

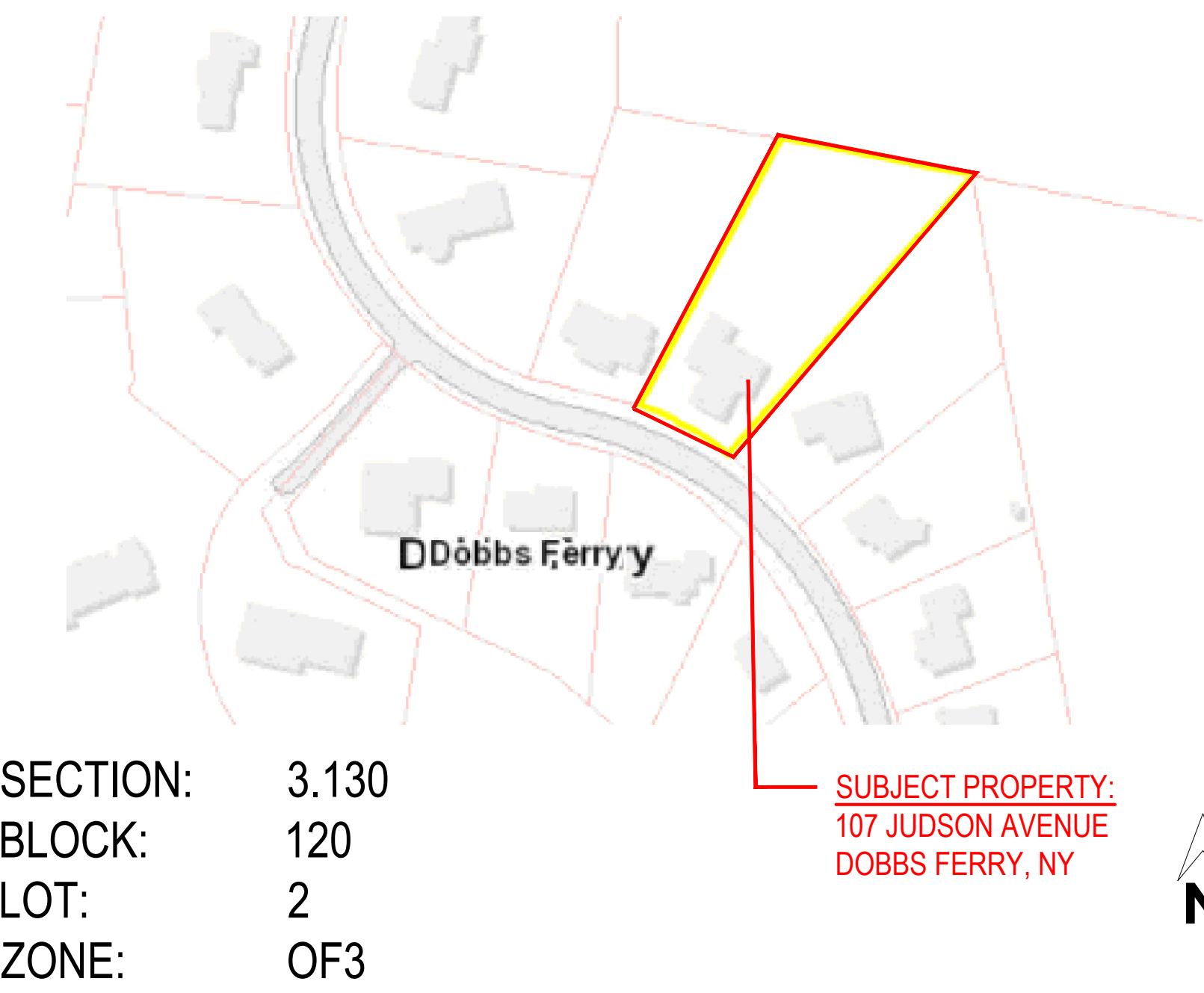
Proposed Pool and Pool House at:  
107 Judson Avenue, Dobbs Ferry NY

PROJECT INFORMATION:

OWNER:  
NAME: CRAIG PHILLIPS  
ADDRESS: 107 JUDSON AVENUE  
DOBBS FERRY, NY 10522  
TELEPHONE: 1-(917)-969-9959  
EMAIL: craigalexphillips@gmail.com

ARCHITECT:  
NAME: HAYNES ARCHITECTURE PC- Thomas Haynes  
ADDRESS: 570 YONKERS AVENUE  
YONKERS NEW YORK 10704  
TELEPHONE: 1-(914)-963-3838  
EMAIL: TJ@HAYNESDESIGNGROUP.COM

LOCATION MAP: NOT TO SCALE



DRAWING LIST:

SHEET: TITLE:  
A.01 LOCATION PLAN / GENERAL NOTES  
A.02 GENERAL NOTES  
SP.01 PLOT PLAN / ZONING ANALYSIS  
SP.02 SITE GENERAL NOTES / DETAILS  
SP.03 LANDSCAPING PLAN  
A1.01 PROPOSED PLANS / ELEVATIONS  
A1.02 PROPOSED FINISHES  
A1.03 PHOTOS / DETAILS

SCOPE OF WORK:

PROPOSED IN-GROUND POOL  
PROPOSED ACCESSORY STRUCTURE- POOL HOUSE

THESE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE  
TOWN OF DOBBS FERRY MUNICIPAL CODE

THESE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE 2020 RESIDENTIAL  
CODE OF NEW YORK STATE

THESE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE 2020 BUILDING  
CODE OF NEW YORK STATE AND THE 2020 RESIDENTIAL CODE OF NEW YORK STATE -  
APPENDIX J FOR EXISTING BUILDINGS

THESE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE 2020 ENERGY  
CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE

SMOKE DETECTOR NOTES:	CARBON MONOXIDE ALARM NOTES:
PROVIDE DETECTORS AS PER SECTION R314 OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE DEVICES TO BE LOCATED AS FOLLOWS:  1. ONE FOR EACH SLEEPING ROOM 2. ONE DIRECTLY OUTSIDE EACH SLEEPING ROOM 3. ONE FOR EACH STORY, INCLUDING BASEMENT  DEVICES LOCATED IN AREAS WHERE INTERIOR WALL OR CEILING FINISHES ARE NOT REMOVED TO EXPOSE THE STRUCTURE CAN BE BATTERY OPERATED AND ARE NOT REQUIRED TO BE INTERCONNECTED, EXCEPT THAT INTERCONNECTION IS REQUIRED IF THE ROOMS CAN BE ACCESSED THROUGH THE ATTIC FLOOR	PROVIDE DETECTORS AS PER SECTION R314 OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE DEVICES TO BE LOCATED AS FOLLOWS:  1. ONE FOR EACH STORY HAVING A SLEEPING AREA 2. ONE FOR EACH STORY WHERE FUEL FIRED APPLIANCES AND EQUIPMENT OR ATTACHED GARAGES ARE LOCATED  DEVICES LOCATED IN AREAS WHERE INTERIOR WALL OR CEILING FINISHES ARE NOT REMOVED TO EXPOSE THE STRUCTURE CAN BE BATTERY OPERATED AND ARE NOT REQUIRED TO BE INTERCONNECTED, ALARMS MUST BE LOCATED WITHIN 10 FEET OF ANY BEDROOM DOOR AND MUST HAVE A DIGITAL READ-OUT

2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NYS										
*INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT										
CLIMATE ZONE:	4A									
REQUIRED:	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WALL FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB FLOOR & DEPTH R-VALUE	CRAWL SPACE R-VALUE
	0.32	0.55	0.4	R-49	R-21	R-8/13	R-19	R-10/13	R-10 / 2-FT.	R-10/13
PROPOSED:	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WALL FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB FLOOR & DEPTH R-VALUE	CRAWL SPACE R-VALUE
	0.32	N/A	0.4	R-49	R-21	N/A	N/A	N/A	R-10 / 2-FT.	N/A

- NOTES:  
1. ALL NEW WINDOWS SHALL HAVE INSULATED GLASS  
2. ALL NEW DOORS SHALL BE FULLY WEATHER STRIPPED  
3. PROVIDE CAULKING AROUND ALL DOORS AND WINDOWS TO PREVENT AIR INFILTRATION INTO BUILDING  
4. PROVIDE CAULKING AROUND ALL FLOOR & CEILING PENETRATIONS (MECHANICAL, PLUMBING AND ELECTRICAL)  
5. ALL NEW INSULATIONS TO BE FIBERGLASS BATT, WITH FOIL FACED VAPOR BARRIER

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA											
2020 RESIDENTIAL CODE OF NEW YORK STATE											
GROUND SNOW LOAD (PSF)	WIND DESIGN SPEED (MPH)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION I	WIND-BORNE DEBRIS ZONE	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM: WEATHERING	FROST LINE DEPTH	TERMITE	WIND DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS
30	120	NO	YES	NO	B	SEVERE	42"	MODERATE TO HEAVY	15deg.F	YES	SEE BELOW
FLOOD HAZARDS: A. FIRST CODE DATE OF ADOPTION JULY 9, 1980 B. DATE OF FLOOD INSURANCE STUDY JAN. 21 1998 C. MAP PANEL NUMBERS 36119C0307F THROUGH 36119C0338F EFFECTIVE SEPT.28, 2007											

2020 RESIDENTIAL CODE OF NEW YORK STATE				
REGULATION	ALLOWED/ REQUIRED	EXISTING	PROPOSED	
USE/ OCCUPANCY	1-FAMILY	1-FAMILY	NO CHANGE	
HEIGHT/ FIRE AREAS	3 STORY	2.5 STORY	NO CHANGE	
TYPE OF CONSTRUCTION	TYPE 5-B	TYPE 5-B	NO CHANGE	

GENERAL POOL NOTES AND REQUIREMENTS AS PER R326 OF THE  
2020 RESIDENTIAL CODE OF NEW YORK STATE

R326.3.1 IN-GROUND POOLS. IN-GROUND POOLS SHALL BE DESIGNED AND CONSTRUCTED IN CONFORMANCE WITH ANSI/APSP/ICC 5 (AMERICAN NATIONAL STANDARD FOR RESIDENTIAL IN-GROUND SWIMMING POOLS, 2011).

R326.4.1 TEMPORARY BARRIERS. AN OUTDOOR SWIMMING POOL SHALL BE SURROUNDED BY A TEMPORARY BARRIER DURING INSTALLATION OR CONSTRUCTION THAT SHALL REMAIN IN PLACE UNTIL A PERMANENT BARRIER IN COMPLIANCE WITH SECTION R326.4.2 IS PROVIDED

R326.4.1.1 HEIGHT - THE TOP OF THE TEMPORARY BARRIER T 48 INCHES (1219 MM) ABOVE GRADE MEASURED ON THE SIDE OF THE BARRIER WHICH FACES AWAY FROM THE SWIMMING POOL.

R326.4.1.2 REPLACEMENT BY A PERMANENT BAR-RIER. A TEMPORARY BARRIER SHALL BE REPLACED BY A COMPLYING PERMANENT BARRIER WITHIN EITHER OF THE FOLLOWING PERIODS: 1. 90 DAYS OF THE DATE OF ISSUANCE OF THE BUILDING PERMIT FOR THE INSTALLATION OR CONSTRUCTION OF THE SWIMMING POOL; OR 90 DAYS OF THE DATE OF COMMENCEMENT OF THE INSTALLATION OR CONSTRUCTION OF THE SWIMMING POOL.

