

Proposed Pool and Pool House at: 107 Judson Avenue, Dobbs Ferry NY



HAYNES ARCHITECTURE P.C.

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revisions:

01.10.2021:	ENGINEERING COMMENTS DATED 12.30.21 ADDRESSED ENVIRONMENTAL COMMENTS DATED 12.30.21 ADDRESSED PBA MEETING 01.06.22 COMMENTS ADDRESSED
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project title:

PROJECT INFORMATION:

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SCOPE OF WORK:

PROPOSED IN-GROUND POOL
PROPOSED ACCESSORY STRUCTURE- POOL HOUSE

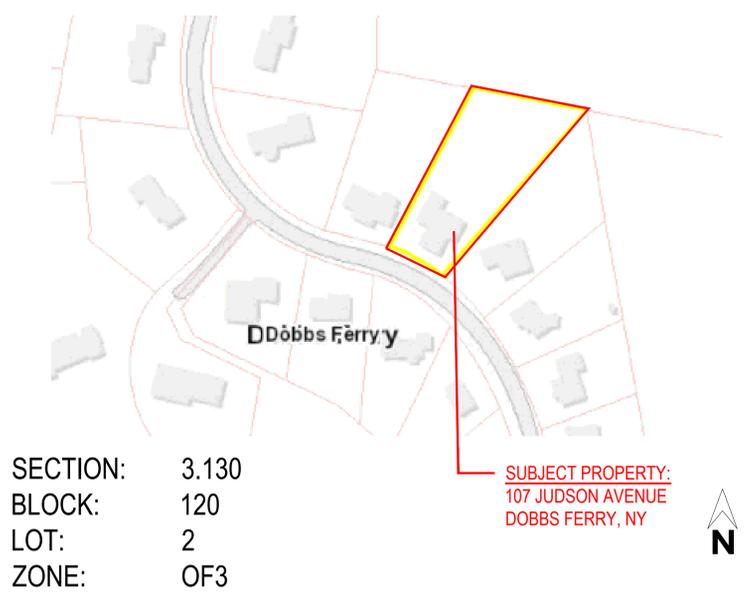
THESE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE TOWN OF DOBBS FERRY MUNICIPAL CODE

THESE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE

THESE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE 2020 BUILDING CODE OF NEW YORK STATE AND THE 2020 RESIDENTIAL CODE OF NEW YORK STATE - APPENDIX J FOR EXISTING BUILDINGS

THESE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE

LOCATION MAP: NOT TO SCALE



SECTION: 3.130
BLOCK: 120
LOT: 2
ZONE: OF3

SUBJECT PROPERTY:
107 JUDSON AVENUE
DOBBS FERRY, NY



DRAWING LIST:

SHEET:	TITLE:
A.01	LOCATION PLAN / GENERAL NOTES
A.02	GENERAL NOTES
SP.01	PLOT PLAN / ZONING ANALYSIS
SP.02	SITE GENERAL NOTES / DETAILS
SP.03	LANDSCAPING PLAN
A1.01	PROPOSED PLANS / ELEVATIONS
A1.02	PROPOSED FINISHES
A1.03	PHOTOS / DETAILS

SMOKE DETECTOR NOTES:

PROVIDE DETECTORS AS PER SECTION R314 OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE DEVICES TO BE LOCATED AS FOLLOWS:

- ONE FOR EACH SLEEPING ROOM
- ONE DIRECTLY OUTSIDE EACH SLEEPING ROOM
- ONE FOR EACH STORY, INCLUDING BASEMENT

DEVICES LOCATED IN AREAS WHERE INTERIOR WALL OR CEILING FINISHES ARE NOT REMOVED TO EXPOSE THE STRUCTURE CAN BE BATTERY OPERATED AND ARE NOT REQUIRED TO BE INTERCONNECTED, EXCEPT THAT INTERCONNECTION IS REQUIRED IF THE ROOMS CAN BE ACCESSED THROUGH THE ATTIC FLOOR

CARBON MONOXIDE ALARM NOTES:

PROVIDE DETECTORS AS PER SECTION R314 OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE DEVICES TO BE LOCATED AS FOLLOWS:

- ONE FOR EACH STORY HAVING A SLEEPING AREA
- ONE FOR EACH STORY WHERE FUEL FIRED APPLIANCES AND EQUIPMENT OR ATTACHED GARAGES ARE LOCATED

DEVICES LOCATED IN AREAS WHERE INTERIOR WALL OR CEILING FINISHES ARE NOT REMOVED TO EXPOSE THE STRUCTURE CAN BE BATTERY OPERATED AND ARE NOT REQUIRED TO BE INTERCONNECTED, ALARMS MUST BE LOCATED WITHIN 10 FEET OF ANY BEDROOM DOOR AND MUST HAVE A DIGITAL READ-OUT

2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NYS

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT										
CLIMATE ZONE: 4A										
REQUIRED:	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WALL FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB FLOOR & DEPTH R-VALUE	CRAWL SPACE R-VALUE
	0.32	0.55	0.4	R-49	R-21	R-8/13	R-19	R-10/13	R-10 / 2-FT.	R-10/13
PROPOSED:	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WALL FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB FLOOR & DEPTH R-VALUE	CRAWL SPACE R-VALUE
	0.32	N/A	0.4	R-49	R-21	N/A	N/A	N/A	R-10 / 2-FT.	N/A

- NOTES:
- ALL NEW WINDOWS SHALL HAVE INSULATED GLASS
 - ALL NEW DOORS SHALL BE FULLY WEATHER STRIPPED
 - PROVIDE CAULKING AROUND ALL DOORS AND WINDOWS TO PREVENT AIR INFILTRATION INTO BUILDING
 - PROVIDE CAULKING AROUND ALL FLOOR & CEILING PENETRATIONS (MECHANICAL, PLUMBING AND ELECTRICAL)
 - ALL NEW INSULATIONS TO BE FIBERGLASS BATT, WITH FOIL FACED VAPOR BARRIER

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

2020 RESIDENTIAL CODE OF NEW YORK STATE													
GROUND SNOW LOAD (PSF)	WIND DESIGN SPEED (MPH)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION I	WIND-BORNE DEBRIS ZONE	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM:			WIND DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.
30	120	NO	YES	NO	B	SEVERE	42"	MODERATE TO HEAVY	15deg F	YES	SEE BELOW	1500	52deg F

FLOOD HAZARDS:
A. FIRST CODE DATE OF ADOPTION JULY 9, 1980
B. DATE OF FLOOD INSURANCE STUDY JAN. 21 1998
C. MAP PANEL NUMBERS 36119C0307F THROUGH 36119C0338F EFFECTIVE SEPT.28, 2007

2020 RESIDENTIAL CODE OF NEW YORK STATE

REGULATION	ALLOWED/REQUIRED	EXISTING	PROPOSED
USE/ OCCUPANCY	1-FAMILY	1-FAMILY	NO CHANGE
HEIGHT/ FIRE AREAS	3 STORY	2.5 STORY	NO CHANGE
TYPE OF CONSTRUCTION	TYPE 5-B	TYPE 5-B	NO CHANGE

GENERAL POOL NOTES AND REQUIREMENTS AS PER R326 OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE

R326.3.1 IN-GROUND POOLS. IN-GROUND POOLS SHALL BE DESIGNED AND CONSTRUCTED IN CONFORMANCE WITH ANSI APSPIC 5 (AMERICAN NATIONAL STANDARD FOR RESIDENTIAL IN-GROUND SWIMMING POOLS, 2011).

R326.4.1 TEMPORARY BARRIERS. AN OUTDOOR SWIMMING POOL SHALL BE SURROUNDED BY A TEMPORARY BARRIER DURING INSTALLATION OR CONSTRUCTION THAT SHALL REMAIN IN PLACE UNTIL A PERMANENT BARRIER IN COMPLIANCE WITH SECTION R326.4.2 IS PROVIDED

R326.4.1.1 HEIGHT - THE TOP OF THE TEMPORARY BARRIER T 48 INCHES (1219 MM) ABOVE GRADE MEASURED ON THE SIDE OF THE BARRIER WHICH FACES AWAY FROM THE SWIMMING POOL.

R326.4.1.2 REPLACEMENT BY A PERMANENT BARRIER. A TEMPORARY BARRIER SHALL BE REPLACED BY A COMPLYING PERMANENT BARRIER WITHIN EITHER OF THE FOLLOWING PERIODS: 1. 90 DAYS OF THE DATE OF ISSUANCE OF THE BUILDING PERMIT FOR THE INSTALLATION OR CONSTRUCTION OF THE SWIMMING POOL; OR 90 DAYS OF THE DATE OF COMMENCEMENT OF THE INSTALLATION OR CONSTRUCTION OF THE SWIMMING POOL.

R326.4.2.1 BARRIER HEIGHT AND CLEARANCES. THE TOP OF THE BARRIER SHALL BE NO LESS THAN 48 INCHES (1219MM) ABOVE GRADE MEASURED ON THE SIDE OF THE BARRIER THAT FACES AWAY FROM THE SWIMMING POOL. THE VERTICAL CLEARANCE BETWEEN GRADE AND THE BOTTOM OF THE BARRIER SHALL BE NOT GREATER THAN 2 INCHES (51 MM) MEASURED ON THE SIDE OF THE BARRIER THAT FACES AWAY FROM THE SWIMMING POOL. WHERE THE TOP OF THE POOL STRUCTURE IS ABOVE GRADE, THE BARRIER MAY BE AT GROUND LEVEL, OR MOUNTED ON TOP OF THE POOL STRUCTURE. WHERE THE BARRIER IS MOUNTED ON TOP OF THE POOL STRUCTURE, THE BARRIER SHALL COMPLY WITH SECTIONS R326.4.2.2 AND R326.4.2.3 [NY] R326.4.2.2 SOLID BARRIER SURFACES. SOLID BARRIERS WHICH DO NOT HAVE OPENINGS SHALL NOT CONTAIN INDENTATIONS OR PROTRUSIONS EXCEPT FOR NORMAL CONSTRUCTION TOLERANCES AND TOOLED MASONRY JOINTS. [NY] R326.4.2.3 CLOSELY SPACED HORIZONTAL MEMBERS. WHERE THE BARRIER IS COMPOSED OF HORIZONTAL AND VERTICAL MEMBERS AND THE DISTANCE BETWEEN THE TOPS OF THE HORIZONTAL MEMBERS IS LESS THAN 45 INCHES (1143MM), THE HORIZONTAL MEMBERS SHALL BE LOCATED ON THE SWIMMING POOL SIDE OF THE FENCE. SPACING BETWEEN VERTICAL MEMBERS SHALL NOT EXCEED 13/4 INCHES (44 MM) IN WIDTH, WHERE THERE ARE DECORATIVE CUTOUTS WITHIN VERTICAL MEMBERS, SPACING WITHIN THE CUTOUTS SHALL BE NOT GREATER THAN 13/4 INCHES (44 MM) IN WIDTH. [NY] R326.4.2.4 WIDELY SPACED HORIZONTAL MEMBERS. WHERE THE BARRIER IS COMPOSED OF HORIZONTAL AND VERTICAL MEMBERS AND THE DISTANCE BETWEEN THE TOPS OF THE HORIZONTAL MEMBERS IS 45 INCHES (1143 MM) OR MORE, SPACING BETWEEN VERTICAL MEMBERS SHALL BE NOT GREATER THAN 4 INCHES (102 MM), WHERE THERE ARE DECORATIVE CUTOUTS WITHIN VERTICAL MEMBERS, SPACING WITHIN THE CUTOUTS SHALL BE NOT GREATER THAN 13/4 INCHES (44 MM) IN WIDTH. [NY] R326.4.2.5 CHAIN LINK DIMENSIONS. MAXIMUM MESH SIZE FOR CHAIN LINK FENCES SHALL BE A 2 1/4 INCH (57MM) SQUARE, UNLESS THE FENCE HAS VERTICAL SLATS FASTENED AT THE TOP OR THE BOTTOM WHICH REDUCE THE OPENINGS TO NOT MORE THAN 13/4 INCHES (44 MM). [NY] R326.4.2.6 DIAGONAL MEMBERS. WHERE THE BARRIER IS COMPOSED OF DIAGONAL MEMBERS, THE MAXIMUM OPENING FORMED BY THE DIAGONAL MEMBERS SHALL BE NOT GREATER THAN 13/4 INCHES (44 MM).

