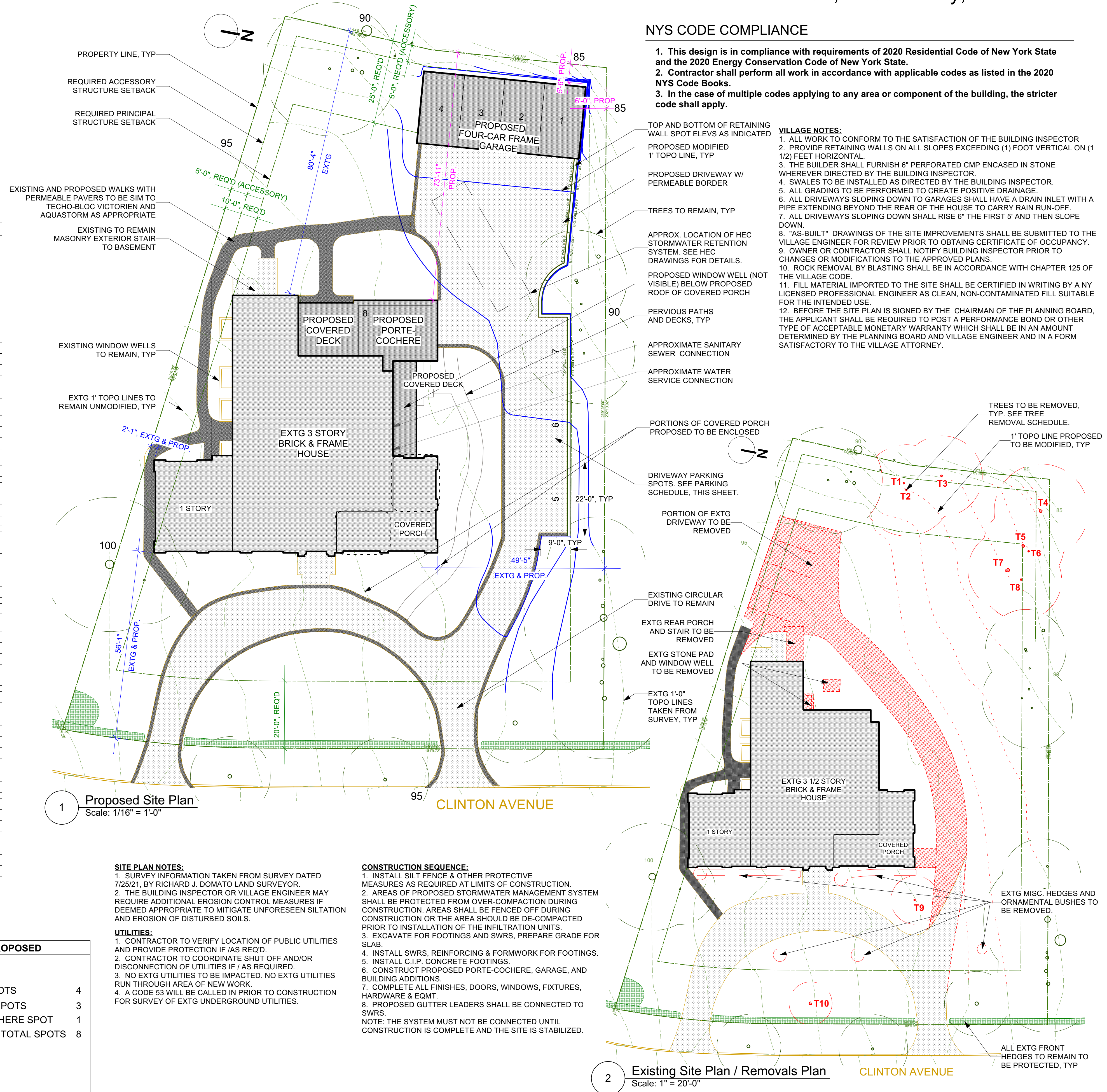


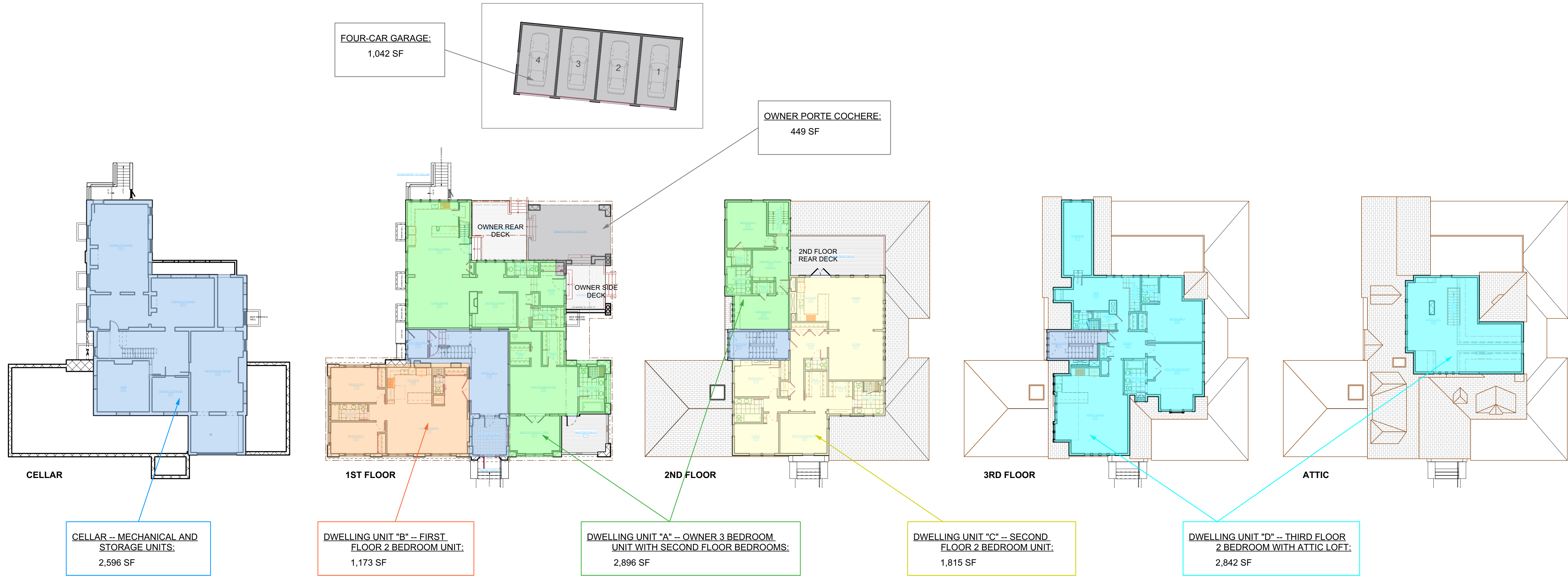
NO.	SHEET	ISSUE DATE	REV. DATE
A-001.02	Existing & Proposed Site Plans	12/16/21	
A-002.02	Unit and Coverage Diagrams	12/16/21	
A-003.00	Landscaping & Exterior Lighting Plan	12/16/21	
A-100.00	Cellar Demo & Construction Plans	12/16/21	
A-101.01	1st Floor Demo & Construction Plans	12/16/21	
A-102.01	2nd Floor Demo & Construction Plans	12/16/21	
A-103.00	3rd Floor Demo & Construction Plans	12/16/21	
A-104.00	Attic Demo & Construction Plans	12/16/21	
A-105.01	Roof Demo & Construction Plans	12/16/21	
A-501.01	East Existing & Proposed Exterior Elevations	12/16/21	
A-502.01	North Existing & Proposed Exterior Elevations	12/16/21	
A-503.01	West Existing & Proposed Exterior Elevations	12/16/21	
A-504.01	South Existing & Proposed Exterior Elevations	12/16/21	
A-505.01	Garage Construction Plan & Proposed Exterior Elevations	12/16/21	
C-1	Stormwater Plans		
C-2	Stormwater Details		

LOT AND ZONING INFORMATION				
54 Clinton Avenue Dobbs Ferry, NY 10522	Section: 3.80 Block: 46 Lots: 2			
ZONING DISTRICT: MDR-H				
GENERAL LOT DIMENSIONS				
	REQUIRED/ALLOWED	EXISTING	PROPOSED	COMPLIANT
MINIMUM NET LOT AREA *	10,000 SF	27,175.8 SF	NO CHANGE	YES
MINIMUM LOT AREA PER D.U.	2,500 SF	N/A	6,794.0 SF	YES
LOT WIDTH	50'	161.3'	NO CHANGE	YES
LOT DEPTH	100'	209.9'	NO CHANGE	YES
YARD SETBACKS (PRINCIPAL STRUCTURE)				
	REQUIRED/ALLOWED	EXISTING	PROPOSED	COMPLIANT
FRONT ***	20'	56.1'	NO CHANGE	YES
REAR	25'	80.3'	73.9'	YES
SIDE ONE	10'	2.1'	NO CHANGE	EXTG NON-CONFORMING
TOTAL OF TWO SIDES	20'	51.5'	NO CHANGE	YES
YARD SETBACKS (ACCESSORY STRUCTURE)				
	REQUIRED/ALLOWED	EXISTING	PROPOSED	COMPLIANT
REAR	5'	N/A	5.5'	YES
SIDE	5'	N/A	6'	YES
MAIN BUILDING HEIGHT **				
	REQUIRED/ALLOWED	EXISTING	PROPOSED	COMPLIANT
STORIES	3	3	NO CHANGE	EXTG NON-CONFORMING
FEET	30'****	36.8'	NO CHANGE	EXTG NON-CONFORMING
EAVE	N/A	23.2'	NO CHANGE	YES
GARAGE HEIGHT	20'	N/A	12.2'	YES
LOT COVERAGE				
	REQUIRED/ALLOWED	EXISTING	PROPOSED	COMPLIANT
LOT AREA	10,000 SF	27,175.8 SF	NO CHANGE	YES
COVERAGE, BUILDING ***	30% x 67 (5,462.34 SF)	15.2% (4,128.9 SF)	+1,942.5 22.3% (6,071.4 SF)	YES
COVERAGE, IMPERVIOUS SURFACES	60% x 67 (10,924.67 SF)	35.4% (9,631.7 SF)	+2,415.8 44.3% (12,047.5 SF)	NO
OCCUPANCY AND USE				
	REQUIRED/ALLOWED	EXISTING	PROPOSED	COMPLIANT
CURRENT USE	N/A	MIXED USE	MULTI-FAMILY (4 D.U.'s)	YES
GROSS FLOOR AREA ****	N/A	10,895.4 SF	+562.3 SF = 11,457.7 SF	N/A
CELLAR FLOOR AREA	N/A	2,595.5 SF	NO CHANGE	N/A
1ST FL FLOOR AREA	N/A	3,576.8 SF	+407.0 SF = 3,983.8 SF	N/A
2ND FL FLOOR AREA	N/A	2,658.2 SF	+58.1 SF = 2,716.3 SF	N/A
3RD FL FLOOR AREA	N/A	2,064.9 SF	+97.2 SF = 2,162.1 SF	N/A
ATTIC FLOOR AREA	N/A	575.3 SF	+324.5 SF = 899.8 SF	N/A
GARAGE FLOOR AREA	N/A	N/A	+1,091.3 SF = 1,091.3 SF	N/A
NOTES:				
* NEGLIGIBLE AREA OF STEEP SLOPES AT NORTHWEST CORNER OF LOT DISREGARDED PER DOBBS CODE SECTION 300-34A(2)c.				
** NO HEIGHT REQUIREMENTS LISTED FOR ZONE MDR-H. FOR REFERENCE, ZONE MDR-2 ALLOWS 40' BLDG HEIGHT AND 28' EAVE HEIGHT.				
*** 75 SF OF FRONT PORCH NOT COUNTED TOWARDS BLDG COVERAGE PER 300-34B(4)c. ALSO EXEMPT FROM FRONT SETBACK.				
**** GARAGE, ACCESSORY PARKING STRUCTURES, OPEN PORCHES, AND ATTICS WITH LESS THAN 7'-6" CLG HT NOT COUNTED IN GROSS				
***** GRADE PLANE TO MIDPOINT OF SLOPED ROOF				
FLOOR AREA CALCULATION PER 300-14.				

