35 BELLAIR DRIVE

PROJECT DATA

ADDRESS: 35 BELLAIR DRIVE, DOBBS FERRY, NEW YORK 10522 BLOCK &LOT: BLOCK 3 , LOT 6

ZONING DISTRICT: **OF-5** OCC GROUP: SINGLE FAMILY RESIDENCE STORIES(HEIGHT): 2 FIRE PROTECTION: NON SPRINKLERED CONSTRUCTION TYPE: TYPE V BUILDING DESCRIPTION: SINGLE FAMILY 2 STORY WITH BASEMENT, DETACHED GARAGE LOT DESCRIPTION: 0.14 AC / 6,003 SF **IRREGULAR SEE SURVEY**

SCOPE: RENOVATION

CONSTRUCTION: RENOVATE KITCHEN, DIINING ROOM, LIVING ROOM, AND BACK STAIR WALL. AREA OF PROPOSED WORK: 1,630 SQFT AREA OF PROPERTY: 1,903 SQFT

CONSTRUCTION TO COMPLY WITH THE FOLLOWING APPLICABLE CODES: 2020 RESIDENTIAL CODE OF NEW YORK STATE ADOPTS WITH AMENDMENTS: INTERNATIONAL RESIDENTIAL CODE 2018 (IRC 2018)

NYSTRETCH ENERGY CODE 2020

2020 ENERGY CONSERVATION CODE OF NYS ADOPTS WITH AMENDMENTS: INTERNATIONAL ENERGY CONSERVATION CODE 2018 (IECC 2018)

2020 PLUMBING CODE OF NYS ADOPTS WITH AMENDMENTS: INTERNATIONAL PLUMBING CODE 2018 (IPC 2018)

2020 FIRE CODE OF NYS ADOPTS WITH AMENDMENTS: INTERNATIONAL FIRE CODE 2018 (IFC 2018)

2020 MECHANICAL CODE OF NYS ADOPTS WITH AMENDMENTS:

NATIONAL ELECTRICAL CODE 2017 OF NEW YORK STATE ADOPTS WITHOUT AMENDMENTS: NFPA 70, 2017 INTERNATIONAL MECHANICAL CODE 2018 (IMC 2018)

BUILDING DEPARTMENT NOTES

1. BEFORE COMMENCING WORK, GC (GENERAL CONTRACTOR) SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING AGENCIES.

2. GC SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT.

3. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED ON THE DRAWINGS.

4. GC SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES AND BUILDING MANAGEMENT.

5. GC SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.

6. GC SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (PLUMBING, ELECTRICAL, SPRINKLERS, ETC.)

7. PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE AND OBTAIN INSPECTIONS AND REQUIRED SIGNOFF.

8. GC SHALL DO ALL THE CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL THE OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.

9. ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED.

10. ALL CONSTRUCTION SHALL CONFORM TO THE INTERNATIONAL BUILDING CODE, NYS EDITION AND ALL AMENDMENTS THERETO, FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND BEST TRADE PRACTICES.

11. SAFETY OF PUBLIC AND PROPERTY DURING CONSTRUCTION OPERATIONS SHALL BE IN ACCORDANCE WITH NYS BUILDING CODE.

12. ALL WOOD USE FOR PERMANENT INSTALLATIONS SHALL BE FIRE RETARDANT, TREATED IN ACCORDANCE WITH NYS BUILDING CODE.

13. ALL INTERIOR FINISHES SHALL HAVE FLAME SPREAD AND SMOKE RATINGS IN ACCORDANCE WITH NYS BUILDING CODE.

14. ALL INTERIOR OCCUPIED SPACES SHALL BE VENTILATED IN ACCORDANCE WITH NYS BUILDING CODE.

15. THESE DRAWINGS AND SPECIFICATIONS APPLY TO A RENOVATION OF A SINGLE FAMILY RESIDENCE LOCATED AT 35 BELLAIR DR., DOBBS FERRY, NY 10522, ONLY AND SHALL NOT BE USED FOR ANY OTHER PURPOSE WITHOUT THE EXPRESSED WRITTEN CONSENT OF HOPKINS CLEGG ARCHITECTS, LLC.

	SHEET LIST	
	SHEET NAME	AHRB/DOB SET - 10/10/2022
G-000.00	TITLE PAGE	Х
G-001.00	ENERGY CODE	X
G-002.00	GENERAL NOTES	X
A-100.00	SITE PLANS	X
A-101.00	FLOOR PLANS	X
A-102.00	AREA CALCULATIONS AND BASMENT AND 2ND FLOOR PLANS	Х
A-110.00	REFLECTED CEILING PLANS AND RECEPTACLE PLANS	X
A-200.00	EXTERIOR ELEVATIONS AND BUILDING SECTIONS	X
A-201.00	PARTITIONS AND EXTERIOR WALL DETAILS	X
A-300.00	KITCHEN INTERIOR ELEVATIONS AND ENLARGED PLAN	X
A-301.00	INTERIORS	X

EXISTING PROPERTY PHOTO - FRONT







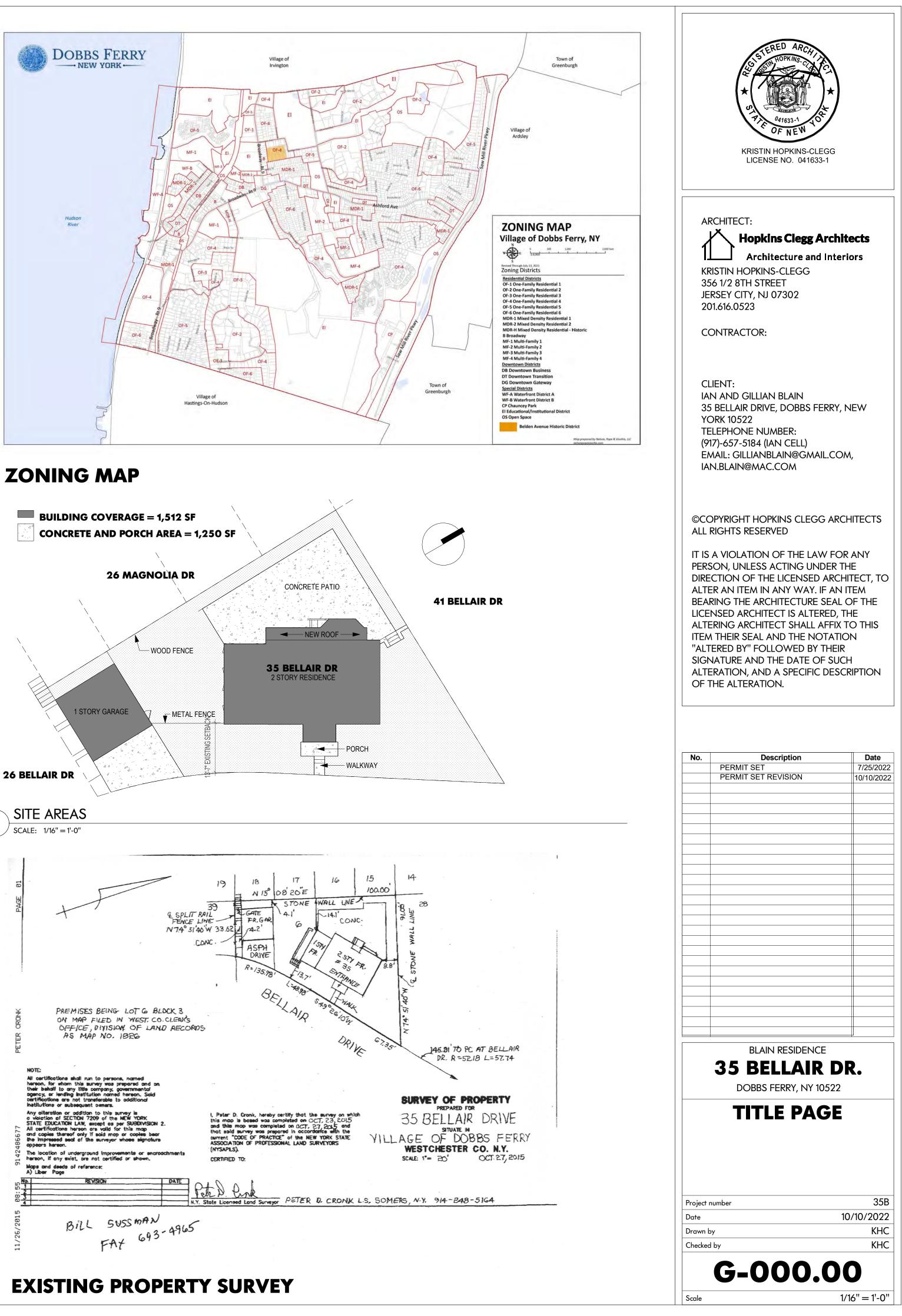


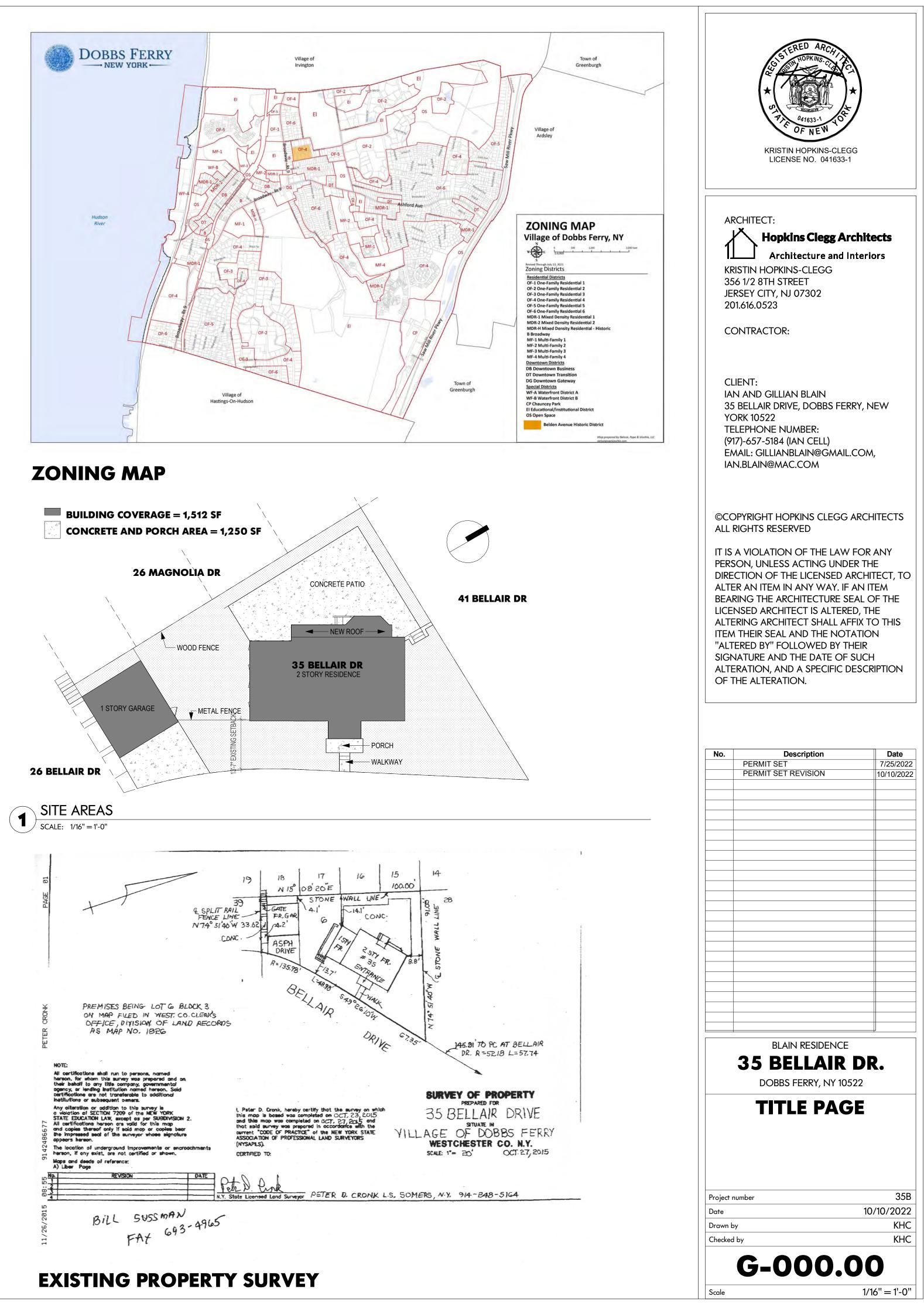


EXISTING PROPERTY PHOTO - SIDE

EXISTING PROPERTY PHOTO - SIDE

EXISTING PROPERTY PHOTO - BACK





STRETCH ENERGY CODES

1. THIS DESIGN IS IN COMPLIANCE WITH REQUIREMENTS OF 2020 ENERGY CONSERVATION CODE OF NYS, THE 2020 RESIDENTAL CODE OF NYS, AND THE 2020 NYSTRETCH CODE.

2. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH APPLICABLE CODES LISTED ABOVE.

3. UPDATED TABLE R420.1.4 BELOW SHOWING UPDATED VALUES PREVAILS WHERE APPLICABLE

WESTCHESTER NY: CLIMATE ZONE 4A

2020 ENERGY CONSERVATION CODE OF NEW YORK STATE

Table R402.1.2 - Envelope (U-factor Table R402.1.4 changed accordingly. Prescriptive, e.g., can be traded.)

Climate Zone 4	Fen U-Factor	SkyLt U-Factor	SHGC	Ceiling R-Val	Wood Wall R-Value	Mass Wall R-Value	Floor R-Val	Bsmt Wall R-value	Slab R-Value/ Depth	Crawl Sp Wall R-Value
Stretch Code	0.27	0.50	.04	49	21 or 20+5 or 13+10	15/20	30ª	15/19	10, 4 ft.	15/19

MINIMUM REQUIREMENTS FOR ALTERATIONS

LEVEL 2 ALTERATIONS TO EXISTING BUILDINGS OR STRUCTURES ARE PERMITTED WITHOUT REQUIRING THE ENTIRE BUILDING OR STRUCTURE TO COMPLY WITH THE ENERGY REQUIREMENTS OF THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE OR RESIDENTIAL CODE OF NEW YORK STATE. THE ALTERATIONS SHALL CONFORM TO THE ENERGY REQUIREMENTS OF THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE OR RESIDENTIAL CODE OF NEW YORK STATE AS THEY RELATE TO NEW CONSTRUCTION ONLY.

ADDITIONS/ALTERATIONS

SECTION C502 ADDITIONS

C502.1 GENERAL: ADDITIONS TO AN EXISTING BUILDING, BUILDING SYSTEM OR PORTION THEREOF SHALL CONFORM TO THE PROVISIONS OF THIS CODE AS THOSE PROVISIONS RELATE TO NEW CONSTRUCTION WITHOUT REQUIRING THE UNALTERED PORTION OF THE EXISTING BUILDING OR BUILDING SYSTEM TO COMPLY WITH THIS CODE. ADDITIONS SHALL NOT CREATE AN UNSAFE OR HAZARDOUS CONDITION OR OVERLOAD EXISTING BUILDING SYSTEMS. AN ADDITION SHALL BE DEEMED TO COMPLY WITH THIS CODE IF THE ADDITION ALONE COMPLIES OR IF THE EXISTING BUILDING AND ADDITION COMPLY WITH THIS CODE AS A SINGLE BUILDING. ADDITIONS SHALL COMPLY WITH SECTIONS C402, C403, C404, C405 AND C502.2.

ADDITIONS COMPLYING WITH ANSI/ASHRAE/IESNA 90.1. NEED NOT COMPLY WITH SECTIONS C402, C403, C404 AND C405.

C502.2 PRESCRIPTIVE COMPLIANCE: ADDITIONS SHALL COMPLY WITH SECTIONS C502.2.1 THROUGH C502.2.6.2.

C502.2.1 VERTICAL FENESTRATION: NEW VERTICAL FENESTRATION AREA THAT RESULTS IN A TOTAL BUILDING FENESTRATION AREA LESS THAN OR EQUAL TO THAT SPECIFIED IN SECTION C402.4.1 SHALL COMPLY WITH SECTION C402.1.5, C402.4.3 OR C407. ADDITIONS WITH VERTICAL FENESTRATION THAT RESULT IN A TOTAL BUILDING FENESTRATION AREA GREATER THAN SECTION C402.4.1 OR ADDITIONS THAT EXCEED THE FENESTRATION AREA GREATER THAN SECTION C402.4.1 SHALL COMPLY WITH SECTION C402.4.1.1 FOR THE ADDITION ONLY. ADDITIONS THAT RESULT IN A TOTAL BUILDING VERTICAL FENESTRATION AREA EXCEEDING THAT SPECIFIED IN SECTION C402.4.1.1 SHALL COMPLY WITH SECTION C402.1.5 OR C407.

C502.2.6 LIGHTING POWER AND SYSTEMS: NEW LIGHTING SYSTEMS THAT ARE INSTALLED AS PART OF THE ADDITION SHALL COMPLY WITH SECTION C405.

C502.2.6.1 INTERIOR LIGHTING POWER: THE TOTAL INTERIOR LIGHTING POWER FOR THE ADDITION SHALL COMPLY WITH SECTION C405.3.2 FOR THE ADDITION ALONE, OR THE EXISTING BUILDING AND THE ADDITION SHALL COMPLY AS A SINGLE BUILDING.

C502.2.6.2 EXTERIOR LIGHTING POWER: THE TOTAL EXTERIOR LIGHTING POWER FOR THE ADDITION SHALL COMPLY WITH SECTION C405.4.2 FOR THE ADDITION ALONE, OR THE EXISTING BUILDING AND THE ADDITION SHALL COMPLY AS A SINGLE BUILDING.

SECTION C503 ALTERATIONS

NYI C503.1 GENERA

ALTERATIONS TO ANY BUILDING OR STRUCTURE SHALL COMPLY WITH THE REQUIREMENTS OF SECTION C503 AND THE CODE FOR NEW CONSTRUCTION. ALTERATIONS SHALL BE SUCH THAT THE EXISTING BUILDING OR STRUCTURE IS NOT LESS CONFORMING TO THE PROVISIONS OF THIS CODE THAN THE EXISTING BUILDING OR STRUCTURE WAS PRIOR TO THE ALTERATION. ALTERATIONS TO AN EXISTING BUILDING, BUILDING SYSTEM OR PORTION THEREOF SHALL CONFORM TO THE PROVISIONS OF THIS CODE AS THOSE PROVISIONS RELATE TO NEW CONSTRUCTION WITHOUT REQUIRING THE UNALTERED PORTIONS OF THE EXISTING BUILDING OR BUILDING SYSTEM TO COMPLY WITH THIS CODE, ALTERATIONS SHALL NOT CREATE AN UNSAFE OR HAZARDOUS CONDITION OR OVERLOAD EXISTING BUILDING SYSTEMS.

ALTERATIONS COMPLYING WITH ANSI/ASHRAE/IESNA 90.1. NEED NOT COMPLY WITH SECTIONS C402, C403, C404 AND C405. EXCEPTION: THE FOLLOWING ALTERATIONS NEED NOT COMPLY WITH THE REQUIREMENTS FOR NEW CONSTRUCTION, PROVIDED THAT THE ENERGY USE OF THE BUILDING IS NOT INCREASED: STORM WINDOWS INSTALLED OVER EXISTING FENESTRATION.

- SURFACE-APPLIED WINDOW FILM INSTALLED ON EXISTING SINGLE-PANE FENESTRATION ASSEMBLIES REDUCING SOLAR HEAT GAIN, PROVIDED THAT THE CODE DOES NOT REQUIRE THE GLAZING OR FENESTRATION TO BE REPLACED. EXISTING CEILING, WALL OR FLOOR CAVITIES EXPOSED DURING CONSTRUCTION, PROVIDED THAT THESE CAVITIES ARE FILLED WITH INSULATION.
- CONSTRUCTION WHERE THE EXISTING ROOF, WALL OR FLOOR CAVITY IS NOT EXPOSED. ROOF RECOVER.
- ROOFS WITHOUT INSULATION IN THE CAVITY AND WHERE THE SHEATHING OR INSULATION IS EXPOSED DURING REROOFING SHALL
- BE INSULATED EITHER ABOVE OR BELOW THE SHEATHING. AIR BARRIERS SHALL NOT BE REQUIRED FOR ROOF RECOVER AND ROOF REPLACEMENT WHERE THE ALTERATIONS OR RENOVATIONS

TO THE BUILDING DO NOT INCLUDE ALTERATIONS, RENOVATIONS OR REPAIRS TO THE REMAINDER OF THE BUILDING ENVELOPE. ALTERATIONS THAT REPLACE LESS THAN FIFTY PERCENT OF THE LUMINAIRES IN A SPACE, PROVIDED THAT SUCH A LTERATIONS DO NOT INCREASE THE INSTALLED INTERIOR LIGHTING POWER.

AIR BARRIER AND INSULATION INSTALLATION

OF WINDOWS AND DOORS, SHALL BE SEALED.

1. GENERAL REQUIREMENTS: A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED. AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.

2. CEILING/ATTICTHE AIR BARRIER IN ANY DROPPED CEILING OR SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED. ACCESS OPENINGS, DROP DOWN STAIRS OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED. THE INSULATION IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.

3. WALLS: THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHALL BE SEALED. KNEE WALLS SHALL BE SEALED. CAVITIES WITHIN CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE, R-VALUE, OF NOT LESS THAN R-3 PER INCH. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.

4. WINDOWS, SKYLIGHTS AND DOORS THE SPACE BETWEEN FRAMING AND SKYLIGHTS, AND THE JAMBS

5. RIM JOISTS: RIM JOISTS SHALL INCLUDE THE AIR BARRIER. RIM JOISTS SHALL BE INSULATED.

6. FLOORS, INCLUDING CANTILEVERED FLOORS AND FLOORS ABOVE GARAGES: THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION. FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING. ALTERNATIVELY, FLOOR FRAMING CAVITY INSULATION SHALL BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING; AND SHALL EXTEND FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.

7. CRAWL SPACE WALLS: EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS I VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED. CRAWL SPACE INSULATION, WHERE PROVIDED INSTEAD OF FLOOR INSULATION, SHALL BE PERMANENTLY ATTACHED TO THE WALLS.

8. GARAGE SEPARATION: AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.

9. RECESSED LIGHTING: RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE FINISHED SURFACE. RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.

10. PLUMBING AND WIRING: N EXTERIOR WALLS, BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING, OR INSULATION, THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE, SHALL EXTEND BEHIND PIPING AND WIRING.

11. SHOWER/TUB ON EXTERIOR WALL: THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THE WALL FROM THE SHOWER OR TUB. EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.

12. ELECTRICAL/PHONE BOX ON EXTERIOR WALLS: THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL AND COMMUNICATION BOXES. ALTERNATIVELY, AIR-SEALED BOXES SHALL BE INSTALLED.

13. HVAC REGISTER BOOTS: HVAC SUPPLY AND RETURN REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR, WALL COVERING OR CEILING PENETRATED BY THE BOOT.