R326.4.2.7 GATES. GATES SHALL COMPLY R326.4.2.1 THROUGH R326.4.2.6, AND WITH THE FOLLOWING REQUIREMENTS: [NY] R326.4.2.7.1 SELF-CLOSING AND OPENING CONFIGURATION. ALL GATES SHALL BE SELF-CLOSING. IN ADDITION, IF THE GATE IS A PEDESTRIAN ACCESS GATE, THE GATE SHALL OPEN OUTWARD, AWAY FROM THE POOL. [NY]

R326.4.2.7.2 LATCHING. ALL GATES SHALL BE SELF-LATCHING, WITH THE LATCH HANDLE LOCATED WITHIN THE ENCLOSURE (I.E., ON THE POOL SIDE OF THE ENCLOSURE) AND AT LEAST 40 INCHES (1016 MM) ABOVE GRADE. IN ADDITION, IF THE LATCH HANDLE IS LOCATED LESS THAN 54 INCHES (1372 MM) FROM GRADE, THE LATCH HANDLE SHALL BE LOCATED AT LEAST 3 INCHES (76 MM) BELOW THE TOP OF THE GATE, AND NEITHER THE GATE NOR THE BARRIER SHALL HAVE ANY OPENING GREATER THAN 0.5 INCH (12.7 MM) WITHIN 18 INCHES (457 MM) OF THE LATCH HANDLE. [NY] R326.4.2.7.3 LOCKING. ALL GATES SHALL BE SECURELY LOCKED WITH A KEY, COMBINATION OR OTHER CHILD-PROOF LOCK SUFFICIENT TO PREVENT ACCESS TO THE SWIMMING POOL THROUGH SUCH GATE WHEN THE SWIMMING POOL IS NOT IN USE OR SUPERVISED. [NY] R326.4.2.8 DWELLING WALL AS BARRIER. A WALL OR WALLS OF A DWELLING MAY SERVE AS PART OF THE BARRIER PROVIDED THAT THE WALL OR WALLS MEET THE APPLICABLE BARRIER REQUIREMENTS OF SECTIONS R326.4.2.1 THROUGH R326.4.2.6, AND ONE OF THE FOLLOWING CONDITIONS SHALL BE MET: 1.A) DOORS WITH DIRECT ACCESS TO THE POOL THROUGH THAT WALL SHALL BE EQUIPPED WITH AN ALARM THAT PRODUCES AN AUDIBLE WARNING WHEN THE DOOR AND/OR ITS SCREEN, IF PRESENT, ARE OPENED. THE ALARM SHALL BE LISTED IN ACCORDANCE WITH UL2017. THE AUDIBLE ALARM SHALL ACTIVATE WITHIN TWO SECONDS AND SOUND CONTINUOUSLY FOR A MINIMUM OF 30 SECONDS AFTER THE DOOR AND/OR ITS SCREEN, IF PRESENT, ARE OPENED AND BE CAPABLE OF BEING HEARD THROUGHOUT THE HOUSE DURING NORMAL HOUSEHOLD ACTIVITIES. THE ALARM SHALL AUTOMATICALLY RESET UNDER ALL CONDITIONS. THE ALARM SYSTEM SHALL BE EQUIPPED WITH A MANUAL MEANS, SUCH AS TOUCH PAD OR SWITCH, TO TEMPORARILY DEACTIVATE THE ALARM FOR A SINGLE OPENING. DEACTIVATION SHALL LAST FOR NOT MORE THAN 15 SECONDS; AND B) OPERABLE WINDOWS IN THE WALL OR WALLS USED AS A BARRIER SHALL HAVE A LATCHING DEVICE LOCATED NO LESS THAN 48 INCHES ABOVE THE FLOOR. OPENINGS IN OPERABLE WINDOWS SHALL NOT ALLOW A 4-INCH-DIAMETER (102 MM) SPHERE TO PASS THROUGH THE OPENING WHEN THE WINDOW IS IN ITS LARGEST OPENED POSITION; AND C) WHERE THE DWELLING IS WHOLLY CONTAINED WITHIN THE POOL BARRIER OR ENCLOSURE, ALARMS SHALL BE PROVIDED AT EVERY DOOR WITH DIRECT ACCESS TO THE POOL; OR

2. OTHER APPROVED MEANS OF PROTECTION, SUCH AS SELF-CLOSING WITH SELF-LATCHING DEVICES, SO LONG AS THE DEGREE OF PROTECTION AFFORDED IS NOT LESS THAN THE PROTECTION AFFORDED BY ITEM 1 DESCRIBED ABOVE. [NY] R326.4.2.8.1 ALARM DEACTIVATION SWITCH LOCATION. WHERE AN ALARM IS PROVIDED, THE DEACTIVATION SWITCH SHALL BE LOCATED 54 INCHES (1372 MM) OR MORE ABOVE THE THRESHOLD OF THE DOOR. IN DWELLINGS REQUIRED TO BE ACCESSIBLE UNITS, TYPE A UNITS, OR TYPE B UNITS, THE DEACTIVATION SWITCH SHALL BE LOCATED 48 INCHES (1219 MM) ABOVE THE THRESHOLD OF THE DOOR.

R326.4.4 PROHIBITED LOCATIONS. BARRIERS SHALL BE LOCATED SO AS TO PROHIBIT PERMANENT STRUCTURES, EQUIPMENT OR SIMILAR OBJECTS FROM BEING USED TO CLIMB THE BARRIER.

R326.5 ENTRAPMENT PROTECTION FOR SWIMMING POOL AND SPA SUCTION OUTLETS. SUCTION OUTLETS SHALL BE DESIGNED TO PRODUCE CIRCULATION THROUGHOUT THE POOL OR SPA. SINGLE-OUTLETS SYSTEMS, SUCH AS AUTOMATIC VACUUM CLEANER SYSTEMS, OR MULTIPLE SUCTION OUTLETS, WHETHER ISOLATED BY VALVES OR OTHERWISE, SHALL BE PROTECTED AGAINST USER ENTRAPMENT.

R326.5.1 COMPLIANCE. SUCTION OUTLETS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF CPSC 15 USC 8003 AND ANSI/APSPIC 7, WHERE APPLICABLE.

R326.6 SUCTION OUTLETS. SUCTION OUTLETS SHALL BE DESIGNED TO PRODUCE CIRCULATION THROUGHOUT THE POOL OR SPA. SINGLE-OUTLET SYSTEMS, SUCH AS AUTOMATIC VACUUM CLEANER SYSTEMS, OR MULTIPLE SUCTION OUTLETS, WHETHER ISOLATED BY VALVES OR OTHERWISE, SHALL BE PROTECTED AGAINST USER ENTRAPMENT.

R326.6.1 COMPLIANCE ALTERNATIVE. SUCTION OUTLETS MAY BE DESIGNED AND INSTALLED IN ACCORDANCE WITH ANSI/APSPIC 7. DO NOT PRINT THIS MATERIAL CONTAINS INFORMATION WHICH IS PROPRIETARY TO AND COPYRIGHTED BY INTERNATIONAL CODE COUNCIL, INC. THE INFORMATION COPYRIGHTED BY THE INTERNATIONAL CODE COUNCIL, INC. HAS BEEN OBTAINED AND REPRODUCED WITH PERMISSION. THE ACRONYM "ICC" AND THE ICC LOGO ARE TRADEMARKS AND SERVICE MARKS OF ICC. ALL RIGHTS RESERVED.

R326.6.2 SUCTION FITTINGS. POOL AND SPA SUCTION OUTLETS SHALL HAVE A COVER THAT CONFORMS TO ANSI/ASME A112.19.8, OR AN 18 INCH BY 23 INCH (457 MM BY 584 MM) DRAIN GRATE OR LARGER, OR AN APPROVED CHANNEL DRAIN SYSTEM, EXCEPTION: SURFACE SKIMMERS.

R326.6.3 ATMOSPHERIC VACUUM RELIEF SYSTEM REQUIRED. POOL AND SPA SINGLE-OR MULTIPLE-OUTLET CIRCULATION SYSTEMS SHALL BE EQUIPPED WITH ATMOSPHERIC VACUUM RELIEF SHOULD GRATE COVERS LOCATED THEREIN BECOME MISSING OR BROKEN. THIS VACUUM RELIEF SYSTEM SHALL INCLUDE AT LEAST ONE APPROVED OR ENGINEERED METHOD OF THE TYPE SPECIFIED HEREIN, AS FOLLOWS: 1. SAFETY VACUUM RELEASE SYSTEM CONFORMING TO ASME A112.19.17; OR 2. AN APPROVED GRAVITY DRAINAGE SYSTEM.

R326.6.4 DUAL DRAIN SEPARATION. SINGLE OR MULTIPLE PUMP CIRCULATION SYSTEMS HAVE A MINIMUM OF TWO SUCTION OUTLETS OF THE APPROVED TYPE. A MINIMUM HORIZONTAL OR VERTICAL DISTANCE OF 3 FEET (914 MM) SHALL SEPARATE THE OUTLETS. THESE SUCTION OUTLETS SHALL BE PIPED SO THAT WATER IS DRAIN THROUGH THEM SIMULTANEOUSLY THROUGH A VACUUM-RELIEF-PROTECTED LINE TO THE PUMP OR PUMPS.

R326.6.5 POOL CLEANER FITTINGS. WHERE PROVIDED VACUUM OR PRESSURE CLEANER FITTING(S) SHALL BE LOCATED IN AN ACCESSIBLE POSITION(S) AT LEAST 6 INCHES (152 MM) AND NOT MORE THAN 12 INCHES (305 MM) BELOW THE MINIMUM OPERATIONAL WATER LEVEL OR AS AN ATTACHMENT TO THE SKIMMER(S).

R326.7 SWIMMING POOL AND SPA ALARMS, APPLICABILITY. A SWIMMING POOL OR SPA INSTALLED, CONSTRUCTED OR SUB-STANTIALLY MODIFIED AFTER DECEMBER 14, 2006, SHALL BE EQUIPPED WITH AN APPROVED POOL ALARM. POOL ALARMS SHALL COMPLY WITH ASTM F2208 (STANDARD SPECIFICATION FOR POOL ALARMS), AND SHALL BE INSTALLED, USED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THIS SECTION. EXCEPTIONS: 1. A HOT TUB OR SPA EQUIPPED WITH A SAFETY COVER WHICH COMPLIES WITH ASTM F1346. 2. A SWIMMING POOL (OTHER THAN A HOT TUB OR SPA) EQUIPPED WITH AN AUTOMATIC POWER SAFETY COVER WHICH COMPLIES WITH ASTM F1346.

R326.7.1 MULTIPLE ALARMS. A POOL ALARM MUST BE CAPABLE OF DETECTING ENTRY INTO THE WATER AT ANY POINT ON THE SURFACE OF THE SWIMMING POOL. IF NECESSARY TO PROVIDE DETECTION CAPABILITY AT EVERY POINT ON THE SURFACE OF THE SWIMMING POOL, MORE THAN ONE POOL ALARM SHALL BE PROVIDED.

R326.7.2 ALARM ACTIVATION. POOL ALARMS SHALL ACTIVATE UPON DETECTING ENTRY INTO THE WATER AND SHALL SOUND POOLSIDE AND INSIDE THE DWELLING.

R326.7.3 PROHIBITED ALARMS. THE USE OF PERSONAL IMMERSION ALARMS SHALL NOT BE CONSTRUED AS COMPLIANCE WITH THIS SECTION.