DOBBS FERRY MULTI-FAMILY PARKING REQUIREMENTS		EXISTING	PROPOSED	
FOR DWELLING UNIT "A"	+1 PARKING SPOT			
PLUS .25 FOR EACH BEDROOM (3)	+ .75 PARKING SPOTS			
FOR DWELLING UNIT "B"	+1 PARKING SPOT		GARAGE SPOTS	4
PLUS .25 FOR EACH BEDROOM (2)	+ .50 PARKING SPOTS	4 SPOTS	DRIVEWAY SPOTS	3
FOR DWELLING UNIT "C"	+1 PARKING SPOT	EXISTING	PORTE-COCHERE SPOT	1
PLUS .25 FOR EACH BEDROOM (2)	+ .50 PARKING SPOTS		TOTAL SPOTS	8
FOR DWELLING UNIT "D"	+1 PARKING SPOT			
PLUS .25 FOR EACH BEDROOM (2)	+ .50 PARKING SPOTS			
	6.25 (6) TOTAL PARKING SPOTS REQUIRED			

A-001.00





NO. REVISIONS DATE

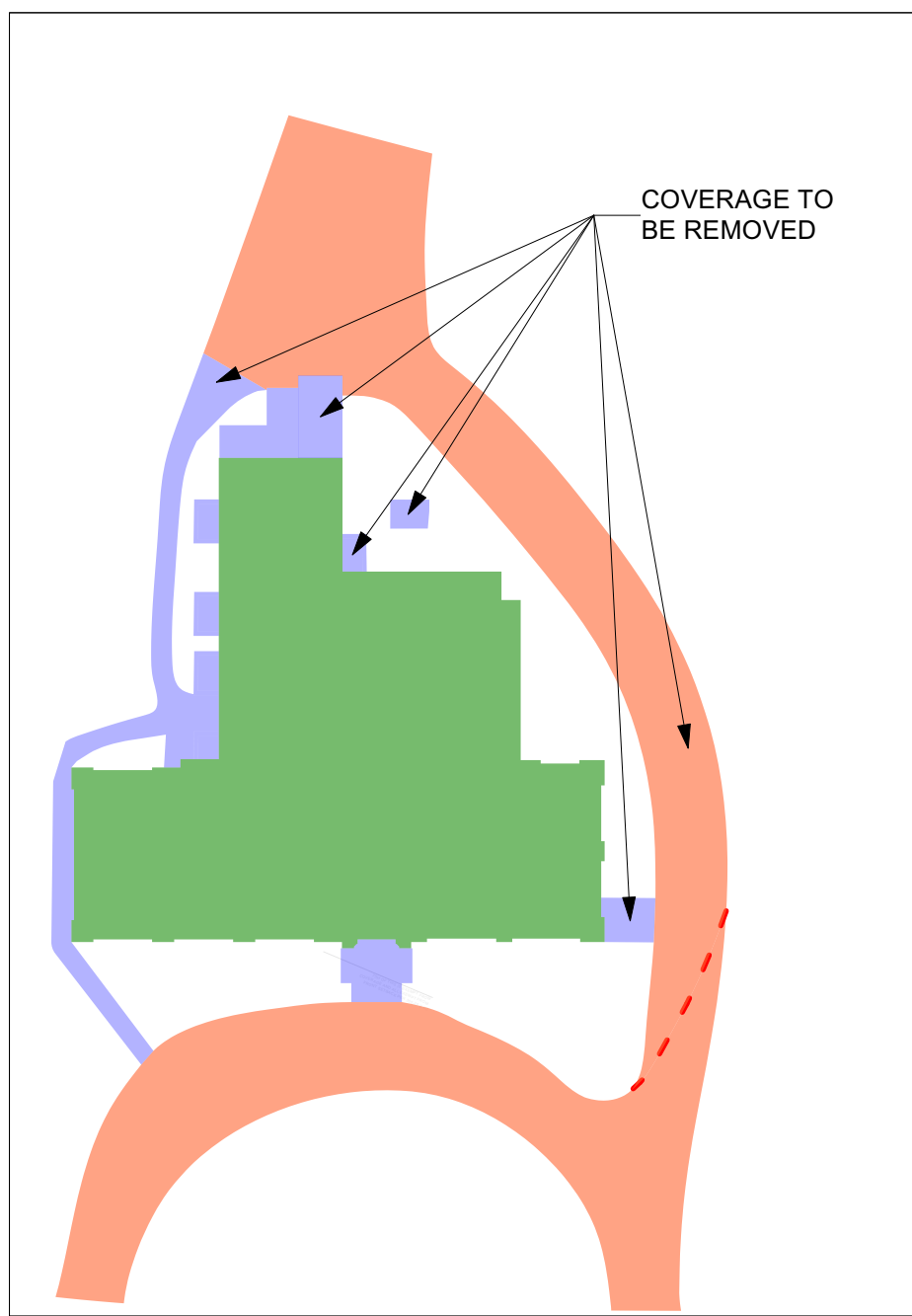
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1 **AHRB** 12/16/2021

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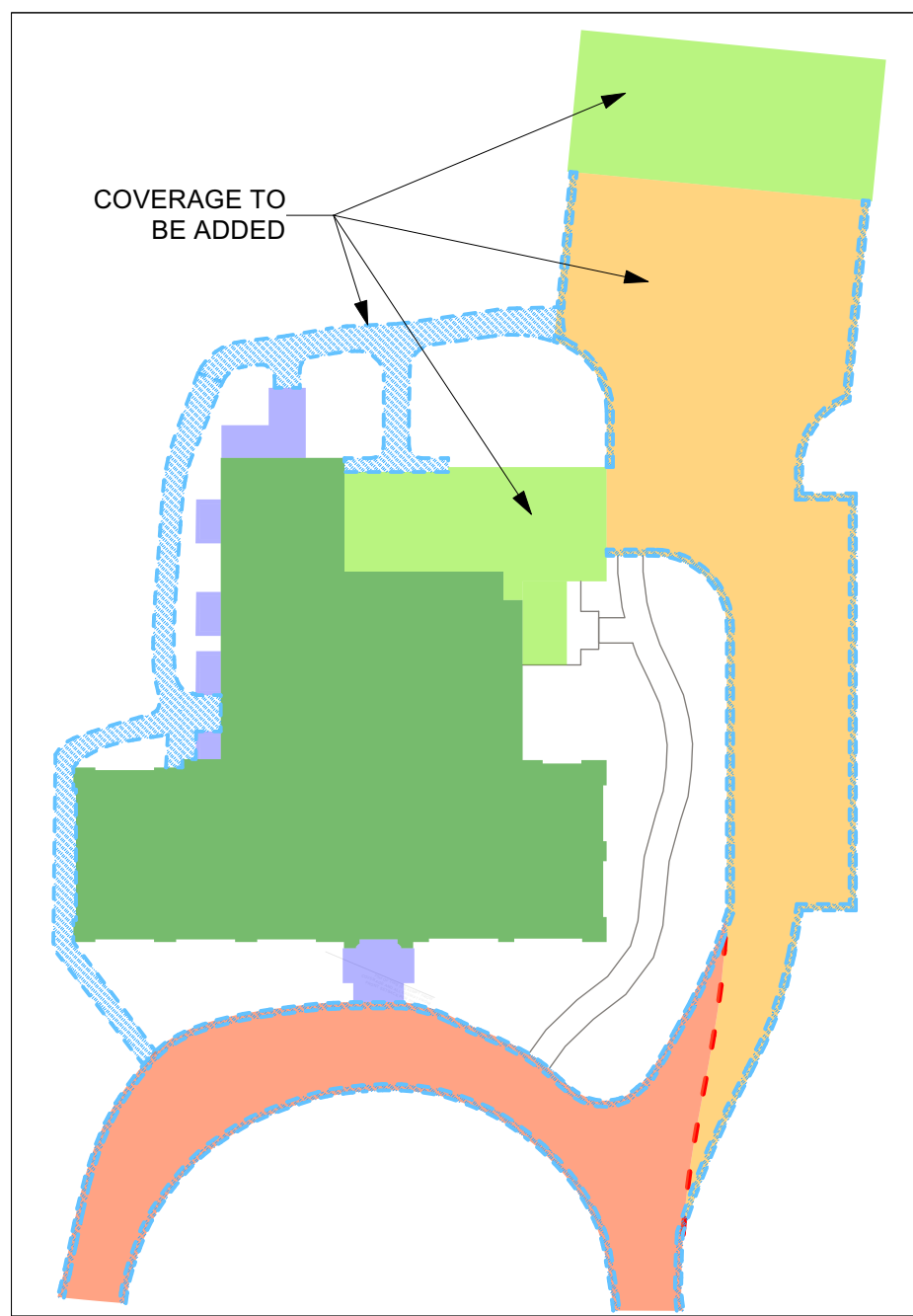
PROJECT:
Modifications to 54 Clinton Avenue
54 Clinton Avenue
Dobbs Ferry, NY 10522

DRAWING TITLE:
Unit and Coverage Diagrams

FILE NAME:
DRAWN BY: BDS
SCALE: As Noted
DATE: 12/16/2021
PROJECT ID: 2109A
DRAWING NUMBER
A-002.00



EXISTING COVERAGE EXHIBIT
SCALE 1" = 30'-0"



PROPOSED COVERAGE EXHIBIT
SCALE 1" = 30'-0"

SITE PLAN COVERAGE LEGEND	
EXISTING SITE ELEMENTS	
	EXTG BUILDING TO REMAIN
	EXTG PORCHES, PATHS, AND WINDOW WELLS
	EXTG DRIVEWAY
PROPOSED SITE ELEMENTS	
	PROP. ACCESSORY PARKING STRUCTURES / ADDITIONS
	PROP. PERMEABLE PATHS

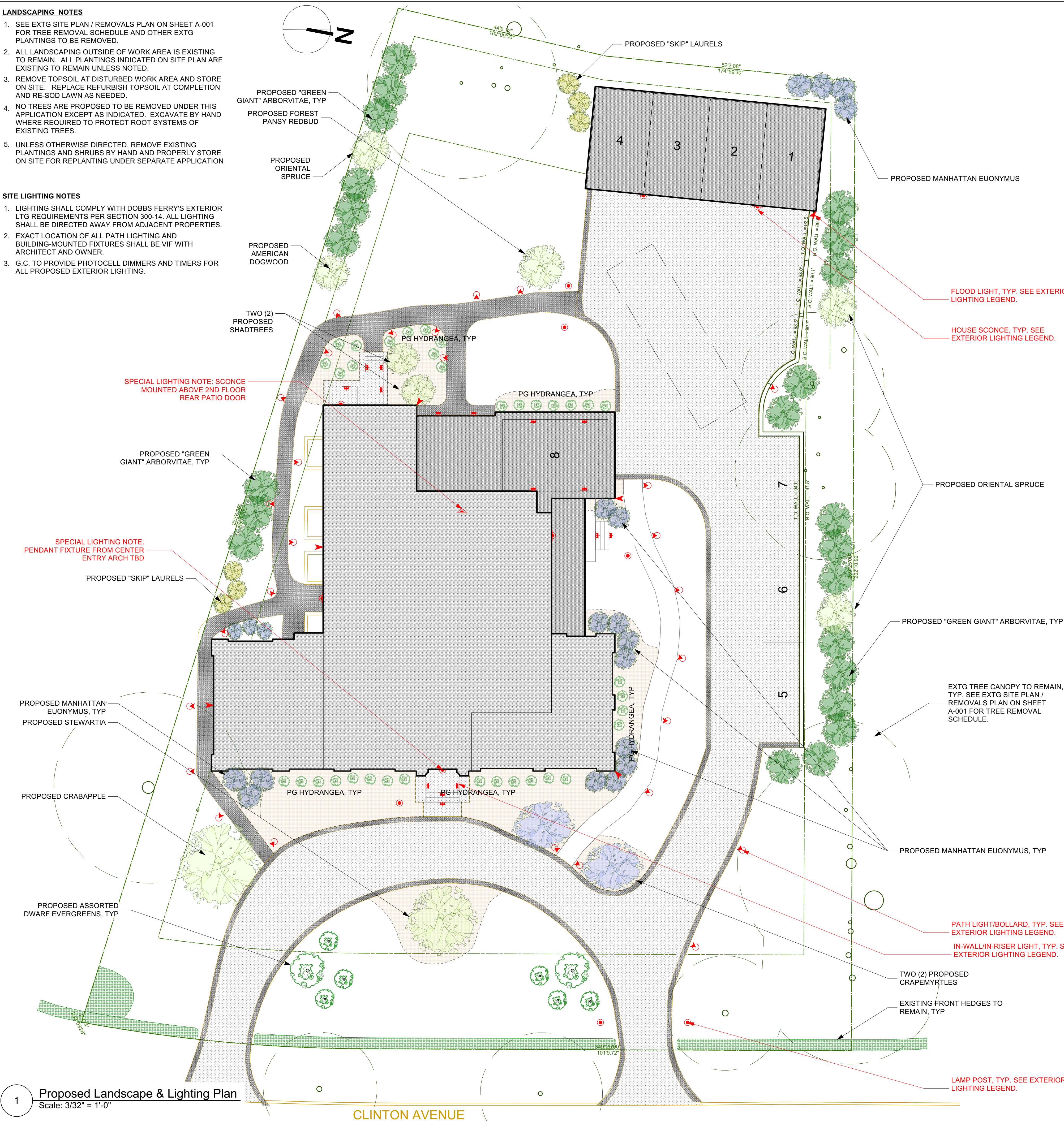
EXISTING AND PROPOSED COVERAGE TABLE			
	EXISTING COVERAGE	PROPOSED COVERAGE	NET INCREASE
COVERAGE TOTAL	9,631.7 sf	12,047.5 sf	+2,415.8 sf
COVERAGE BREAKDOWN	BUILDINGS	4,128.9 sf	+1,942.5 sf
	EXTG PORCHES / PATHS	171.3 sf	-761.5sf
	PROPOSED PATHS	198.7 sf**	+198.7 sf
	DRIVEWAY	5,606.1 sf**	+1,036.1 sf
* 75sf OF EXISTING FRONT PORCH EXEMPT FROM COVERAGE PER DOBBS FERRY CODE SECTION 300-34B(4); **AFTER PERVIOUS PAVING MULTIPLIERS			