R326.4.2.1 BARRIER HEIGHT AND CLEARANCES. THE TOP OF THE BARRIER SHALL BE NO LESS THAN 48 INCHES (1219MM) ABOVE GRADE MEASURED ON THE SIDE OF THE BARRIER THAT FACES AWAY FROM THE SWIMMING POOL. THE VERTICAL CLEARANCE BETWEEN GRADE AND THE BOTTOM OF THE BARRIER SHALL BE NOT GREATER THAN 2 INCHES (51 MM) MEASURED ON THE SIDE OF THE BARRIER THAT FACES AWAY FROM THE SWIMMING POOL. WHERE THE TOP OF THE POOL STRUCTURE IS ABOVE GRADE, THE BARRIER MAY BE AT GROUND LEVEL, OR MOUNTED ON TOP OF THE POOL STRUCTURE. WHERE THE BARRIER IS MOUNTED ON TOP OF THE POOL STRUCTURE, THE BARRIER SHALL COMPLY WITH SECTIONS R326.4.2.2 AND R326.4.2.3.[NY] R326.4.2.2 SOLID BARRIER SURFACES. SOLID BARRIERS WHICH DO NOT HAVE OPENINGS SHALL NOT CONTAIN INDENTATIONS OR PROTRUSIONS EXCEPT FOR NORMAL CONSTRUCTION TOLERANCES AND TOOLED MASONRY JOINTS. [NY] R326.4.2.3 CLOSELY SPACED HORIZONTAL MEMBERS. WHERE THE BARRIER IS COMPOSED OF HORIZONTAL AND VERTICAL MEMBERS AND THE DISTANCE BETWEEN THE TOPS OF THE HORIZONTAL MEMBERS IS LESS THAN 45 INCHES (1143MM), THE HORIZONTAL MEMBERS SHALL BE LOCATED ON THE SWIMMING POOL SIDE OF THE FENCE. SPACING BETWEEN VERTICAL MEMBERS SHALL NOT EXCEED 13/4 INCHES (44 MM) IN WIDTH. WHERE THERE ARE DECORATIVE CUTOUTS WITHIN VERTICAL MEMBERS, SPACING WITHIN THE CUTOUTS SHALL BE NOT GREATER THAN 13/4 INCHES (44 MM) IN WIDTH. [NY] R326.4.2.4 WIDELY SPACED HORIZONTAL MEMBERS. WHERE THE BARRIER IS COMPOSED OF HORIZONTAL AND VERTICAL MEMBERS AND THE DISTANCE BETWEEN THE TOPS OF THE HORIZONTAL MEMBERS IS 45 INCHES (1143 MM) OR MORE, SPACING BETWEEN VERTICAL MEMBERS SHALL BE NOT GREATER THAN 4 INCHES (102 MM), WHERE THERE ARE DECORATIVE CUTOUTS WITHIN VERTICAL MEMBERS, SPACING WITHIN THE CUTOUTS SHALL BE NOT GREATER THAN 13/4 INCHES (44 MM) IN WIDTH. [NY] R326.4.2.5 CHAIN LINK DIMENSIONS. MAXIMUM MESH SIZE FOR CHAIN LINK FENCES SHALL BE A 2 1/4 INCH (57MM) SQUARE, UNLESS THE FENCE HAS VERTICAL SLATS FASTENED AT THE TOP OR THE BOTTOM WHICH REDUCE THE OPENINGS TO NOT MORE THAN 13/4 INCHES (44 MM). [NY] R326.4.2.6 DIAGONAL MEMBERS. WHERE THE BARRIER IS COMPOSED OF DIAGONAL MEMBERS, THE MAXIMUM OPENING FORMED BY THE DIAGONAL MEMBERS SHALL BE NOT GREATER THAN 13/4 INCHES (44 MM).

R326.4.2.7 GATES. GATES SHALL COMPLY R326.4.2.1 THROUGH R326.4.2.6, AND WITH THE FOLLOWING REQUIREMENTS: [NY] R326.4.2.7.1 SELF-CLOSING AND OPENING CONFIGURATION. ALL GATES SHALL BE SELF-CLOSING. IN ADDITION, IF THE GATE IS A PEDESTRIAN ACCESS GATE, THE GATE SHALL OPEN OUTWARD, AWAY FROM THE POOL. [NY]

R326.4.2.7.2 LATCHING. ALL GATES SHALL BE SELF-LATCHING, WITH THE LATCH HANDLE LOCATED WITHIN THE ENCLOSURE (I.E., ON THE POOL SIDE OF THE ENCLOSURE) AND AT LEAST 40 INCHES (1016 MM) ABOVE GRADE. IN ADDITION, IF THE LATCH HANDLE IS LOCATED LESS THAN 54 INCHES(1372 MM) FROM GRADE, THE LATCH HANDLE SHALL BE LOCATED AT LEAST 3 INCHES (76 MM) BELOW THE TOP OF THE GATE, AND NEITHER THE GATE NOR THE BARRIER SHALL HAVE ANY OPENING GREATER THAN 0.5 INCH (12.7 MM) WITHIN 18 INCHES (457 MM) OF THE LATCH HANDLE. [NY] R326.4.2.7.3 LOCKING. ALL GATES SHALL BE SECURELY LOCKED WITH A KEY, COMBINATION OR OTHER CHILD-PROOF LOCK SUFFICIENT TO PREVENT ACCESS TO THE SWIMMING POOL THROUGH SUCH GATE WHEN THE SWIMMING POOL IS NOT IN USE OR SUPERVISED. [NY] R326.4.2.8 DWELLING WALL AS BARRIER. A WALL OR WALLS OF A DWELLING MAY SERVE AS PART OF THE BARRIER PROVIDED THAT THE WALL OR WALLS MEET THE APPLICABLE BARRIER REQUIREMENTS OF SECTIONS R326.4.2.1 THROUGH R326.4.2.6, AND ONE OF THE FOLLOWING CONDITIONS SHALL BE MET: 1.A) DOORS WITH DIRECT ACCESS TO THE POOL THROUGH THAT WALL SHALL BE EQUIPPED WITH AN ALARM THAT PRODUCES AN AUDIBLE WARNING WHEN THE DOOR AND/OR ITS SCREEN, IF PRESENT, ARE OPENED. THE ALARM SHALL BE LISTED IN ACCORDANCE WITH UL2017. THE AUDIBLE ALARM SHALL ACTIVATE WITHIN TWO SECONDS AND SOUND CONTINUOUSLY FOR A MINIMUM OF 30 SECONDS AFTER THE DOOR AND/OR ITS SCREEN, IF PRESENT, ARE OPENED AND BE CAPABLE OF BEING HEARD THROUGHOUT THE HOUSE DURING NORMAL HOUSEHOLD ACTIVITIES. THE ALARM SHALL AUTOMATICALLY RESET UNDER ALL CONDITIONS. THE ALARM SYSTEM SHALL BE EQUIPPED WITH A MANUAL MEANS, SUCH AS TOUCH PAD OR SWITCH, TO TEMPORARILY DEACTIVATE THE ALARM FOR A SINGLE OPENING. DEACTIVATION SHALL LAST FOR NOT MORE THAN 15 SECONDS; AND B) OPERABLE WINDOWS IN THE WALL OR WALLS USED AS A BARRIER SHALL HAVE A LATCHING DEVICE LOCATED NO LESS THAN 48 INCHES ABOVE THE FLOOR OPENINGS IN OPERABLE WINDOWS SHALL NOT ALLOW A 4-INCH-DIAMETER (102 MM) SPHERE TO PASS THROUGH THE OPENING WHEN THE WINDOW IS IN ITS LARGEST OPENED POSITION; AND C) WHERE THE DWELLING IS WHOLLY CONTAINED WITHIN THE POOL BARRIER OR ENCLOSURE, ALARMS SHALL BE PROVIDED AT EVERY DOOR WITH DIRECT ACCESS TO THE POOL; OR

2. OTHER APPROVED MEANS OF PROTECTION, SUCH AS SELF-CLOSING WITH SELF-LATCHING DEVICES, SO LONG AS THE DEGREE OF PROTECTION AFFORDED IS NOT LESS THAN THE PROTECTION AFFORDED BY ITEM 1 DESCRIBED ABOVE. [NY] R326.4.2.8.1 ALARM DEACTIVATION SWITCH LOCATION. WHERE AN ALARM IS PROVIDED, THE DEACTIVATION SWITCH SHALL BE LOCATED 54 INCHES (1372 MM) OR MORE ABOVE THE THRESHOLD OF THE DOOR. IN DWELLINGS REQUIRED TO BE ACCESSIBLE UNITS, TYPE A UNITS, OR TYPE B UNITS, THE DEACTIVATION SWITCH SHALL BE LOCATED 48 INCHES (1219 MM) ABOVE THE THRESHOLD OF THE DOOR.

R326.4.4 PROHIBITED LOCATIONS. BARRIERS SHALL BE LOCATED SO AS TO PROHIBIT PERMANENT STRUCTURES, EQUIPMENT OR SIMILAR OBJECTS FROM BEING USED TO CLIMB THE BARRIER.

R326.5 ENTRAPMENT PROTECTION FOR SWIMMING POOL AND SPA SUCTION OUTLETS. SUCTION OUTLETS SHALL BE DESIGNED TO PRODUCE CIRCULATION THROUGHOUT THE POOL OR SPA. SINGLE-OUTLETSYSTEMS, SUCH AS AUTOMATIC VACUUM CLEANER SYSTEMS, OR MULTIPLE SUCTION OUTLETS, WHETHER ISOLATED BY VALVES OR OTHERWISE, SHALL BE PROTECTED AGAINST USER ENTRAPMENT.

R326.5.1 COMPLIANCE. SUCTION OUTLETS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF CPSC 15 USC 8003 AND ANSI/APSP/ICC 7, WHERE APPLICABLE.

R326.6 SUCTION OUTLETS. SUCTION OUTLETS SHALL BE DESIGNED TO PRODUCE CIRCULATION THROUGHOUT THE POOL OR SPA. SINGLE-OUTLET SYSTEMS, SUCH AS AUTOMATIC VACUUM CLEANER SYSTEMS, OR MULTIPLE SUCTION OUTLETS, WHETHER ISOLATED BY VALVES OR OTHERWISE, SHALL BE PROTECTED AGAINST USER ENTRAPMENT.

R326.6.1 COMPLIANCE ALTERNATIVE. SUCTION OUTLETS MAY BE DESIGNED AND INSTALLED IN ACCORDANCE WITH ANSI/APSP/ICC 7. DO NOT PRINT THIS MATERIAL CONTAINS INFORMATION WHICH IS PROPRIETARY TO AND COPYRIGHTED BY INTERNATIONAL CODE COUNCIL, INC. THE INFORMATION COPYRIGHTED BY THE INTERNATIONAL CODE COUNCIL, INC. HAS BEEN OBTAINED AND REPRODUCED WITH PERMISSION. THE ACRONYM "ICC" AND THE ICC LOGO ARE TRADEMARKS AND SERVICE MARKS OF ICC. ALL RIGHTS RESERVED.

R326.6.2 SUCTION FITTINGS. POOL AND SPA SUCTION OUTLETS SHALL HAVE A COVER THAT CONFORMS TO ANSI/ASMEA112.19.8, OR AN 18 INCH BY 23 INCH (457 MM BY 584 MM) DRAIN GRATE OR LARGER, OR AN APPROVED CHANNEL DRAIN SYSTEM. EXCEPTION: SURFACE SKIMMERS.

R326.6.3 ATMOSPHERIC VACUUM RELIEF SYSTEM REQUIRED. POOL AND SPA SINGLE-OR MULTIPLE-OUTLET CIRCULATION SYSTEMS SHALL BE EQUIPPED WITH ATMOSPHERIC VACUUM RELIEF SHOULD GRATE COVERS LOCATED THEREIN BECOME MISSING OR BROKEN. THIS VACUUM RELIEF SYSTEM SHALL INCLUDE AT LEAST ONE APPROVED OR ENGINEERED METHOD OF THE TYPE SPECIFIED HEREIN, AS FOLLOWS: 1. SAFETY VACUUM RELEASE SYSTEM CONFORMING TO ASMEA112.19.17; OR 2. AN APPROVED GRAVITY DRAINAGE SYSTEM.

R326.6.4 DUAL DRAIN SEPARATION. SINGLE OR MULTIPLE PUMP CIRCULATION SYSTEMS HAVE A MINIMUM OF TWO SUCTION OUTLETS OF THE APPROVED TYPE. A MINIMUM HORIZONTAL OR VERTICAL DISTANCE OF 3 FEET (914 MM) SHALL SEPARATE THE OUTLETS. THESE SUCTION OUTLETS SHALL BE PIPED SO THAT WATER IS DRAWN THROUGH THEM SIMULTANEOUSLY THROUGH A VACUUM-RELIEF-PROTECTED LINE TO THE PUMP OR PUMPS.