Proposed Pool & Pool House at:
107 Judson Avenue
Dobbs Ferry, New York

GENERAL NOTES

Seal: Architect Thomas E. Haynes

 original filing date: 10-04-2021
 drawn by:
 checked by:
 drawing no.:

SHEET NO: 2152 A.01

LEGEND AND SYMBOLS:

	EXISTING WALL
	NEW WALL
	WALL TO BE DEMOLISHED
	EXISTING DOOR
	NEW DOOR
	DOOR TO BE DEMOLISHED
	WALL TAG
	SMOKE DETECTOR -HARDWARE & BATT. BACK-UP
	CARBON MONOXIDE DETECTOR W/ DIGITAL READ-OUT
	75 CFM MECH. EXHAUST FAN -CONNECT TO SEPARATE SWITCH DUCT TO EXTERIOR
	ELEVATION MARKER
	ELEVATION
	ELEVATION NUMBER
	DRAWING NUMBER
	DETAIL
	DETAIL NUMBER
	DRAWING NUMBER
	DOOR NUMBER
	WINDOW TYPE
	SCOPE OF WORK TAG
	PLUMBING TAG
	EQUIPMENT TAG
	FINISH TAG

GENERAL NOTES:

- ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE RESIDENTIAL CODE OF NEW YORK STATE AND ALL LOCAL CODES, ORDINANCES AND REGULATIONS OF AGENCIES HAVING JURISDICTION. ALL CONTRACTORS AND SUBCONTRACTORS ARE TO COMPLY WITH ALL O.S.H.A. REQUIREMENTS PERTAINING TO THEIR WORK.
- THE GENERAL CONTRACTOR (G.C.) AND ALL SUBCONTRACTORS ARE TO PROVIDE ALL LABOR MATERIALS, TOOLS, EQUIPMENT, SCAFFOLDING, SUPPLIES, LAYOUT AND SERVICES NECESSARY TO EXECUTE AND COMPLETE ALL WORK AS REQUIRED BY THE CONSTRUCTION DOCUMENTS, UNLESS OTHERWISE NOTED. PREPARATION AND INSTALLATIONS TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S LATEST WRITTEN INSTRUCTIONS WHETHER OR NOT SPECIFICALLY NOTED ON THE DRAWINGS.
- THE G.C. AND ALL SUBCONTRACTORS ARE TO FAMILIARIZE THEMSELVES WITH ALL APPLICABLE CODES AND REGULATIONS IN REGARDS TO THEIR WORK FOR THEY WILL BE RESPONSIBLE FOR SAME.
- THE G.C. IS TO FILE WORKERS COMPENSATION WITH THE DEPARTMENT OF BUILDINGS.
- THE G.C. IS TO OBTAIN AND PAY FOR THE BUILDING PERMIT. THE SUBCONTRACTORS ARE TO PAY FOR AND OBTAIN PERMIT REQUIRED IN CONNECTION WITH THEIR WORK.
- THE G.C. AND SUBCONTRACTORS ARE TO ARRANGE FOR AND AND PAY ALL FEES IN CONNECTION WITH ALL REQUIRED INSPECTIONS.
- PLANS ARE SUBJECT TO CHANGES AS DIRECTED BY THE DEPARTMENT OF BUILDINGS.
- THE G.C. AND SUBCONTRACTORS ARE TO REVIEW THE CONSTRUCTION DOCUMENTS, SPECIFICATIONS, NOTES AND ADDENDUMS THOROUGHLY TO DETERMINE THE EXTENT OF WORK UNDER THEIR TRADE AND THE WORK OF OTHER TRADES REQUIRING COORDINATION, FOR THEY WILL BE RESPONSIBLE FOR SAME. THE ARCHITECT WILL CLARIFY ANY DISCREPANCIES OR CONTRACTOR QUESTIONS IN WRITING PRIOR TO BID SUBMISSION. DO NOT SCALE DRAWINGS. USE COMPUTED DIMENSIONS ONLY. IF ANY DISCREPANCIES ARE FOUND, NOTIFY ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
- ALL DIMENSIONS AND LOCATIONS AS INDICATED ON THE DRAWINGS ARE TO BE CONSIDERED AS REASONABLY CORRECT, BUT IT IS UNDERSTOOD THAT THEY ARE SUBJECT TO MODIFICATION AS MAY BE NECESSARY OR DESIRABLE AT THE TIME OF INSTALLATION TO MEET ANY UNFORESEEN OR OTHER CONDITIONS.
- THE G.C. AND ALL SUBCONTRACTORS ARE TO INVESTIGATE THE JOB SITE AND ALL EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS AND START OF CONSTRUCTION. ALL EXISTING CONDITIONS AND DIMENSIONS TO BE FIELD VERIFIED. DISCREPANCIES AND UNCOVERED CONDITIONS NOT ADDRESSED SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER AND THE ARCHITECT.
- ALL WORK IS TO BE PERFORMED IN A NEAT, PROFESSIONAL MANNER BY SKILLED MECHANICS.
- THE G.C. AND OTHER SUBCONTRACTORS ARE TO BE RESPONSIBLE FOR THE PROPER PERFORMANCE OF THEIR WORK, COORDINATION WITH OTHER TRADES, METHODS, SAFETY AND SECURITY ON THE SITE AT ALL TIMES. SPECIAL ATTENTION TO SAFETY IS TO BE PROVIDED DURING ALL REQUIRED DEMOLITION WORK. THE ARCHITECT AND THE ARCHITECT'S AGENTS ARE NOT RESPONSIBLE OR LIABLE FOR THE ABOVE AND IS HELD HARMLESS AND INDEMNIFIED BY ALL CONTRACTORS FROM ANY CLAIMS, LOSSES, SUITS, OR LEGAL ACTIONS ARISING FROM THE CONTRACTORS PERFORMANCE OF THE WORK ON THIS PROJECT.
- THE G.C. IS TO RETAIN THE SERVICES OF A LICENSED LAND SURVEYOR AND PAY THE FEE TO LOCATE AND STAKE THE PROPOSED STRUCTURE(S). THE LAND SURVEYOR IS TO ESTABLISH THE GRADE DATUM(S) IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. -IF REQUIRED IN SCOPE OF WORK
- THE G.C. IS TO NOTIFY THE BUILDING DEPARTMENT AT LEAST 24 HOURS PRIOR TO THE POURING OF CONCRETE FOOTINGS.
- THE G.C. IS TO SECURE AND PAY FEES FOR THE CERTIFICATE OF OCCUPANCY AFTER COMPLETION OF THE WORK AS INDICATED ON THE CONSTRUCTION DOCUMENTS, ADDENDA'S AND OTHER APPROVED CHANGE ORDERS. SUBMIT COPIES OF THE CERTIFICATE OF OCCUPANCY TO THE OWNER PRIOR TO SUBMITTING FOR FINAL PAYMENT.
- NO EXTRA CHARGES WILL BE ACCEPTED DUE TO AN INCOMPLETE FIELD OBSERVATION BY THE G.C. AND ALL SUBCONTRACTORS, EXCEPT FOR HIDDEN CONDITIONS AS DETERMINED BY THE ARCHITECT.
- THE OWNER AND/OR THE ARCHITECT RESERVES THE RIGHT TO REQUEST SUBMITTALS AND/OR SHOP DRAWINGS FOR APPROVAL ON ANY AND ALL ITEMS SPECIFIED ON THE DRAWINGS INCLUDING BUT NOT LIMITED TO STRUCTURAL STEEL, STEEL REINFORCEMENT, DOOR HARDWARE, PLUMBING AND ELECTRICAL FIXTURES AND HVAC EQUIPMENT. THE CONTRACTOR MUST SUBMIT (3) COPIES OF EQUIPMENT AND FIXTURE CUTS ON ITEMS THAT THE CONTRACTOR IS REQUESTING TO SUBSTITUTE FOR THE ITEMS SPECIFIED ON THE DRAWINGS.
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE TO GUARANTEE WORK UNDER THEIR CONTRACT INCLUDING PARTS AND LABOR FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE.
- THE ARCHITECT HAS NOT BEEN RETAINED TO PERFORM WORK DURING CONSTRUCTION OF A PROJECT AND ASSUMES NO RESPONSIBILITY FOR INSPECTIONS, CHANGES IN DESIGN OR CONSTRUCTION MEANS AND METHODS.

CONCRETE :