COMPLIANCE CHECKLIST

CONSTRUCTION DRAWINGS AND DOCUMENTATION DEMONSTRATE ENERGY CODE COMPLIANCE FOR THE BUILDING ENVELOPE. THERMAL ENVELOPE REPRESENTED ON CONSTRUCTION DOCUMENTS A PROTECTIVE COVERING IS INSTALLED TO PROTECT EXPOSED EXTERIOR INSULATION AND EXTENDS A MINIMUM OF 6 IN. BELOW GRADE. ALL INSTALLED INSULATION IS LABELED OR THE INSTALLED R-VALUES PROVIDED. WALL INSULATION IS INSTALLED PER MANUFACTURER'S INSTRUCTIONS. CEILING INSULATION INSTALLED PER MANUFACTURER'S INSTRUCTIONS. BLOWN INSULATION MARKED EVERY 300 FT². VENTED ATTICS WITH AIR PERMEABLE INSULATION INCLUDE BAFFLE ADJACENT TO SOFFIT AND EAVE VENTS THAT EXTENDS OVER INSULATION U-FACTORS OF FENESTRATION PRODUCTS ARE DETERMINED IN ACCORDANCE WITH THE NFRC TEST PROCEDURE OR TAKEN FROM THE DEFAULT TABLE.

AIR BARRIER AND THERMAL BARRIER INSTALLED PER MANUFACTURER'S INSTRUCTIONS. AN APPROVED THIRD-PARTY WILL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE SECTION DETAILS AND GUIDANCE FROM TABLE R402.4.1.1.

FENESTRATION THAT IS NOT SITE BUILT IS LISTED AND LABELED AS MEETING AAMA /WDMA/CSA 101/I.S.2/A440 OR HAS INFILTRATION RATES PER NFRC 400 THAT DO NOT EXCEED CODE LIMITS.

IC-RATED RECESSED LIGHTING FIXTURES SEALED AT HOUSING/INTERIOR FINISH AND LABELED TO INDICATE ≤2.0 CFM LEAKAGE AT 75 PA AUTOMATIC OR GRAVITY DAMPERS ARE INSTALLED ON ALL OUTDOOR AIR INTAKES AND EXHAUSTS

POST CONSTRUCTION COMPLIANCE CERTIFICATE POSTED.

CONSTRUCTION DRAWINGS AND DOCUMENTATION DEMONSTRATE ENERGY CODE COMPLIANCE FOR LIGHTING AND MECHANICAL SYSTEMS. SYSTEMS SERVING MULTIPLE DWELLING UNITS MUST DEMONSTRATE COMPLIANCE WITH THE IECC COMMERCIAL PROVISIONS.

APPROVED BY THE CODE OFFICIAL.

HOT WATER PIPES ARE INSULATED TO ≥R-3. DUCT SYSTEM IN NEW BUILDINGS AND ADDITIONS ARE LOCATED IN A CONDITIONED SPACE IN ACCORDANCE WITH SECTIONS R403.3.7 (1-2). BUILDING CAVITIES ARE NOT USED AS DUCTS OR PLENUMS.

DUCTS DECLARED TO BE WITHIN THE CONDITIONED SPACE ARE EITHER 1) COMPLETELY WITHIN THE CONTINUOUS AIR BARRIER AND WITHIN THE BUILDING THERMAL ENVELOPE, 2) BURIED WITHIN CEILING INSULATION IN ACCORDANCE WITH SECTION R403.3.6 AND THE AIR HANDLER IS LOCATED COMPLETELY WITHIN THE CONTINUOUS AIR BARRIER AND WITHIN THE BUILDING THERMAL ENVELOPE AND THE DUCT LEAKAGE IS <= 1.5 CFM / 100 SQUARE FEET OF CONDITIONED FLOOR AREA SERVED BY THE DUCT SYSTEM. OR 3) THE CEILING INSULATION R-VALUE INSTALLED AGAINST AND ABOVE THE INSULATED DUCT >= TO THE PROPOSED CEILING INSULATION R-VALUE, LESS THE R-VALUE OF THE INSULATION ON THE DUCT.

TO CODE SPECIFICATIONS.

90% OR MORE OF PERMANENT FIXTURES HAVE LAMPS WITH AN EFFICACY >= 65 LUMANS/WATT OR HAVE A TOTAL LUMINAIRE EFFICACY >= 45 LUMENS/WATT.

ENVELOPE REPRESENTED ON CONSTRUCTION DOCUMENTS.

A PROTECTIVE COVERING IS INSTALLED TO PROTECT EXPOSED EXTERIOR INSULATION AND EXTENDS A MINIMUM OF 6 IN. BELOW GRADE.

CEILING INSULATION INSTALLED PER MANUFACTURER'S INSTRUCTIONS. BLOWN INSULATION MARKED EVERY 300 FT²

VENTED ATTICS WITH AIR PERMEABLE INSULATION INCLUDE BAFFLE ADJACENT TO SOFFIT AND EAVE VENTS THAT EXTENDS OVER INSULATION ATTIC ACCESS HATCH AND DOOR INSULATION ≥R-VALUE OF THE ADJACENT ASSEMBLY.

U-FACTORS OF FENESTRATION PRODUCTS ARE DETERMINED IN ACCORDANCE WITH THE NFRC TEST PROCEDURE OR TAKEN FROM THE DEFAULT

AIR BARRIER AND THERMAL BARRIER INSTALLED PER MANUFACTURER'S INSTRUCTIONS. AN APPROVED THIRD-PARTY WILL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE. SEE SECTION DETAILS AND GUIDANCE FROM TABLE R402.4.1.1. FENESTRATION THAT IS NOT SITE BUILT IS LISTED AND LABELED AS MEETING AAMA /WDMA/CSA 101/I.S.2/A440 OR HAS INFILTRATION RATES PER

NFRC 400 THAT DO NOT EXCEED CODE LIMITS.

REQUIREMENT RESOLUTION

BLOWER DOOR TEST @ 50 PA. <=5 ACH IN CLIMATE ZONES 1-2, AND <=3 ACH IN CLIMATE ZONES 3-8. - NOT APPLICABLE TO THIS ALTERATIONS COMPLIANCE CERTIFICATE POSTED. AT POST CONSTRUCTION

[NY] TABLE R402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

HEATING AND COOLING EQUIPMENT IS SIZED PER ACCA MANUAL S BASED ON LOADS CALCULATED PER ACCA MANUAL J OR OTHER METHODS

PROGRAMMABLE THERMOSTATS INSTALLED FOR CONTROL OF PRIMARY HEATING AND COOLING SYSTEMS AND INITIALLY SET BY MANUFACTURER

CONSTRUCTION DRAWINGS AND DOCUMENTATION DEMONSTRATE ENERGY CODE COMPLIANCE FOR THE BUILDING ENVELOPE. THERMAL

ALL INSTALLED INSULATION IS LABELED OR THE INSTALLED R-VALUES PROVIDED.

WALL INSULATION IS INSTALLED PER MANUFACTURER'S INSTRUCTIONS.

IC-RATED RECESSED LIGHTING FIXTURES SEALED AT HOUSING/INTERIOR FINISH AND LABELED TO INDICATE ≤2.0 CFM LEAKAGE AT 75 PA

AUTOMATIC OR GRAVITY DAMPERS ARE INSTALLED ON ALL OUTDOOR AIR INTAKES AND EXHAUSTS.

CLIMATE ZONE	FENESTRATION U-FACTOR ^b	SKYLIGHT ^b <i>U</i> -FACTOR	GLAZED FENESTRATION SHGC ^{b, e}	CEILING <i>R</i> -VALUE	WOOD FRAME WALL <i>R</i> -VALUE	MASS WALL <i>R</i> -VALUE ⁱ	FLOOR R-VALUE	BASEMENT ^C WALL <i>R</i> -VALUE	SLAB ^d R-VALUE & DEPTH	CRAWL SPACE ^C WALL R-VALUE
4	0.32	0.55	0.40	49	20 or 13+5 ^h	8/13	19	10 /13	10, 2 ft	10/13
5	0.30	0.55	NR	49	20 or 13+5 ^h	13/17	30 ^g	15/19	10, 2 ft	15/19
6 Option 1	0.30	0.55	NR	49	20+5 ^h or 13+10 ^h	15/20	30 ^g	15/19	10, 4 ft	15/19
6 Option 2	0.28	0.55	NR	60	23 cavity	19/21	30 ^g	15/19	10, 4 ft	15/19

NR = Not Required. For SI: 1 foot = 304.8 mm.

> a. R-values are minimums. U-factors and SHGC are maximums. Where insulation is installed in a cavity that is less than the label or design thickness of the insulation, the installed R-value of the insulation shall be not less than the R-value specified in the table b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration

c. *10/13" means R-10 continuous insulation on the interior or exterior of the basement wall. *15/19" means R-15 continuous insulation on the interior or exterior of the basement wall. Alternatively, compliance with "15/19" shall be R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home. d. R-5 insulation shall be provided under the full slab area of a heated slab in addition to the required slab edge insulation R-value for slabs. as indicated in the table. The slab edge insulation for heated slabs shall not be required to extend below the slat

e. Reserved. f. Reserved.

g. Alternatively, insulation sufficient to fill the framing cavity and providing not less than an R-value of R-19.

h. The first value is cavity insulation, the second value is continuous insulation. Therefore, as an example, "13+5" means R-13 cavity insulation plus R-5 continuous insulation. i. Mass walls shall be in accordance with Section R402.2.5. The second R-value applies where more than half of the insulation is on the interior of the mass wall.



Project

35 BELLAIR ALTERATION

Energy Code: Location: Construction Type: Project Type: Climate Zone: Permit Date: Permit Number:

2020 NYStretch - 2018 IECC **Dobbs Ferry, New York** Single-family Alteration 4 (5199 HDD)

Construction Site: 35 BELLAIR DRIVE DOBBS FERRY, NY 10522

Owner/Agent Ian Blair 35 Bellair Drive Dobbs Ferry, NY 10522

Compliance: Passes using prescriptive requirements for alteration projects

Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

Envelope Assemblies

Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
159			0.020	0.026	3	4
12.			6440			
12			0.270	0.270	3	З
24			0.270	0.270	6	6
12			0.270	0.270	3	З
11			0.270	0.270	3	3
14			0.270	0.270	4	4
14			0.270	0.270	4	4
14			0.270	0.270	4	4
43	20.0	5.0	0.044	0.045	2	2
19	20.0	5.0	0.044	0.045	1	1
31	20.0	5.0	0.044	0.045	1	1
	or 159 12 24 12 14 14 14 14 14 15	or Perimeter Cavity R-Value 159 159 12 12 24 12 12 12 14 14 14 15 14 15 14 15 14 15 14 15 15	or Perimeter Cavity R-Value Cont. R-Value 159 159 12 12 12 14 14 14 14 15 14 15 14 15 14 15 14 15 14 15	or PerimeterCavity R-ValueCont. Prop. R-ValueProp. U-Factor1590.02012120.270240.270120.270140.270140.270140.270140.270150.0441920.05.00.044	or PerimeterCavity R-ValueCont. R-ValueProp. U-FactorReq. U-Factor1590.0200.026120.270240.2700.270120.2700.270120.2700.270140.2700.270140.2700.270140.2700.270140.2700.270140.2700.270140.2700.270140.2700.270140.2700.270150.0440.0451920.05.00.044	or PerimeterCavity R-ValueCont. R-ValueProp. U-FactorReq. U-FactorProp. UA1590.0200.0263120.2700.2703240.2700.2700.2706120.2700.2703110.2700.2703140.2700.2704140.2700.2704140.2700.2704140.2700.2704140.2700.2704140.2700.2704140.2700.2704140.2700.2704140.2700.27041520.05.00.0440.0451920.05.00.0440.0451