LANDSCAPING NOTES

1. SEE EXTG SITE PLAN / REMOVALS PLAN ON SHEET A-001 FOR TREE REMOVAL SCHEDULE AND OTHER EXTG PLANTINGS TO BE REMOVED.
2. ALL LANDSCAPING OUTSIDE OF WORK AREA IS EXISTING TO REMAIN. ALL PLANTINGS INDICATED ON SITE PLAN ARE EXISTING TO REMAIN UNLESS NOTED.
3. REMOVE TOPSOIL AT DISTURBED WORK AREA AND STORE ON SITE. REPLACE REFURBISH TOPSOIL AT COMPLETION AND RE-SOD LAWN AS NEEDED.
4. NO TREES ARE PROPOSED TO BE REMOVED UNDER THIS APPLICATION EXCEPT AS INDICATED. EXCAVATE BY HAND WHERE REQUIRED TO PROTECT ROOT SYSTEMS OF EXISTING TREES.
5. UNLESS OTHERWISE DIRECTED, REMOVE EXISTING PLANTINGS AND SHRUBS BY HAND AND PROPERLY STORE ON SITE FOR REPLANTING UNDER SEPARATE APPLICATION

SITE LIGHTING NOTES

1. LIGHTING SHALL COMPLY WITH DOBBS FERRY'S EXTERIOR LTG REQUIREMENTS PER SECTION 300-14. ALL LIGHTING SHALL BE DIRECTED AWAY FROM ADJACENT PROPERTIES.
2. EXACT LOCATION OF ALL PATH LIGHTING AND BUILDING-MOUNTED FIXTURES SHALL BE VIF WITH ARCHITECT AND OWNER.
3. G.C. TO PROVIDE PHOTOCELL DIMMERS AND TIMERS FOR ALL PROPOSED EXTERIOR LIGHTING.



PRELIMINARY PLANTING SCHEDULE

Common Name	Botanical Name	Native?
Ornamental Trees		
Shadtree	Amelanchier canadensis spp.	Yes
Stewartia	Stewartia pseudocamellia	No
Crapemyrtle	Lagerstromia hybrids	No
American Dogwood	Cornus florida	Yes
'Forest Pansy' Redbud	Cercis canadensis 'Forest Pansy'	Yes
Crabapple	Malus varieties	Some varieties
Shrubs		
Fothergilla	Fothergilla gardenii	Yes
Big-leaf Hydrangea	Hydrangea macrophylla	No
Oakleaf Hydrangea	Hydrangea quercifolia	No
Boxwood	Buxus varieties	Some varieties
Dwarf Lilac	Syringa pubescens subsp. patula 'Miss Kim'	No
Dwarf Evergreens	Dwarf White Pine; Dwarf Blue Spruce	Yes
Dwarf Evergreens	Dwarf Mugo Pine	No
PG Hydrangea	Hydrangea paniculata grandiflora varieties	No
Roses	Rosa spp.	Some varieties
'Manhattan' Euonymus	Euonymus kiautschovicus 'Manhattan'	No
'Royal Purple' Smokebush	Cotinus coggygria 'Royal Purple'	No
Screening Evergreens		
'Green Giant' Arborvitae	Thuja X 'Green Giant'	Yes
'Skip' Laurel	Prunus laurocerasus 'Schipkanensis'	No
Oriental Spruce	Picea orientalis	No

PRELIMINARY LIGHTING PLAN LEGEND

LIGHTING PLAN LEGEND	
	PATHLIGHT - SIM TO VISION-3 PA11B, 5W WARM WHITE LED, DARK AGED BRASS FINISH
	BUILT-IN WALL OR RISER LIGHT - SIM TO B-K BRICKSTAR MR16; 20W, WARM LED LAMP, MITIQUE (AGED) BRASS FINISH
	LAMP POST - FIXTURE SELECTION TO BE DETERMINED
	HOUSE SCONCE - FIXTURE SELECTION TO BE DETERMINED
	SECURITY FLOODLIGHT (AND OPTIONAL CAMERA) - B-K DELTA STAR; WIDE FLOOD, 8W WARM WHITE LED, MITIQUE (AGED) BRASS FINISH
NOTE: ALL EXTERIOR LIGHT FIXTURES SHALL COMPLY WITH VILLAGE EXTERIOR LIGHTING CODE REQUIREMENTS (300-41), INCLUDING THE USE OF FULL CUTOFF STYLE FIXTURES WITH LIGHT LEVELS WITHIN THE LIMITS SET BY THE CODE.	

NO. REVISIONS DATE

NO. ISSUE DATE

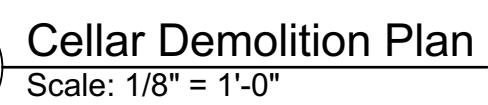
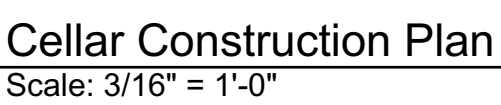
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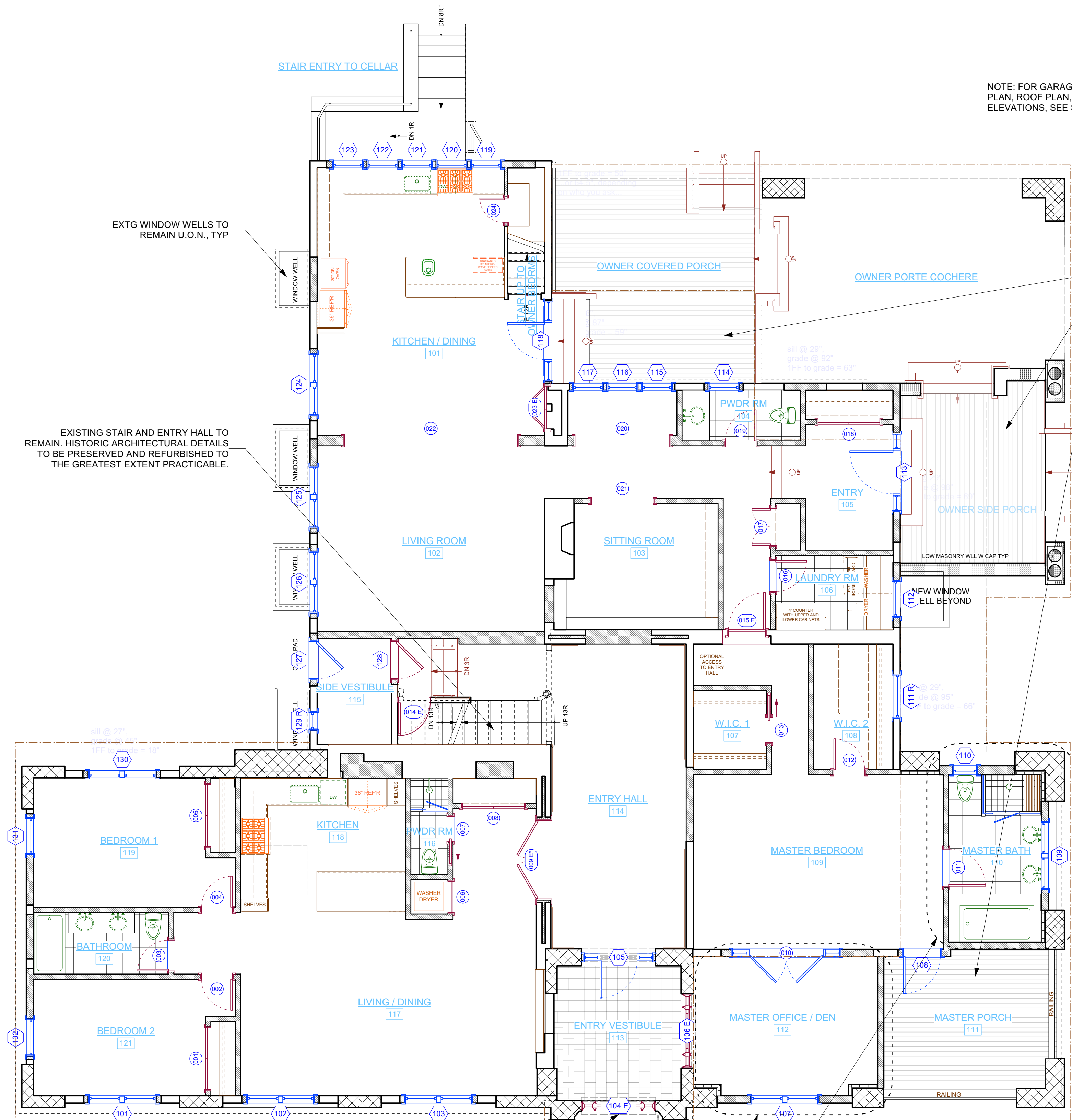
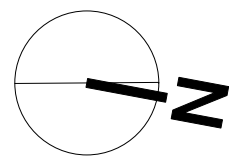
PROJECT:
Modifications to 54 Clinton Avenue
54 Clinton Avenue
Dobbs Ferry, NY 10522

DRAWING TITLE:
Landscaping & Ext. Lighting Plans

FILE NAME:	
DRAWN BY:	BDS
SCALE:	As Noted
DATE:	12/16/2021
PROJECT ID:	2109A
DRAWING NUMBER	
A-003.00	



A-100.00



WINDOW AND DOOR LABEL NOTE:
-- DOOR LABELS WITH SUFFIX "E" ARE EXISTING DOORS TO REMAIN, TO BE REFURBISHED AND WITH NEW HARDWARE FITTED AS APPLICABLE, TYP.
-- WINDOW LABELS WITH SUFFIX "E" ARE EXISTING DECORATIVE WINDOWS TO REMAIN, TO BE REFURBISHED AND PAINTED AT INTERIOR AND EXTERIOR, TYP.
-- WINDOW LABELS WITH SUFFIX "R" ARE NEW REPLACEMENT WINDOWS WITHIN EXISTING ROUGH OPENINGS, TYP.
-- WINDOW AND DOOR LABELS WITHOUT ANY SUFFIX ARE NEW UNITS IN NEW ROUGH OPENINGS, TYP.

1

1st Floor Construction Plan

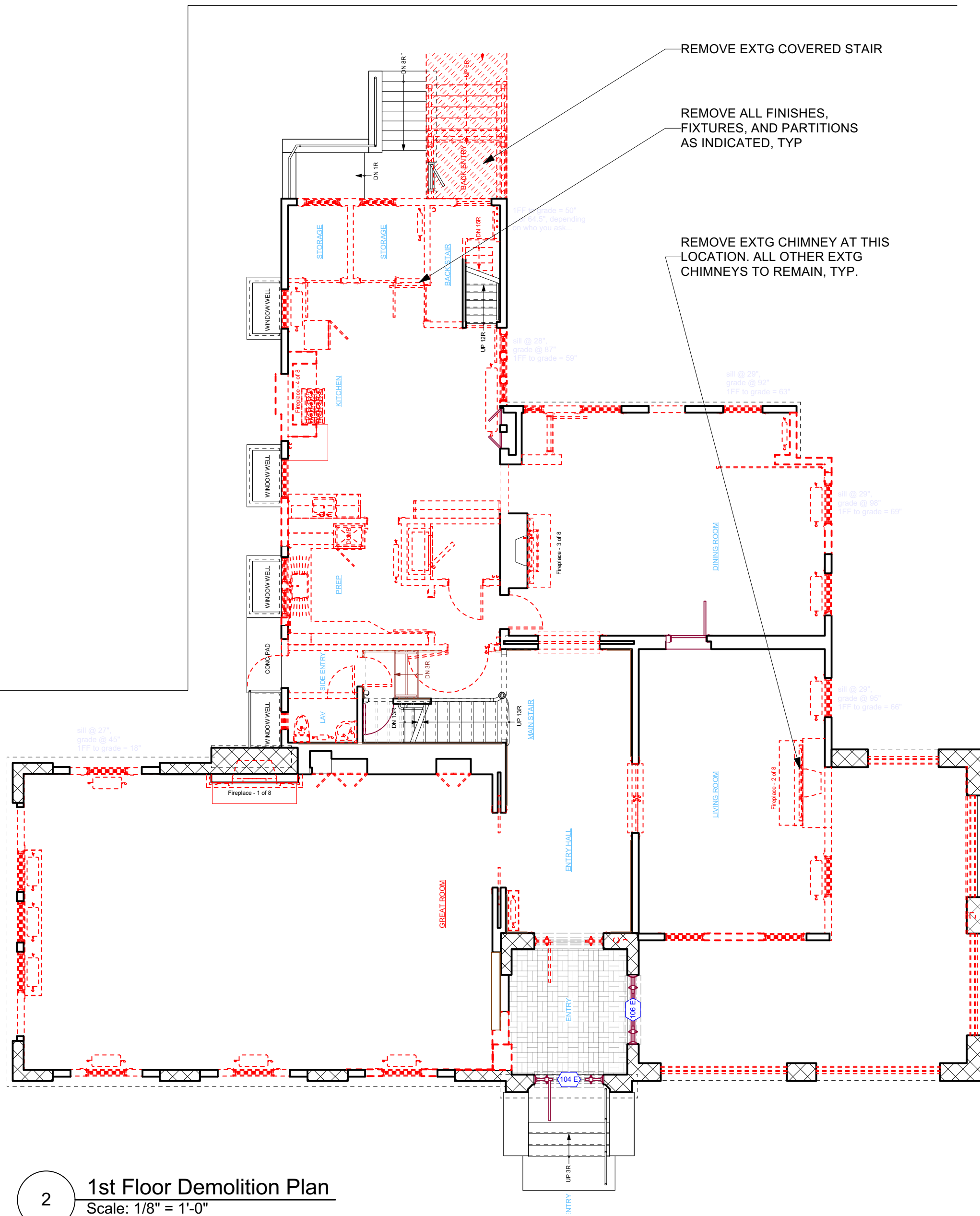
Scale: 3/16" = 1'-0"