- CONCRETE IS TO BE CONTROLLED STONE CONCRETE COMPLYING WITH A.C.I. 318 BUILDING CODE REQUIREMENTS. CONCRETE IS TO HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. CONCRETE FOR GARAGE SLABS, CARPORT SLABS, SON-O-TUBE FOOTINGS, STEPS, PORCH SLABS AND SIDEWALKS EXPOSED TO WEATHER IS TO BE MINIMUM 3500 PSI CLASS 'B' AIR-ENTAINED CONCRETE. SEE FOUNDATION PLANS FOR LOCATIONS OF CONCRETE WITH A HIGHER COMPRESSIVE STRENGTH.
- CONCRETE IS TO BE PLACED IN CONFORMANCE WITH A.C.I. 304. LATEST ADDITION. CONCRETE IS NOT TO BE SUBJECT TO DROPS OF MORE THAN 5'-0".
- ALL POURS ARE TO BE TERMINATED BY FORMS. PROVIDE KEYWAYS AS INDICATED ON THE DRAWINGS AND AS DIRECTED BY THE ARCHITECT.
- ALL CONCRETE IS TO BE FORMED, UNLESS OTHERWISE APPROVED BY THE ARCHITECT.
- OBTAIN CONCRETE MANUFACTURER'S CERTIFICATES OF COMPLIANCE SHOWING CONCRETE CLASS, AGGREGATE SIZES, ADDITIVES USED AND FIBER MESH REINFORCEMENT (IF APPLICABLE).
- THE FOUNDATION SUBCONTRACTOR IS TO OBTAIN CONCRETE TEST CYLINDERS FOR EACH CLASS OF CONCRETE SPECIFIED. TAKE TWO (2) CYLINDERS EACH FOR EACH 150 CU.YDS. OR FRACTIONS THEREOF. TEST ONE (1) CYLINDER AT SEVEN (7) DAYS AND ONE (1) CYLINDER AT 28 DAYS. CYLINDER TESTS TO BE PERFORMED BY A CERTIFIED TESTING LABORATORY. TEST REPORTS ARE TO INCLUDE CONCRETE CLASS, SLUMP, GAGE AND LOCATION OF CONCRETE. SUBMIT THREE (3) COPIES OF TEST REPORTS TO THE ARCHITECT FOR REVIEW AND APPROVAL.
- THE FOUNDATION SUBCONTRACTOR IS TO SUBMIT FOUR (4) COPIES OF THE STEEL REINFORCEMENT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL. THE SHOP DRAWINGS ARE TO INDICATE REINFORCEMENT TYPE, SIZES, QUANTITIES, PLACEMENT AND ALL BENDS AND LAPS FOR ALL FOUNDATION REINFORCEMENT AS INDICATED ON THE DRAWINGS.
- ALL REINFORCEMENT IS TO BE DEFORMED BARS OF INTERMEDIATE GRADE NEW BILLET STEEL A-615 GRADE. 60 BENDS IN REINFORCEMENT ARE TO BE SHOP FABRICATED. FIELD BENDS WILL NOT BE PERMITTED.
- ALL REINFORCEMENT STEEL IS TO BE SECURELY WIRED TOGETHER IN THE FRAMEWORK. TWO WAY MATS OF STEEL ARE TO BE TIED AT ALTERNATE INTERSECTIONS BOTH WAYS.
- THE FOUNDATION SUBCONTRACTOR IS TO PROVIDE HIGH CHAIRS, SPACERS, SUPPORTS, ETC. AS NECESSARY FOR THE PROPER PLACEMENT OF THE REINFORCEMENT STEEL.
- PROVIDE CLEARANCES FROM FACES OF CONCRETE TO REINFORCEMENT AS FOLLOWS:
 - CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH---3"
 - EXPOSED TO EARTH OR WEATHER (#5 BARS OR SMALLER)---1 1/2"
 - EXPOSED TO EARTH OR WEATHER (#6 BARS OR GREATER)---2"
 - NOT EXPOSED TO WEATHER OR IN CONTACT WITH EARTH:
 - SLABS, WALLS AND JOISTS-----3/4"
 - BEAMS, GIRDERS, COLUMNS
 - PRINCIPAL REINFORCEMENT, TIES, STIRRUPS OR SPIRALS)---1 1/2"
- LENGTH OR REINFORCEMENT SPLICES ARE TO CONFORM TO A C.I. BUILDING CODE REQUIREMENTS, BUT IN NO CASE ARE THE SPLICES TO BE LESS THAN 30 BAR DIAMETERS OR AS OTHERWISE APPROVED BY THE ARCHITECT.
- WELDED WIRE FABRIC IS TO CONFORM TO A.S.T.M. SPECIFICATION A-185.
- ALL SLABS ON GRADE ARE TO BE REINFORCED WITH WELDED WIRE FABRIC 3/4" DOWN FROM THE TOP OF SLAB, AND OVER ANY PIPES OR CONDUITS IN THE SLAB. SIZE AND TYPE TO BE AS INDICATED ON THE DRAWINGS, BUT IN NO CASE IS THE W.W.F. TO BE LESS THAN 6X6 -W/VI.4 W.W.F. FOR 4" SLABS AND 6X6 -W2.9-W2.9 W.W.F. FOR 6" THICK SLABS.
- FIBER MESH REINFORCEMENT INTEGRAL WITH THE CONCRETE MIX MAY BE SUBSTITUTED WITH W.W.F. IN 4" SLABS ON GRADE.
- W.W.F. IS TO LAP ONE FULL MESH SQUARE AT ALL SIDES AND END LAPS AND BE WIRED TOGETHER.
- THICKNESS AND REINFORCEMENT OF STRUCTURAL SLABS ON GRADE DUE TO SPECIAL LOADING REQUIREMENTS SHALL BE NOTED ON THE DRAWINGS.
- POUR SLABS ON GRADE IN ALTERNATING LANE (CHECKERBOARD) PATTERNS NOT TO EXCEED 800 S.F. IN AREA OR MORE THAN 40 FEET IN LENGTH BETWEEN CONSTRUCTION OR EXPANSION JOISTS. PROVIDE DIAMOND SHAPED ISOLATION JOISTS AT ALL INTERIOR COLUMNS. EXPANSION JOISTS ARE TO BE MADE FROM PRE FORMED ASPHALT IMPREGNATED FIBERBOARD.
- PLACE A MINIMUM OF 4" CRUSHED STONE UNDER ALL SLABS ON GRADE.
- INSTALL 6 MIL. POLYETHYLENE VAPOR BARRIER UNDER ALL SLABS ON GRADE. LAP ENDS A MINIMUM OF 6" AND TAPE.
- PROVIDE EXPANSION JOINTS BETWEEN ALL SLABS AND VERTICAL SURFACES, BETWEEN SIDEWALK SLABS AND CURBS, SIDEWALK SLABS AND EXTERIOR WALLS AND IN SIDEWALK SLAB SPACED MAXIMUM OF 10'-0" O.C.
- PROVIDE 1/4" X 1" DEEP SAW CUTS (CUT INTO SLABS WITHIN 24 HOURS OF POUR) OR FORMED JOINT FILLED WITH SEALER AS INDICATED ON THE DRAWINGS OR AS DIRECTED BY THE ARCHITECT.
- THE FOUNDATION CONTRACTOR IS TO ASCERTAIN THE LOCATIONS OF ALL SLEEVES, INSERTS, ANCHOR BOLTS AND EMBEDMENTS REQUIRED BY ALL OTHER TRADES. SUCH EMBEDMENTS ARE TO BE CHECKED FOR COMPLETENESS AND PROPER LOCATION PRIOR TO CONCRETE BEING PLACED.
- NOTIFY THE BUILDING DEPARTMENT AT LEAST 24 HOURS PRIOR TO THE PLACEMENT OF CONCRETE FOOTINGS FOR REQUIRED INSPECTIONS.
- CURING OF CONCRETE IS TO START AS SOON AS THE FINISHES WILL NOT BE MARRED THEREBY DELAYING THE CURING PROCESS WILL NOT BE PERMITTED.
- ALL COLD WEATHER CONCRETE TO BE PERFORMED IN ACCORDANCE WITH ALL RECOMMENDATIONS OF THE A.C.I. PROVIDE AND INSTALL TEMPORARY INSULATING BLANKETS AS REQUIRED TO PROTECT CONCRETE FROM FREEZING. CORROSIVE ADMIXTURES SUCH AS THOSE CONTAINING CALCIUM CHLORIDE MAY NOT BE USED.
- PROVIDE NON-SHRINK GROUT UNDER ALL LEVELING PLATES AND BEARING PLATES.
- APPLY TROWEL FINISH TO ALL MONOLITHIC SLAB SURFACES EXPOSED TO VIEW OR RECEIVING FLOORING. VARIATIONS IN FLOOR SLABS ARE NOT TO EXCEED 1/8" IN 10'-0" UNLESS SLAB PITCHES TOWARD FLOOR DRAIN.
- APPLY NON-SLIP BROOM FINISHES TO ALL EXTERIOR WALKS, GARAGE FLOORS AND ELSEWHERE AS INDICATED ON THE DRAWINGS.
- INSTALL CONCRETE SLAB SEALER TO ALL INTERIOR SLABS EXPOSED TO VIEW NOT RECEIVING FINISHES TO PREVENT DUSTING U.O.N.

MASONRY:

- STONE AND CONCRETE MASONRY WALLS SHALL CONFORM TO THE RECOMMENDED PRACTICE FOR ENGINEERED BRICK MASONRY, LATEST EDITION BY STRUCTURAL CLAY PRODUCTS INSTITUTE, AND "SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF LOAD BEARING CONCRETE MASONRY" BY NATIONAL CONCRETE MASONRY ASSOCIATION.
- ALL UNITS SHALL BE PLACED IN RUNNING BOND, EXCEPT WHERE INDICATED.
- CONCRETE MASONRY UNITS (CMU) ARE TO BE GRADE 'N' TYPE 'I' CONFORMING TO THE A.S.T.M. C-90. "HOLLOW LOAD BEARING UNITS". CMU WIDTHS FOR WALL THICKNESS AS INDICATED ON THE DRAWINGS. PROVIDE CORNER SASH, HALF HEIGHT AND ALL OTHER TYPES OF CMU REQUIRED TO COMPLETE MASONRY WALLS AS INDICATED.
- FACE BRICK IS TO BE OF TYPE, SIZE AND COLOR AS INDICATED ON THE DRAWINGS CONFORMING TO A.S.T.M. C-216 "FACING BRICK (SOLID MASONRY UNITS MADE FROM CLAY OR SHALE).
- MANUFACTURER: OBTAIN ALL CMU FROM ONE MANUFACTURER BEING OF UNIFORM SIZE, COLOR AND TEXTURE FOR EACH CMU TYPE REQUIRED FOR EACH CONTINUOUS AREA AND EACH VISUAL RELATED AREAS.
- MORTAR IS TO BE TYPE 'S' MORTAR IN CONFORMANCE WITH A.S.T.M. C-270 "MORTAR FOR UNIT MASONRY". AVERAGE COMPRESSIVE STRENGTH TO BE 1800 PSI AT 28 DAYS.
- ALL MASONRY WALLS TO BE PROPERLY SHORED AGAINST WIND AND OTHER LATERAL LOADS UNTIL FLOOR AND ROOF CONSTRUCTION IS COMPLETELY INSTALLED. THE G.C. IS TO ASSUME FULL RESPONSIBILITY FOR MASONRY WALL STABILITY.
- PROVIDE ALL ANCHOR BOLTS WITH NUTS AND WASHERS, IN SIZES AND QUANTITIES INDICATED ON THE DRAWINGS. THAT ARE TO BE EMBEDDED INTO MASONRY. ANCHOR BOLTS ARE TO CONFORM TO THE STANDARDS OF A.S.T.M. A-307.
- COORDINATE INSTALLATION OF ALL EMBEDMENTS PROVIDED BY OTHER TRADES.
- CONSTRUCT ALL OPENINGS, SLEEVES, CHASES, ETC. REQUIRED BY OTHER TRADES AS INDICATED ON THE DRAWINGS.
- MORTAR JOINTS ARE TO BE STRAIGHT AND LEVEL, OF A UNIFORM THICKNESS AND DEPTH. THICKNESS TO BE BETWEEN 3/8" AND 1/2". JOINTS AT INTERSECTING CORNERS MUST MEET.
- AS WORK PROGRESSES, INSTALL ALL BUILT IN ITEMS SPECIFIED ON THE DRAWINGS AND IN THE SPECIFICATIONS.
- GROUT FOR FILLING CMU CORES SOLIDLY IS TO BE TYPE 'M' OR TYPE 'S' MORTAR IN CONFORMANCE WITH A.S.T.M. C-476 "GROUT FOR UNIT MASONRY".
- FILL CMU CORES SOLIDLY WITH GROUT A MINIMUM OF THREE (3) COURSES UNDER EACH LINTEL, BEARING PLATES, EMBEDMENTS OR OTHER SIMILAR CONDITIONS, UNLESS OTHERWISE NOTED.
- PROVIDE PRECAST REINFORCED CONCRETE LINTELS AS INDICATED ON THE DRAWINGS. AT THE OPTION OF THE G.C. STEEL ANGLES OR STEEL BEAM LINTLES, PROPERLY SIZED FOR THE REQUIRED LOADS, MAY BE USED. ALL LINTELS TO BEAR A MINIMUM OF 4" ONTO SUPPORTS.
- PROVIDE SPANDREL WATERPROOFING AT ALL SPANDREL GIRDERS, STEEL LINTELS, DOOR AND WINDOW HEADS, AND WHERE EVER ELSE INDICATED ON THE DRAWINGS. USE FABRIC FLASHING AS MANUFACTURED BY "NEVRASTRAL" TYPE SEAL PRUF HD OR AN APPROVED EQUAL. INSTALL AS PER MANUFACTURER'S INSTRUCTIONS.
- PROVIDE VERTICAL AND HORIZONTAL CONTROL AND EXPANSION JOINTS IN ALL EXTERIOR MASONRY WALLS. MAXIMUM SPACING TO BE 20'-0" O.C. PROVIDE CONTROL AND EXPANSION JOISTS EVEN IF NOT SPECIFIED IN THE DRAWINGS.
- CAULKING FOR CONTROL AND EXPANSION JOINTS TO BE G.E. SILICONE BASE SEALANT OR AN APPROVED EQUAL. INSTALL WITH APPROPRIATE FOAM BACKER ROD IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- ALL MASONRY WORK IS TO BE REINFORCED WITH GALVANIZED "DUR-O-WAL" JOINT REINFORCEMENT EVERY 2ND BLOCK COURSE UNLESS OTHERWISE NOTED. "DUR-O-WAL" IS TO BE PLACED IN THE FIRST AND SECOND BED JOISTS ABOVE AND BELOW OPENINGS AND IN EVERY 2ND BED JOINT THROUGH OUT REMAINDER OF WALL. REINFORCING IS TO OVERLAP 6" MINIMUM.
- FOR BRICK OR CMU VENEERS WITH STUD WALL BACKUP, USE CORRUGATED GALVANIZED BRICK TIES SCREWED TO STUDS AT MAXIMUM SPACING OF 24" O.C. VERTICALLY AND 16" O.C. HORIZONTALLY (1 TIE PER 3 S.F. OF VENEER FACE AREA MAXIMUM).
- PROVIDE "KOR-FIL" INSULATION IN ALL CMU WALLS EXPOSED TO THE EXTERIOR.
- THE CONTRACTOR IS TO PROTECT ALL MASONRY WALLS FROM COLD WEATHER INSTALLATIONS TO PREVENT MORTAR FROM FREEZING.