Project Title: 35 BELLAIR ALTERATION

Data filename:

Name - Title

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2020 NYStretch - 2018 IECC requirements in REScheck Version : REScheck-Web and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

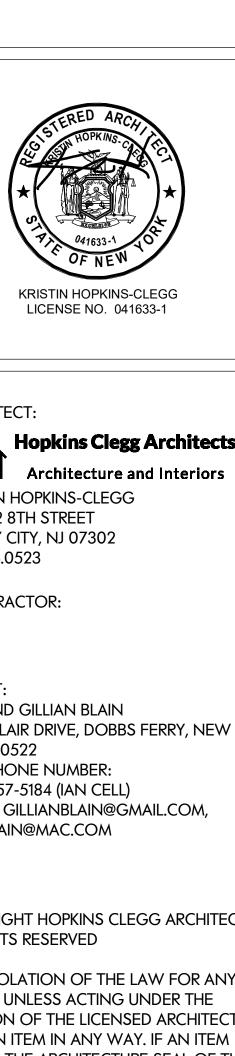
Kristin Hopkins-Clegg, Principal

Designer/Contractor:
kristin hopkins-clegg
HCA
356.5 8th Street
JERSEY CITY, NJ 07302
2016160523
architect@hc-arch.com

Report date: 10/09/22 Page 1 of 2

> 10/10/2022 Date

ro
Dat
Dro
Dro Che



ARCHITECT:

KRISTIN HOPKINS-CLEGG 356 1/2 8TH STREET JERSEY CITY, NJ 07302 201.616.0523

CONTRACTOR:

CLIENT: IAN AND GILLIAN BLAIN 35 BELLAIR DRIVE, DOBBS FERRY, NEW YORK 10522 **TELEPHONE NUMBER:** (917)-657-5184 (IAN CELL) EMAIL: GILLIANBLAIN@GMAIL.COM, IAN.BLAIN@MAC.COM

©COPYRIGHT HOPKINS CLEGG ARCHITECTS ALL RIGHTS RESERVED

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE ARCHITECTURE SEAL OF THE LICENSED ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO THIS ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

No.	Description	Date
	PERMIT SET	7/25/2022
	PERMIT SET REVISION	10/10/2022
	1	
	BLAIN RESIDENCE	
	35 BELLAIR D	D
	JJ DELLAIK U	κ.
	DOBBS FERRY, NY 10522	
	ENERGY COD	E
D. 1 .		250
Project I		35B
Date		0/10/2022
Drawn b		KHC
Checked	ву	KHC
	G-001.00	
Scale		

GENERAL NOTES

1. THE CONTRACT DOCUMENTS INCLUDE THE WORKING DRAWINGS, PROJECT MANUAL (WHEN PROVIDED), ADDENDA, MODIFICATIONS, AND THE CONDITIONS OF THE CONSTRUCTION CONTRACT.

2. THE CONTRACT DOCUMENTS ARE THE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT. THE CONTRACT DOCUMENTS ARE NOT TO BE USED BY THE LANDLORD OR TENANT FOR OTHER PROJECTS OR EXTENSIONS TO THE PROJECT NOR ARE THEY TO BE MODIFIED IN ANY MANNER WHATSOEVER EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

3. THE WORK WILL CONFORM WITH THE REQUIREMENTS OF THE APPLICABLE BUILDING CODE AND THE REQUIREMENTS OF ALL OTHER AGENCIES HAVING JURISDICTION.

4. "ARCHITECT" MEANS HOPKINS-CLEGG ARCHITECTS

5. "CONDOMINIUM" IS NOT APPLICABLE

6. "OWNER" MEANS THOSE NOTED AS CLIENT

7. "FURNISH" MEANS SUPPLY ONLY, FOR OTHERS TO PUT IN PLACE.

8. "INSTALL" MEANS SUPPLIED BY OTHERS, TO BE INSTALLED BY CONTRACTOR.

9. "PROVIDE" MEANS FURNISH AND INSTALL, COMPLETE AND IN PLACE.

10. "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR CONDITIONS NOTED. CONTRACTOR TO VERIFY DIMENSIONS AND ORIENTATION.

11. "TYPICAL" MEANS IDENTICAL FOR CONDITIONS NOTED.

12. DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN. VERIFY DIMENSIONS WITH FIELD CONDITIONS, IF DISCREPANCIES ARE DISCOVERED BETWEEN FIELD CONDITIONS AND DRAWINGS OR BETWEEN INDIVIDUAL DRAWINGS, CONTACT THE ARCHITECT FOR RESOLUTION BEFORE PROCEEDING.

13. HORIZONTAL DIMENSIONS INDICATED ARE TO/FROM FINISHED FACE OF CONSTRUCTION, EXCEPT AS NOTED.

14. VERTICAL DIMENSIONS ARE FROM FACE OF CONSTRUCTION, EXCEPT WHERE NOTED TO BE FROM STRUCTURE.

15. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF ARCHITECT UNLESS NOTED \pm .

16. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE, AND IN PROPER ALIGNMENT.

17. CUT AND FIT COMPONENTS FOR ALTERATION OF EXISTING WORK AND INSTALLATION OF NEW WORK. PATCH DISTURBED AREAS TO MATCH ADJACENT MATERIALS AND FINISHES.

18. PATCH AND REPAIR ALL FIREPROOFING DAMAGED OR REMOVED DURING PERFORMANCE OF THE WORK. FIREPROOF NEW PENETRATIONS REQUIRED BY THE WORK AND EXISTING PENETRATIONS IN EXPOSED PLENUM AREAS.

19. COORDINATE AND PROVIDE APPROPRIATE STRUCTURAL BLOCKING/BACKING AND REINFORCING IN PARTITIONS BEHIND ALL WALL MOUNTED ITEMS. ALL CONCEALED WOOD TO BE SOLID FIRE RETARDANT WOOD.

20. MAKE ALL NECESSARY PROVISIONS FOR ITEMS TO BE FURNISHED OR INSTALLED BY OWNER. PROVIDE PROTECTION FOR THESE PROVISIONS UNTIL COMPLETION OF THE PROJECT. GENERAL CONTRACTOR TO COORDINATE N.I.C. ITEMS WITH APPROPRIATE TRADES.

21. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT WORK IS AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. CLARIFICATIONS REGARDING ANY CONFLICTS SHALL BE ACHIEVED PRIOR TO RELATED WORK BEING STARTED.

23. ALL SHOP DRAWINGS AND LAYOUTS SHALL BE SUBMITTED AS SOON AS POSSIBLE AFTER AWARD OF CONTRACT TO THE ARCHITECT ALLOWING TEN (10) WORKING DAYS FOR REVIEW. NO CONSTRUCTION SHALL PROCEED UNTIL THE APPROVAL OF THESE DRAWINGS. MEP AND FIRE PROTECTION NEED TO BE REVIEWED BY THE ARCHITECT AT THE SAME TIME.

24. CONTRACTOR SHALL PROVIDE MANUFACTURER'S SPECIFICATIONS, INSTALLATION INSTRUCTIONS, SHOP DRAWINGS AND SAMPLES FOR REVIEW AND APPROVAL OF ALL MATERIALS AND METHODS TO BE USED PRIOR TO ORDERING OR PROCEEDING WITH THE WORK.

25. CONTRACTOR TO FOLLOW MANUFACTURER'S RECOMMENDED SPECIFICATIONS AND INSTALLATION PROCEDURES. IF THESE ARE CONTRARY TO THE CONTRACT DOCUMENTS, CONTRACTOR SHALL NOTIFY THE ARCHITECT, IN WRITING IMMEDIATELY, TO RESOLVE DISCREPANCIES PRIOR TO PROCEEDING.

26. EXERCISE EXTREME CARE AND PRECAUTION DURING CONSTRUCTION OF THE WORK TO MINIMIZE DISTURBANCES TO ADJACENT STRUCTURES AND THEIR OCCUPANTS, PROPERTY, PUBLIC THOROUGHFARES, ETC. CONTRACTOR SHALL TAKE PRECAUTIONS AND BE RESPONSIBLE FOR THE SAFETY OF ALL BUILDING OCCUPANTS FROM CONSTRUCTION PROCEDURES.

27. WITHIN FIVE (5) DAYS FROM CONTRACT DATE, PREPARE & SUBMIT AN ESTIMATED PROGRESS SCHEDULE FOR THE WORK, WITH SUB-SCHEDULES OF RELATED ACTIVITIES WHICH MAY AFFECT THE PROGRESS.

ADDITIONAL SAFETY NOTES

A. CONTRACTOR TO BE SOLELY RESPONSIBLE FOR ALL SITE SAFETY AND ANY MEANS AND METHODS OF CONSTRUCTION DURING THE REPAIR WORK. CONTRACTOR TO MAKE ANY INSPECTIONS OR PERFORM ANY ANALYSES NECESSARY TO VERIFY THAT EXISTING BUILDING ELEMENTS HAVE ADEQUATE LOAD CAPACITY TO SUPPORT ANY REQUIRED FORCES (RIGGING.

SHORING, STORAGE, ETC.) TO BE IMPOSED ON THEM. PROCEDURES TO BE IN ACCORDANCE WITH APPLICABLE CODES AND STANDARDS.

B. CONTRACTOR TO KNOW AND FOLLOW ALL PRECAUTIONS AND SAFETY PROCEDURES AS NORMALLY USED IN THE INDUSTRY, AS INSTRUCTED BY MATERIAL MANUFACTURERS, AND AS REQUIRED BY LOCAL, STATE, AND FEDERAL REGULATIONS, SAFETY STANDARDS, AND CODES. WHEN A CONFLICT EXISTS, COMPLY WITH THE STRICTER REQUIREMENT.

C. CONTRACTOR TO PROVIDE PROTECTIVE BARRIERS, FENCES, SIDEWALK BRIDGING, ETC., TO ENSURE THE SAFETY OF PEDESTRIANS, BUILDING OCCUPANTS, VEHICULAR TRAFFIC, SITE FEATURES, ETC. 28. ALL WORK SHALL COMPLY WITH THE APPLICABLE CODES, AMENDMENTS, RULES, REGULATIONS, ORDINANCES, LAWS, ORDERS, APPROVALS, ETC., THAT ARE REQUIRED BY PUBLIC AUTHORITIES. IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL COMPLY.

29. ABBREVIATIONS USED IN REFERRING TO STANDARDS THAT APPLY TO THE WORK INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO, THE FOLLOWING: A. AMERICAN SOCIETY FOR TESTING MATERIALS (ASTM)

B. AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC)

C. AMERICAN WELDING SOCIETY (AWS) D. AMERICAN CONCRETE INSTITUTE (ACI)

E. AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI)

F. ARCHITECTURAL ALUMINUM MANUFACTURER'S ASSOCIATION (AAMA)

G. ALUMINUM ASSOCIATION, INC. (AA) H. CONCRETE REINFORCING STEEL INSTITUTE (CRSI)

I. NATIONAL ASSOCIATION OF ARCHITECTURAL METAL MANUFACTURER (NAAMM) J. NATIONAL FIRE PROTECTION ASSOCIATION (NFPA)

K. NATIONAL WOODWORK MANUFACTURER'S ASSOCIATION (NWMA)

30. IN THE EVENT OF CONFLICT BETWEEN DATA SHOWN ON DRAWINGS AND DATA SHOWN IN THE SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN. DIMENSIONS NOTED ON DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. DETAIL DRAWINGS TAKE PRECEDENCE OVER DRAWINGS OF SMALLER SCALE. SHOULD THE CONTRACTOR AT ANY TIME DISCOVER AN ERROR IN A DRAWING OR SPECIFICATIONS, OR A DISCREPANCY OR VARIATION BETWEEN DIMENSIONS ON DRAWINGS AND MEASUREMENTS AT SITE, OR LACK OF DIMENSIONS OR OTHER INFORMATION, HE/SHE SHALL REPORT AT ONCE TO THE ARCHITECT FOR CLARIFICATION AND SHALL NOT PROCEED WITH THE WORK AFFECTED UNTIL CLARIFICATION HAS BEEN MADE.