NOTE: FOR GARAGE FLOOR PLAN, ROOF PLAN, AND ELEVATIONS, SEE SHEET A-505

IPE DECKING WITH PAINTED WOOD RAILING. STYLE TO MATCH EXTG. COLOR PER EXTERIOR ELEVATION NOTES.

EXTG STONE AND BRICK PORCH TO REMAIN. FINISH AS PER NOTES ON EXTERIOR ELEVATIONS.

PORTIONS OF EXTG OPEN COVERED PORCH PROPOSED TO BE ENCLOSED



2

1st Floor Demolition Plan

Scale: 1/8" = 1'-0"

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DEMOLITION PLAN LEGEND

	EXISTING STONE WALL TO REMAIN
	EXISTING MASONRY WALL TO REMAIN
	EXISTING EXTERIOR FRAME WALL TO REMAIN
	EXISTING INTERIOR FRAME WALL TO REMAIN
	UNKNOWN VERTICAL BUILDING ELEMENT
	EXISTING EXTERIOR WALL TO BE REMOVED
	EXISTING INTERIOR WALL TO BE REMOVED
	EXISTING OBJECT TO BE REMOVED

NOTE: ALL DEMOLITION TO BE APPROVED BY ARCHITECT IN FIELD PRIOR TO START OF WORK.

CONSTRUCTION PLAN LEGEND

	EXISTING STONE WALL TO REMAIN
	EXISTING MASONRY WALL TO REMAIN
	EXISTING EXTERIOR FRAME WALL TO REMAIN
	EXISTING INTERIOR FRAME WALL TO REMAIN
	NEW MASONRY WALL
	NEW C.I.P. CONCRETE WALL
	NEW EXTERIOR FRAME WALL
	NEW INTERIOR FRAME WALL
	FRAME BEARING WALL
	FURRED/INSULATED WALL AS SPECIFIED
	OBJECTS ABOVE
	WINDOW / EXT. DOOR ID
	INTERIOR DOOR ID
	WALL TYPE ID
	BUILDING SECTION KEY

NO. REVISIONS

DATE

NO. ISSUE

DATE

1 AHRB

12/16/2021

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PROJECT:

Modifications to 54 Clinton Avenue

54 Clinton Avenue
Dobbs Ferry, NY 10522

DRAWING TITLE:

1st Floor Demo & Cons. Plans

FILE NAME:

DRAWN BY: BDS

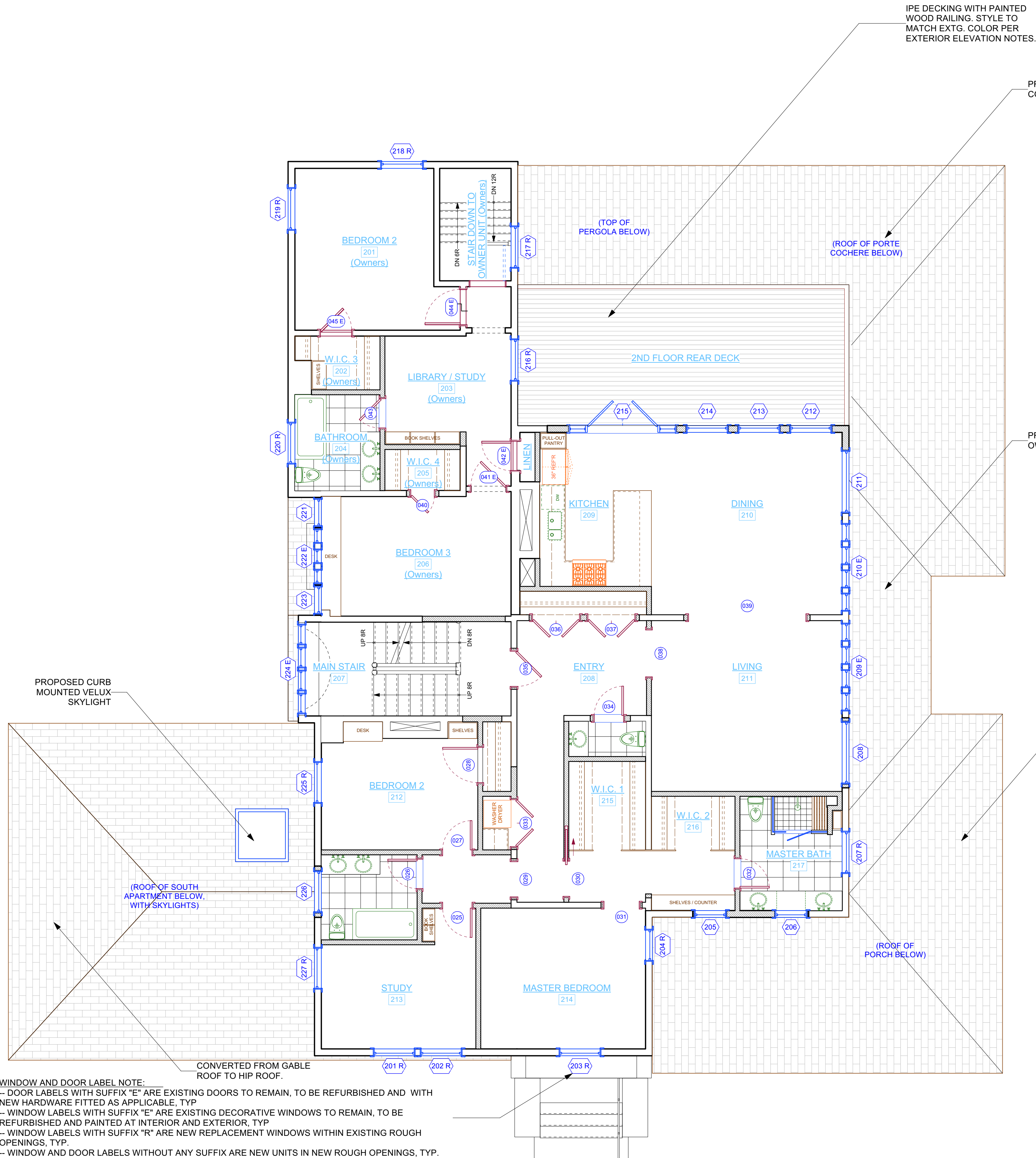
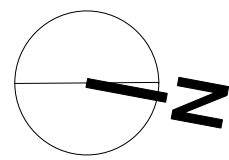
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SCALE: As Noted

A-101.00

DATE: 12/16/2021

PROJECT ID: 2109A



WINDOW AND DOOR LABEL NOTE:
-- DOOR LABELS WITH SUFFIX "E" ARE EXISTING DOORS TO REMAIN, TO BE REFURBISHED AND WITH NEW HARDWARE FITTED AS APPLICABLE, TYP.
-- WINDOW LABELS WITH SUFFIX "E" ARE EXISTING DECORATIVE WINDOWS TO REMAIN, TO BE REFURBISHED AND PAINTED AT INTERIOR AND EXTERIOR, TYP.
-- WINDOW LABELS WITH SUFFIX "R" ARE NEW REPLACEMENT WINDOWS WITHIN EXISTING ROUGH OPENINGS, TYP.
-- WINDOW AND DOOR LABELS WITHOUT ANY SUFFIX ARE NEW UNITS IN NEW ROUGH OPENINGS, TYP.

1 2nd Floor Construction Plan
Scale: 3/16" = 1'-0"

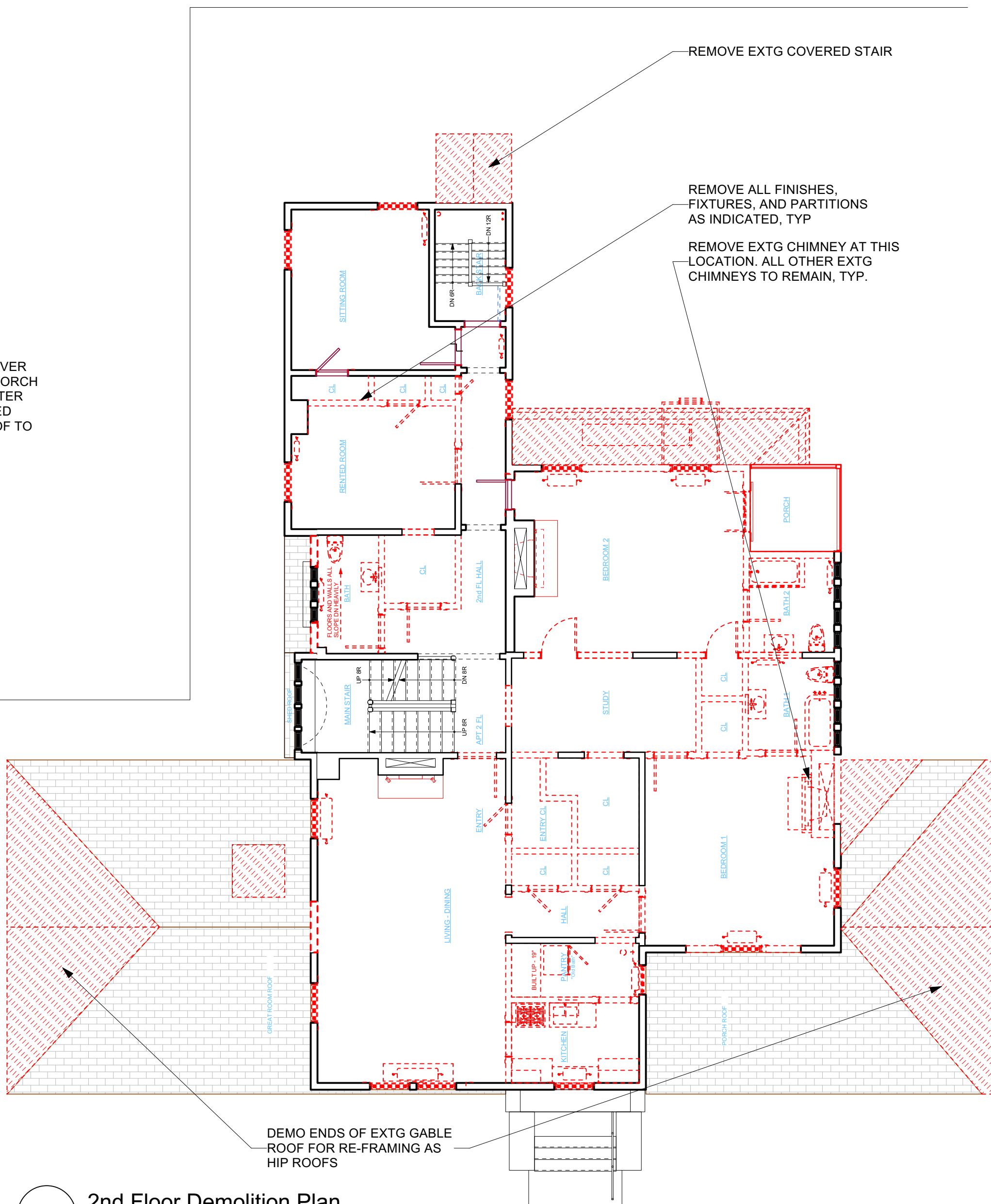
IPE DECKING WITH PAINTED WOOD RAILING. STYLE TO MATCH EXTG. COLOR PER EXTERIOR ELEVATION NOTES.