METALS:

- STEEL CONSTRUCTION SHALL CONFORM TO AISC "MANUAL OF STEEL CONSTRUCTION", LATEST EDITION.
- MATERIALS FOR STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING A.S.T.M. SPECIFICATIONS:
 - WF COLUMNS, PIPE COLUMNS, BEAMS, GIRDERS, MISC. STEEL: ASTM A-36
 - BEARING PLATES, BASE PLATES, AND CAP PLATES: ASTM-36
 - STRUCTURAL TUBING COLUMNS: ASTM A500 Fy= 46 ksi
- ALL BOLTED CONNECTIONS SHALL BE MADE USING HIGH STRENGTH A325-F BOLTS, 3/4" DIAMETER INSTALLED IN ACCORDANCE WITH "SPECIFICATIONS FOR STRUCTURAL JOINTS" USING A325 OR A490 BOLTS. UNLESS OTHERWISE DETAILED.
- STEEL CONCRETE REINFORCEMENT: BARS: NEW BILLET STEEL DEFORMED BARS, ASTM A 615, GRADE 60 SIZES AS NOTED ON DRAWINGS. WELDED WIRE FABRIC (WWF): ASTM A185, SIZES AS NOTED ON DRAWINGS.
- PROVIDE 1/2" DIAMETER X 1'-6" LONG MINIMUM THREADED ANCHOR BOLTS AT 6'-0" O.C. MAXIMUM, MINIMUM 2 PER PLATE TO ANCHOR EXTERIOR SILLS. ANCHOR BOLTS SHALL BE ON A36 OR A307 STEEL EMBEDMENT TO BE 8" FOR POURED CONCRETE AND 15" FOR CMU.
- ALL STEEL SHALL BE SHOP PAINTED WITH GREY ZINC CHROMATE PRIMER 2.0 MILS. IN THICKNESS. EXCEPT WHERE FIELD WELDING IS TO BE DONE. ALL WELDS AND BARE SPOTS SHALL RECEIVE TOUCH UP PAINTING.
- ALL COLUMNS UNLESS OTHERWISE NOTED, SHALL BE 4" DIAMETER STANDARD WEIGHT (MIN.) STEEL PIPE COLUMNS WITH BEARING PLATES AT TOP AND BOTTOM WELDED TO COLUMN. PRIME COAT OF PAINT TO BE APPLIED AFTER WELDING. (10"x10"x5/8" BOTTOM PLATE, UNLESS OTHERWISE NOTED).

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WOOD/PLASTICS:

- ALL FRAMING SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE "NATIONAL DESIGN SPECIFICATION FOR STRESS GRADED LUMBER AND ITS FASTENINGS" AS PUBLISHED BY THE NATIONAL LUMBER MANUFACTURERS ASSOCIATION.
- ALL LUMBER MATERIALS USED IN THE BUILDING SHALL BE GOOD, SOUND, DRY MATERIAL, FREE FROM LARGE AND LOOSE KNOTS, SHAKES AND OTHER IMPERFECTIONS WHEREBY THE STRENGTH MAY BE IMPAIRED AND OF SIZED INDICATED ON DRAWING.
- ALL WORKMANSHIP INCLUDING NAILS, BLOCKING, BRIDGING, ETC. SHALL CONFORM TO THE NYSUFPBC.
- PROVIDE LEDGER BOARDS, BLOCKING, NAILERS AND ROUGH FRAMING HARDWARE AS REQUIRED.
- PROVIDE ALL REQUIRED 2 X FIRE BLOCKING AS SPECIFIED IN SECTION 602.8 OF RESIDENTIAL CODE OF NEW YORK STATE. WHERE PARTITIONS ARE TALLER THAN 8'-0", INSTALL 2X FIRE BLOCKING "CATS" AT MID POINT.
- ALL NEW LUMBER SHALL BE DOUGLAS FIR #2 OR BETTER, WITH MIN. FB=1250 PSI AND E 1,500,000 PSI.
- ALL LUMBER SHALL BEAR VISIBLE GRADE STAMPING AND BE KILN DRY.
- ALL BEAMS, JOISTS AND RAFTERS TO BE SET WITH NATURAL CROWN UP.
- PROVIDE DOUBLE RAFTERS AND HEADERS AROUND ALL ROOF SKYLIGHTS UNLESS OTHERWISE NOTED ON PLANS.
- PROVIDE (2) 2X8 MINIMUM HEADER WHERE ROUGH OPENING DOES NOT EXCEED 3'-0".
- PLYWOOD FOR SUBFLOOR SHEATHING SHALL BE 3/4" AND 5/8" EXTERIOR ON WALLS AND ROOF SURFACES APA C-C PLUGGED EXTERIOR OR APA UNDERLAYMENT EXTERIOR. INSTAMP SHALL BE VISIBLE ON ALL SHEETS.
- PLYWOOD SHALL BE NAILED TO JOISTS WITH 8D COMMON NAILS AT 6" O.C. AT EXTERIOR EDGES AND 12" O.C. AT INTERMEDIATE SUPPORT.
- USE PLY CLIPS OR OTHER EDGE SUPPORT FOR ALL PLYWOOD SHEATHING.
- PLACE FACE GRAIN IN DIRECTION OF SPAN (TRAVERSE TO JOIST SPAN).
- LEAVE 1/16" SPACE AT ALL PLYWOOD PANEL AND JOINTS AND 1/8" SPACE AT ALL PANEL EDGE JOINTS.
- JOIST HANGERS, FRAMING ANCHORS AND RAFTER ANCHORS SHALL BE HOT DIPPED GALVANIZED, "ZMAX" GALVANIZED COATED OR STAINLESS STEEL FOR PRESSURE TREATED LUMBER AS MANUFACTURED BY "SIMPSON" OR APPROVED EQUAL, AND INSTALLED ACCORDING TO MANUFACTURER'S DIRECTIONS.
- METAL CROSS BRIDGING SHALL BE GALVANIZED STEEL AS MANUFACTURED BY "TECO", "SIMPSON" OR APPROVED EQUAL, AND INSTALLED ACCORDING TO MANUFACTURER'S DIRECTIONS.
- PROVIDE 'X' BRIDGING OR SOLID BLOCKING EVERY 8'-0". BOTTOM ENDS OF BRIDGING WALL SHALL NOT BE NAILED UNTIL AFTER ENTIRE STRUCTURE IS COMPLETE.
- PROVIDE DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO JOISTS.
- WHERE SHEATHING IS NOT PLYWOOD, DIAGONAL BRACING SHALL BE LET IN AT EXTERIOR CORNERS OR BRACE CORNERS WITH 5/8" CDX PLYWOOD 4'-0" IN EACH DIRECTION.
- CORNER BOARDS, FASCIA BOARDS, DOOR AND WINDOW CASINGS, AND DECORATIVE WOOD ITEMS SHALL BE WOOD 5/4" OR 3/4" NO. 1 PINE OF SIZE, STYLE AND DESIGN AS INDICATED ON THE DRAWINGS. BACK PRIME PAINTED TRIM.
- EXTERIOR WOOD POSTS SHALL BE PRESSURE TREATED WOOD, SET ON APPROVED TYPE HEAVY DUTY GALVANIZED METAL BASE, ANCHORED IN CONCRETE. BOXED FINISH TO MATCH WOOD TRIM.
- WOOD PLATES AND SILLS IN CONTACT WITH CONCRETE FOUNDATION WALLS AND CONCRETE SLABS SHALL BE PRESSURE TREATED WOOD.
- PRESSURE PRESERVATIVES TREATMENT FOR WOOD SHALL BE APPROVED BY LOCAL AUTHORITIES HAVING JURISDICTION.
- PROVIDE (3) 2"x6" SPIKED AT BEARING POINTS OF ALL TRIPLE FRAMING MEMBERS UNLESS OTHERWISE NOTED.
- ALL LUMBER FOR EXTERIOR DECKS AND LUMBER IN CONTACT WITH CONCRETE SURFACES SHALL BE PRESSURE TREATED.

FIRE/SMOKE DETECTION :

- SMOKE DETECTING ALARMS ARE TO BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SLEEPING AREA AND EACH FLOOR PER SECTION R317 OF THE RESIDENTIAL CODE OF NEW YORK STATE, N.F.P.A. #72 AND ALL OTHER APPLICABLE CODES AND REQUIREMENTS HAVING JURISDICTION.
- CARBON MONOXIDE DETECTORS AS REQUIRED BY THE RESIDENTIAL CODE OF NEW YORK STATE AND LOCAL CODES AND ORDINANCES ARE TO BE INSTALLED IN THE IMMEDIATE VICINITY OF BEDROOMS ON THE LOWEST FLOOR OF THE DWELLING UNIT CONTAINING BEDROOMS. AT LEAST ONE (1) CARBON MONOXIDE DETECTOR SHALL BE PROVIDED IN EACH DWELLING UNIT. CO ALARMS ARE TO COMPLY WITH UL 2034-2002 (SINGLE AND MULTIPLE STATION CARBON MONOXIDE ALARMS, SECOND EDITION).

ABBREVIATIONS:

A/C	AIR CONDITIONING	CLR.	CLEAR	EQUIP.	EQUIPMENT	GEN.	GENERAL	MTD.	MOUNTED	QUAN.	QUANTITY	S	SMOKE DETECTOR
ACOUS.	ACOUSTICAL	CLR. OPG.	CLEAR OPENING	EXH.	EXHAUST	GL.	GLASS OR GLAZED	MUL.	MULLION	R/A	RETURN AIR	STOR.	STORAGE
ACOUS.T	ACOUSTICAL TILE	COL.	COLUMN	EXIST.	EXISTING	GYP.	GYP.SUM	M.T.H	METAL THRESHOLD	RAD.	RADIUS	TECH.	TECHNICAL
ADJ.	ADJUSTABLE	CONC.	CONCRETE	EXPAN.	EXPANSION EXPOS	GWB.	GYP.SUM WALL BOARD	MIC.	MICROWAVE	RECEP.	RECEPTACLE	TEL.	TELEPHONE
ALUM.	ALUMINUM	CONN.	CONNECT	EXT.	EXTERIOR	HGT.	HEIGHT	(N)	NORTH	REF.	REFERENCE	TEMPD.	TEMPERED
ALT.	ALTERNATE	CONST.	CONSTRUCTION	ELECT.	ELECTRICAL	H.M.	HOLLOW METAL	N.	NEW	REF.	REFRIGERATOR	TEMP.GL.	TEMPERED GLASS
ANOD.	ANODIZED	CONT.	CONTINUOUS	F.A.M.	FIRE ALARM	HORIZ.	HORIZONTAL	NEG.	NEGATIVE	REFL.	REFLECTED	THK.	THICK(NESS)
APPV.D	APPROVED	COR.	CORNER	FABR.	FABRICATE	HVAC	HEATING, VENTILATION & AIR CONDITIONING	N.I.C	NOT IN CONTRACT	REINF.	REINFORCED	TYP.	TYPICAL
APPROX.	APPROXIMATE	CORR.	CORRIDOR	F.E.	FIRE EXTINGUISHER			NO.(OR #)	NUMBER	RESIL.	RESILIENT	T.M.E	TO MATCH EXISTING
ARCH.	ARCHITECT or ARCHITECTURAL	C.T.	COUNTERTOP	F.E.C	FIRE EXTINGUISHER	H.W.	HOT WATER	N.T.S	NOT TO SCALE	REQ.	REQUIRED	UL	UNDERWRITERS LABORATORY
AUTO.	AUTOMATIC	CTR.	CENTER		CABINET	I.D	INSIDE DIAMETER	O.A	OVERALL	R.H.	RIGHT HAND		UTILITY
AVG.	AVERAGE	C.W.	COLD WATER	FIN. FL.	FINISH FLOOR	INCL.	INCLUDE(D)ING	O.C	ON CENTER	RM.	ROOM	UTIL.	UTILITY
&	AND	D.A	DOUBLE ACTING	F.H.C	FIRE HOSE CABINET	INFO.	INFORMATION	O.D	OUTSIDE DIAMETER	RND.	ROUND	U.O.N	UNLESS OTHERWISE NOTED
A.F.F.	ABOVE FINISH FLOOR	DEPT.	DEPARTMENT	FIN.	FINISHED)	INT.	INTERIOR	OFF.	OFFICE	R.O.	ROUGH OPENING	VERT.	VERTICAL
ABV.	ABOVE	DET.	DETAIL	FLOR.	FLOOR	JAN.	JANITOR	O.H	OPPOSITE HAND OPNG.	REV.	REVISION	VEST.	VESTIBULE
BD.	BOARD	D.F.	DRINKING FOUNTAIN	FLUOR.	FLUORESCENT	JT.	JOINT	(S)	SOUTH	SCHED.	SCHEDULE	V.I.F	VERIFY IN FIELD
BLDG.	BUILDING	DIA.	DIAMETER	F.O.C	FACE OF CONCRETE	LAM.	LAMINATE	ORIG.	ORIGINAL	SECT.	SECTION	VOL.	VOLUME
BLKG.	BLOCKING	DIM.	DIMENSION	F.O.F	FACE OF FINISH	LB (OR #)	POUND	PART.BD.	PARTICLE BOARD	SECT.	SECTION	(W)	WEST
BRKT.	BRACKET	DIV.	DIVISION	F.O.G	FACE OF GYP.BD.	L.H.	LEFT HAND	P.LAM.	PLASTIC LAMINATE	SIM.	SIMILAR	W	WITH
BRZ.	BRONZE	DN.	DOWN	F.O.S	FACE OF STUD	LAV.	LAVATORY	PLAS.	PLASTER	SQ.	SQUARE	W.C	WATER CLOSET
BSMT.	BASEMENT	DR.	DOOR	F.O.W	FACE OF WALL	PLYWD.	PLYWOOD	PLYWD.	PLYWOOD	SQ.FT OR SF.	SQUARE FEET	W.I.C	WATER IN CLOSET
CAB.	CABINET	DWG.	DRAWING	FR.	FRAME	PNL.	PANEL	PR.	PAIR	STL.	STEEL	WD.	WOOD
C.C.	CENTER TO CENTER	DRW.	DRAWER	F.S.	FULL SIZE	MECH.	MECHANICAL	PREFAB.	PREFABRICATED	S.S.	STAINLESS STEEL	WIND.	WINDOW
CER.	CERAMIC	(E)	EAST	FT.	FOOT OR FEET	M.C.	MAIL CHUTE	PROJ.	PROJECT	STD.	STANDARD	W.H.	WATER HEATER
CLKG.	CALKING	ELEC.	ELECTRIC	F.A.R	FLOOR AREA RATIO	MTL.	METAL	PTN.	PARTITION	STRUCT.	STRUCTURAL	WO	WITHOUT
C.L.	CENTER LINE	ELEV.	ELEVATION	F.F	FACE TO FACE FURR./	MEZZ.	MEZZANINE	SUSP.	SUSPENDED	SUSP.	SUSPENDED	W.S	WEATHERSTRIPPING
CLG.	CEILING	ELEV.R	ELEVATOR		FURRING	MGR.	MANAGER	PTD.	PAINTED	SYMM.	SYMMETRICAL	WV.	WOOD VENEER
CLOS.	CLOSET	ENGR.											



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revisions:

01.10.2021:	ENGINEERING COMMENTS DATED 12.30.21 ADDRESSED
	ENVIRONMENTAL COMMENTS DATED 12.30.21 ADDRESSED
	PBA MEETING 01.06.22 COMMENTS ADDRESSED

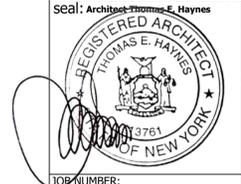
project title:

Proposed Pool & Pool House at:

107 Judson Avenue
Dobbs Ferry, New York

PROPOSED OPTIONS

Seal: Architect Thomas E. Haynes original filing date: 10-04-2021



drawn by:
checked by:
drawing no.:

2152 SP.01

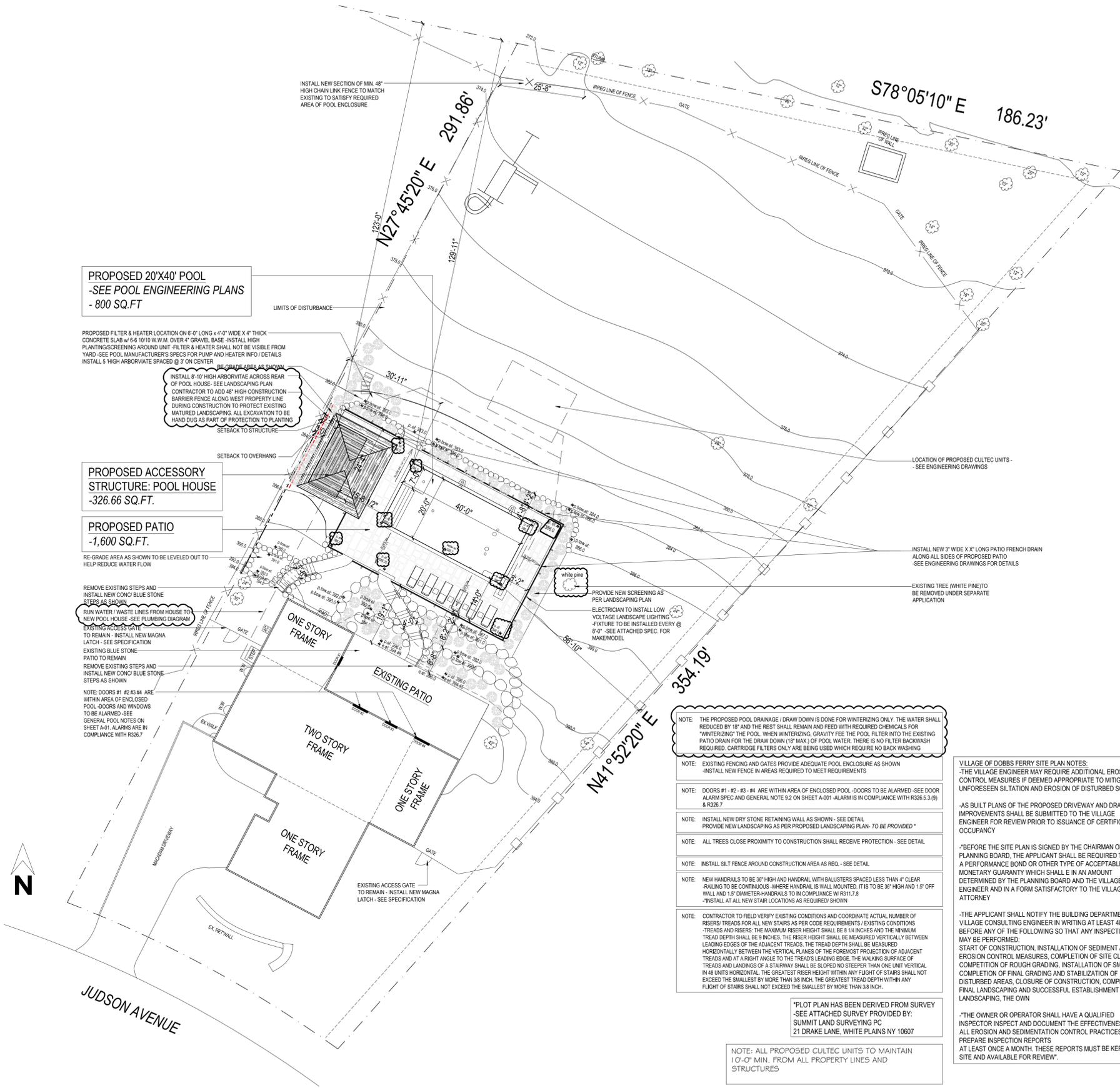
ZONING ANALYSIS:

GENERAL INFORMATION:			
ADDRESS:	ZONING DISTRICT:	PARCEL ID:	
107 JUDSON AVENUE	OF3	3.130-120-2	
USE REQUIREMENTS:			
CATEGORY	REQUIRED / ALLOWED	EXISTING	PROPOSED
ONE FAMILY	1-FAMILY	1-FAMILY	NO CHANGE
LOT/ BULK REQUIREMENTS:			
CATEGORY	REQUIRED / ALLOWED	EXISTING	PROPOSED
LOT AREA (SF.)	15,000 SF.	41,942 SF.	NO CHANGE
MIN. LOT WIDTH (FT.)	100'	93'	NO CHANGE
MIN. LOT DEPTH (FT.)	100'	291.86'	NO CHANGE
*PRINCIPLE BUILDING			
FRONT YARD (FT.)	30'	29.1'	NO CHANGE
REAR YARD (FT.)	25'	+/-172	NO CHANGE
SIDE YARD (ONE SIDE) (FT.)	15'	16.3'	NO CHANGE
SIDE YARD (BOTH SIDE) (FT.)	40'	39.9'	NO CHANGE
BUILDING HEIGHT (STORY/ FT.)	2.5 / 30'	NO CHANGE	NO CHANGE
*PROPOSED ACCESSORY STRUCTURE : POOL HOUSE & POOL			
REAR YARD (FT.)	5'	-	123'-0" TO POOL HOUSE 123'-11" TO POOL
SIDE YARD (ONE SIDE) (FT.)	5'	-	5'-6" TO POOL HOUSE 30'-11" TO POOL
SIDE YARD (2ND SIDE) (FT.)	40'	-	104'-7" TO POOL HOUSE 56'-10" TO POOL
BUILDING HEIGHT (STORY/ FT.)	1.5 / 20'	-	1 / 13'-5"
MAXIMUM DIMENSIONAL REQUIREMENTS:			
CATEGORY:	REQUIRED/ALLOWED	EXISTING:	PROPOSED:
MAX. BUILDINGS COVERAGE %	20%	8.2%	10.97%
MAX. IMPERVIOUS SURFACE COVERAGE %	40%	16.83%	25.25%

NOTE: SEE ENGINEERING DRAWINGS FOR ALL EROSION CONTROL / STORM WATER MANAGEMENT INFORMATION

LAND DISTURBANCE :

PROPOSED:	
PROPOSED PATIO/ WALK (& POOL COPING AREA)	65.18 CU. YDS
PROPOSED STAIRS/ DRYSTONE WALLS:	29.7 CU. YDS
PROPOSED EQUIPMENT BASE:	1 CU.YDS.
PROPOSED POOL HOUSE:	69.13 CU.YDS.
PROPOSED POOL:	237.03 CU.YDS.
TOTAL LAND DISTURBANCE:	402.04 CU.YDS.