R326.6.5 POOL CLEANER FITTINGS. WHERE PROVIDED, VACUUM OR PRESSURE CLEANER FITTING(S) SHALL BE LOCATED IN AN ACCESSIBLE POSITION(S) AT LEAST 6 INCHES (152 MM) AND NOT MORE THAN 12 INCHES (305 MM) BELOW THE MINIMUM OPERATIONAL WATER LEVEL OR AS AN ATTACHMENT TO THE SKIMMER(S).

R326.7 SWIMMING POOL AND SPA ALARMS. APPLICABILITY. A SWIMMING POOL OR SPA INSTALLED, CONSTRUCTED OR SUBSTANTIALLY MODIFIED AFTER DECEMBER 14, 2006, SHALL BE EQUIPPED WITH AN APPROVED POOL ALARM. POOL ALARMS SHALL COMPLY WITH ASTM F2208 (STANDARD SPECIFICATION FOR POOL ALARMS), AND SHALL BE INSTALLED, USED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THIS SECTION. EXCEPTIONS: 1. A HOT TUB OR SPA EQUIPPED WITH A SAFETY COVER WHICH COMPLIES WITH ASTM F1346. 2. A SWIMMING POOL (OTHER THAN A HOT TUB OR SPA) EQUIPPED WITH AN AUTOMATIC POWER SAFETY COVER WHICH COMPLIES WITH ASTM F1346.

R326.7.1 MULTIPLE ALARMS. A POOL ALARM MUST BE CAPABLE OF DETECTING ENTRY INTO THE WATER AT ANY POINT ON THE SURFACE OF THE SWIMMING POOL. IF NECESSARY TO PROVIDE DETECTION CAPABILITY AT EVERY POINT ON THE SURFACE OF THE SWIMMING POOL, MORE THAN ONE POOL ALARM SHALL BE PROVIDED.

R326.7.2 ALARM ACTIVATION. POOL ALARMS SHALL ACTIVATE UPON DETECTING ENTRY INTO THE WATER AND SHALL SOUND POOLSIDE AND INSIDE THE DWELLING.

R326.7.3 PROHIBITED ALARMS. THE USE OF PERSONAL IMMERSION ALARMS SHALL NOT BE CONSTRUED AS COMPLIANCE WITH THIS SECTION.

HAYNES ARCHITECTURE P.C.

570 yonkers ave. yonkers, ny 10704

p: 914.963.3838 f: 914.963.3861  
e: info @ haynesdesigngroup.com

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revisions:	
01.10.2021:	ENGINEERING COMMENTS
	DATED 12.30.21 ADDRESSED
	ENVIRONMENTAL COMMENTS
	DATED 12.30.21 ADDRESSED
	PBA MEETING 01.06.22
	COMMENTS ADDRESSED

project title:

Proposed Pool & Pool House at:


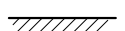

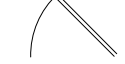
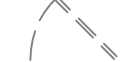
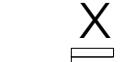



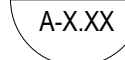

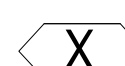


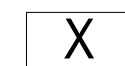

107 Judson Avenue  
Dobbs Ferry , New York

GENERAL NOTES

Seal: Architect Thomas E. Haynes REGISTERED ARCHITECT THOMAS E. HAYNES 3761 OF NEW YORK	original filing date: 10-04-2021 drawn by: checked by: drawing no.:
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SHEET NUMBER: 2152 A.01