PROPOSED ROOF OVER "PORTE COCHERE" PARKING SPOT

PROPOSED ROOF OVER OWNER SIDE PORCH

EXISTING ROOF OVER EXTG COVERED PORCH / PROPOSED MASTER SUITE. CONVERTED FROM GABLE ROOF TO HIP ROOF.

(ROOF OF PORCH BELOW)



2 2nd Floor Demolition Plan
Scale: 1/8" = 1'-0"

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DEMOLITION PLAN LEGEND

- EXISTING STONE WALL TO REMAIN
- EXISTING MASONRY WALL TO REMAIN
- EXISTING EXTERIOR FRAME WALL TO REMAIN
- EXISTING INTERIOR FRAME WALL TO REMAIN
- UNKNOWN VERTICAL BUILDING ELEMENT
- EXISTING EXTERIOR WALL TO BE REMOVED
- EXISTING INTERIOR WALL TO BE REMOVED
- EXISTING OBJECT TO BE REMOVED

NOTE: ALL DEMOLITION TO BE APPROVED BY ARCHITECT IN FIELD PRIOR TO START OF WORK.

CONSTRUCTION PLAN LEGEND

- EXISTING STONE WALL TO REMAIN
- EXISTING MASONRY WALL TO REMAIN
- EXISTING EXTERIOR FRAME WALL TO REMAIN
- EXISTING INTERIOR FRAME WALL TO REMAIN
- NEW MASONRY WALL
- NEW C.I.P. CONCRETE WALL
- NEW EXTERIOR FRAME WALL
- NEW INTERIOR FRAME WALL
- FRAME BEARING WALL
- FURRED/INSULATED WALL AS SPECIFIED
- OBJECTS ABOVE
- WINDOW / EXT. DOOR ID
- INTERIOR DOOR ID
- WALL TYPE ID
- BUILDING SECTION KEY

NO. REVISIONS

DATE

NO. ISSUE

DATE

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PROJECT:

Modifications to 54 Clinton Avenue

54 Clinton Avenue
Dobbs Ferry, NY 10522

DRAWING TITLE:

2nd Floor Demo & Cons. Plans

FILE NAME:

DRAWN BY: BDS

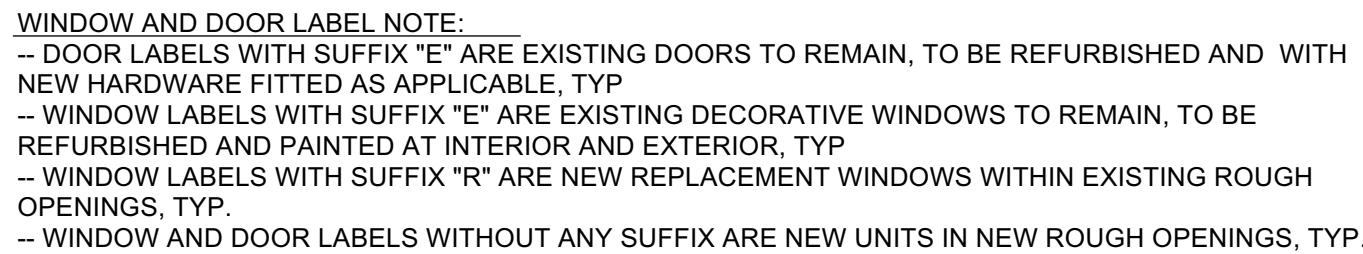
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SCALE: As Noted

A-102.00

DATE: 12/16/2021

PROJECT ID: 2109A



Scale: 3/16" = 1'-0"

Scale: 3/16" = 1'-0"

ADDITIONAL FLOOR AREA
AND HEAD HEIGHT AT 3RD
FLOOR AFFORDED BY
PROPOSED CROSS GABLE

ADDITIONAL FLOOR AREA AND HEAD
HEIGHT AT GREAT ROOM AFFORDED BY
PROPOSED MODIFICATIONS TO
EXISTING DORMER

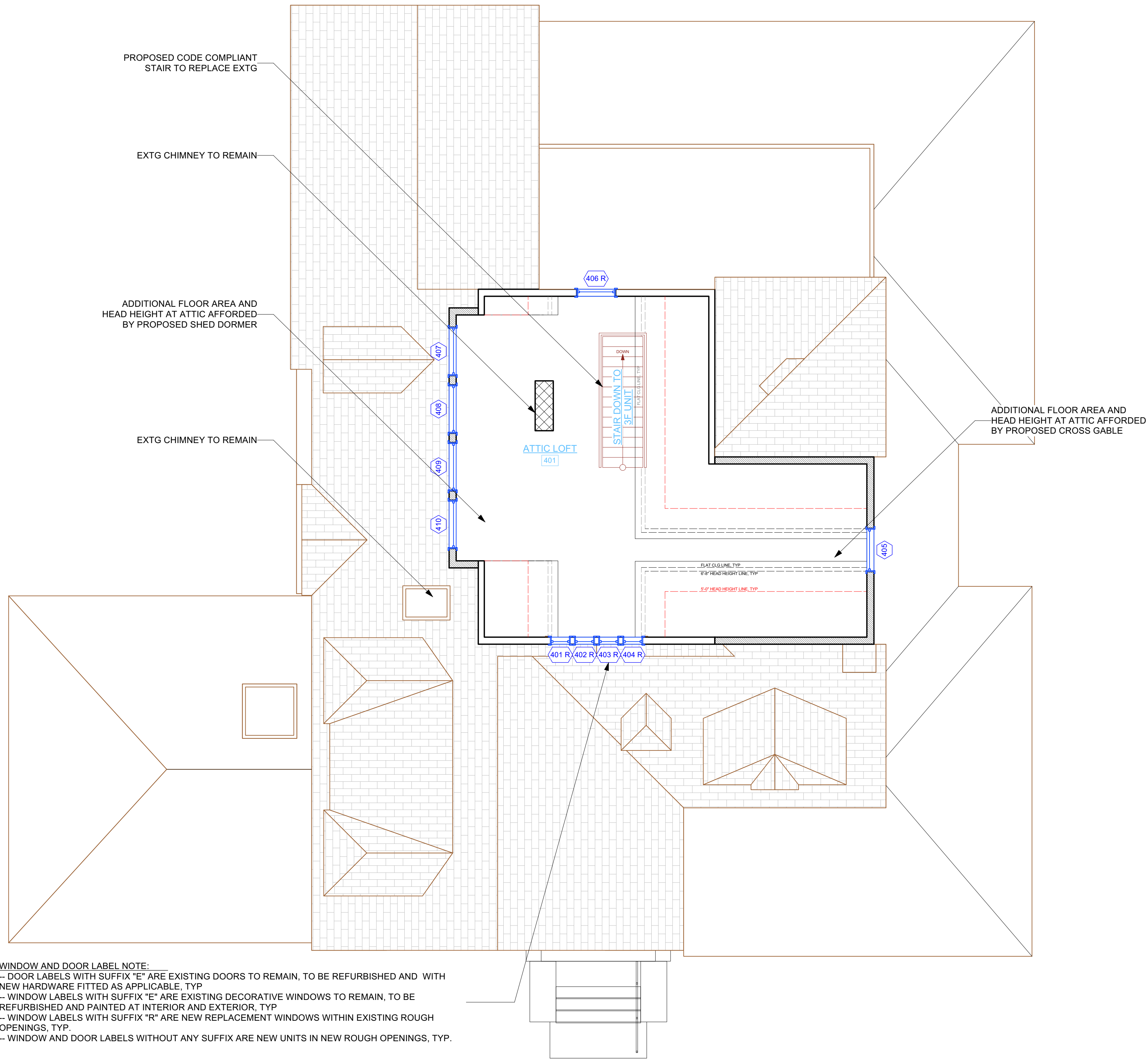
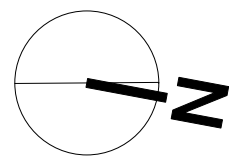
EXISTING STAIR AND ENTRY HALL TO
REMAIN. HISTORIC ARCHITECTURAL DETAILS
TO BE PRESERVED AND REFURBISHED TO
THE GREATEST EXTENT PRACTICABLE.

Scale: 1/8" = 1'-0"

REMOVE EXTG CHIMNEY AT THIS
LOCATION. ALL OTHER EXTG
CHIMNEYS TO REMAIN, TYP.

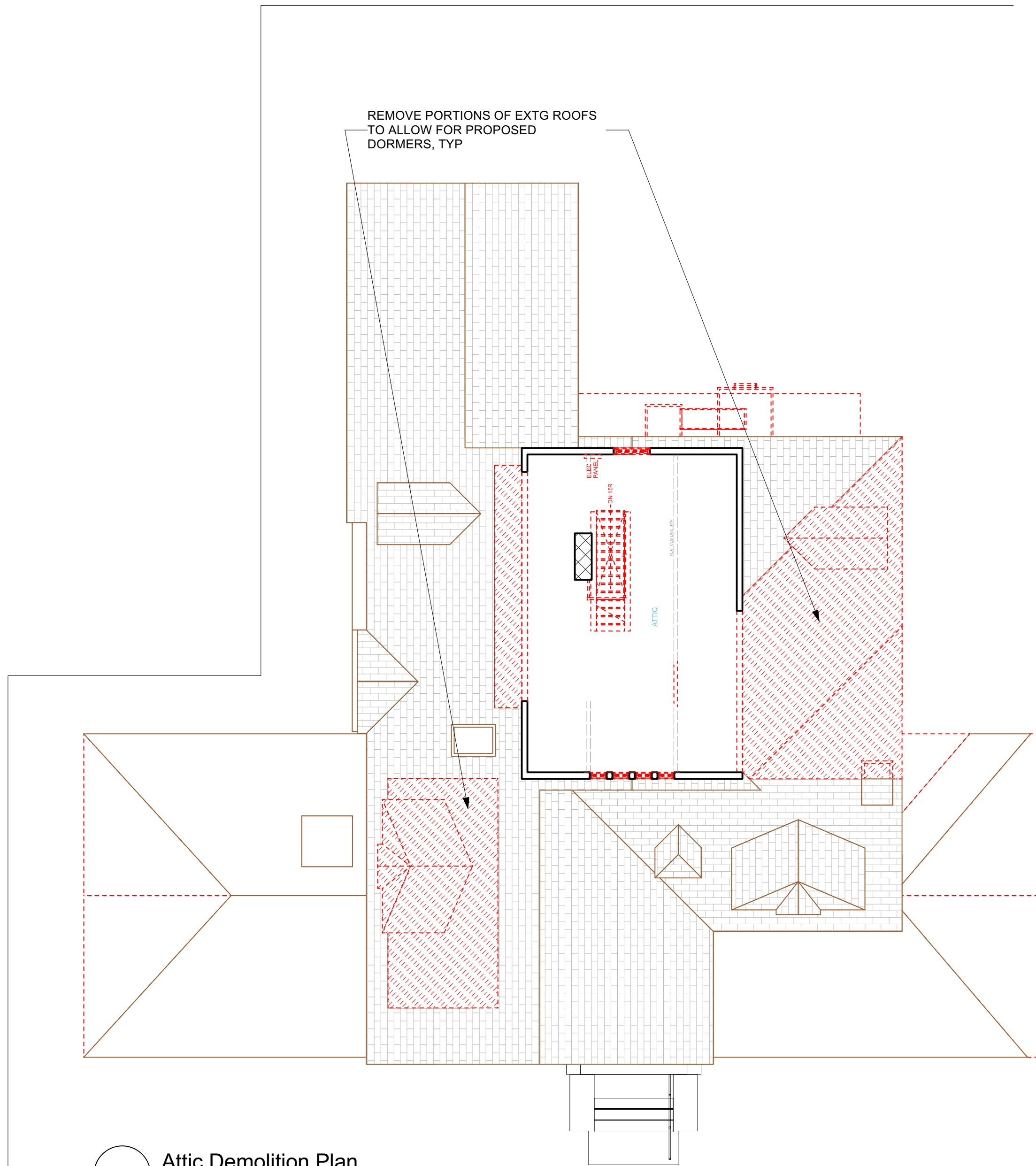
109A

A-103.00



WINDOW AND DOOR LABEL NOTE:
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-- WINDOW AND DOOR LABELS WITHOUT ANY SUFFIX ARE NEW UNITS IN NEW ROUGH OPENINGS, TYP.

1 Attic Construction Plan
Scale: 3/16" = 1'-0"



2 Attic Demolition Plan
Scale: 1/8" = 1'-0"

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DEMOLITION PLAN LEGEND

	EXISTING STONE WALL TO REMAIN
	EXISTING MASONRY WALL TO REMAIN
	EXISTING EXTERIOR FRAME WALL TO REMAIN
	EXISTING INTERIOR FRAME WALL TO REMAIN
	UNKNOWN VERTICAL BUILDING ELEMENT
	EXISTING EXTERIOR WALL TO BE REMOVED
	EXISTING INTERIOR WALL TO BE REMOVED
	EXISTING OBJECT TO BE REMOVED

NOTE: ALL DEMOLITION TO BE APPROVED BY ARCHITECT IN FIELD PRIOR TO START OF WORK.