PROPOSED: PLOT PLAN

SCALE: 1/16" = 1'-0"

*PLOT PLAN HAS BEEN DERIVED FROM SURVEY -SEE ATTACHED SURVEY PROVIDED BY: SUMMIT LAND SURVEYING PC 21 DRAKE LANE, WHITE PLAINS NY 10607

NOTE: ALL PROPOSED CULTEC UNITS TO MAINTAIN 10'-0" MIN. FROM ALL PROPERTY LINES AND STRUCTURES

NOTE: ALL DOORS/ WINDOWS THAT ARE WITHIN AREA OF ENCLOSED POOL SHALL BE ALARMED-DOORS AND WINDOWS TO BE ALARMED -SEE GENERAL POOL NOTES ON SHEET A-01. ALARMS ARE IN COMPLIANCE WITH R326.7

NOTE: THE PROPOSED POOL DRAINAGE / DRAW DOWN IS DONE FOR WINTERIZING ONLY. THE WATER SHALL BE REDUCED BY 1" AND THE REST SHALL REMAIN AND FEED WITH REQUIRED CHEMICALS FOR "WINTERIZING" THE POOL. WHEN WINTERIZING, GRAVITY FEED THE POOL FILTER INTO THE EXISTING PATIO DRAIN FOR THE DRAW DOWN (1" MAX.) OF POOL WATER. THERE IS NO FILTER BACKWASH REQUIRED. CARTRIDGE FILTERS ONLY ARE BEING USED WHICH REQUIRE NO BACK WASHING

NOTE: EXISTING FENCING AND GATES PROVIDE ADEQUATE POOL ENCLOSURE AS SHOWN -INSTALL NEW FENCE IN AREAS REQUIRED TO MEET REQUIREMENTS

NOTE: DOORS #1 - #2 - #3 - #4 ARE WITHIN AREA OF ENCLOSED POOL -DOORS TO BE ALARMED -SEE DOOR ALARM SPEC AND GENERAL NOTE 9.2 ON SHEET A-01 -ALARM IS IN COMPLIANCE WITH R326.5.3 (9) & R326.7

NOTE: INSTALL NEW DRY STONE RETAINING WALL AS SHOWN - SEE DETAIL PROVIDE NEW LANDSCAPING AS PER PROPOSED LANDSCAPING PLAN - TO BE PROVIDED *

NOTE: ALL TREES CLOSE PROXIMITY TO CONSTRUCTION SHALL RECEIVE PROTECTION - SEE DETAIL

NOTE: INSTALL SILT FENCE AROUND CONSTRUCTION AREA AS REQ. - SEE DETAIL

NOTE: NEW HANDRAILS TO BE 36" HIGH AND HANDRAIL WITH BALLUSTERS SPACED LESS THAN 4" CLEAR -RAILING TO BE CONTINUOUS -WHERE HANDRAIL IS WALL MOUNTED, IT IS TO BE 30" HIGH AND 1.5" OFF WALL AND 1.5" DIAMETER-HANDRAILS TO IN COMPLIANCE WITH R311.7.8 *INSTALL AT ALL NEW STAIR LOCATIONS AS REQUIRED/ SHOWN

NOTE: CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS AND COORDINATE ACTUAL NUMBER OF RISERS/ TREADS FOR ALL NEW STAIRS AS PER CODE REQUIREMENTS / EXISTING CONDITIONS -TREADS AND RISERS- THE MAXIMUM RISER HEIGHT SHALL BE 8 1/4 INCHES AND THE MINIMUM TREAD DEPTH SHALL BE 11 INCHES. THE RISER HEIGHT SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREADS LEADING EDGE. THE WALKING SURFACE OF TREADS AND LANDINGS OF A STAIRWAY SHALL BE SLOPED NO STEEPER THAN ONE UNIT VERTICAL IN 48 UNITS HORIZONTAL. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH.

VILLAGE OF DOBBS FERRY SITE PLAN NOTES:
-THE VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS

-AS BUILT PLANS OF THE PROPOSED DRIVEWAY AND DRAINAGE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY

-BEFORE THE SITE PLAN IS SIGNED BY THE CHAIRMAN OF THE PLANNING BOARD, THE APPLICANT SHALL BE REQUIRED TO POST A PERFORMANCE BOND OR OTHER TYPE OF ACCEPTABLE MONETARY GUARANTY WHICH SHALL BE IN AN AMOUNT DETERMINED BY THE PLANNING BOARD AND THE VILLAGE ENGINEER AND IN A FORM SATISFACTORY TO THE VILLAGE ATTORNEY

-THE APPLICANT SHALL NOTIFY THE BUILDING DEPARTMENT OR VILLAGE CONSULTING ENGINEER IN WRITING AT LEAST 48 HOURS BEFORE ANY OF THE FOLLOWING SO THAT ANY INSPECTIONS MAY BE PERFORMED:
START OF CONSTRUCTION, INSTALLATION OF SEDIMENT AND EROSION CONTROL MEASURES, COMPLETION OF SITE CLEARING, COMPETITION OF ROUGH GRADING, INSTALLATION OF SMPs, COMPLETION OF FINAL GRADING AND STABILIZATION OF DISTURBED AREAS, CLOSURE OF CONSTRUCTION, COMPLETE OF FINAL LANDSCAPING AND SUCCESSFUL ESTABLISHMENT OF LANDSCAPING, THE OWN

-THE OWNER OR OPERATOR SHALL HAVE A QUALIFIED INSPECTOR INSPECT AND DOCUMENT THE EFFECTIVENESS OF ALL EROSION AND SEDIMENTATION CONTROL PRACTICES AND PREPARE INSPECTION REPORTS AT LEAST ONCE A MONTH. THESE REPORTS MUST BE KEPT ON SITE AND AVAILABLE FOR REVIEW.

01.10.2021:	ENGINEERING COMMENTS DATED 12.30.21 ADDRESSED
	ENVIRONMENTAL COMMENTS DATED 12.30.21 ADDRESSED
	PBA MEETING 01.06.22 COMMENTS ADDRESSED

Proposed Pool & Pool House at:

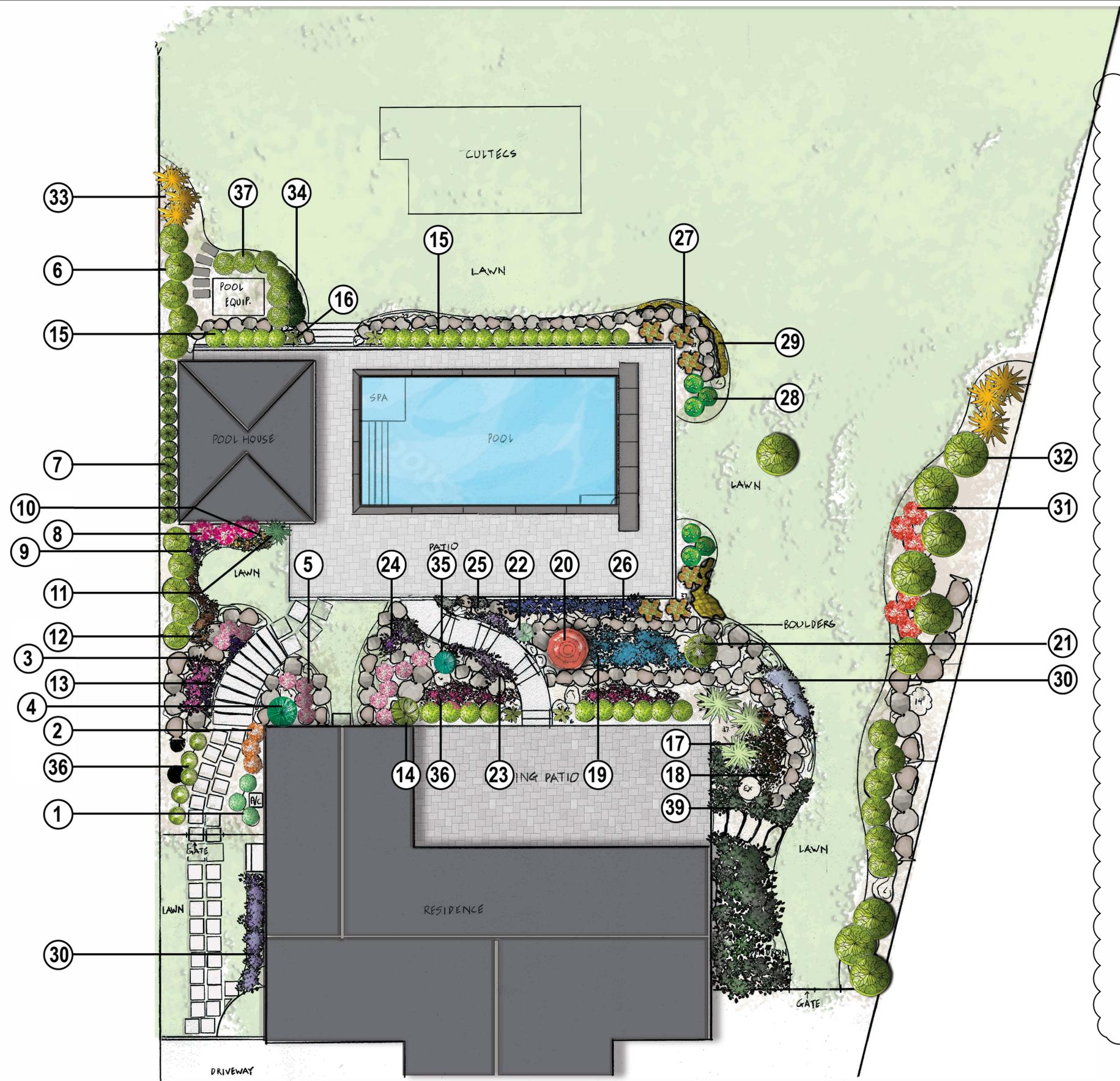
107 Judson Avenue
Dobbs Ferry, New York

LANDSCAPING PLAN



PLANTING LEGEND

NO.	PLANT/ SIZE	QTY.
1.	BOXWOOD 36-42"	3
2.	ANDROMEDA 'MTN. FIRE' 30-36"	3
3.	NATIVE RHODODENDRON 4-5'	3
4.	WEeping WHITE PINE 6-7'	1
5.	SPIREA 'ANTHONY WATERER' 3 GAL.	13
6.	ARBORVITAE 'GREEN GIANT' 8-10'	16
7.	EUROPEAN HORNBEAM 'FASTIGIATE' 2 1/2" CAL.	10
8.	RHODODENDRON 'ROSEUM ELEGANS' 30-36"	3
9.	PURPLE CONEFLOWER 1 GAL.	7
10.	ASTILBE 'PEACH BLOSSOM' 1 GAL.	9
11.	TAXIS 'HICKS' 3-4'	1
12.	DAYLILY 'DOROTHY WYCOFF' 1 GAL.	12
13.	VINCA 'BOWLES' 1 GAL.	60
14.	KOUSA DOGWOOD 7-8'	1
15.	BOXWOOD 'GREEN VELVET' 30-36"	31
16.	DWARF ALBERTA SPRUCE 4-5'	4
17.	CANADIAN HEMLOCK 5-6'	3
18.	COTONEASTER 'WILLOWLEAF' 3 GAL.	7
19.	HYDRANGEA 'ENDLESS SUMMER' 7 GAL.	5
20.	JAPANESE LACELEAF MAPLE 3-4' HEIGHT AND SPREAD	1
21.	JAPANESE STEWARTIA 7-8'	1
22.	DWARF GLOBOSA BLUE SPRUCE 24-30"	1
23.	NEPETA 'DROPMORE' 1 GAL.	12
24.	AJUGA 'BURGUNDY GLOW' 1 GAL.	10
25.	DWARF FOUNTAIN GRASS 1 GAL.	6
26.	LIRIOPE 'BIG BLUE' 1 GAL.	24
27.	HOLLY 'BLUE PRINCESS' 4-5'	6
28.	NINEBARK 'DIABLO' 5 GAL.	6
29.	BLACK EYE SUZY 1 GAL.	14
30.	ASTILBE 'CHINENSIS' 1 GAL.	12
31.	RED TWIG DOGWOOD 'HALO' 5 GAL.	6
32.	CANADIAN HEMLOCK 7-8'	6
33.	FORSYTHIA 5-6'	6
34.	DAYLILY STELL D'ORO 1GAL.	10
35.	WEeping NORWAY SPRUCE 4-5'	1
36.	AZALEA 'TRADITION PINK' 3 GAL.	10
37.	HOLLY 'NELLIE STEVENS' 4-5'	7
38.	CHERRY LAUREL 'SCHIPKAENENSIS' 4-5'	5
39.	HOSTA 'PATRIOT' 1 GAL.	16
40.	RIVER BIRCH 'HERITAGE' 10-12'	3