LEGEND AND SYMBOLS:		GENERAL NOTES:	
	EXISTING WALL	<p>1. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE RESIDENTIAL CODE OF NEW YORK STATE AND ALL LOCAL CODES, ORDINANCES AND REGULATIONS OF AGENCIES HAVING JURISDICTION. ALL CONTRACTORS AND SUBCONTRACTORS ARE TO COMPLY WITH ALL O.S.H.A. REQUIREMENTS PERTAINING TO THEIR WORK.</p> <p>2. THE GENERAL CONTRACTOR (G.C.) AND ALL SUBCONTRACTORS ARE TO PROVIDE ALL LABOR MATERIALS, TOOLS, EQUIPMENT, SCAFFOLDING, SUPPLIES, LAYOUT AND SERVICES NECESSARY TO EXECUTE AND COMPLETE ALL WORK AS REQUIRED BY THE CONSTRUCTION DOCUMENTS, UNLESS OTHERWISE NOTED. PREPARATION AND INSTALLATIONS TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S LATEST WRITTEN INSTRUCTIONS WHETHER OR NOT SPECIFICALLY NOTED ON THE DRAWINGS.</p> <p>3. THE G.C. AND ALL SUBCONTRACTORS ARE TO FAMILIARIZE THEMSELVES WITH ALL APPLICABLE CODES AND REGULATIONS IN REGARDS TO THEIR WORK FOR THEY WILL BE RESPONSIBLE FOR SAME.</p> <p>4. THE G.C. IS TO FILE WORKERS COMPENSATION WITH THE DEPARTMENT OF BUILDINGS.</p> <p>5. THE G.C. IS TO OBTAIN AND PAY FOR THE BUILDING PERMIT. THE SUBCONTRACTORS ARE TO PAY FOR AND OBTAIN PERMIT REQUIRED IN CONNECTION WITH THEIR WORK.</p> <p>6. THE G.C. AND SUBCONTRACTORS ARE TO ARRANGE FOR AND AND PAY ALL FEES IN CONNECTION WITH ALL REQUIRED INSPECTIONS.</p> <p>7. PLANS ARE SUBJECT TO CHANGES AS DIRECTED BY THE DEPARTMENT OF BUILDINGS.</p> <p>8. THE G.C. AND SUBCONTRACTORS ARE TO REVIEW THE CONSTRUCTION DOCUMENTS, SPECIFICATIONS, NOTES AND ADDENDUMS THOROUGHLY TO DETERMINE THE EXTENT OF WORK UNDER THEIR TRADE AND THE WORK OF OTHER TRADES REQUIRING COORDINATION, FOR THEY WILL BE RESPONSIBLE FOR SAME. THE ARCHITECT WILL CLARIFY ANY DISCREPANCIES OR CONTRACTOR QUESTIONS IN WRITING PRIOR TO BID SUBMISSION.</p> <p>9. DO NOT SCALE DRAWINGS. USE COMPUTED DIMENSIONS ONLY. IF ANY DISCREPANCIES ARE FOUND, NOTIFY ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.</p> <p>10. ALL DIMENSIONS AND LOCATIONS AS INDICATED ON THE DRAWINGS ARE TO BE CONSIDERED AS REASONABLY CORRECT, BUT IT IS UNDERSTOOD THAT THEY ARE SUBJECT TO MODIFICATION AS MAY BE NECESSARY OR DESIRABLE AT THE TIME OF INSTALLATION TO MEET ANY UNFORESEEN OR OTHER CONDITIONS.</p> <p>11. THE G.C. AND ALL SUBCONTRACTORS ARE TO INVESTIGATE THE JOB SITE AND ALL EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS AND START OF CONSTRUCTION. ALL EXISTING CONDITIONS AND DIMENSIONS TO BE FIELD VERIFIED. DISCREPANCIES AND UNCOVERED CONDITIONS NOT ADDRESSED SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER AND THE ARCHITECT.</p> <p>12. ALL WORK IS TO BE PERFORMED IN A NEAT, PROFESSIONAL MANNER BY SKILLED MECHANICS.</p> <p>13. THE G.C. AND OTHER SUBCONTRACTORS ARE TO BE RESPONSIBLE FOR THE PROPER PERFORMANCE OF THEIR WORK, COORDINATION WITH OTHER TRADES, METHODS, SAFETY AND SECURITY ON THE SITE AT ALL TIMES. SPECIAL ATTENTION TO SAFETY IS TO BE PROVIDED DURING ALL REQUIRED DEMOLITION WORK. THE ARCHITECT AND THE ARCHITECT'S AGENTS ARE NOT RESPONSIBLE OR LIABLE FOR THE ABOVE AND IS HELD HARMLESS AND INDEMNIFIED BY ALL CONTRACTORS FROM ANY CLAIMS, LOSSES, SUITS, OR LEGAL ACTIONS ARISING FROM THE CONTRACTORS PERFORMANCE OF THE WORK ON THIS PROJECT.</p> <p>14. THE G.C. IS TO RETAIN THE SERVICES OF A LICENSED LAND SURVEYOR AND PAY THE FEE TO LOCATE AND STAKE THE PROPOSED STRUCTURE(S). THE LAND SURVEYOR IS TO ESTABLISH THE GRADE DATUM(S) IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. - IF REQUIRED IN SCOPE OF WORK</p> <p>15. THE G.C. IS TO NOTIFY THE BUILDING DEPARTMENT AT LEAST 24 HOURS PRIOR TO THE POURING OF CONCRETE FOOTINGS.</p> <p>16. THE G.C. IS TO SECURE AND PAY FEES FOR THE CERTIFICATE OF OCCUPANCY AFTER COMPLETION OF THE WORK AS INDICATED ON THE CONSTRUCTION DOCUMENTS, ADDENDA'S AND OTHER APPROVED CHANGE ORDERS. SUBMIT COPIES OF THE CERTIFICATE OF OCCUPANCY TO THE OWNER PRIOR TO SUBMITTING FOR FINAL PAYMENT.</p> <p>17. NO EXTRA CHARGES WILL BE ACCEPTED DUE TO AN INCOMPLETE FIELD OBSERVATION BY THE G.C. AND ALL SUBCONTRACTORS, EXCEPT FOR HIDDEN CONDITIONS AS DETERMINED BY THE ARCHITECT.</p> <p>18. THE OWNER AND/OR THE ARCHITECT RESERVES THE RIGHT TO REQUEST SUBMITTALS AND/OR SHOP DRAWINGS FOR APPROVAL ON ANY AND ALL ITEMS SPECIFIED ON THE DRAWINGS INCLUDING BUT NOT LIMITED TO STRUCTURAL STEEL, STEEL REINFORCEMENT, DOOR HARDWARE, PLUMBING AND ELECTRICAL FIXTURES AND HVAC EQUIPMENT. THE CONTRACTOR MUST SUBMIT (3) COPIES OF EQUIPMENT AND FIXTURE CUTS ON ITEMS THAT THE CONTRACTOR IS REQUESTING TO SUBSTITUTE FOR THE ITEMS SPECIFIED ON THE DRAWINGS.</p> <p>19. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE TO GUARANTEE WORK UNDER THEIR CONTRACT INCLUDING PARTS AND LABOR FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE.</p> <p>20. THE ARCHITECT HAS NOT BEEN RETAINED TO PERFORM WORK DURING CONSTRUCTION OF A PROJECT AND ASSUMES NO RESPONSIBILITY FOR INSPECTIONS, CHANGES IN DESIGN OR CONSTRUCTION MEANS AND METHODS.</p>	<p>CONCRETE :</p> <p>1. CONCRETE IS TO BE CONTROLLED STONE CONCRETE COMPLYING WITH A.C.I. 318 BUILDING CODE REQUIREMENTS. CONCRETE IS TO HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. CONCRETE FOR GARAGE SLABS, CARPORT SLABS, SON-O-TUBE FOOTINGS, STEPS, PORCH SLABS AND SIDEWALKS EXPOSED TO WEATHER IS TO BE MINIMUM 3500 PSI CLASS 'B' "AIR-ENTAINED" CONCRETE. SEE FOUNDATION PLANS FOR LOCATIONS OF CONCRETE WITH A HIGHER COMPRESSIVE STRENGTH.</p> <p>2. CONCRETE IS TO BE PLACED IN CONFORMANCE WITH A.C.I. 304. LATEST ADDITION. CONCRETE IS NOT TO BE SUBJECT TO DROPS OF MORE THAN 5'-0".</p> <p>3. ALL POURS ARE TO BE TERMINATED BY FORMS. PROVIDE KEY WAYS AS INDICATED ON THE DRAWINGS AND AS DIRECTED BY THE ARCHITECT.</p> <p>4. ALL CONCRETE IS TO BE FORMED, UNLESS OTHERWISE APPROVED BY THE ARCHITECT.</p> <p>5. OBTAIN CONCRETE MANUFACTURER'S CERTIFICATES OF COMPLIANCE SHOWING CONCRETE CLASS, AGGREGATE SIZES, ADDITIVES USED AND FIBER MESH REINFORCEMENT (IF APPLICABLE).</p> <p>6. THE FOUNDATION SUBCONTRACTOR IS TO OBTAIN CONCRETE TEST CYLINDERS FOR EACH CLASS OF CONCRETE SPECIFIED. TAKE TWO (2) CYLINDERS EACH FOR EACH 150 CU.YDS. OR FRACTIONS THEREOF. TEST ONE (1) CYLINDER AT SEVEN (7) DAYS AND ONE (1) CYLINDER AT 28 DAYS. CYLINDER TESTS TO BE PERFORMED BY A CERTIFIED TESTING LABORATORY. TEST REPORTS ARE TO INCLUDE CONCRETE CLASS, SLUMP, GAGE AND LOCATION OF CONCRETE. SUBMIT THREE (3) COPIES OF TEST REPORTS TO THE ARCHITECT FOR REVIEW AND APPROVAL.</p> <p>7. THE FOUNDATION SUBCONTRACTOR IS TO SUBMIT FOUR (4) COPIES OF THE STEEL REINFORCEMENT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL. THE SHOP DRAWINGS ARE TO INDICATE REINFORCEMENT TYPE, SIZES, QUANTITIES, PLACEMENT AND ALL BENDS AND LAPS FOR ALL FOUNDATION REINFORCEMENT AS INDICATED ON THE DRAWINGS.</p> <p>8. ALL REINFORCEMENT IS TO BE DEFORMED BARS OF INTERMEDIATE GRADE NEW BILLET STEEL A-615 GRADE. 60 BENDS IN REINFORCEMENT ARE TO BE SHOP FABRICATED. FIELD BENDS WILL NOT BE PERMITTED.</p> <p>9. ALL REINFORCEMENT STEEL IS TO BE SECURELY WIRED TOGETHER IN THE FRAMEWORK. TWO WAY MATS OF STEEL ARE TO BE TIED AT ALTERNATE INTERSECTIONS BOTH WAYS.</p> <p>10. THE FOUNDATION SUBCONTRACTOR IS TO PROVIDE HIGH CHAIRS, SPACERS, SUPPORTS, ETC. AS NECESSARY FOR THE PROPER PLACEMENT OF THE REINFORCEMENT STEEL.</p> <p>11. PROVIDE CLEARANCES FROM FACES OF CONCRETE TO REINFORCEMENT AS FOLLOWS:</p> <ul style="list-style-type: none"><li>· CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH---3"</li><li>· EXPOSED TO EARTH OR WEATHER (#5 BARS OR SMALLER)---1 1/2"</li><li>· EXPOSED TO EARTH OR WEATHER (#6 BARS OR GREATER)---2"</li><li>· NOT EXPOSED TO WEATHER OR IN CONTACT WITH EARTH: SLABS, WALLS AND JOISTS-----3/4"</li><li>· BEAMS, GIRDERS, COLUMNS · (PRINCIPAL REINFORCEMENT, TIES, STIRRUPS OR SPIRALS) --1 1/2"</li></ul> <p>12. LENGTH OR REINFORCEMENT SPLICES ARE TO CONFORM TO A.C.I. BUILDING CODE REQUIREMENTS, BUT IN NO CASE ARE THE SPLICES TO BE LESS THAN 30 BAR DIAMETERS OR AS OTHERWISE APPROVED BY THE ARCHITECT.</p> <p>13. WELDED WIRE FABRIC IS TO CONFORM TO A.S.T.M. SPECIFICATION A-185.</p> <p>14. ALL SLABS ON GRADE ARE TO BE REINFORCED WITH WELDED WIRE FABRIC 3/4" DOWN FROM THE TOP OF SLAB, AND OVER ANY PIPES OR CONDUITS IN THE SLAB. SIZE AND TYPE TO BE AS INDICATED ON THE DRAWINGS, BUT IN NO CASE IS THE W.W.F. TO BE LESS THAN 6X6 -W/4W1.4 W.W.F. FOR 4" SLABS AND 6X6 -W2.9-W2.9 W.W.F. FOR 6" THICK SLABS.</p> <p>15. FIBER MESH REINFORCEMENT INTEGRAL WITH THE CONCRETE MIX MAY BE SUBSTITUTED WITH W.W.F. IN 4" SLABS ON GRADE.</p> <p>16. W.W.F. IS TO LAP ONE FULL MESH SQUARE AT ALL SIDES AND END LAPS AND BE WIRED TOGETHER.</p> <p>17. THICKNESS AND REINFORCEMENT OF STRUCTURAL SLABS ON GRADE DUE TO SPECIAL LOADING REQUIREMENTS SHALL BE NOTED ON THE DRAWINGS.</p> <p>18. POUR SLABS ON GRADE IN ALTERNATING LANE (CHECKERBOARD) PATTERNS NOT TO EXCEED 800 S.F. IN AREA OR MORE THAN 40 FEET IN LENGTH BETWEEN CONSTRUCTION OR EXPANSION JOISTS. PROVIDE DIAMOND SHAPED ISOLATION JOINTS AT ALL INTERIOR COLUMNS. EXPANSION JOINTS ARE TO BE MADE FROM PRE FORMED ASPHALT IMPREGNATED FIBERBOARD.</p> <p>19. PLACE A MINIMUM OF 4" CRUSHED STONE UNDER ALL SLABS ON GRADE.</p> <p>20. INSTALL 6 MIL. POLYETHYLENE VAPOR BARRIER UNDER ALL SLABS ON GRADE. LAP ENDS A MINIMUM OF 6" AND TAPE.</p> <p>21. PROVIDE EXPANSION JOINTS BETWEEN ALL SLABS AND VERTICAL SURFACES. BETWEEN SIDEWALK SLABS AND CURBS, SIDEWALK SLABS AND EXTERIOR WALLS AND IN SIDEWALK SLAB SPACED MAXIMUM OF 10'-0" O.C.</p> <p>22. PROVIDE 1/4" X 1" DEEP SAW CUTS (CUT INTO SLABS WITHIN 24 HOURS OF POUR) OR FORMED JOINT FILLED WITH SEALER AS INDICATED ON THE DRAWINGS OR AS DIRECTED BY THE ARCHITECT.</p> <p>23. THE FOUNDATION CONTRACTOR IS TO ASCERTAIN THE LOCATIONS OF ALL SLEEVES, INSERTS, ANCHOR BOLTS AND EMBEDMENTS REQUIRED BY ALL OTHER TRADES. SUCH EMBEDMENTS ARE TO BE CHECKED FOR COMPLETENESS AND PROPER LOCATION PRIOR TO CONCRETE BEING PLACED.</p> <p>24. NOTIFY THE BUILDING DEPARTMENT AT LEAST 24 HOURS PRIOR TO THE PLACEMENT OF CONCRETE FOOTINGS FOR REQUIRED INSPECTIONS.</p> <p>25. CURING OF CONCRETE IS TO START AS SOON AS THE FINISHES WILL NOT BE MARRED THEREBY DELAYING THE CURING PROCESS WILL NOT BE PERMITTED.</p> <p>26. ALL COLD WEATHER CONCRETE TO BE PERFORMED IN ACCORDANCE WITH ALL RECOMMENDATIONS OF THE A.C.I. PROVIDE AND INSTALL TEMPORARY INSULATING BLANKETS AS REQUIRED TO PROTECT CONCRETE FROM FREEZING. CORROSIVE ADMIXTURES SUCH AS THOSE CONTAINING CALCIUM CHLORIDE MAY NOT BE USED.</p> <p>27. PROVIDE NON-SHRINK GROUT UNDER ALL LEVELING PLATES AND BEARING PLATES.</p> <p>28. APPLY TROWEL FINISH TO ALL MONOLITHIC SLAB SURFACES EXPOSED TO VIEW OR RECEIVING FLOORING. VARIATIONS IN FLOOR SLABS ARE NOT TO EXCEED 1/8" IN 10'-0" UNLESS SLAB PITCHES TOWARD FLOOR DRAIN.</p> <p>29. APPLY NON-SLIP BROOM FINISHES TO ALL EXTERIOR WALKS, GARAGE FLOORS AND ELSEWHERE AS INDICATED ON THE DRAWINGS.</p> <p>30. INSTALL CONCRETE SLAB SEALER TO ALL INTERIOR SLABS EXPOSED TO VIEW NOT RECEIVING FINISHES TO PREVENT DUSTING U.O.N.</p>
	NEW WALL		
	WALL TO BE DEMOLISHED		
	EXISTING DOOR		
	NEW DOOR		
	DOOR TO BE DEMOLISHED		
	WALL TAG		
	SMOKE DETECTOR -HARDWIRE & BATT. BACK-UP		
	CARBON MONOXIDE DETECTOR W/ DIGITAL READ-OUT		
	75 CFM MECH. EXHAUST FAN -CONNECT TO SEPARATE SWITCH DUCT TO EXTERIOR		
	ELEVATION MARKER		
	ELEVATION		
	ELEVATION NUMBER		
	DRAWING NUMBER		
	DETAIL		
	DETAIL NUMBER		
	DRAWING NUMBER		
	DOOR NUMBER		
	WINDOW TYPE		
	SCOPE OF WORK TAG		
	PLUMBING TAG		
	EQUIPMENT TAG		
	FINISH TAG		
</			