CONSTRUCTION PLAN LEGEND

	EXISTING STONE WALL TO REMAIN
	EXISTING MASONRY WALL TO REMAIN
	EXISTING EXTERIOR FRAME WALL TO REMAIN
	EXISTING INTERIOR FRAME WALL TO REMAIN
	NEW MASONRY WALL
	NEW C.I.P. CONCRETE WALL
	NEW EXTERIOR FRAME WALL
	NEW INTERIOR FRAME WALL
	FRAME BEARING WALL
	FURRED/INSULATED WALL AS SPECIFIED
	OBJECTS ABOVE
	WINDOW / EXT. DOOR ID
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	WALL TYPE ID
	BUILDING SECTION KEY

NO. REVISIONS

DATE

NO. ISSUE

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12/16/2021

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Modifications to 54 Clinton Avenue

54 Clinton Avenue
Dobbs Ferry, NY 10522

DRAWING TITLE:

Attic Demo & Cons. Plans

FILE NAME:

DRAWN BY: BDS

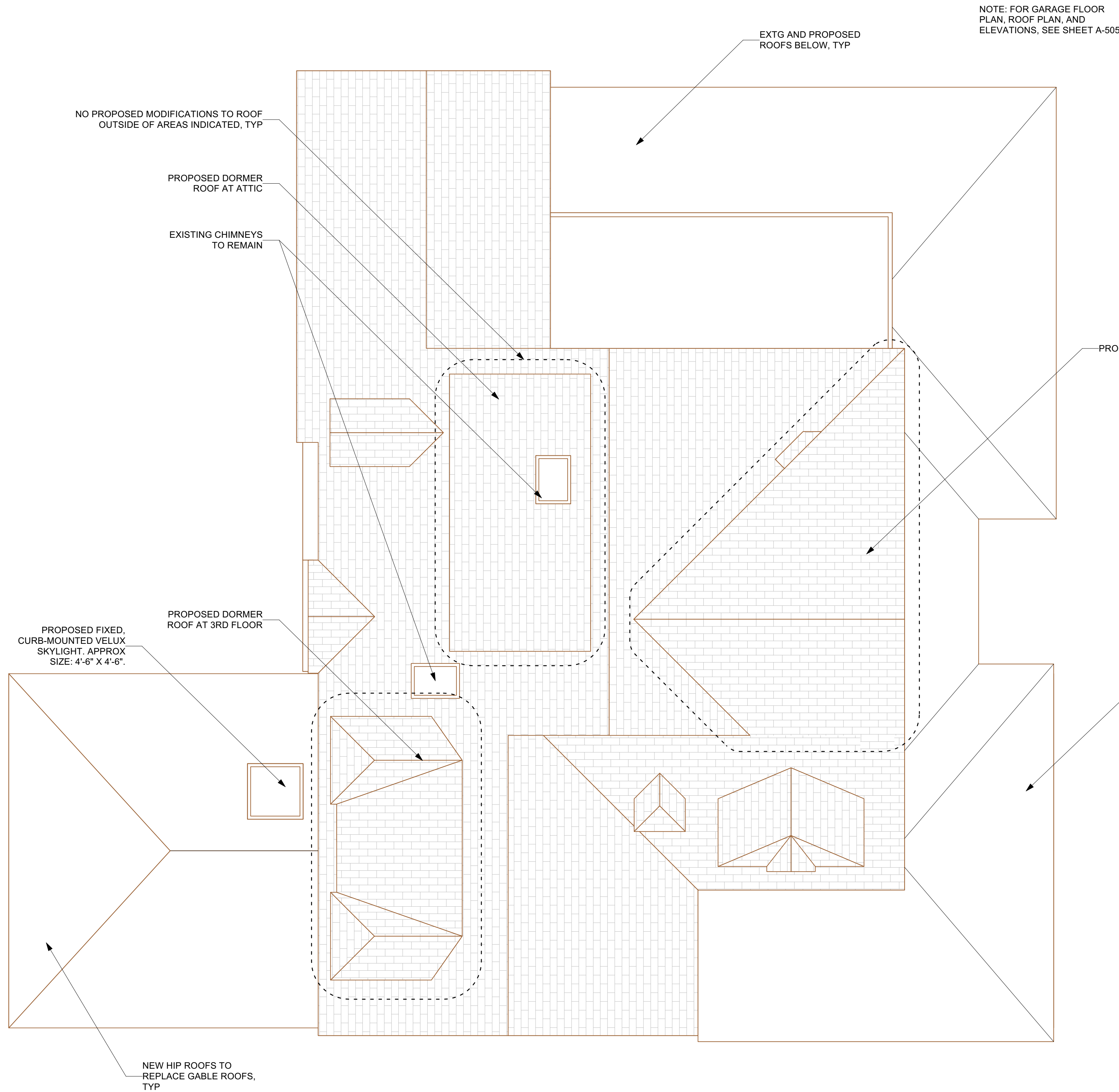
DRAWING NUMBER

SCALE: As Noted

A-104.00

DATE: 12/16/2021

PROJECT ID: 2109A



NEW HIP ROOFS TO
REPLACE GABLE ROOFS.
TYP

EXTG AND PROPOSED
ROOFS BELOW, TYP

PROPOSED DORMER
ROOF AT 3RD FLOOR


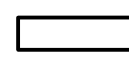
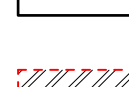
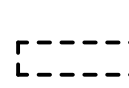
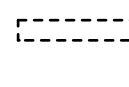

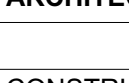

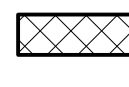
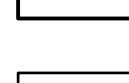
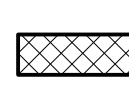
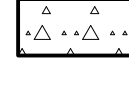

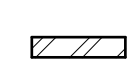
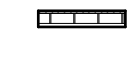
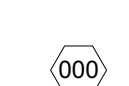


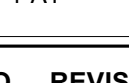



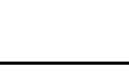
NEW HIP ROOFS TO
REPLACE GABLE ROOFS
TYP

Scale: $3/16" = 1'-0"$



Scale: 1/8" = 1'-0"

REMOVE ONE EXISTING
CHIMNEY

<div><div>DEMOLITION PLAN LEGEND</div><div><div></div><div>EXISTING STONE WALL TO REMAIN</div></div><div><div></div><div>EXISTING MASONRY WALL TO REMAIN</div></div><div><div></div><div>EXISTING EXTERIOR FRAME WALL TO REMAIN</div></div><div><div></div><div>EXISTING INTERIOR FRAME WALL TO REMAIN</div></div><div><div></div><div>UNKNOWN VERTICAL BUILDING ELEMENT</div></div><div><div></div><div>EXISTING INTERIOR WALL TO BE REMOVED</div></div><div><div></div><div>EXISTING INTERIOR WALL TO BE REMOVED</div></div><div><div></div><div>EXISTING OBJECT TO BE REMOVED</div></div></div> <div>NOTE: ALL DEMOLITION TO BE APPROVED BY ARCHITECT IN FIELD PRIOR TO START OF WORK.</div>		
<div><div>CONSTRUCTION PLAN LEGEND</div><div><div></div><div>EXISTING STONE WALL TO REMAIN</div></div><div><div></div><div>EXISTING MASONRY WALL TO REMAIN</div></div><div><div></div><div>EXISTING EXTERIOR FRAME WALL TO REMAIN</div></div><div><div></div><div>EXISTING INTERIOR FRAME WALL TO REMAIN</div></div><div><div></div><div>NEW MASONRY WALL</div></div><div><div></div><div>NEW C.I.P. CONCRETE WALL</div></div><div><div></div><div>NEW EXTERIOR FRAME WALL</div></div><div><div></div><div>NEW INTERIOR FRAME WALL</div></div><div><div></div><div>FRAME BEARING WALL</div></div><div><div></div><div>FURRED/INSULATED WALL AS SPECIFIED</div></div><div><div></div><div>OBJECTS ABOVE</div></div><div><div></div><div>WINDOW / EXT. DOOR ID</div></div><div><div></div><div>INTERIOR DOOR ID</div></div><div><div></div><div>WALL TYPE ID</div></div><div><div></div><div>BUILDING SECTION KEY</div></div></div>		
NO. REVISIONS		DATE
NO. ISSUE		DATE
1 AHRB		12/16/2021
<div>Michael Lewis Architects PC</div> <div>145 Palisade St. Suite #307</div> <div>Dobbs Ferry, NY 10522</div> <div>tel 914-231-7700, fax 914-231-7701</div> <div>info@mlarchitect.com</div> <div>www.mlarchitect.com</div>		
PROJECT:		
Modifications to 54 Clinton Avenue		
54 Clinton Avenue		
Dobbs Ferry, NY 10522		
DRAWING TITLE:		
Roof Demo & Cons. Plans		
FILE NAME:		
DRAWN BY: BDS		DRAWING NUMBER
SCALE: As Noted		
DATE: 12/16/2021		
PROJECT ID: 2109A		
		A-105.00



2

Existing East Elevation

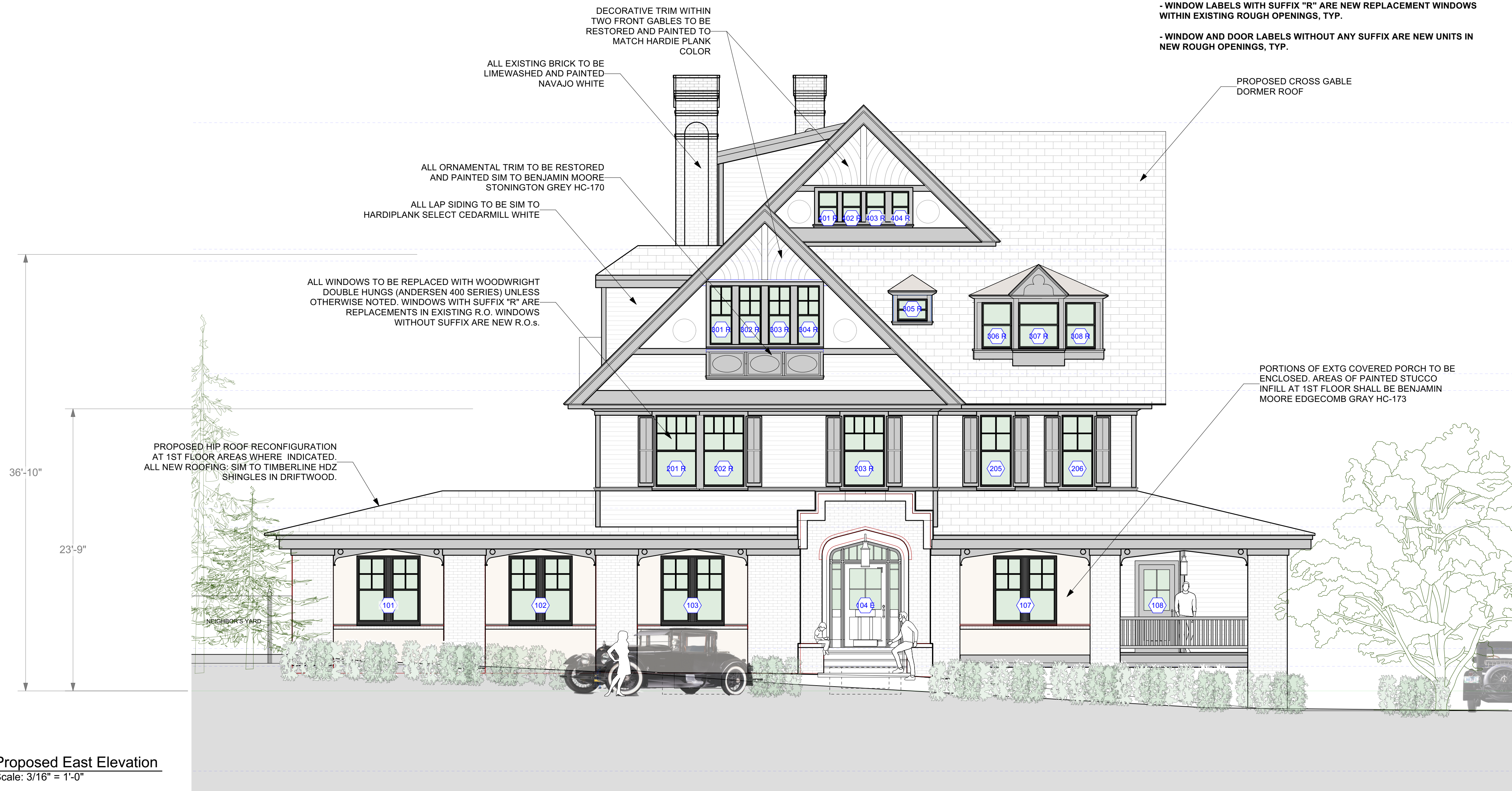
Scale: 1/8" = 1'-0"

GENERAL NOTE FOR ALL EXTERIOR ELEVATIONS:

- REPLACE ALL EXISTING WINDOWS AND DOORS
- REPLACE ALL EXTERIOR CLADDING, TAKING CARE TO PRESERVE SIGNIFICANT ARCHITECTURAL DETAILS, TBD BY OWNERS AND ARCHITECT
- PROTECT TWO (2) EXISTING MASONRY CHIMNEYS

WINDOW AND DOOR LABEL NOTE:

- DOOR LABELS WITH SUFFIX "E" ARE EXISTING DOORS TO REMAIN, TO BE REFURBISHED AND WITH NEW HARDWARE FITTED AS APPLICABLE, TYP
- WINDOW LABELS WITH SUFFIX "E" ARE EXISTING DECORATIVE WINDOWS TO REMAIN, TO BE REFURBISHED AND PAINTED AT INTERIOR AND EXTERIOR, TYP
- WINDOW LABELS WITH SUFFIX "R" ARE NEW REPLACEMENT WINDOWS WITHIN EXISTING ROUGH OPENINGS, TYP.
- WINDOW AND DOOR LABELS WITHOUT ANY SUFFIX ARE NEW UNITS IN NEW ROUGH OPENINGS, TYP.