31. ONLY NEW ITEMS OF RECENT MANUFACTURER, OF STANDARD QUALITY, FREE FROM DEFECTS, WILL BE PERMITTED ON THE WORK. REJECTED ITEMS SHALL BE REMOVED IMMEDIATELY FROM THE WORK AND REPLACED WITH ITEMS OF THE QUALITY SPECIFIED. FAILURE TO REMOVE REJECTED MATERIALS AND EQUIPMENT SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY FOR QUALITY AND CHARACTER OF ITEMS USED NOR FORM ANY OTHER OBLIGATION IMPOSED ON HIM BY THE CONTRACT.

32. THE FINISHED WORK SHALL BE FIRM, WELL ANCHORED, IN TRUE ALIGNMENT, PLUMB, LEVEL, WITH SMOOTH, CLEAN, UNIFORM APPEARANCE WITHOUT WAVES, DISTORTIONS, HOLES, MARKS, CRACKS, STAINS, OR DISCOLORATION. JOINTING SHALL BE TIGHT FITTING, NEAT AND WELL SCRIBED. THE FINISH WORK SHALL NOT HAVE EXPOSED UNSIGHTLY ANCHORS OR FASTENERS AND SHALL NOT PRESENT HAZARDOUS, UNSAFE CORNERS. ALL WORK SHALL HAVE THE PROVISION FOR EXPANSION CONTRACTION, AND SHRINKAGE AS NECESSARY TO PREVENT CRACKS, BUCKLING AND WARPING DUE TO TEMPERATURE AND HUMIDITY CONDITIONS.

33. ATTACHMENTS, CONNECTIONS, OR FASTENINGS OF ANY NATURE ARE TO BE PROPERLY AND PERMANENTLY SECURED IN CONFORMANCE WITH BEST PRACTICE AND THE CONTRACTOR IS RESPONSIBLE FOR IMPROVING THEM ACCORDING TO THESE CONDITIONS. THE DRAWINGS SHOW ONLY SPECIAL CONDITIONS TO ASSIST THE CONTRACTOR: THEY DO NOT ILLUSTRATE EVERY SUCH CONDITION AND DETAIL.

34. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE DIMENSIONS AND ELEVATIONS AT THE SITE. THE GENERAL CONTRACTOR SHALL COORDINATE THE LAYOUT AND EXACT LOCATION OF ALL PARTITIONING, DOORS, ELECTRICAL/TELEPHONE OUTLETS, LIGHT SWITCHES AND THERMOSTATS WITH THE ARCHITECT IN THE FIELD BEFORE PROCEEDING WITH CONSTRUCTION.

35. THE CONTRACTOR SHALL CONTINUOUSLY CHECK ARCHITECTURAL AND STRUCTURAL CLEARANCES FOR ACCESSIBILITY OF EQUIPMENT AND ELECTRICAL SYSTEMS. CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL, TELEPHONE, ELECTRICAL, LIGHTING, PLUMBING, AND SPRINKLER EQUIPMENT AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ABOVE EQUIPMENT ARE PROVIDED. NO ALLOWANCE OF ANY KIND WILL BE MADE FOR THE CONTRACTOR'S NEGLIGENCE TO NOTE UNFORESEEN MEANS OF INSTALLING EQUIPMENT INTO POSITION INSIDE STRUCTURE.

36. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY, OR DEFICIENT IN ANY REQUIREMENTS OF DRAWINGS AND SPECIFICATIONS WILL BE ACCEPTABLE IN CONSEQUENCE OF OWNER'S OR ARCHITECT'S FAILURE TO DISCOVER OR TO POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION, NOR WILL PRESENCE OF INSPECTORS ON WORK SITE RELIEVE CONTRACTOR FROM RESPONSIBILITY FOR SECURING QUALITY AND PROGRESS OF WORK AS REQUIRED BY CONTRACT. DEFECTIVE WORK REVEALED WITHIN TIME REQUIRED BY GUARANTEES SHALL BE REPLACED BY WORK CONFORMING WITH THE INTENT OF CONTRACT. NO PAYMENT WHETHER PARTIAL OR FINAL SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.

37. MATERIALS AND WORKMANSHIP SPECIFIED BY REFERENCE TO NUMBER, SYMBOL TITLE OF A SPECIFICATION SUCH AS COMMERCIAL STANDARDS, FEDERAL SPECIFICATIONS, TRADE ASSOCIATION STANDARD, OR OTHER SIMILAR STANDARD, SHALL COMPLY WITH REQUIREMENTS IN LATEST EDITION OR REVISION THEREOF AND WITH ANY AMENDMENT OR SUPPLEMENT THERETO IN EFFECT ON DATE OF ORIGIN ON THIS PROJECT'S CONTRACT DOCUMENTS. SUCH STANDARD, EXCEPT AS MODIFIED HEREIN, SHALL HAVE FULL FORCE AND EFFECT AS THOUGH PRINTED IN CONTRACT DOCUMENTS.

38. CONTRACTOR SHALL WAIVE "COMMON PRACTICE" AND "COMMON USAGE" AS CONSTRUCTION CRITERIA WHEREVER DETAILS AND CONTRACT DOCUMENTS OR GOVERNING CODES, ORDINANCES, ETC., REQUIRE GREATER QUANTITY OR BETTER QUALITY THAN COMMON PRACTICE OR COMMON USAGE WOULD REQUIRE.

QUALITY REQUIREMENTS

A. PERFORM ALL WORK IN ACCORDANCE WITH THESE DRAWINGS AND IN CONFORMANCE WITH APPLICABLE BUILDING CODE REQUIREMENTS.

B. USE MOST RECENT EDITION OF REFERENCED CODES AND STANDARDS UNLESS NOTED OTHERWISE USE MOST RECENT.

C. USE MOST RECENT EDITION OF CONSTRUCTION DRAWINGS OR SUBMITTED SK'S UNLESS NOTED OTHERWISE.

PROJECT MANAGEMENT &. COORDINATION:

A. DO NOT SCALE DRAWINGS.

B. CONTRACTOR TO VERIFY ALL DIMENSIONS BY TAKING MEASUREMENTS AT THE JOB SITE_ SHOULD ANY DIMENSIONS SHOWN ON THE DRAWINGS BE AT VARIANCE WITH EXISTING CONDITIONS, OR SHOULD THERE BE A CONFLICT BETWEEN DRAWINGS, CONTRACTOR TO IMMEDIATELY CONTACT THE OWNER/ARCHITECT FOR CLARIFICATION.

C. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AT THE JOB SITE PRIOR TO STARTING THE WORK AND IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES, OMISSIONS, OR OTHER CONDITIONS THAT MAY AFFECT THE WORK.

D. UNANTICIPATED CONDITIONS ENCOUNTERED DURING THE COURSE OF THE WORK THAT REQUIRE ADDITIONAL REPAIRS ARE TO BE BROUGHT TO THE OWNER AND ARCHITECT'S IMMEDIATE ATTENTION BEFORE THE START OF SUCH WORK. 39. CONTRACTOR SHALL ORDER AND SCHEDULE DELIVERY OF MATERIALS IN AMPLE TIME TO AVOID DELAYS IN CONSTRUCTION. IF AN ITEM IS FOUND TO BE UNAVAILABLE, CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY TO ALLOW ARCHITECT A REASONABLE AMOUNT OF TIME TO SELECT A REASONABLE SUBSTITUTE.

40. IF AT ANY TIME BEFORE COMMENCEMENT OF WORK, OR DURING PROCESS THEREOF, CONTRACTOR'S METHODS, EQUIPMENT OR APPLIANCES ARE INEFFICIENT OR INAPPROPRIATE FOR SECURING QUALITY OF WORK, OR RATE OF PROGRESS INTENDED BY CONTRACT DOCUMENTS, OWNER MAY ORDER CONTRACTOR TO IMPROVE THEIR QUALITY OR INCREASE THEIR EFFICIENCY. THIS WILL NOT RELIEVE CONTRACTOR OR HIS SURETIES FROM THEIR OBLIGATIONS TO SECURE QUALITY OF WORK AND RATE OF PROGRESS SPECIFIED IN CONTRACT.

41. THE CONTRACTOR SHALL COORDINATE ALL TRADES INVOLVED TO ENSURE LOCATIONS AND CLEARANCES FOR FIXTURES, DUCTS, CEILINGS, SPRINKLER HEADS, GRILLES, ETC., NECESSARY TO MAINTAIN THE SPECIFIED FINISH CEILING HEIGHT ABOVE THE FINISH FLOOR AS NOTED ON THE DRAWINGS. CLARIFY CONFLICTS AND LOCATIONS W/ THE ARCHITECT BEFORE PROCEEDING.

44. REFERENCES TO MAKES, BRANDS, MODELS, ETC., IS TO ESTABLISH TYPE AND QUALITY DESIRED: SUBSTITUTION OF ACCEPTABLE EQUALS WILL NOT BE PERMITTED UNLESS SPECIFICALLY NOTED OTHERWISE OR WHEN MADE ACCORDING TO PROCEDURES FOR SUBSTITUTIONS.

49. DISCREPANCIES BETWEEN GENERAL, PLAN OR SHEET NOTES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION OR RESOLUTION.

50. OCCASIONAL REFERENCE TO ONE OR MORE SPECIFIC NOTES WITHIN THE GENERAL PLAN OR SHEET NOTES SHALL NOT IN ANY WAY DIMINISH OR ELIMINATE THE FULL FORCE AND EFFECT OF ALL OTHER NOTES, IN RELATION TO ONE ANOTHER OR NOT SPECIFICALLY REFERENCED.

52. THE CONTRACTOR SHALL PRE-ARRANGE W/ OWNER ALL PHASING OF THE WORK, INCLUDING DELIVERY OF MATERIALS, CONSTRUCTION, CLEAN-UP, ETC. GC. SHALL COORDINATE DELIVERIES OF MATERIALS TO PREVENT CONFLICTS W/ OTHER WORK OR SCHEDULES.

53. THE CONTRACTOR SHALL SUBMIT MANUFACTURERS INSTALLATION & OPERATION MANUAL PRODUCT SHEETS OF ANY MATERIALS OR EQUIPMENT TO ARCHITECT, OWNER, AND BUILDING ENGINEER PRIOR TO INSTALLATION.

54. THE CONTRACTOR SHALL MAINTAIN EMERGENCY EGRESS PATH AND SIGNAGE THROUGHOUT CONSTRUCTION.

55. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR IMMEDIATE CLEANING AND REMOVAL OF ALL DEBRIS UNTIL THE PREMISES ARE ACCEPTED IN A CLEAN AND HABITABLE CONDITION BY THE OWNER.

56. THE GENERAL CONTRACTOR SHALL WARRANT ALL WORK TO BE FREE OF DEFECTS IN WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE OF THE PROJECT

57. THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY INSTRUCTIONS TO THE OWNER IN THE OPERATION OF ALL MATERIALS, ITEMS AND EQUIPMENT INSTALLED OR CONSTRUCTED.

58. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY TRADE PERMITS AND INSPECTIONS.

TEMPORARY FACILITIES & CONTROLS DURING CONSTRUCTION

1. CONTRACTOR TO PROVIDE ALL SHORING AND BRACING REQUIRED FOR SAFE AND PROPER EXECUTION OF THE WORK.

2. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS, ETC. WITH BEST STANDARDS AND GOOD PRACTICE. CONTRACTOR AGREES THAT HE

SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROPERTY, THAT THIS EQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE ARCHITECT AND /OR ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.