PROPOSED: LANDSCAPE PLAN

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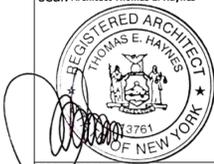
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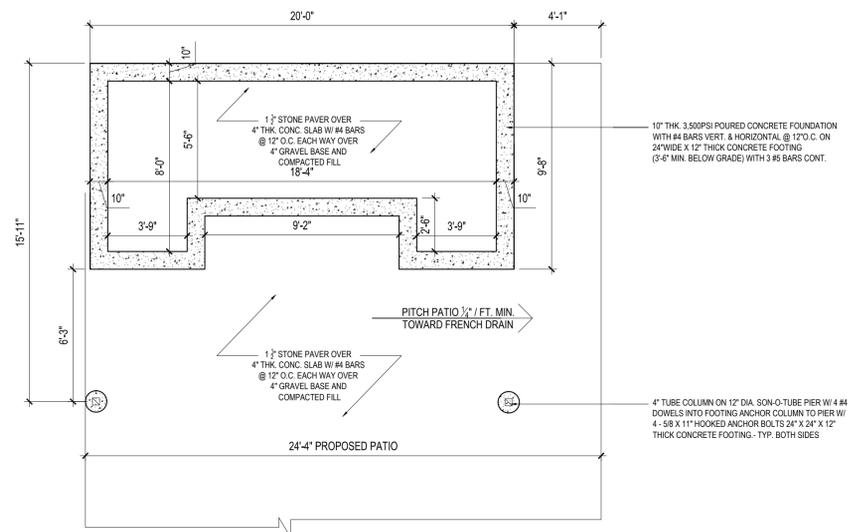
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project title:

Proposed Pool & Pool House at:
107 Judson Avenue
Dobbs Ferry, New York

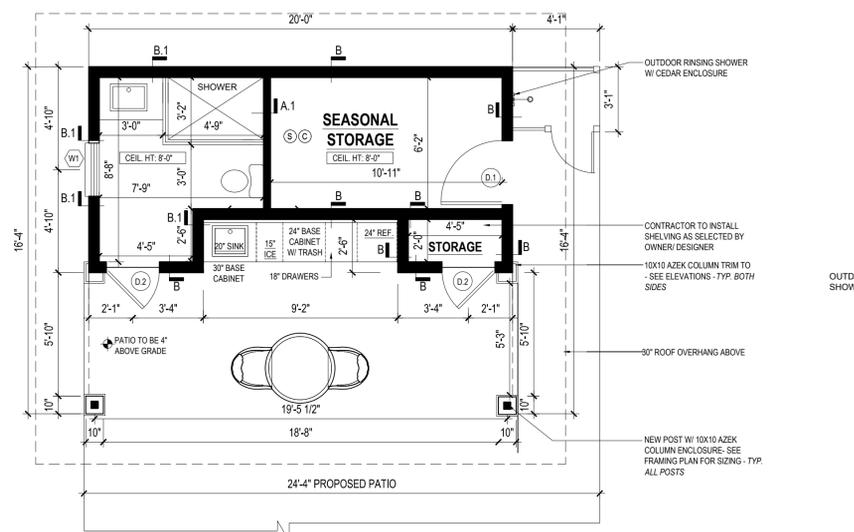
PROPOSED POOL HOUSE

Seal: Architect Thomas E. Haynes

 original filing date: 10-04-2021
 drawn by:
 checked by:
 drawing no.:



POOL HOUSE - FOUNDATION PLAN

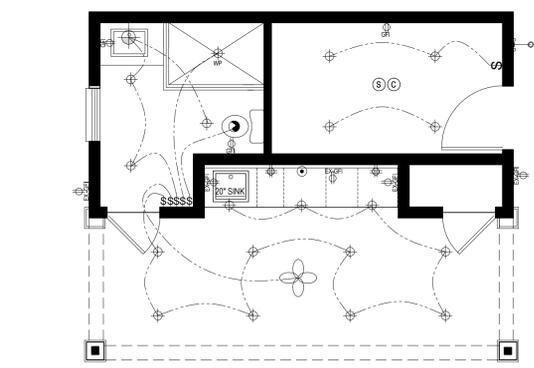
SCALE: 1/4" = 1'-0"



POOL HOUSE PLAN

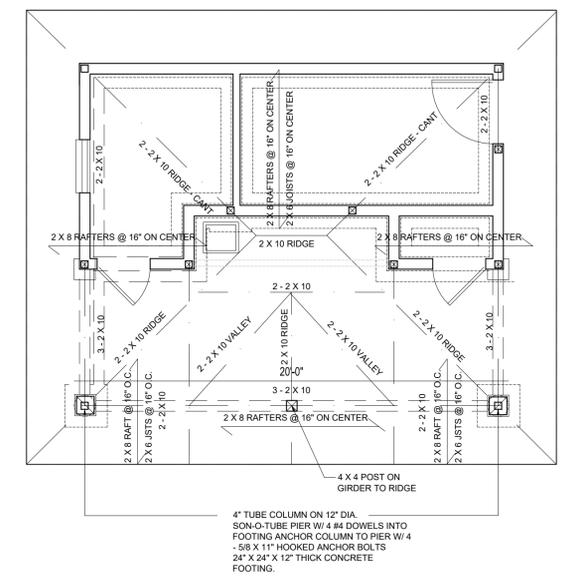
326.66 SQ.FT

SCALE: 1/4" = 1'-0"



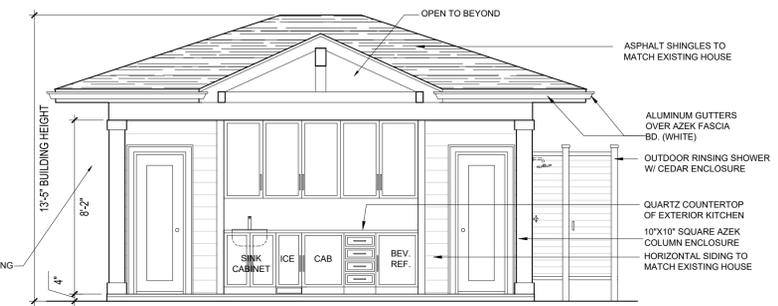
POOL HOUSE LIGHTING / ELECTRIC PLAN

SCALE: 1/4" = 1'-0"



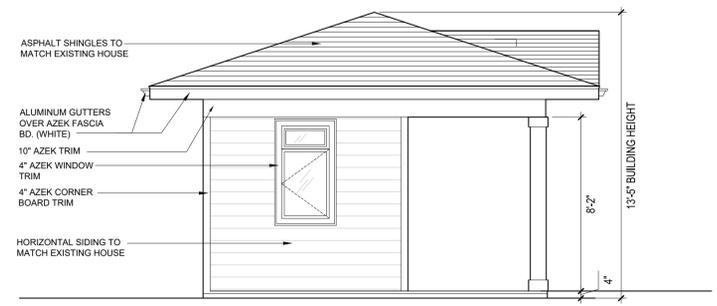
POOL HOUSE FRAMING PLAN

SCALE: 1/4" = 1'-0"



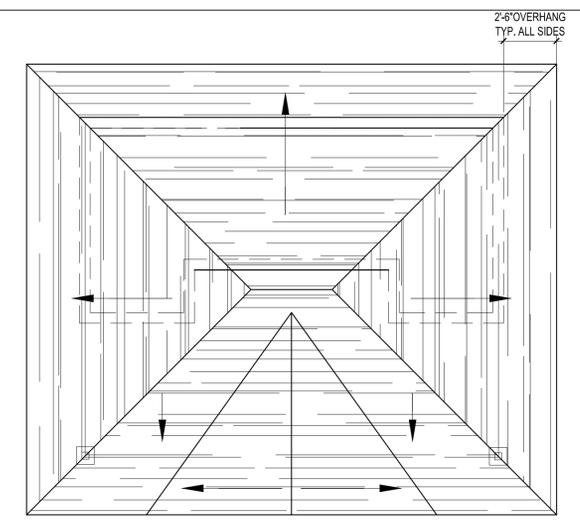
PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1'-0"



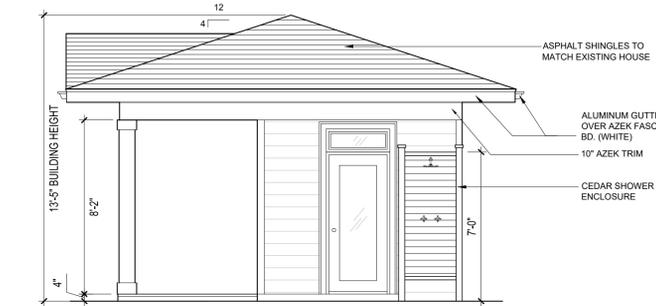
PROPOSED LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



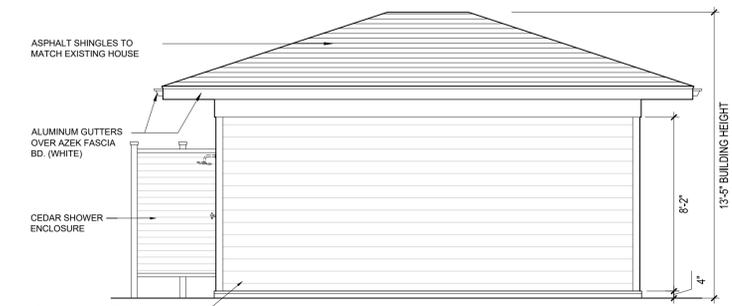
POOL HOUSE ROOF PLAN

SCALE: 1/4" = 1'-0"



PROPOSED RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED REAR ELEVATION

SCALE: 1/4" = 1'-0"

ELECTRIC/ LIGHTING LEGEND:				GENERAL NOTES:	
	NEW LIGHT FIXTURE - LED RECESSED LIGHTING FIXTURE		CEILING FAN - AS PER OWNERS SELECTION		DUPLEX RECEPTACLE
	EXTERIOR WALL MOUNTED LIGHT FIXTURE AS PER OWNER		CAT6 IN RECESSED OUTLET - COORD. HEIGHT & LOCATION W/ OWNER		NEW LED RECESSED LIGHT IN WATERPROOF ENCLOSURE SUITABLE FOR WET LOCATIONS TO BE INSTALLED IN CEILING
	NEW LIGHT SWITCH - LUTRON DIVA OR SIMILAR AS APPROVED BY OWNER - LED DIMMABLE - PROVIDE SCREWLESS SWITCH COVER		DEDICATED OUTLET FOR APPLIANCE		GROUND FAULT CIRCUIT INTERRUPT - DUPLEX RECEPTACLE

1. INSTALL NEW WIRING FOR MULTIPLE OUTLETS AS INDICATED ON PLAN
 2. PROVIDE CAT5 OR CAT6 CABLE TO ALL NEW TV LOCATIONS FOR IR EXTENDER - RUN CABLES FROM TV BACK TO STORAGE CLOSET LOCATIONS
 3. INSTALL ALL NEW ELECTRICAL WIRING AS REQUIRED FOR NEW DUPLEX AND GFCI OUTLETS
 4. ALL LIGHTING TO BE APPROVED FOR USE IN NY STATE
 5. ALL ITEMS IN VERTICAL LINE ARE TO ALIGN ON CENTER. I.E. -THERMOSTATE ABOVE A SWITCH, ETC. ELECTRICIAN TO INSTALL DUPLEX RECEPTACLES AS REQUIRED BY CODE
 6. INSTALL LOW VOLTAGE WIRING WHEREVER REQUIRED
 7. ALL LIGHT SWITCHES WITH DIMMER CONTROLS TO BE COMPATIBLE WITH LED LIGHTS AS USED THROUGH-OUT
 8. ALL OUTLETS, OTHER THAN GFCI OUTLETS, SHALL BE TAMPER PROOF AS PER CODE.
 9. ALL LIGHTING WITHIN CLOSETS TO BE CODE COMPLIANT - ELECTRICIAN TO COORDINATE OPTIONS WITH OWNER
****ALL INFORMATION SHOWN IS FOR DIAGRAMMATIC PURPOSES ONLY AND SHALL BE THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN TO INSTALL ALL LIGHTING, WIRING, CIRCUITING, ETC. AS PER CODE REQUIREMENTS**