1

Proposed East Elevation

Scale: 3/16" = 1'-0"

NO. REVISIONS DATE

NO. ISSUE DATE

1 AHRB 12/16/2021

Michael Lewis Architects PC

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tel 914-231-7700, fax 914-231-7701
info@mlarchitect.com
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PROJECT:

Modifications to 54 Clinton Avenue

54 Clinton Avenue
Dobbs Ferry, NY 10522

DRAWING TITLE:

East Extg & Prop Ext Elevs

FILE NAME:

DRAWN BY: BDS

SCALE: As Noted

DATE: 12/16/2021

PROJECT ID: 2109A

DRAWING NUMBER

A-501.00

NO. REVISIONS DATE

NO. ISSUE DATE

1 **AHRB** 12/16/2021

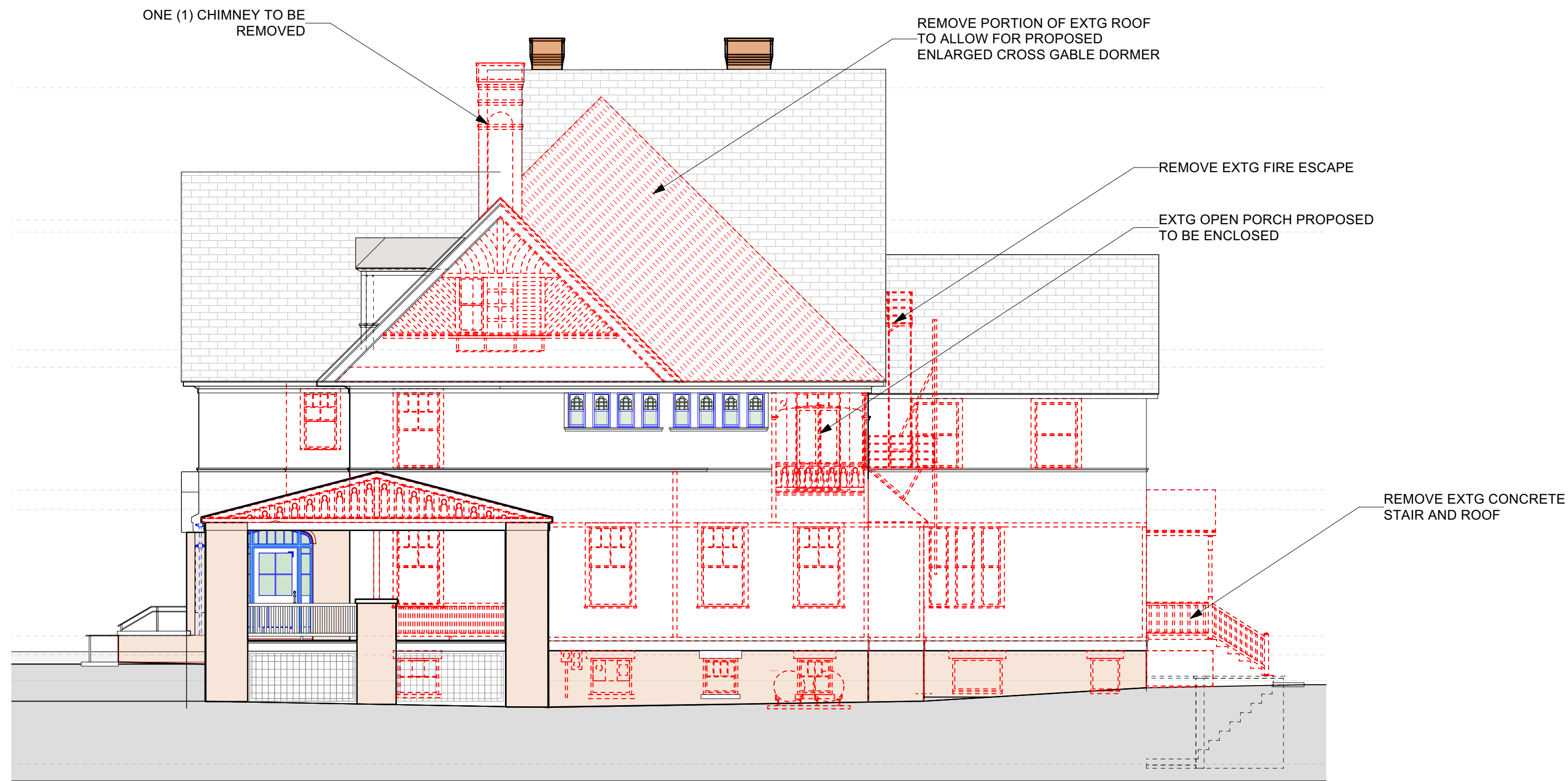
Michael Lewis Architects PC
145 Palisade St. Suite #307
Dobbs Ferry, NY 10522
tel 914-231-7700, fax 914-231-7701
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www.mlarchitect.com

PROJECT:

Modifications to 54 Clinton Avenue
54 Clinton Avenue
Dobbs Ferry, NY 10522

DRAWING TITLE:
North Extg & Prop Ext Elevs

FILE NAME:	
DRAWN BY: BDS	DRAWING NUMBER
SCALE: As Noted	A-502.00
DATE: 12/16/2021	
PROJECT ID: 2109A	



2 Existing North Elevation
Scale: 1/8" = 1'-0"



1 Proposed North Elevation
Scale: 3/16" = 1'-0"



2

Existing West Elevation

Scale: 1/8" = 1'-0"

GENERAL ELEVATION NOTE:

- ALL COLORS AND MATERIALS TO MATCH CALLOUTS ON SHEETS A-501 AND A-502, TYP



1

Proposed West Elevation

Scale: 3/16" = 1'-0"

NO. REVISIONS

DATE

NO. ISSUE

DATE

1 AHRB

12/16/2021

Michael Lewis Architects PC

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Dobbs Ferry, NY 10522
tel 914-231-7700, fax 914-231-7701
info@mlarchitect.com
www.mlarchitect.com

PROJECT:

Modifications to 54 Clinton Avenue

54 Clinton Avenue
Dobbs Ferry, NY 10522

DRAWING TITLE:

West Extg & Prop Ext Elevs

FILE NAME:

DRAWN BY: BDS

DRAWING NUMBER

SCALE: As Noted

DATE: 12/16/2021

PROJECT ID: 2109A

A-503.00



2 Existing South Elevation

Scale: 1/8" = 1'-0"

GENERAL ELEVATION NOTE:

- ALL COLORS AND MATERIALS TO MATCH CALLOUTS ON SHEETS A-501 AND A-502, TYP



1

Proposed South Elevation

Scale: 3/16" = 1'-0"

NO. REVISIONS DATE

NO. ISSUE DATE

1 AHRB 12/16/2021

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PROJECT:

Modifications to 54 Clinton Avenue

54 Clinton Avenue
Dobbs Ferry, NY 10522

DRAWING TITLE:

South Extg & Prop Ext Elevs

FILE NAME:

DRAWN BY: BDS

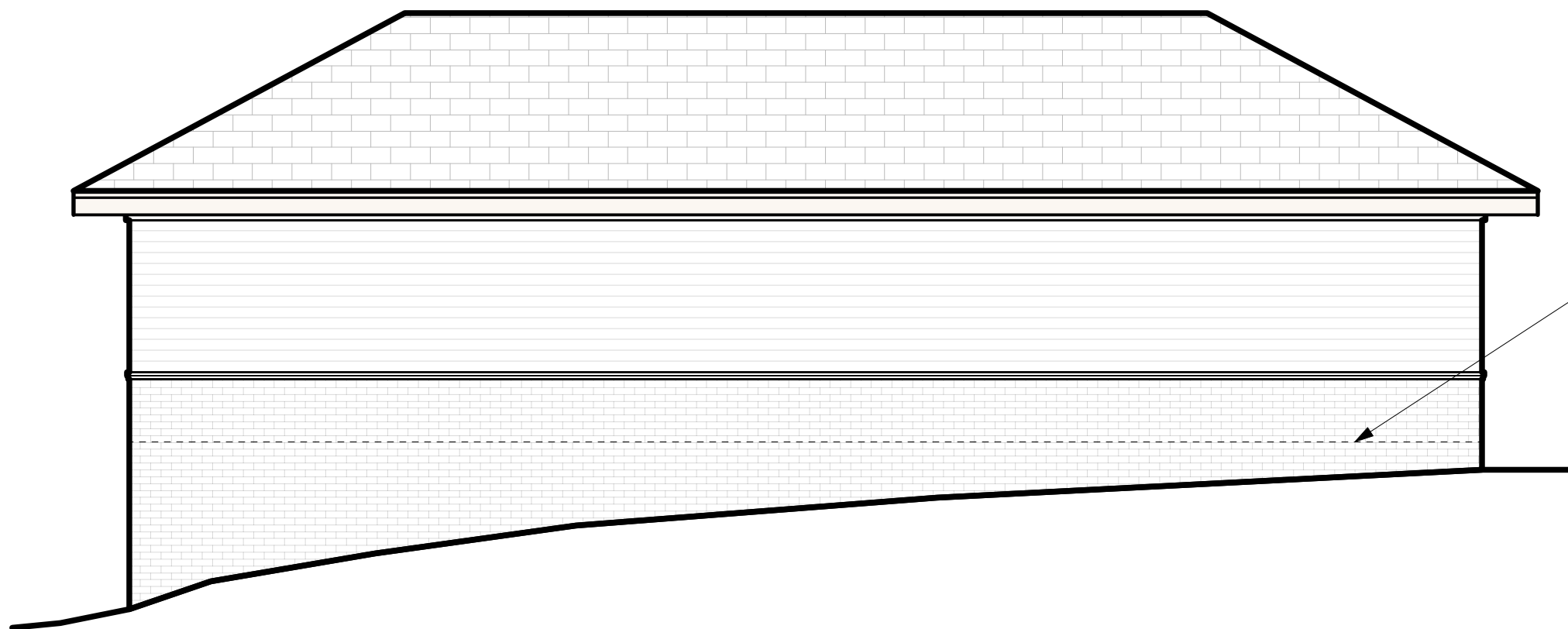
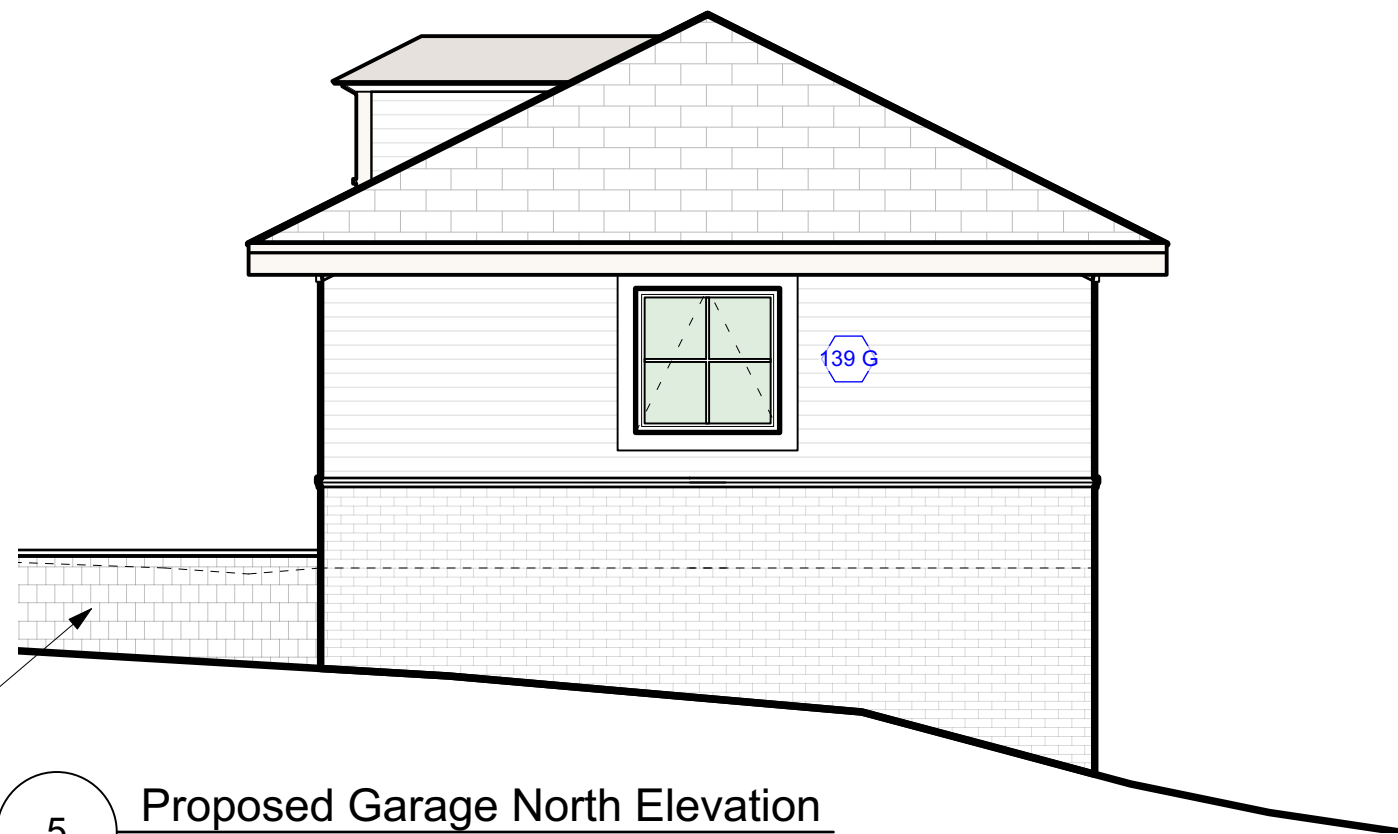
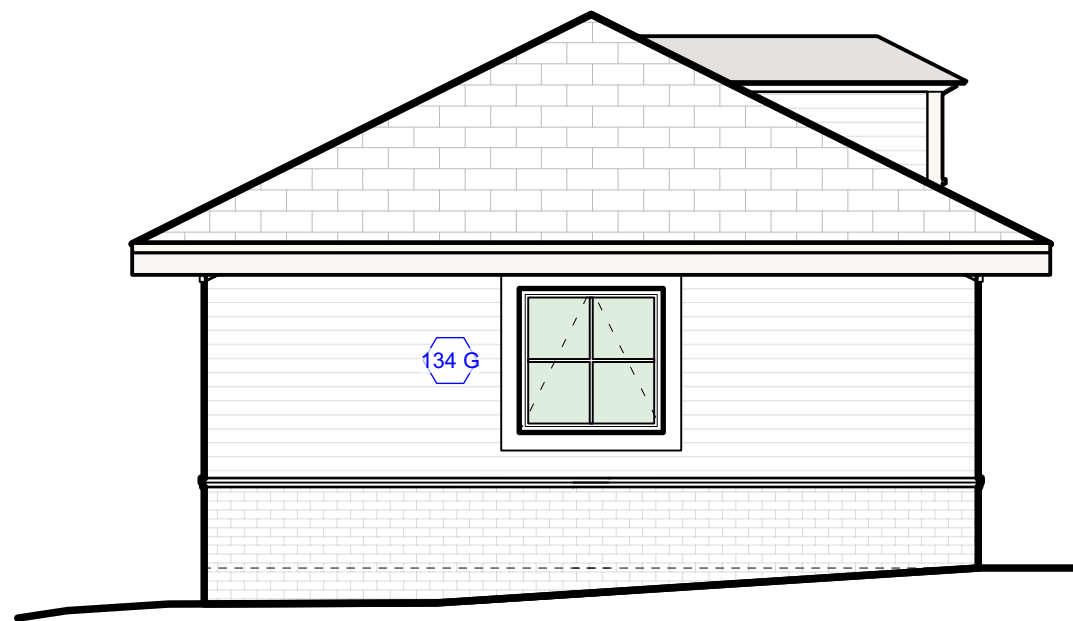
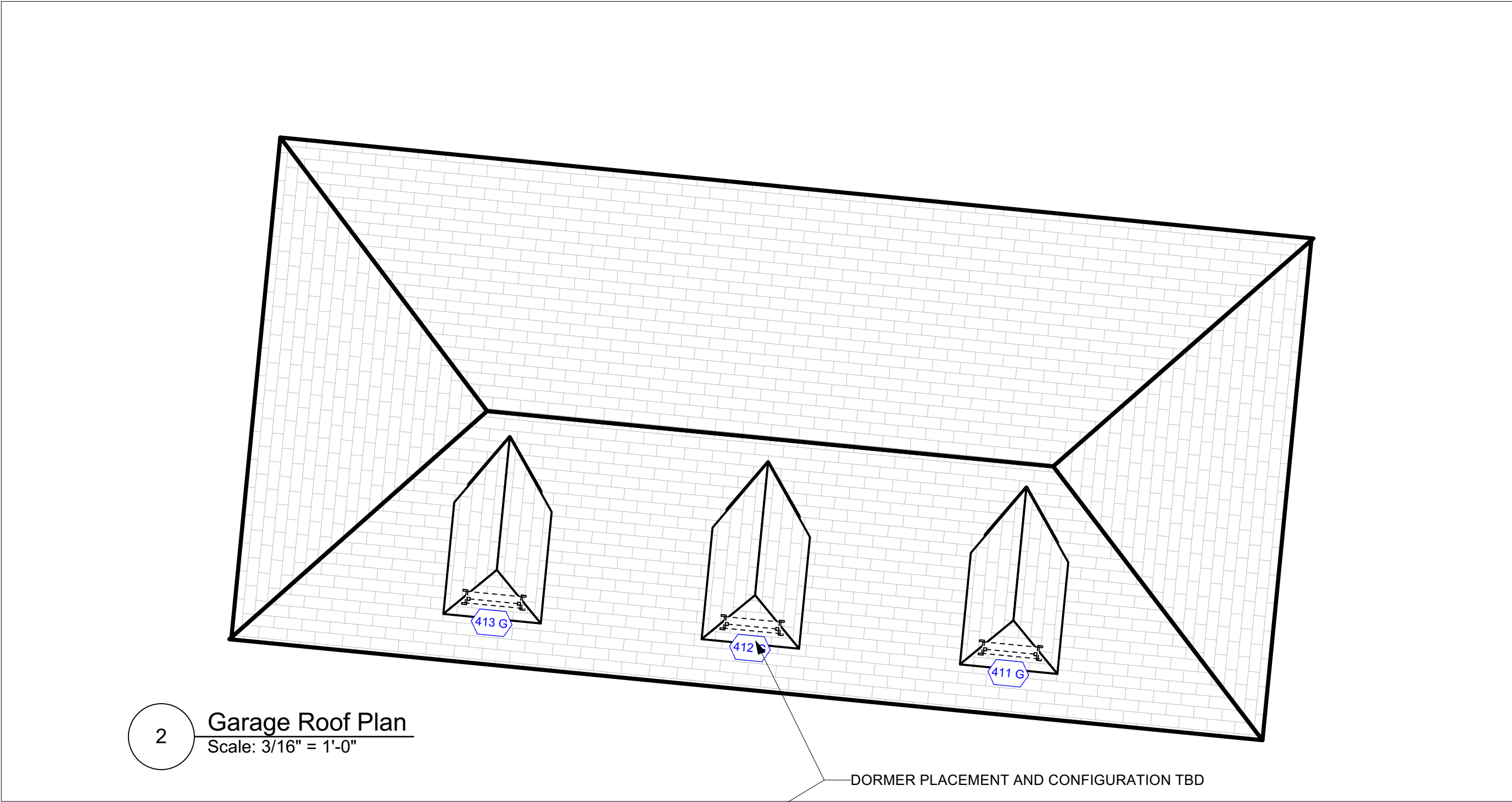
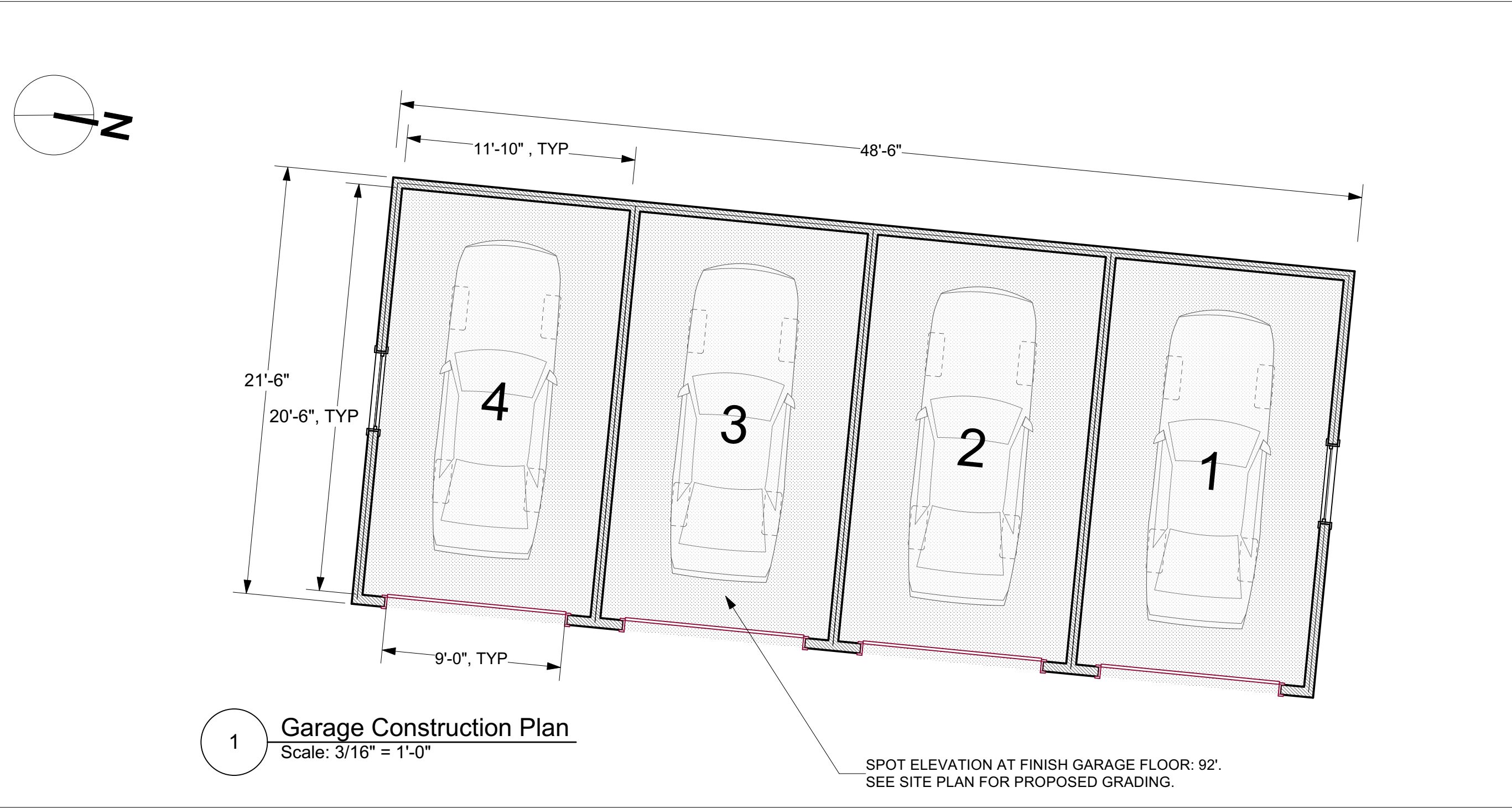
SCALE: As Noted

DATE: 12/16/2021

PROJECT ID: 2109A

DRAWING NUMBER

A-504.00



UNIBLOCK MODULAR RETAINING WALL.
COLOR TO COORDINATE WITH BRICK.

LINE OF GARAGE FINISH FLOOR
AT 92', TYP ALL ELEVATIONS

NO.	REVISIONS	DATE
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NO.	ISSUE	DATE
-----	-------	------

1	AHRB	12/16/2021
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PROJECT:

Modifications to 54 Clinton Avenue
54 Clinton Avenue
Dobbs Ferry, NY 10522

DRAWING TITLE:
Garage Cons. Plan & Ext Elevs

FILE NAME:		DRAWING NUMBER
DRAWN BY:	BDS	A-505.00
SCALE:	As Noted	
DATE:	12/16/2021	
PROJECT ID:	2109A	