3. CONTRACTOR TO PROPERLY PROTECT AND MAKE SAFE ADJACENT PROPERTIES AND OWNER'S PROPERTY AS JOB CONDITIONS REQUIRE.

4. CONTRACTOR IS SOLELY RESPONSIBLE FOR ANY DAMAGE TO BUILDING, EQUIPMENT, OR ADJACENT PROPERTY CAUSED BY THE REPAIR WORK. ALL DAMAGE TO BUILDING, EQUIPMENT, OR PROPERTY TO BE REPAIRED TO OWNER'S SATISFACTION OR REPLACED TO MATCH EXISTING.

5. CONTRACTOR TO NOTIFY ADJACENT PROPERTIES OF ANY WORK THAT MAY AFFECT SAID PROPERTIES IN WRITING 10 PRIOR TO SUCH WORK.

6. DO NOT UNREASONABLY OBSTRUCT SITE WITH MATERIALS OR EQUIPMENT. MATERIALS AND EQUIPMENT TO BE CONFINED TO AREAS APPROVED BY OWNER.

7. CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR THE PROTECTION AND SAFEKEEPING OF PRODUCTS STORED ON PREMISES.

8. DO NOT STORE MATERIAL IN A MANNER THAT WILL OVERLOAD ANY PORTION OF THE STRUCTURE.

9. CONTRACTOR TO CONFINE HIS HOURS OF OPERATION TO THOSE REQUIRED BY LOCAL LAWS AND ORDINANCES NOISE LEVELS SHALL BE HELD TO A MINIMUM CONSIDERING THE NATURE OF THE WORK.

9. SECURE ALL OPENINGS AND DOORWAYS BOTH DURING AND AFTER DEMOLITION. SEAL ALL ROOF AND WALL PENETRATIONS AFTER DEMOLITION ; WEATHER TIGHT.

TOXIC SUBSTANCE NOTE:

IN THE EVENT OF ASBESTOS OR OTHER TOXIC SUBSTANCE EXPOSURE OR THE SUBSTANTIAL RISK THEREOF, THE CONTRACTOR / CONSTRUCTION MANAGER WILL HAVE THE DUTY TO INFORM ARCHITECT OF SUCH RISKS KNOWN OR REASONABLY KNOWABLE TO THE CONTRACTOR / CONSTRUCTION MANAGER. IF ASBESTOS OR ANY OTHER TOXIC SUBSTANCE, OR RISKS TO EXPOSURE THEREOF IS DISCOVERED BY ARCHITECT DURING WORK ON THE PROJECT, THE ARCHITECT SHALL, IN HER SOLE DESCRIPTION, HAVE THE RIGHT TO SUSPEND THE WORK ON THE PROJECT. THE CLIENT SHALL HAVE THE DUTY TO PROMPTLY RETAIN A QUALIFIED EXPERT TO SAFELY RENDER OR SUPERVISE THE REMOVAL OF SUCH ASBESTOS OR OTHER TOXIC SUBSTANCE. THE CLIENT SHALL INDEMNIFY AND HOLD THE ARCHITECT, IT'S AFFILIATES AND

SUB-CONTRACTORS, AND THEIR OFFICERS, AGENTS AND EMPLOYEES HARMLESS FROM ANY AND ALL LIABILITY ON PART OF OR DAMAGE TO SUCH ENTITIES OR PERSONS, INCLUDING THE COST OF LEGAL FEES AND EXPENSES, AS SUCH FEES AND EXPENSES ARE INCURRED, WHICH MAY

RESULT FROM ASBESTOS OR OTHER TOXIC SUBSTANCE EXPOSURE ON THE PROJECT.

PROJECT CONSTRUCTION NOTES

1. CONTRACTOR SHALL LAY OUT ALL PARTITIONS IN CHALK ON FLOOR SLAB FOR REVIEW BY ARCHITECT BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES OR CONFLICTS BETWEEN THE DRAWINGS AND FIELD / SITE CONDITIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND CLARIFIED PRIOR TO CONTINUING WORK.

2. ALL DIMENSIONS ARE SHOWN FROM FINISHED FACE TO FINISHED FACE, U.O.N.

3. DIMENSIONS INDICATED TO BE "CLEAR" OR TO "HOLD" SHALL BE MAINTAINED. ANY DISCREPANCIES OR VARIATIONS ON THESE DIMENSIONS SHALL BE REVIEWED WITH ARCHITECT BEFORE BEGINNING CONSTRUCTION.

4. ANY DIMENSION NOTED "VERIFY" MUST BE REVIEWED WITH ARCHITECT BEFORE BEGINNING CONSTRUCTION / FABRICATION.

5. PROVIDE WOOD BLOCKING AS REQUIRED AT ALL WALL-HUNG SHELVING, CABINETS, WOOD PANELS, EQUIPMENT, LIGHT FIXTURES AND OTHER MILLWORK WITHIN GWB CONSTRUCTION. VERIFY SHOP STANDARD WITH MILLWORK SUBCONTRACTOR AND REVIEW WITH ARCHITECT FOR ACCEPTANCE PRIOR TO INSTALLATION.

6. DO NOT SCALE DRAWINGS - DIMENSIONS GOVERN. CONTRACTOR SHALL VERIFY DIMENSIONS WITH FIELD CONDITIONS. IF DISCREPANCIES ARE DISCOVERED BETWEEN FIELD CONDITIONS AND DRAWINGS, CONTRACTOR SHALL CONTACT ARCHITECT FOR RESOLUTION BEFORE PROCEEDING.

7. ALIGN MEANS SIMILAR COMPONENTS OF CONSTRUCTION, (I.E. WALLS, JAMBS, ETC.), SHALL BE ALONG SAME PLANE ACROSS VOIDS.

8. DASHED LINE INDICATES SOFFIT ABOVE - SEE REFLECTED CEILING PLAN AND/OR DETAILS NOTED FOR EXACT HEIGHT.

9. DASHED LINE AT CUSTOM MILLWORK INDICATES MILLWORK ABOVE - SEE DETAILS/ELEVATIONS FOR MORE INFORMATION.

10. PROVIDE BRACING AT ALL DOORS AND GLAZED OPENINGS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

11. CONTRACTOR SHALL PROVIDE PROTECTION OF ALL MATERIALS THROUGH ALL PHASES OF CONSTRUCTION.

12. CONTRACTOR SHALL BE RESPONSIBLE FOR IMMEDIATE CLEANING AND REMOVAL OF ALL DEBRIS UNTIL THE PREMISES ARE ACCEPTED IN A CLEAN AND HABITABLE CONDITION BY THE OWNER.

13. DOOR OPENING LOCATIONS TO START 4" FROM ADJACENT WALL, U.O.N.

14. CONTRACTOR SHALL PROVIDE ALL NECESSARY INSTRUCTIONS TO THE OWNER IN THE OPERATION OF ALL MATERIALS, ITEMS AND EQUIPMENT INSTALLED OR CONSTRUCTED.

15. CONTRACTOR SHALL PROVIDE EQUIPMENT MAINTENANCE AND INSTRUCTION MANUALS.

16. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY TRADE PERMITS AND INSPECTIONS.

17. CONTRACTOR SHALL PROVIDE MANUFACTURER'S CUT SHEETS AND PRODUCT DATA OF SPECIFIED ITEMS FOR ARCHITECT'S REVIEW PRIOR TO ORDERING.

18. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR MILLWORK AND SPECIALTY CONSTRUCTION ITEMS FOR ARCHITECT'S REVIEW, BASED ON REVIEWED PARTITION LAYOUT IN FIELD (SEE NOTE #1).

19. CONTRACTOR SHALL PROVIDE ADEQUATE DEPTH IN PARTITION FRAMING & COORDINATE STUD LOCATION FOR ALL TELEPHONE / DATA / ELECTRICAL DEVICES TO BE INSTALLED AT THAT LOCATION.

20. ALL PARTITIONS TO BE PARTITION TYPE 1 (W/ NOTE A - BATT INSULATION), U.O.N.

21. ALIGNMENT OF DOOR HEADS AND OTHER HORIZONTAL ELEMENTS SHALL BE MAINTAINED AT A CONSTANT LEVEL , U.O.N.

22. CONTRACTOR SHALL COORDINATE LOCATION OF ALL REQUIRED WALL MOUNTED ACCESS PANELS WITH ARCHITECT PRIOR TO INSTALLATION.

PROJECT FINISH NOTES

1. UNLESS OTHERWISE INDICATED:

ALL LOW V.O.C. ALL WALLS SHALL BE P-1, EGGSHELL

ALL BASE SHALL BE B-1

ALL GWB CEILINGS AND SOFFITS SHALL BE PAINTED P-1, FLAT. U.O.N ALL DOORS AND FRAMES SHALL BE PAINTED P-1, SEMI-GLOSS U.O.N ALL GRILLES AT DOOR TO BE PAINTED TO MATCH U.O.N

ALL FLOORING TRANSITIONS SHALL OCCUR AT OPENING AND ALIGN WITH THRESHOLD TRANSITION., U.O.N.
 SEAMS IN BASE ARE NOT PERMITTED AT OUTSIDE CORNERS. NO BASE PIECE TO BE LESS

THAN 12" LONG.

4. CONTINUOUS ADHESION IS REQUIRED BETWEEN BASE AND WALL.

5. SEE PARTITION AND FINISH PLANS AND ELEVATIONS FOR MILLWORK FINISHES. SHOP DRAWINGS ARE REQUIRED FOR ALL MILLWORK. CABINETS SHALL BE INSTALLED W/ CONCEALED HANGING METHODS. USE 180° CONCEALED OVERLAY HARDWARE AND FULL EXTENSION HEAVY DUTY DRAW SLIDES. FOLLOW AWI- STANDARDS OF CONSTRUCTION FOR CUSTOM GRADE MILLWORK AS A MINIMUM CRITERIA.

 ${\rm 6.}$ ALL CLOSET INTERIORS INCLUDING WALLS AND ALL SIDES OF SHELF SHALL BE PAINTED P-1, U.O.N.

8. SCHEDULED FINISHES SHALL EXTEND OVER, UNDER, AND/OR BEHIND ANY ITEM OF BUILT-IN MILLWORK, EQUIPMENT, MIRRORS, ETC, AS INDICATED ON THE DRAWINGS.

10. THE INSTALLER SHALL REFER TO THE FINISH PLAN FOR SPECIFIC LOCATIONS OF ALL FINISHES. DISCREPANCIES, OMISSIONS, AMBIGUITIES, OR CONFLICTS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHTIECT FOR CLARIFICATION BEFORE ORDERING MATERIALS OR INSTALLATION OF WORK.

11. ANY DEVIATIONS FROM THE MATERIALS SPECIFIED AND/ OR THE INSTALLATION SPECIFICATIONS NOTED SHALL NOT BE ACCEPTED WHERE PREVIOUSLY PRESENTED AND APPROVED.