ABBREVIATIONS:															
A/C. ACOUS. ACOUS.T ADJ. ALUM. ALT. ANOD. APPVD. APPROX. ARCH.	AIR CONDITIONING ACOUSTICAL ACOUSTICAL TILE ADJUSTABLE ALUMINUM ALTERNATE ANODIZED APPROVED APPROXIMATE ARCHITECT or ARCHITECTURAL AUTOMATIC AVERAGE AND ABOVE FINISH FLOOR ABOVE BOARD BUILDING BLOCKING BRACKET BRZ. BRZ. BSMT. CAB. C.C. CER. CLKG. CLG. CLOS.	CLR. CLR. OPG. COL. CONC. CONN. CONST. CONT. COR. CORR. C.T. CTR. C.W. D.A. DEPT. DET. D.F. DIA. DIM. DIV. DN. DR. DWG. DRW. (E.) ELEC. ELEV. ELEV.R ENGR. EQ.	CLEAR CLEAR OPENING COLUMN CONCRETE CONNECT CONSTRUCTION CONTINUOUS CORNER CORRIDOR COUNTERTOP CENTER COLD WATER DOUBLE ACTING DEPARTMENT DETAIL DRINKING FOUNTAIN DIAMETER DIMENSION DIVISION DOWN DOOR DRAWING DRAWER EAST ELECTRIC ELEVATION ELEVATOR ENGINEER EQUAL	EQUIP. EXH. EXIST. EXPAN. EXT. ELECT. F.A.L.M. FABR. F.E. F.E.C FIN. FL. F.H.C FIN. FLR. FLUOR. F.O.C F.O.F F.O.G F.O.S F.O.W FR. F.S. FT. F.A.R F-F FIXT. GA.	EQUIPMENT EXHAUST EXISTING EXPANSION EXPOS EXTERIOR ELECTRICAL FIRE ALARM CORNER FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR FIRE HOSE CABINET FINISH(ED) FLUORESCENT FACE OF CONCRETE FACE OF FINISH LEFT HAND FACE OF STUD FACE OF WALL FRAME FULL SIZE FOOT OR FEET FLOOR AREA RATIO FACE TO FACE FURR/ FURRING FIXTURE GAUGE	GEN. GL. GYP. GWB. HGT. H.M. HORIZ. HVAC H.W. I.D INCL. INFO. INT. JAN. JOINT LAM. LB (OR #) L.H. LAV. MAINT. MAX. MECH. M.C. MTL. MEZZ. MGR. MIN. MISC.	GENERAL GLASS OR GLAZED GYPSUM GYPSUM WALL BOARD HEIGHT HOLLOW METAL HORIZONTAL HEATING, VENTILATION & AIR CONDITIONING HOT WATER INSIDE DIAMETER INCLUDE(D)ING INFORMATION INTERIOR JANITOR JOINT LAMINATE POUND LEFT HAND LAVATORY MAINTENANCE MAXIMUM MECHANICAL MIL CHUTE METAL MEZZANINE MANAGER MINIMUM MISCELLANEOUS	MTD. MUL. M.T.H. MIC. (N) N. NEG. N.I.C NO.(OR #) N.T.S O.A O.C O.D OFF. O.H OPP. ORIG. PART.BD. P.LAM. PLAS. PLYWD. PNL. PR. PREFAB. PROJ. PTN. PTD. PWG. QUAL.	MOUNTED MULLION METAL THRESHOLD MICROWAVE NORTH NEW NEGATIVE NOT IN CONTRACT NUMBER NOT TO SCALE OVERALL ON CENTER OUTSIDE DIAMETER OFFICE OPPOSITE HAND OPNG. OPPOSITE ORIGINAL PARTICLE BOARD PLASTIC LAMINATE PLASTER PLYWOOD PANEL PAIR PREFABRICATED PROJECT PARTITION PAINTED PAINTED WOOD & GLASS QUALITY	QUAN. R/A RAD. RECEP. REFF. REF REFL. REINF. RESIL. REQ. R.H. RM. RND. R.O. REV. (S) SCHED. SECT. SIM. SQ. SQ.FT OR SF. STL. STD. STRUT. SUSP. SYMM. SYS. SPL.	QUANTITY RETURN AIR RADIUS RECEPTACLE REFERENCE REFRIGERATOR REFLECTED REINFORCED RESILIENT REQUIRED RIGHT HAND ROOM ROUND ROUGH OPENING REVISION SOUTH SCHEDULE SECTION SIMILAR SQUARE SQUARE FEET STEEL STAINLESS STEEL STANDARD STRUCTURAL SUSPENDED SYMMETRICAL SYSTEM SPLASH	S STOR. TECH. TEL. TEMPD. TEMP.GL. THK. TYP. T.M.E U.L UTIL. U.O.N VERT. VEST. V.I.F VOL. (W) W/ W.C W.I.C W.D. WIND. W.H. WO W.S WV. YD.	SMOKE DETECTOR STORAGE TECHNICAL TELEPHONE TEMPERED TEMPERED GLASS THICK(NESS) TYPICAL TO MATCH EXISTING UNDERWRITERS LABORATORY UTILITY UNLESS OTHERWISE NOTED VERTICAL VESTIBULE VERIFY IN FIELD VOLUME WEST WITH WATER CLOSET WATER IN CLOSET WOOD WINDOW WATER HEATER WITHOUT WEATHERSTRIPPING WOOD VENEER YARD		

TEA

HAYNES ARCHITECTURE P.C.

570 yonkers ave. yonkers, ny 10704

p: 914.963.3838

f: 914.963.3861

e: info @ haynesdesigngroup.com

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revisions:

01.10.2021:

ENGINEERING COMMENTS  
DATED 12.30.21 ADDRESSED ENVIRONMENTAL COMMENTS  
DATED 12.30.21 ADDRESSED  
PBA MEETING 01.06.22  
COMMENTS ADDRESSED

project title:

Proposed Pool & Pool House at:

107 Judson Avenue

Dobbs Ferry , New York

Seal: Architect Thomas E. Haynes

REGISTERED ARCHITECT  
THOMAS E. HAYNES  
3761  
OF NEW YORK

10-04-2021

original filing date:

drawn by:

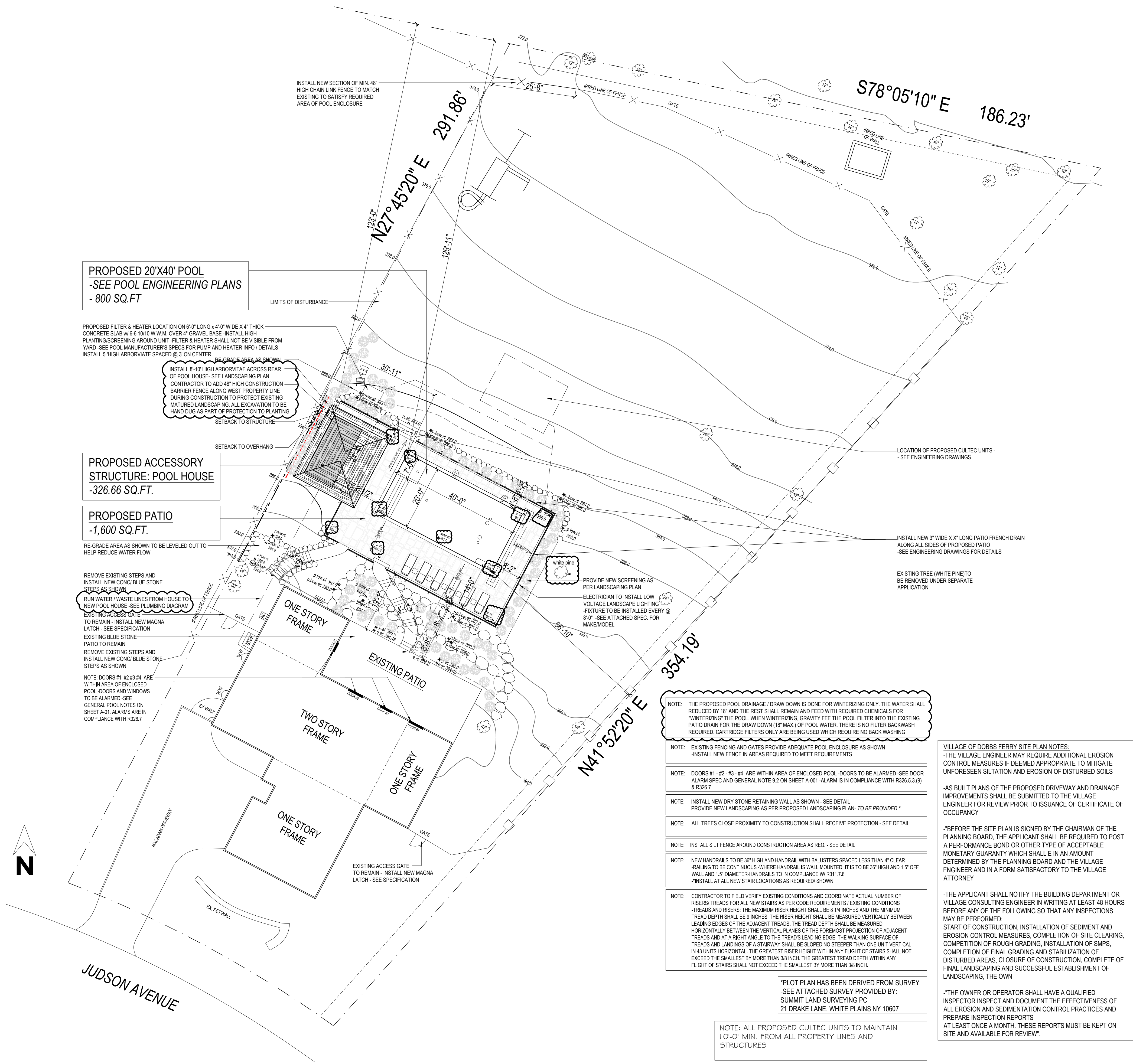
checked by:

drawing no.:

2152

A.02





## ZONING ANALYSIS:

GENERAL INFORMATION:			
ADDRESS:	ZONING DISTRICT:	PARCEL ID:	
107 JUDSON AVENUE	OF3	3.130-120-2	
USE REQUIREMENTS:			
CATEGORY	REQUIRED / ALLOWED	EXISTING	PROPOSED
ONE FAMILY	1- FAMILY	1-FAMILY	NO CHANGE
LOT/ BULK REQUIREMENTS:			
CATEGORY	REQUIRED / ALLOWED	EXISTING	PROPOSED
LOT AREA (SF.)	15,000 SF.	41,942 SF.	NO CHANGE
MIN. LOT WIDTH (FT.)	100'	93'	NO CHANGE
MIN. LOT DEPTH (FT.)	100'	291.86'	NO CHANGE
*PRINCIPLE BUILDING			
FRONT YARD (FT.)	30'	29.1'	NO CHANGE
REAR YARD (FT.)	25'	+/-172	NO CHANGE
SIDE YARD (ONE SIDE) FT.)	15'	16.3'	NO CHANGE
SIDE YARD (BOTH SIDE) FT.)	40'	39.9'	NO CHANGE
BUILDING HEIGHT (STORY/ FT.)	2.5 / 30'	NO CHANGE	NO CHANGE
*PROPOSED ACCESSORY STRUCTURE : POOL HOUSE & POOL			
REAR YARD (FT.)	5'	-	123'-0" TO POOL HOUSE 129'-11" TO POOL
SIDE YARD (ONE SIDE) FT.)	5'	-	5'-6" TO POOL HOUSE 30'-11" TO POOL
SIDE YARD (2ND SIDE) FT.)	40'	-	104'-7" TO POOL HOUSE 56'-10" TO POOL
BUILDING HEIGHT (STORY/ FT.)	1.5 / 20'	-	1 / 13'-5"
MAXIMUM DIMMENSIONAL REQUIREMENTS:			
CATEGORY:	REQUIRED/ALLOWED	EXISTING:	PROPOSED:
MAX. BUILDINGS COVERAGE %	20%	8.2%	10.97%
MAX. IMPERVIOUS SURFACE COVERAGE %	40%	16.83%	25.25%

NOTE: SEE ENGINEERING DRAWINGS FOR ALL  
EROSION CONTROL / STORM WATER  
MANAGEMENT INFORMATION

TEA

## HAYNES ARCHITECTURE P.C.

570 yonkers ave. yonkers, ny 10704

p: 914.963.3838 f: 914.963.3861  
e: info @ haynesdesigngroup.com

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## PROPOSED OPTIONS

seal: Architect Thomas E. Haynes



JOB NUMBER:

original

filing date:

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drawn by:

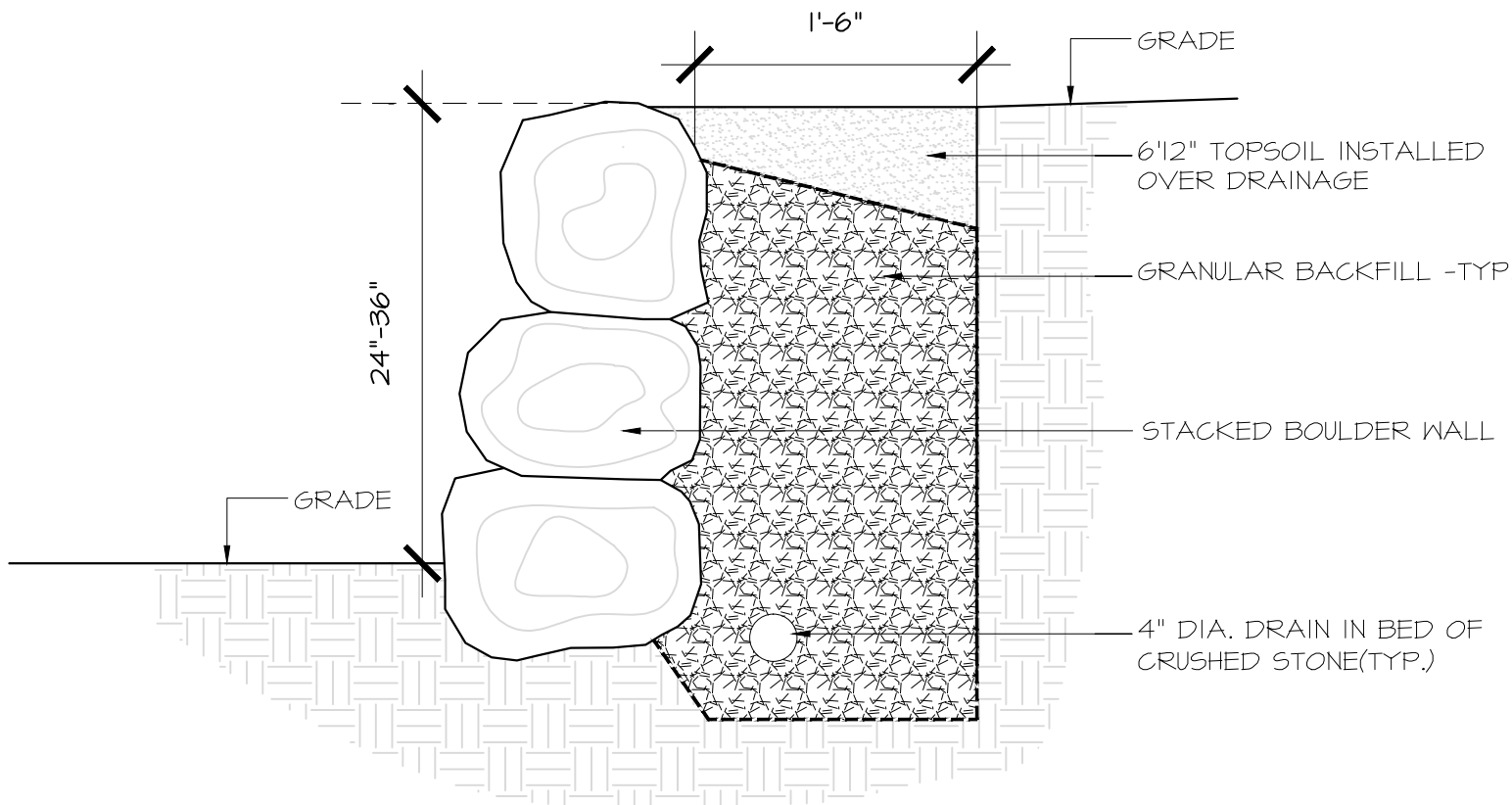
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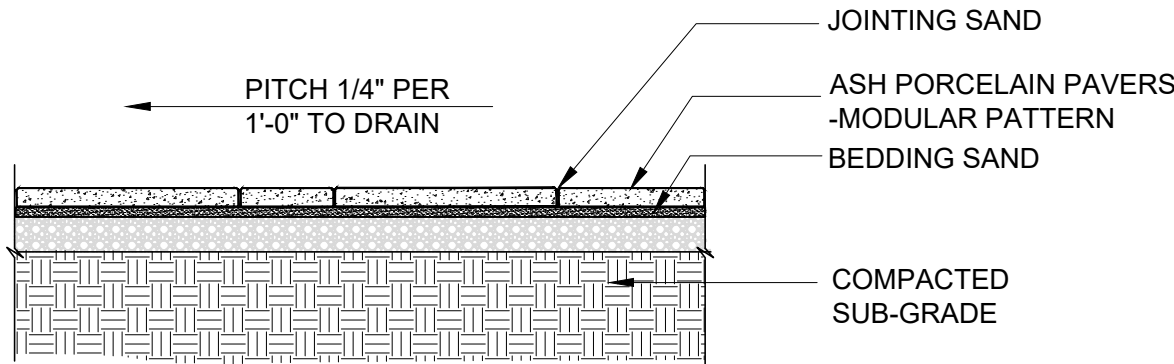
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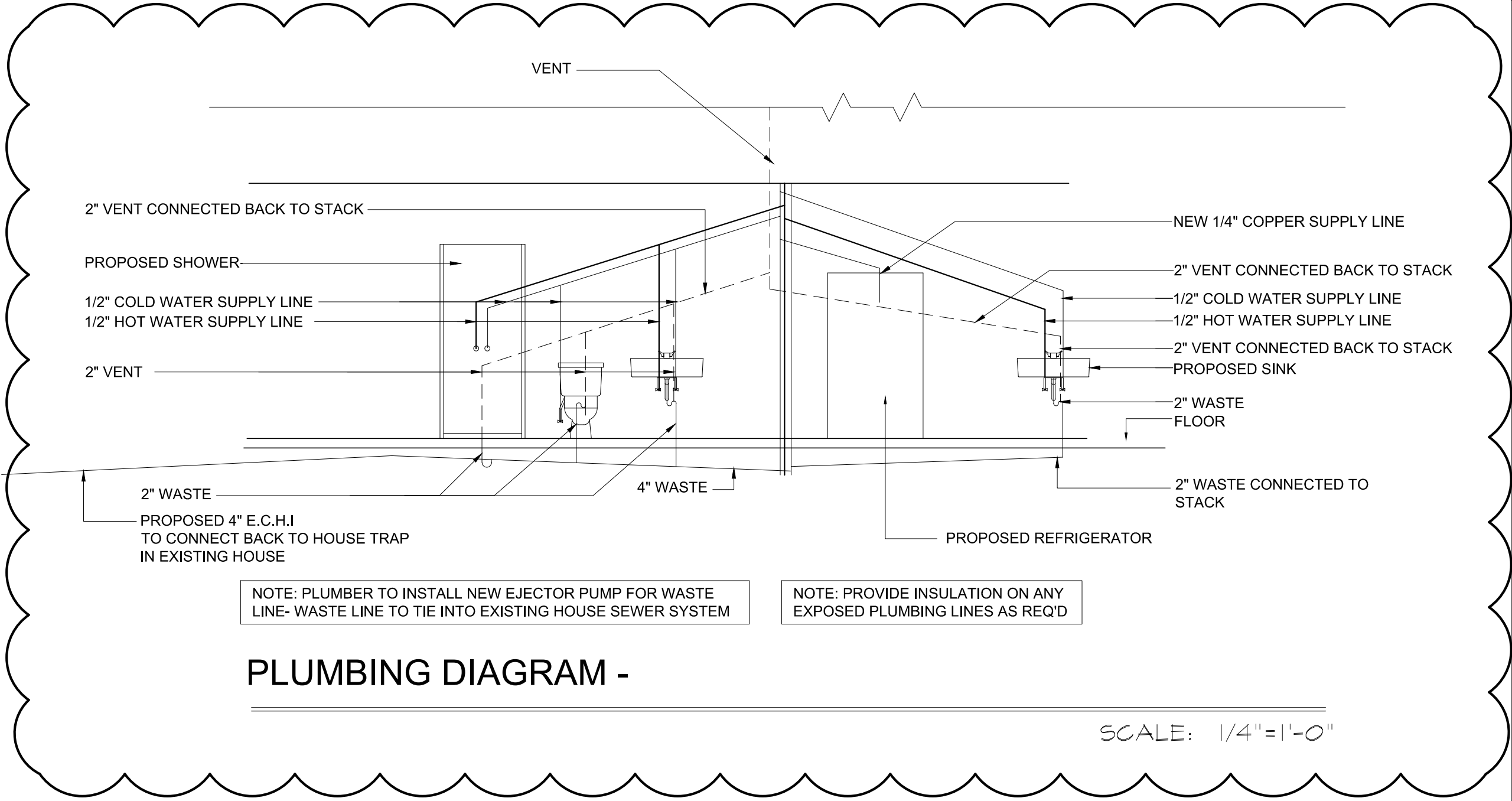
## BOULDER RETAINING WALL DETAIL

SCALE: 1"=1'-0"



## TYP. PATIO DETAIL A-A

SCALE: 1/2" = 1'-0"



## PLUMBING DIAGRAM -

### SITE WORK NOTES:

#### SITE WORK GENERAL NOTES:

- ALL EXTERIOR CONCRETE TO BE 3,500 PSI (MIN.)
- ALL PROPERTY LINE LOCATIONS TO BE STAKED OUT AND VERIFIED PRIOR TO COMMENCEMENT OF WORK. PROPOSED DRIVEWAY ENLARGEMENT TO REMAIN A MIN. OF 3'-0" TO SIDE PROPERTY LINE
- NO WORK TO TAKE PLACE BEYOND EXISTING PROPERTY LINES INCLUDING POURED CONCRETE FOOTINGS
- ALL CONCRETE FOOTINGS TO BE A MINIMUM OF 42" BELOW FINISHED GRADE
- NEW WALL FOOTING AT EXISTING DWELLING TO BE STEPPED DOWN TO LEVEL OF EXISTING HOUSE FOOTING AND DOWELED INTO EXISTING AS REQUIRED -SEE DETAILS IF REQUIRED.
- NO RETAINING WALL MAY EXCEED 6'-0" IN HEIGHT AND SHALL BE VERIFIED IN THE FIELD AND COORDINATED WITH EXISTING/PROPOSED GRADES.
- ANY PROPOSED CULTREC UNITS (IF REQ'D) TO MAINTAIN 10'-0" MIN. FROM ALL PROPERTY LINES
- ARCHITECT TO BE NOTIFIED OF ANY FOUND DISCREPANCIES.

#### EROSION CONTROL GENERAL NOTES:

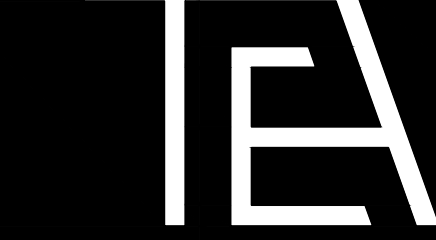
- ALL EROSION CONTROL AND SEDIMENT CONTROL PRACTICES DURING CONSTRUCTION SHALL BE INSTALLED IN ACCORDANCE WITH EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES MANUAL 1991 EDITION, NYS DEC'S REDUCED IMPACTS OF STORM WATER RUNOFF FROM NEW DEVELOPMENT, WESTCHESTER COUNTY D.E.C. AND CITY OF YONKERS REGULATIONS. EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL HAVE THE FOLLOWING:
  - EROSION CONTROL AND BARRIERS - SILT FENCES AND/OR HAY BALES
  - SEDIMENT TRAPS
  - SOIL STABILIZATION
  - TRACK PADS (CONSTRUCTION ENTRANCE)
  - DUST CONTROL
  - SOIL STOCKPILE AREAS RINGED WITH SILT FENCE
- A TRUCK CONSTRUCTION ENTRANCE PAD SHALL BE INSTALLED AT THE CONSTRUCTION SITE ENTRANCE TO REMOVE SEDIMENT CAPTURED ON THE TRUCKS ENTERING AND LEAVING THE SITE. SEE EROSION CONTROL DETAILS FOR ADDITIONAL INFORMATION.
- AREAS NOT SUBJECT TO ONGOING EARTHWORK OR CONSTRUCTION, SOILS ARE TO BE SEEDED AND MULCHED TO REDUCE THE AMOUNT OF SOILS EXPOSED TO RAINFALL.
- DURING PERIODS WHEN SOILS BECOME DRY AND SUBJECT TO BECOME ARBORNE, WATERING SHALL BE UTILIZED TO SPRAY AND MOISTEN THE SOILS. (SUBJECT TO DROUGHT WATERING RESTRICTIONS).
- EXPOSED SOIL STOCKPILE AREAS TO BE RINGED WITH FILTER FABRIC FENCING. STOCKPILES SHALL NOT BE LOCATED WITHIN 50 FEET OF SLOPES, ROADWAYS OR DRAINAGE FACILITIES. ALL EXPOSED SOIL STOCK PILES SHALL BE COVERED AT THE END OF EACH DAY TO PREVENT SOIL EROSION AND SOIL LOSE FROM RAINFALL EVENTS.
- ALL EXPOSED MASS EXCAVATION AREAS AND OPENING TRENCH AREAS SHALL BE COVERED AT THE END OF EACH DAY TO PREVENT SOIL EROSION AND SOIL LOSE FROM RAINFALL EVENTS. CUT AND FILL SLOPES SHALL BE CONSTRUCTED IN A MANNER TO MINIMIZE EROSION.
- OFF SITE PAVED ROADWAYS SHALL BE KEPT CLEAN AT ALL TIMES.
- ALL CATCH BASIN INLETS AND TRENCH DRAINS SHALL BE PROTECTED WITH HAY BALES.
- ALL DEWATERING OPERATIONS SHALL DISCHARGE THROUGH A SOIL EROSION AND SEDIMENT CONTROL FACILITY.
- SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS TO INSURE THAT TEMPORARY AND PERMANENT DITCHES, PIPES AND STRUCTURES ARE CLEAN OF DEBRIS, THAT EMBANKMENTS AND BERMS ARE NOT BREACHED, AND THAT ALL HAY BALES ARE INTACT.
- DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS.

