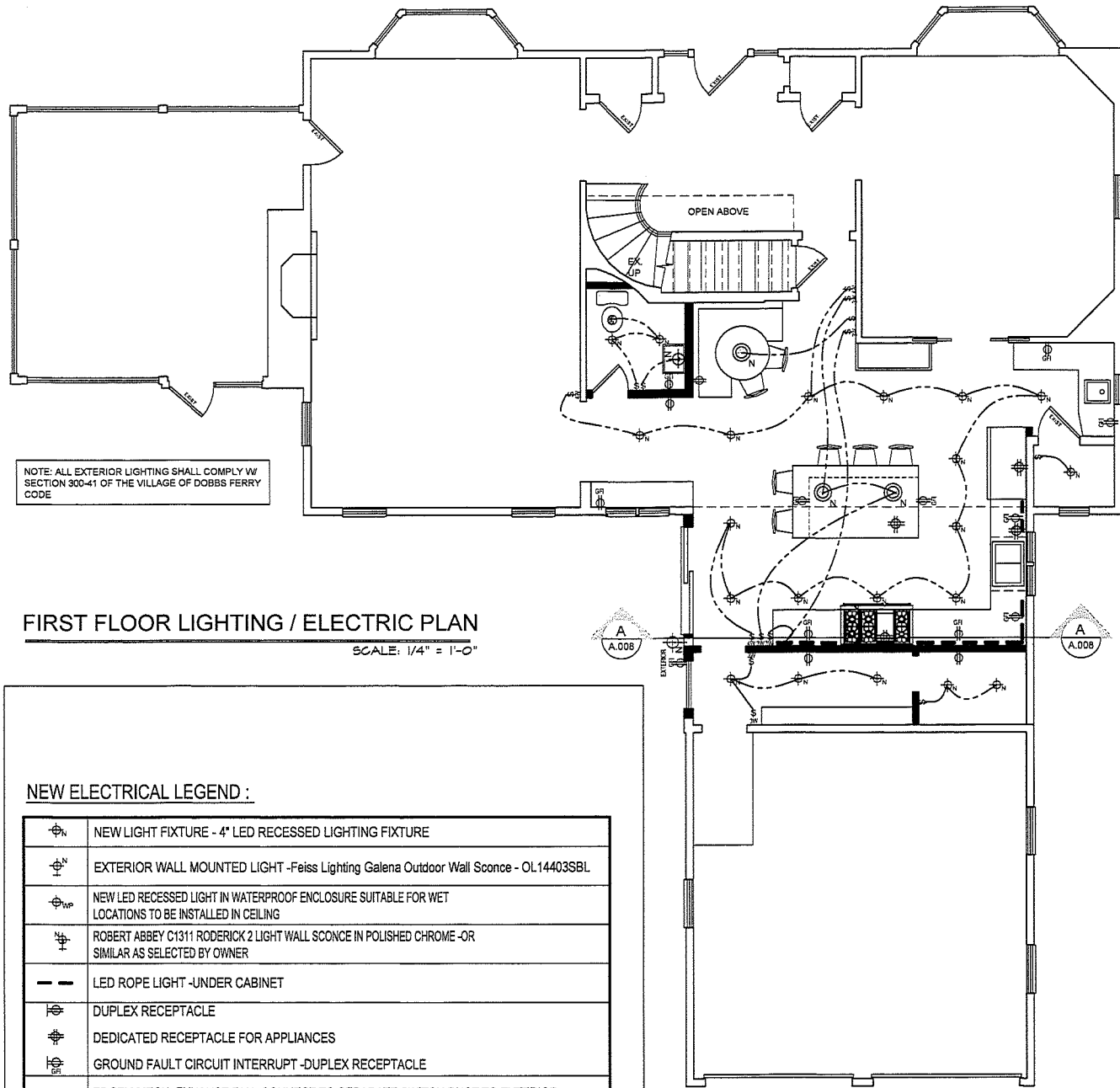
drawing no.:

A004

job number:	
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SCALE: 1/4" = 1'-0"



FIRST FLOOR LIGHTING / ELECTRIC PLAN

SCALE: 1/4" = 1'-0"

NEW ELECTRICAL LEGEND :