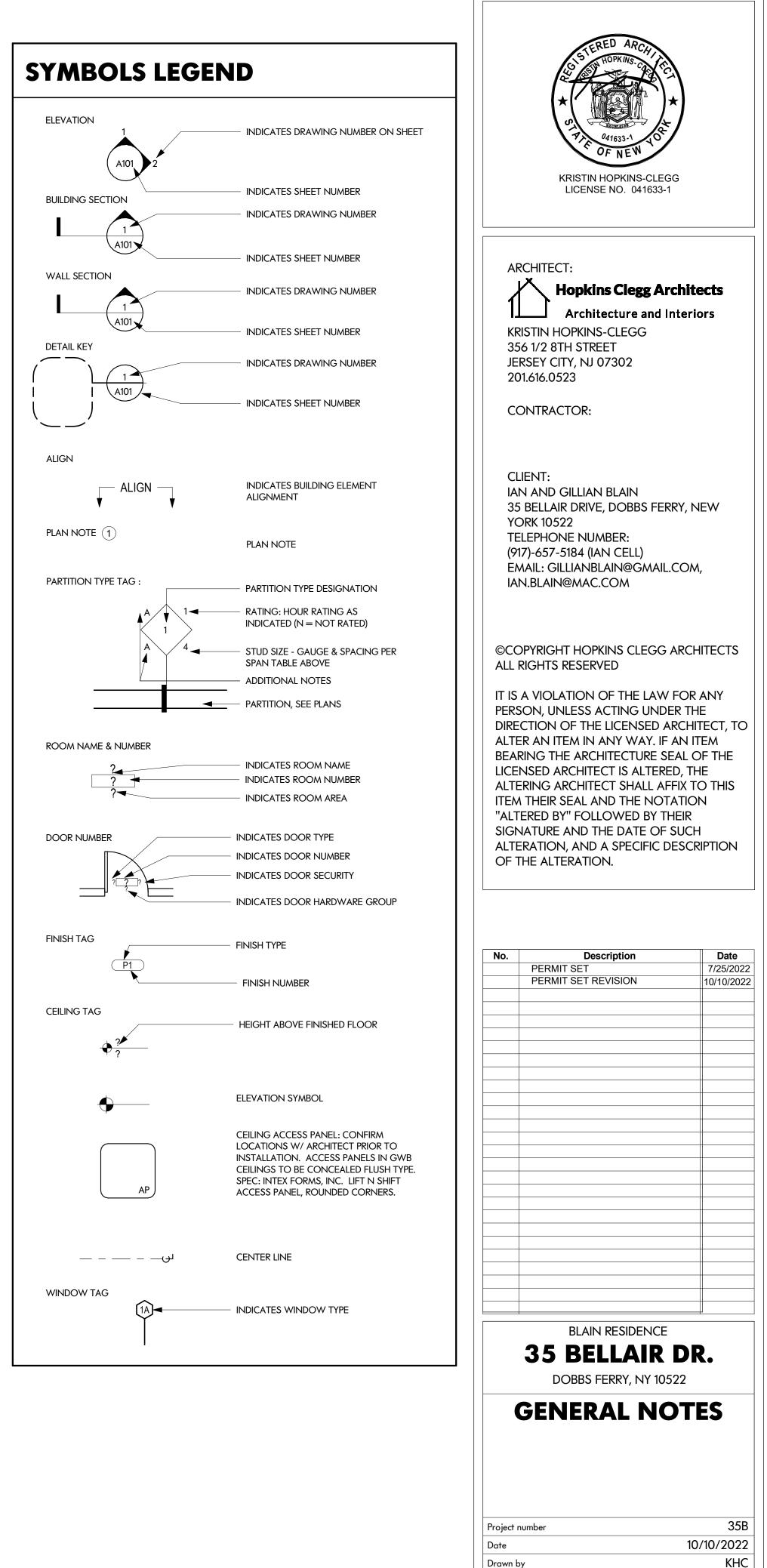
12. CONTRACTOR SHALL CAULK ALL COUNTERTOPS NOT RECEIVING BACKSPLASHES.

13. CONTRACTOR SHALL USE SOLID COLOR SILICONE CAULK AT SINK LOCATION AND AT INTERSECTIONS OF COUNTERTOPS AND BACKSPLASHES. CONFIRM COLOR W/ ARCHITECT

14. ALL STONE SHALL BE FROM SAME LOT AND REVIEWED BY ARCHITECT, AS SPECIFIED.

15. CONTRACTOR SHALL PREPARE SPACE FOR OCCUPANCY BY THOROUGHLY CLEANING ALL AREAS INCLUDING INTERIOR GLASS. LEAVE EQUIPMENT, COUNTERTOP, HARDWARE ETC., IN UNDAMAGED, CLEAN CONDITION.

16. ALL REVEALS SHALL BE PAINTED TO MATCH ADJACENT WALL OR CEILING, U.O.N.



-
ă
÷
11.11
_
c
C
C

KHC

Checked by

G-002.00

ZONING TABLES

ADDRESS	SBL	ZONE	USE
35 BELLAIR DRIVE, DOBBS FERRY, NEW YORK 10522	00316001440060000000	OF-5	SINGLE FAMILY RESIDENCE

TABLE 1: FLOOR AREA

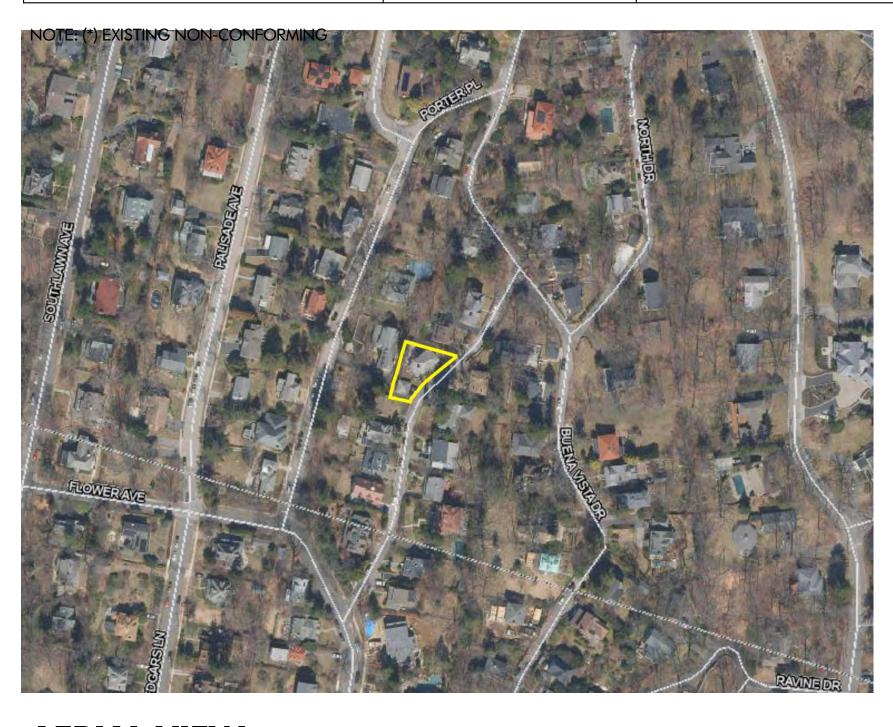
STORY	EXISTING AREA	EXISTING HABITABLE AREA	AREA OF RENOVATION	NEW AREA
BASEMENT	N/A (NO CHANGE)			
FIRST FLOOR	1,215 SF.	1,215 SF.	NO CHANGE	0 SF.
SECOND FLOOR	N/A (NO CHANGE)			

TABLE 2: BUILDING DIMENSIONS

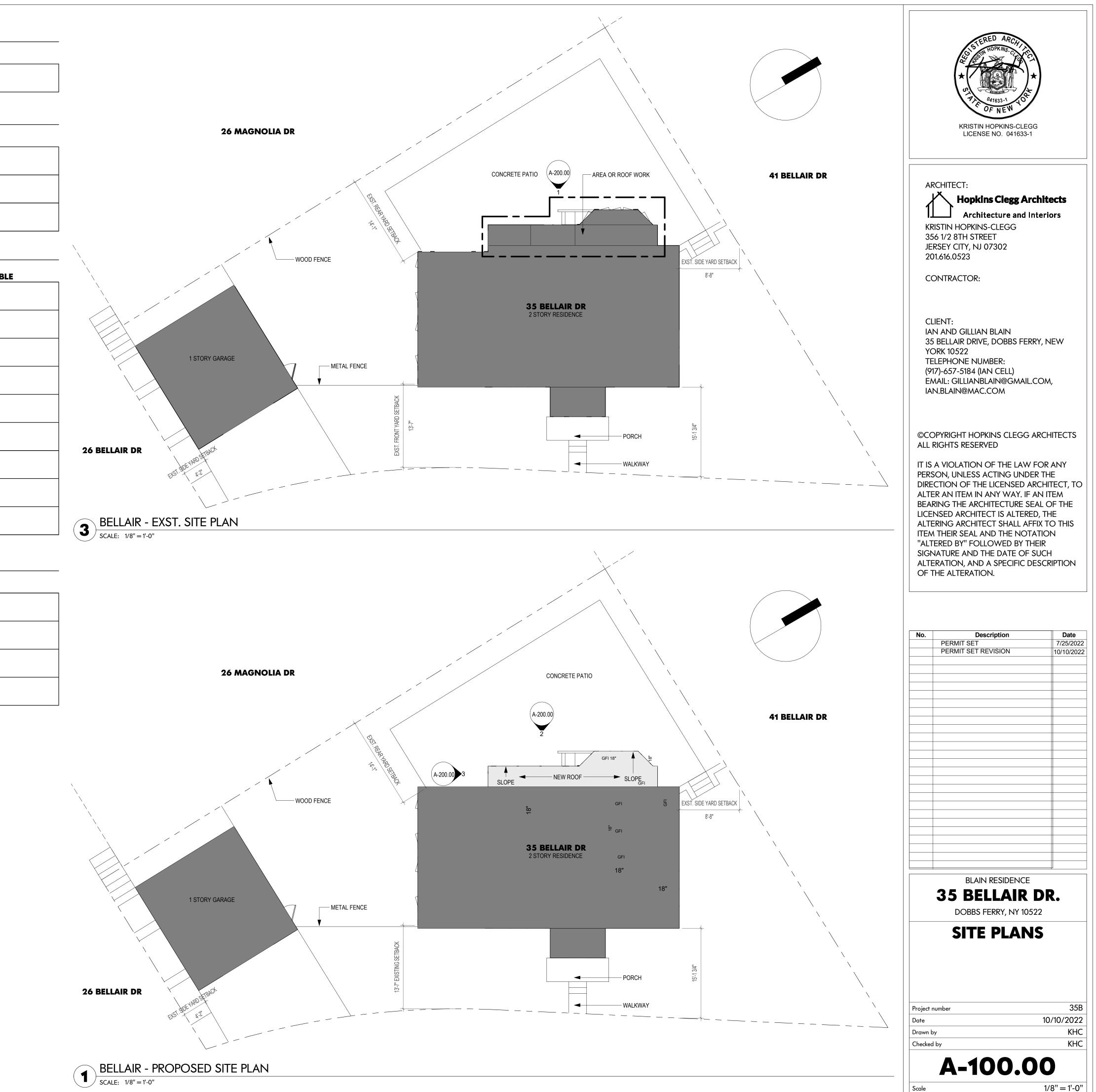
EXISTING	PROPOSED	
0.14 AC / 6,003 SF	0.14 AC / 6,003 SF	7,500 SF *
67.35'/100.0' IRREGULAR	67.35'/100.0' IRREGULAR	75 FT. *
33.02'/91.05' IRREGULAR	33.02'/91.05' IRREGULAR	100 FT. *
25%	25%	MAX. 25 %
46%	46%	MAX. 44% *
T 13'-7"	13'-7"	PREVAILING
2 14'-1"	14'-1"	25'-0" *
12'-10"	12'-10"	25 *
8'-8"	8'-8"	10 *
	0.14 AC / 6,003 SF 67.35'/100.0' IRREGULAR 33.02'/91.05' IRREGULAR 25% 46% T 13'-7" 14'-1" 112'-10"	0.14 AC / 6,003 SF 0.14 AC / 6,003 SF 67.35'/100.0' IRREGULAR 67.35'/100.0' IRREGULAR 33.02'/91.05' IRREGULAR 33.02'/91.05' IRREGULAR 25% 25% 46% 46% T 13'-7" 14'-1" 14'-1" 12'-10" 12'-10"