#### EXCAVATION AND GRADING GENERAL NOTES:

- THE SITE CONTRACTOR IS TO PROVIDE ALL LABOR MATERIALS, TOOLS AND EQUIPMENT FOR EARTHWORK AS INDICATED ON THE APPROVED DRAWINGS.
- THE SITE CONTRACTOR IS TO EXAMINE EXISTING SITE CONDITIONS, SOIL CHARACTERISTICS, CONTOURS, TREE AND UTILITY LOCATIONS, AND OTHER OBSTRUCTIONS THAT MAY BE ENCOUNTERED ON THE SITE DURING EXCAVATION.
- CLEARING AND GRUBBING: THE ENTIRE SITE IS TO BE CLEARED OF ALL VEGETATION, RUBBISH, FENCES, ABANDONED UNDERGROUND PIPING AND OBSTRUCTIONS.
- REMOVE ALL STUMPS, ROOTS AND DEBRIS TO A DEPTH OF 24" IN THE AFFECTED AREA.
- STRIP ALL TOP SOIL AND ORGANIC SOILS FROM THE SITE. STOCKPILE AWAY FROM THE BUILDING SITE AS INDICATED ON THE DRAWINGS OR AS DIRECTED BY THE ARCHITECT. DO NOT BURY BASES OF TREES SCHEDULED TO REMAIN. PROTECT TREES TO REMAIN AS REQUIRED.
- EXCAVATING AND TRENCHING OF UTILITY LINES IN LOCATIONS INDICATED ON THE SITE PLAN DEPTHS TO BE AS REQUIRED FOR FROST PROTECTION, PITCH AND UTILITY COMPANY REQUIREMENTS.
- GRADE AREA TO ROUGH GRADES SLOPED PER SITE PLAN GRADING. SUB GRADES ARE TO BE 6" BELOW LAWNED AREAS, AND 6" BELOW ASPHALTIC PAVEMENTS. SEE BACK FILLING AND COMPACTION NOTES FOR ADDITIONAL INFORMATION.
- EXCAVATE FOR BUILDING FOUNDATION IN AREA INDICATED ON THE SITE PLAN. BOTTOM OF FOOTING ELEVATIONS ARE AS INDICATED ON THE CONSTRUCTION DOCUMENTS. SOIL AT BOTTOM OF FOOTING TO BE ACCEPTABLE, UNDISTURBED SOIL OF BEARING CAPACITY INDICATED.
- IF SOIL AT BOTTOM OF FOOTING ELEVATION IS NOT SUITABLE FOR BEARING OF FOOTING, REMOVE SOIL AS REQUIRED AND BACK FILL WITH APPROVED FILL AND COMPACT TO 95% OF MAXIMUM DENSITY.
- AT THE APPROPRIATE TIME, THE SITE CONTRACTOR IS TO SPREAD STOCKPILED TOPSOIL OVER DISTURBED AREAS TO A MINIMUM THICKNESS OF 6" AFTER COMPACTION. GRADE TO MEET FINISHED GRADES AS INDICATED ON THE SITE PLAN. TOPSOIL IS TO BE FREE OF ROCKS LARGER THAN 3in. IN DIAMETER, TREE ROOTS, STUMPS AND OTHER UNACCEPTABLE DEBRIS.
- ANY REMAINING SUB SOIL OR TOPSOIL FROM EXCAVATION PROCESS IS TO BE LEGALLY DISPOSED OF OFF SITE.
- SEED DISTURBED AREAS WITH SEED MIXTURE AS INDICATED ON THE SITE PLAN.

#### BACKFILLING AND COMPACTED FILL GENERAL NOTES:

- PLACEMENT OF FOOTING TO BE ON UNDISTURBED SOIL WITH A MINIMUM BEARING CAPACITY OF 2000 PSF OR APPROVED COMPACTED FILL AS OUTLINED BELOW.
- PLACEMENT OF FLOOR SLABS AND PAVEMENTS ARE TO BE PLACED ON COMPACTED FILL AT 95% OF MAXIMUM DENSITY COMPLYING WITH ASTM D1557. LAWN AND UNPAVED AREAS ARE TO HAVE COMPACTED FILL OF 90% OF MAXIMUM DENSITY. PROVIDE MAXIMUM PERCENTAGE OF DENSITY AS SPECIFIED.
- BACK FILLING AND COMPACTION AT FOUNDATION WALLS AND PIERS ARE TO BE PERFORMED ON EACH SIDE SIMULTANEOUSLY. DIFFERENCES IN FILL ELEVATIONS ARE NOT TO EXCEED 8" ON EITHER SIDE OF THE FOUNDATION AT ANY TIME.
- BACKFILLING AGAINST BASEMENT FOUNDATION WALLS SHALL NOT BE DONE UNTIL CONCRETE OR MORTAR HAS CURED AT LEAST 7 DAYS AND THE BASEMENT SLAB AND FIRST FLOOR DECK IS INSTALLED, OR IF THE CONTRACTOR PROPERLY BRACES THE BASEMENT WALLS TO RESIST THE SOIL PRESSURES OF THE BACKFILLING OPERATIONS.
- AT NO TIME SHALL BULLDOZER, CONCRETE TRUCKS OR OTHER HEAVY EQUIPMENT BE PERMITTED TO APPROACH FOUNDATION WALLS CLOSER THAN 8'-0".
- SOILS FOR BACK FILLING AND COMPACTION ARE TO BE FREE OF ORGANIC MATERIAL, ROCK OR LUMPS GREATER THAN 6". OF PREDOMINATELY GRANULAR NON-EXPANSIVE SOILS, FREE OF ROOTS AND OTHER DELETERIOUS MATTER SUBJECT TO THE APPROVAL OF THE SOILS ENGINEER AND ARCHITECT.
- SOIL MOISTURE TO BE WITHIN OPTIMUM MOISTURE CONTENT BEFORE COMPACTING MOISTEN OR AERATE EACH LAYER TO PROVIDE OPTIMUM MOISTURE CONTENT. ANY SOIL WHICH IS TOO WET TO COMPACT MUST BE REMOVED, STOCKPILED AND SPREAD AND ALLOWED TO DRY PRIOR TO PLACEMENT.
- PLACE BACK FILL IN LAYERS NOT TO EXCEED 8" IN LOOSE DEPTH.
- DO NOT PLACE BACK FILL MATERIALS ON SURFACES THAT ARE MUDDY, FROZEN OR CONTAIN FROST.
- IF REQUESTED BY THE ARCHITECT PROVIDE THE SERVICES OF A CONSTRUCTION SOIL ENGINEERED TO DO ONE FIELD SOIL DENSITY TEST FOR EVERY 2000 S.F. OF PAVED AREA, BUT NOT LESS THAN 3 TESTS. PROVIDE TO THE ARCHITECT A WRITTEN REPORT PREPARED BY THE SOIL ENGINEER CERTIFYING THAT THE COMPACTION REQUIREMENTS HAVE BEEN OBTAINED. STATE IN THE REPORT THE AREA OR FILL OR EMBANKMENT, THE COMPACTION DENSITY OBTAINED, SOIL MOISTURE CONTENT AND THE TYPE OR CLASSIFICATION OF THE FILL MATERIAL PLACED.
- IF IN THE OPINION OF THE SOILS ENGINEER OR THE ARCHITECT BASED ON THE REPORTS OF THE TESTING LABORATORY, SUB GRADE OR FILLS WHICH HAVE BEEN PLACED ARE BELOW SPECIFIC COMPACTION DENSITY, PROVIDE ADDITIONAL COMPACTION AND TESTING AS REQUIRED TO BRING SOIL COMPACTION UP TO SPECIFIED REQUIREMENTS.
- OBTAIN THE CONSTRUCTION SOIL ENGINEER AND THE ARCHITECT'S APPROVAL OF THE SUB GRADES AND FILL LAYERS BEFORE SUBSEQUENT CONSTRUCTION IS PERMITTED.



### HAYNES ARCHITECTURE P.C.

570 yonkers ave. yonkers, ny 10704

p: 914.963.3838 f: 914.963.3861  
e: info @ haynesdesigngroup.com

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#### revisions:

01.10.2021:	ENGINEERING COMMENTS
	DATED 12.30.21 ADDRESSED
	ENVIRONMENTAL COMMENTS
	DATED 12.30.21 ADDRESSED
	PBA MEETING 01.06.22
	COMMENTS ADDRESSED

project title:

## Proposed Pool & Pool House at:

107 Judson Avenue  
Dobbs Ferry , New York

### SITE DETAILS

Seal: Architect Thomas E. Haynes	original filing date: 10-04-2021
	drawn by:
	checked by:
	drawing no.:

JOB NUMBER:

2152

SP.02





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project title:

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Dobbs Ferry , New York

LANDSCAPING PLAN

Seal: Architect Thomas E. Haynes original filing date: 10-04-2021



JOB NUMBER: 2152 SP.03

## PLANTING LEGEND

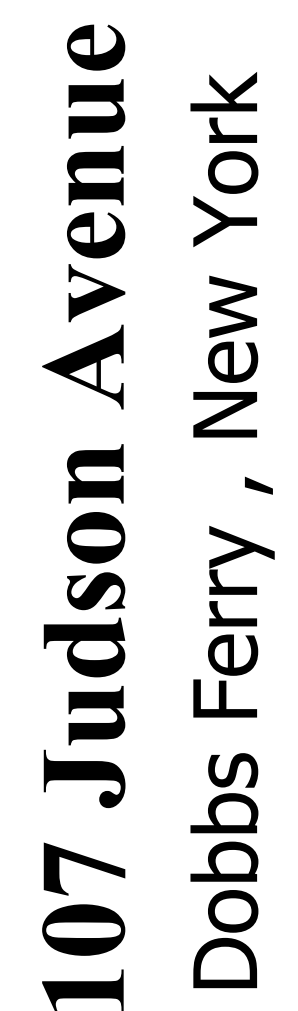
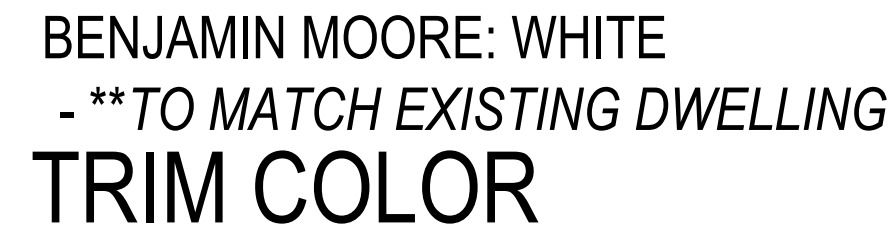
NO.	PLANT/ SIZE	QTY.
1.	BOXWOOD 36-42"	3
2.	ANDROMEDA 'MTN. FIRE' 30-36"	3
3.	NATIVE RHODODENDRON 4-5'	3
4.	WEeping WHITE PINE 6-7'	1
5.	SPIREA 'ANTHONY WATERER' 3 GAL.	13
6.	ARBORVITAE 'GREEN GIANT' 8-10'	16
7.	EUROPEAN HORNBEAM 'FASTIGIATE' 2 1/2" CAL.	10
8.	RHODODENDRON 'ROSEUM ELEGANS' 30-36"	3
9.	PURPLE CONEFLOWER 1 GAL.	7
10.	ASTILBE 'PEACH BLOSSOM' 1 GAL.	9
11.	TAXIS 'HICKS' 3-4'	1
12.	DAYLILY 'DOROTHY WYCOFF' 1 GAL.	12
13.	VINCA 'BOWLES' 1 GAL.	60
14.	KOUSA DOGWOOD 7-8'	1
15.	BOXWOOD 'GREEN VELVET' 30-36"	31
16.	DWARF ALBERTA SPRUCE 4-5'	4
17.	CANADIAN HEMLOCK 5-6'	3
18.	COTONEASTER 'WILLOWLEAF' 3 GAL.	7
19.	HYDRANGEA 'ENDLESS SUMMER' 7 GAL.	5
20.	JAPANESE LACELEAF MAPLE 3-4' HEIGHT AND SPREAD	1
21.	JAPANESE STEWARTIA 7-8'	1
22.	DWARF GLOBOSA BLUE SPRUCE 24-30"	1
23.	NEPETA 'DROPMORE' 1 GAL.	12
24.	AJUGA 'BURGUNDY GLOW' 1 GAL.	10
25.	DWARF FOUNTAIN GRASS 1 GAL.	6
26.	LIRIOPE 'BIG BLUE' 1 GAL.	24
27.	HOLLY 'BLUE PRINCESS' 4-5'	6
28.	NINEBARK 'DIABLO' 5 GAL.	6
29.	BLACK EYE SUZY 1 GAL.	14
30.	ASTILBE 'CHINENSIS' 1 GAL.	12
31.	RED TWIG DOGWOOD 'HALO' 5 GAL.	6
32.	CANADIAN HEMLOCK 7-8'	6
33.	FORSYTHIA 5-6'	6
34.	DAYLILY STELL D'ORO 1GAL.	10
35.	WEeping NORWAY SPRUCE 4-5'	1
36.	AZALEA 'TRADITION PINK' 3 GAL.	10
37.	HOLLY 'NELLIE STEVENS' 4-5'	7
38.	CHERRY LAUREL 'SCHIPKAENENSIS' 4-5'	5
39.	HOSTA 'PATRIOT' 1 GAL.	16
40.	RIVER BIRCH 'HERITAGE' 10-12'	3

PROPOSED: LANDSCAPE PLAN











**HAYNES ARCHITECTURE P.C.**

570 yonkers ave. yonkers, ny 10704

t: 914.963.3838 f: 914.963.3861  
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project title:

## Proposed Pool & Pool House at:

# 107 Judson Avenue

**Dobbs Ferry , New York**

## PROPOSED POOL HOUSE

seal: Architect Thomas E. Haynes

original 10-04-2021  
filing date:

rawn by:

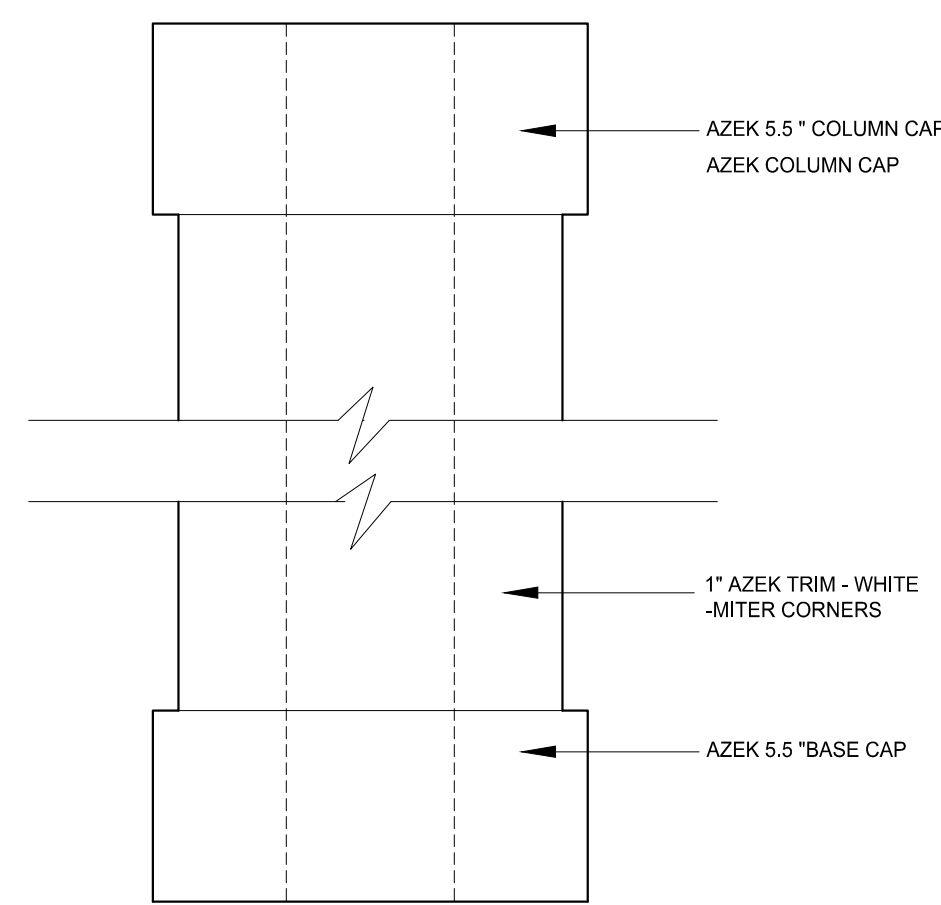
checked by

Drawing no

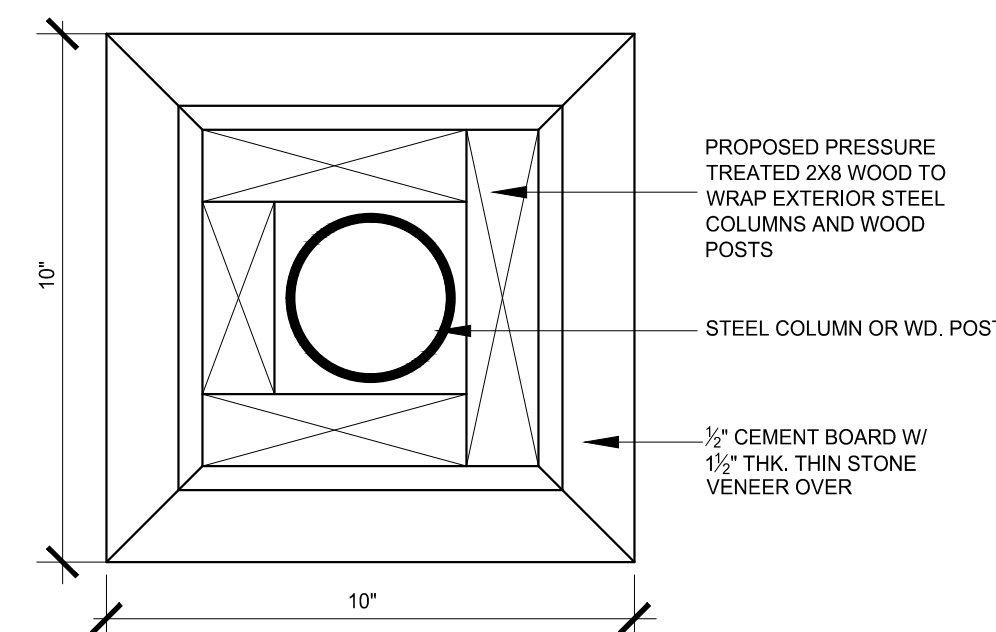
JOB NUMBER

2152

## A1.03



ELEVATION



## BASE PLAN

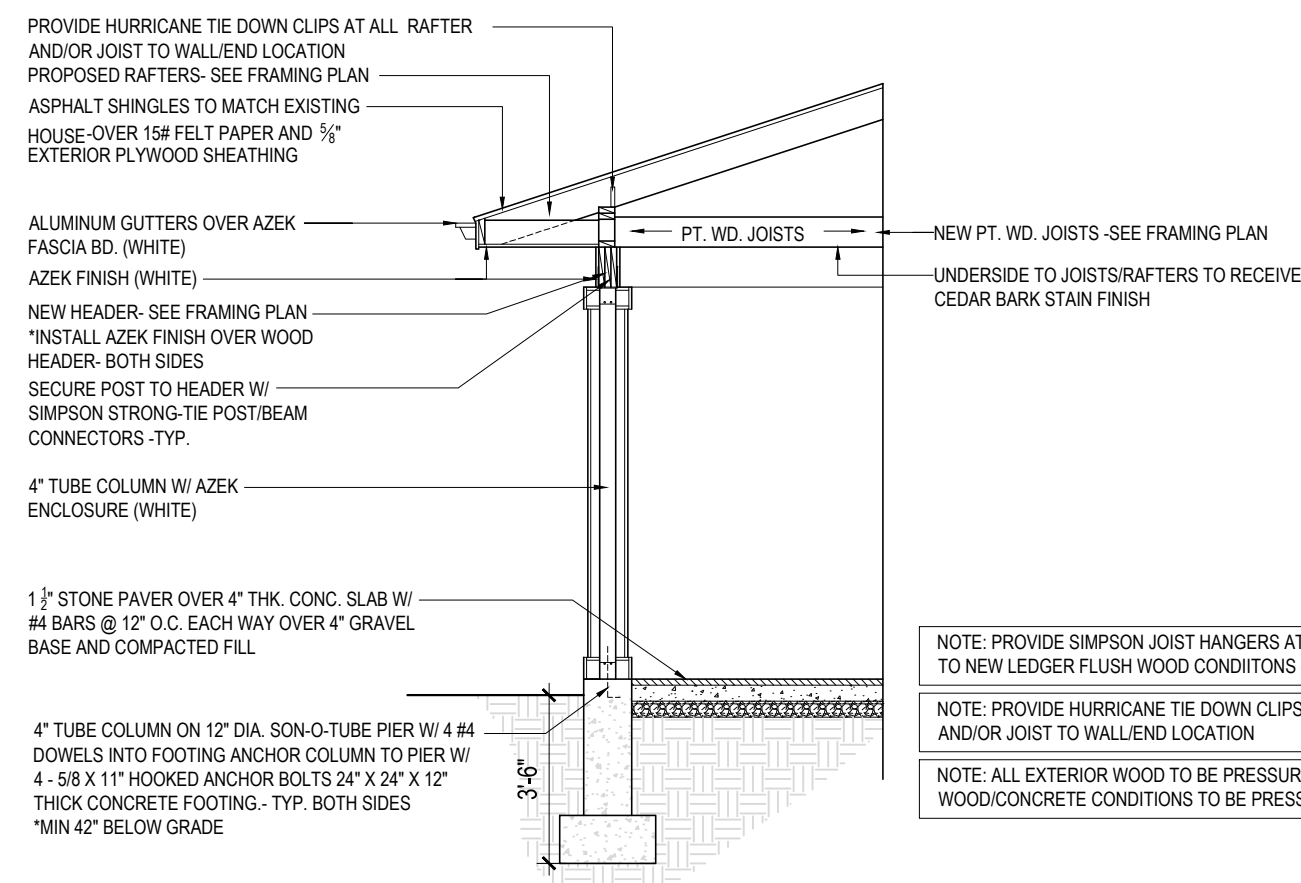
## COLUMN WRAP DETAIL

SCALE: 3" = 1' - 0'

INSTALL ICE SHIELD AROUND  
ENTIRE PERIMETER -BEGIN ICE  
SHIELD AT EAVES AND CARRY UP  
ROOF TO A POINT WITHIN 24" OF THE  
INTERIOR OF THE EXTERIOR WALL  
BELOW -TYPICAL

## ICE SHIELD DETAILS

SCALE: 1/2"=1'-0"



## COVERED PATIO SECTION

SCALE: 1/4" = 1'-0"



## EXISTING REAR VIEW