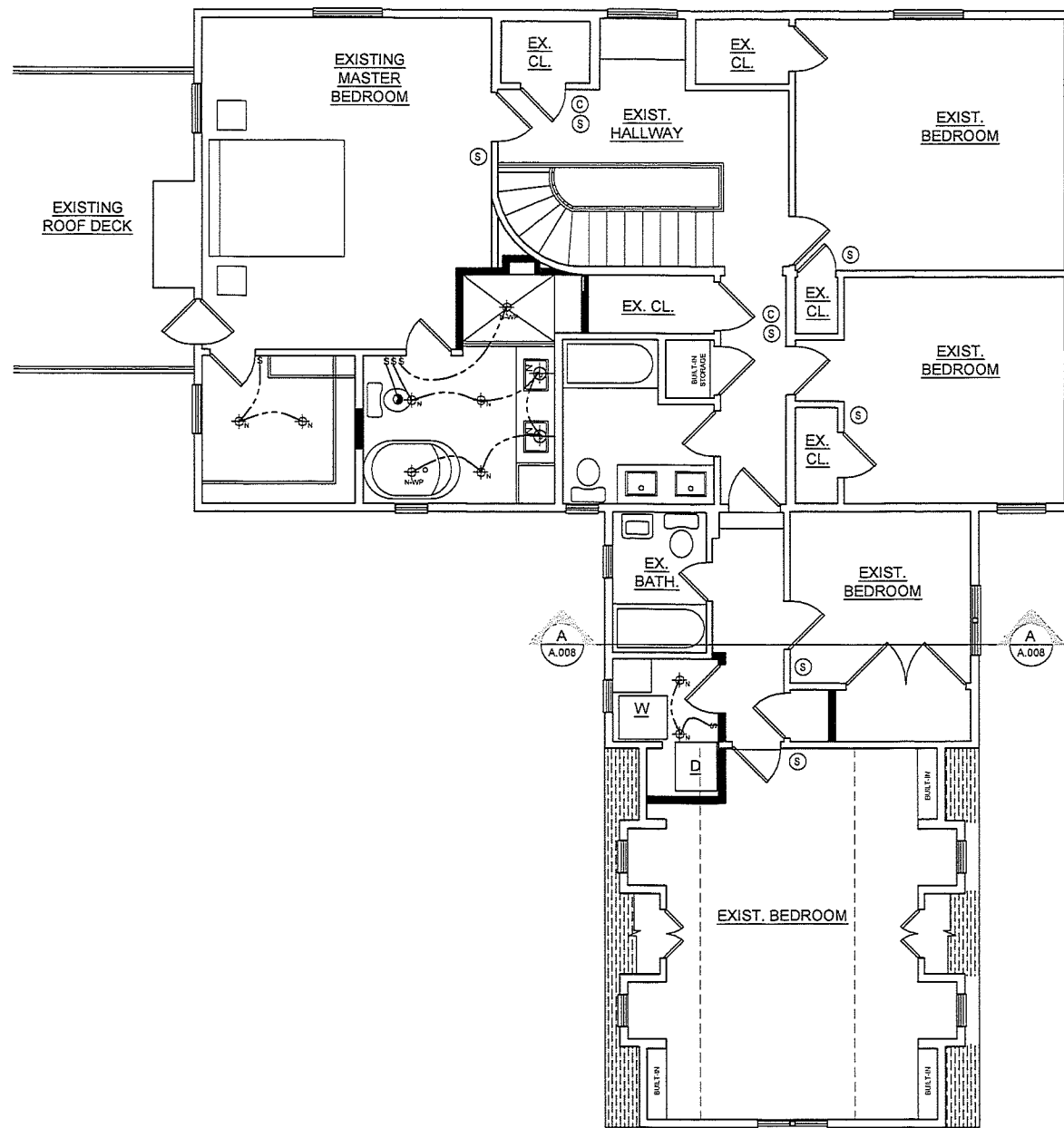
	NEW LIGHT FIXTURE - 4" LED RECESSED LIGHTING FIXTURE
	EXTERIOR WALL MOUNTED LIGHT -Feiss Lighting Galena Outdoor Wall Sconce - OL14403SBL
	NEW LED RECESSED LIGHT IN WATERPROOF ENCLOSURE SUITABLE FOR WET LOCATIONS TO BE INSTALLED IN CEILING
	ROBERT ABBEY C1311 RODERICK 2 LIGHT WALL SCONCE IN POLISHED CHROME-OR SIMILAR AS SELECTED BY OWNER
	LED ROPE LIGHT -UNDER CABINET
	DUPLEX RECEPTACLE
	DEDICATED RECEPTACLE FOR APPLIANCES
	GROUND FAULT CIRCUIT INTERRUPT -DUPLEX RECEPTACLE
	75 CFM MECH. EXHAUST FAN-CONNECT TO SEPARATE SWITCH DUCT TO EXTERIOR

NOTE : ALL LIGHT SWITCHES WITH DIMMER CONTROL TO BE COMPATIBLE WITH LED LIGHTING

	NEW LIGHT SWITCH -LUTRON DIVA OR SIMILAR AS APPROVED BY OWNER -LED DIMMABLE -PROVIDE SCREWLESS SWITCH COVER
	NEW LIGHT 3-WAY SWITCH -LUTRON DIVA OR SIMILAR AS APPROVED BY OWNER -LED DIMMABLE -PROVIDE SCREWLESS SWITCH COVER
	NEW LIGHT 4-WAY SWITCH -LUTRON DIVA OR SIMILAR AS APPROVED BY OWNER -LED DIMMABLE -PROVIDE SCREWLESS SWITCH COVER

ELECTRICAL GENERAL NOTES:

1. INSTALL NEW WIRING FOR MULTIPLE OUTLETS AS INDICATED ON PLAN
2. PROVIDE CATS OR CATS CABLE TO ALL NEW TV LOCATIONS FOR IR EXTENDER -RUN CABLES FROM TV BACK TO WALK-IN CLOSET LOCATIONS
3. INSTALL ALL NEW ELECTRICAL WIRING AS REQUIRED FOR NEW DUPLEX AND GFCI OUTLETS
4. ALL LIGHTING TO BE APPROVED FOR USE IN NY STATE
5. ALL ITEMS IN VERTICAL LINE ARE TO ALIGN ON CENTER, I.E.-THERMOSTATE ABOVE A SWITCH, ETC. ELECTRICIAN TO INSTALL DUPLEX RECEPTACLES AS REQUIRED BY CODE
6. INSTALL LOW VOLTAGE WIRING WHEREVER REQUIRED
7. ALL DIMMER SWITCHES TO BE COMPATIBLE WITH LED LIGHTS AS USED THROUGH-OUT
8. ALL OUTLETS, OTHER THAN GFCI OUTLETS, SHALL BE TAMPER PROOF AS PER CODE.



SECOND FLOOR LIGHTING / ELECTRIC PLAN

SCALE: 1/4" = 1'-0"



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revisions:

project title:

**Proposed Alterations at:**  
**26 JUDSON AVENUE**  
Dobbs Ferry, New York

LIGHTING / ELECTRIC FLOOR PLANS

5021: Architect Thomas E. Haynes date: 02-10-2020

drawn by: TJH  
checked by: TEH  
drawing no.:

A005

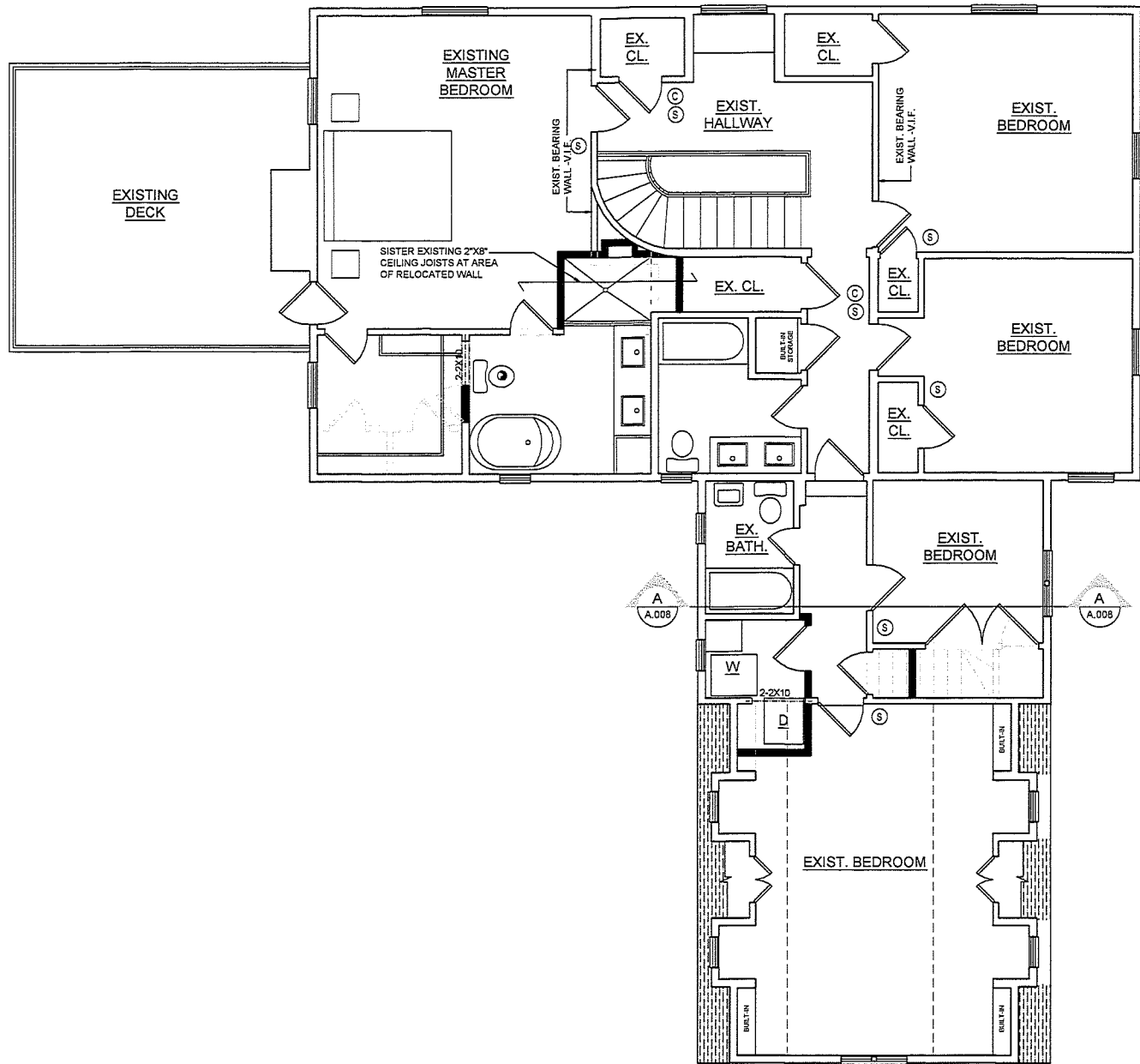
job number:

project title:

job number:	
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SCALE:  $1/4" = 1'-0"$

SCALE: 1/4" = 1'-0"



SECOND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



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revisions:

project title:

**Proposed Alterations at:**  
**26 JUDSON AVENUE**  
Dobbs Ferry, New York

FRAMING FLOOR PLANS

Seal: Architect Thomas E. Haynes



job number:

date: 02-10-2020

drawn by: TJH

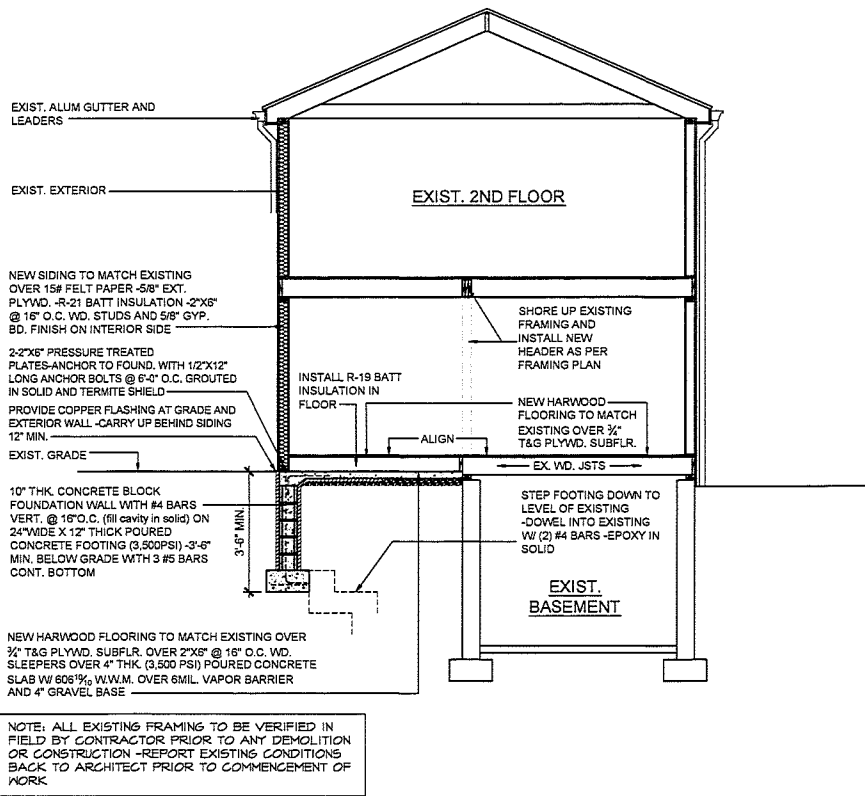
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drawing no.:

A007

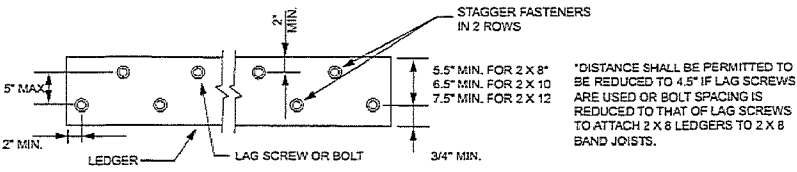






SECTION A-A

SCALE: 1/4" = 1'-0"

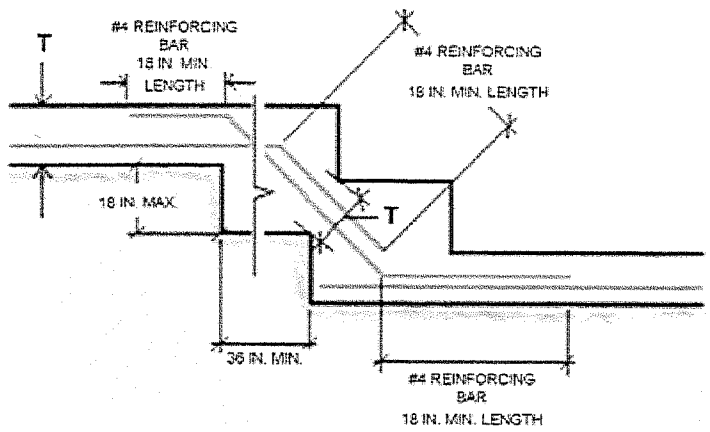


For SI: 1 inch = 25.4 mm.

TYPICAL BOLTING PATTERN DETAIL

N.T.S.

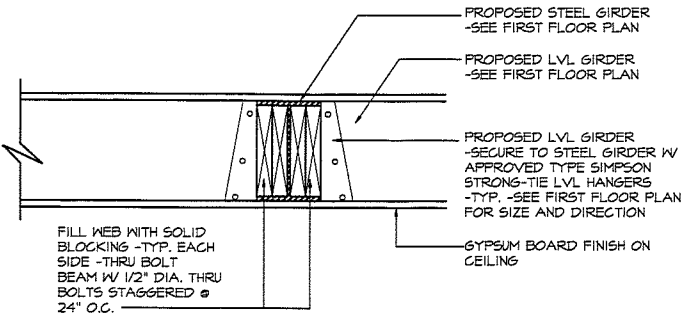
R403.1.5 SLOPE. THE TOP SURFACE OF FOOTINGS SHALL BE LEVEL. THE BOTTOM SURFACE OF FOOTINGS SHALL NOT HAVE A SLOPE EXCEEDING ONE UNIT VERTICAL IN 10 UNITS HORIZONTAL (10-PERCENT SLOPE). FOOTINGS SHALL BE STEPPED WHERE IT IS NECESSARY TO CHANGE THE ELEVATION OF THE TOP SURFACE OF THE FOOTINGS OR WHERE THE SLOPE OF THE BOTTOM SURFACE OF THE FOOTINGS WILL EXCEED ONE UNIT VERTICAL IN TEN UNITS HORIZONTAL (10-PERCENT SLOPE) IN CONFORMANCE WITH FIGURE R403.1.5.



NOTES: T = FOOTING THICKNESS  
THE MINIMUM FOOTING THICKNESS, T, IN STEPPED AREAS SHALL EQUAL THE FOOTING THICKNESS IN THOSE UNSTEPPED AREAS.  
THE REINFORCING BAR SIZE IN STEPPED AREAS SHALL EQUAL THE BAR SIZE IN THOSE UNSTEPPED AREAS.  
A MINIMUM OF 3 INCHES OF CONCRETE IS REQUIRED AROUND ALL REINFORCING BARS.

STEPPED FOOTING DETAIL

SCALE: N.T.S.



FLUSH BEAM / GIRDER DETAIL 'C'

SCALE: 1 1/2" = 1'-0"



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Dobbs Ferry, New York

DETAILS

Seal: Architect Thomas E. Haynes



job number:

date: 02-10-2020

drawn by: TJH

checked by: TEH

drawing no:

A009