TABLE 3: HEIGHT

	EXISTING	PROPOSED	ALLOWED
NUMBER OF STORIES	2	NO CHANGE	3
GRADE TO RIDGE	26 FT.	NO CHANGE	35 FT.
GRADE TO EAVE	21 FT.	NO CHANGE	28 FT.
GRADE TO MIDPOINT IN ROOF	N/A	NO CHANGE	

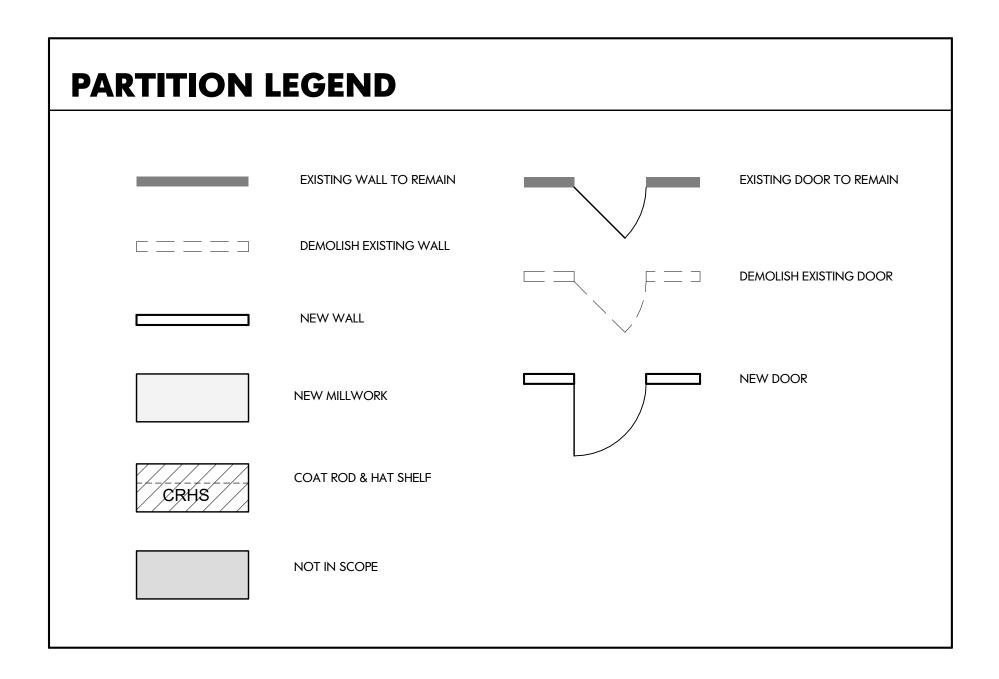






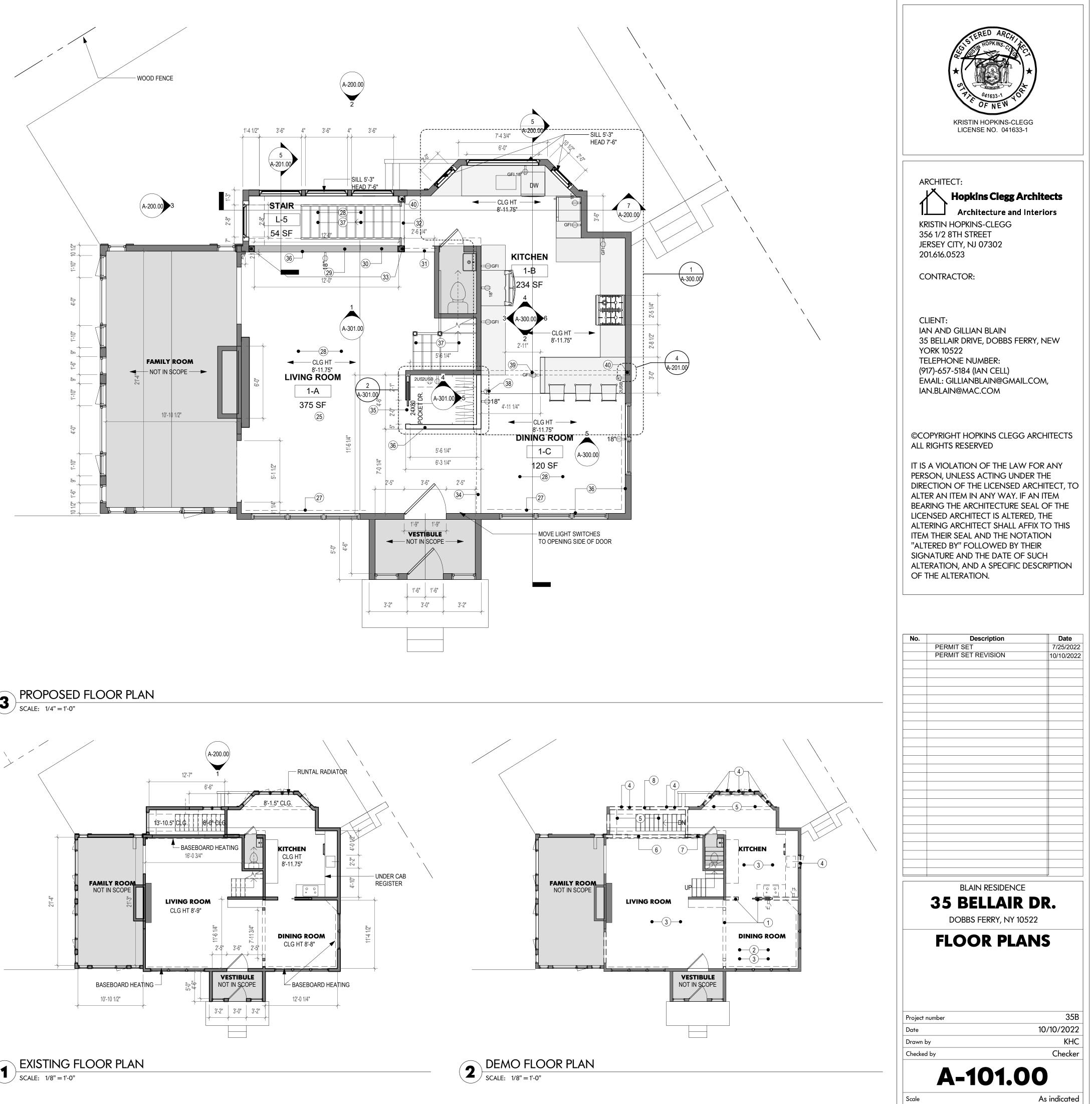
1'-0"	

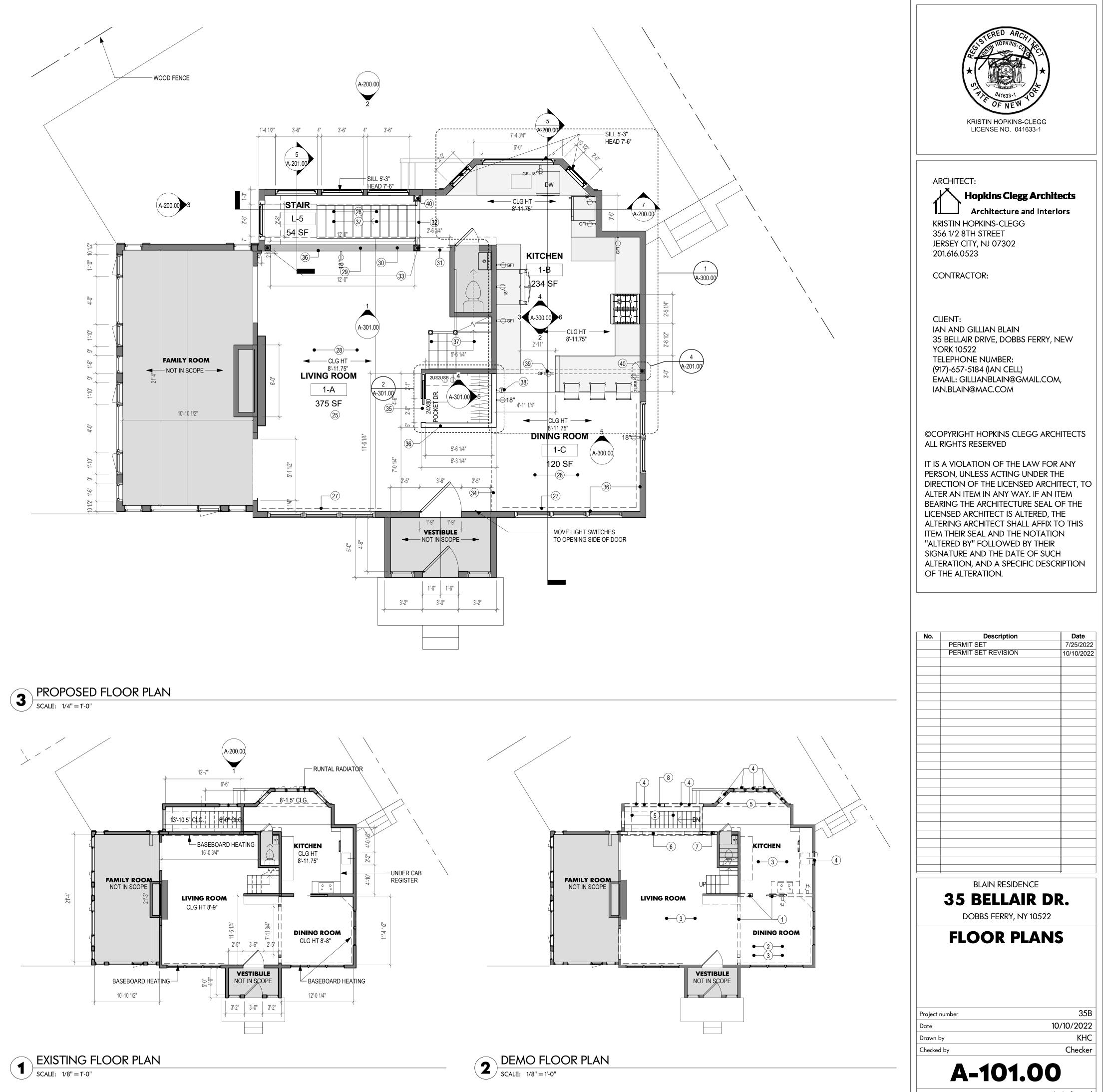
	PLAN NOTES
NOTE NO.	COMMENT
25	NEW WOOD FLOORING THROUGHOUT AS INDICATED BY HATCH
27	BASEBOARD HEATING TO REMAIN THROUGHOUT
28	NEW CEILING TO ALIGN WITH HEIGHT KITCHEN
29	NEW BEAM - 5 1/2" X 16" PARALLAM
30	CREATE OPENING BETWEEN LIVING ROOM AND STAIR
31	CREATE FULL HEIGHT OPENING BETWEEN LIVING ROOM AND KITCHEN, ADD HEADER ABOVE, OPENING HEIGHT TO BE DETERMINED AT DEMO
32	REMOVE DOOR, AND HEADER ABOVE
33	5.5 X 5.5 WOOD POST, CONNECTED TO BEAM WITH SIMPSON STRONG TIE POST TO BEAM CONNECTOR
34	NEW DBL. HEADER UNDER WALL ABOVE, CONFIRM NOT STRUCTURAL PRIOR TO REMOVING
35	NEW POCKET DOOR
36	ADD NEW WOOD TRIM THROUGHOUT
37	NEW HARDWOOD TREADS TO MATCH NEW WOOD FLOORING
38	RELOCATE THERMOSTAT
39	IF WALL IS DETERMINED TO BE LOAD BEARING SHORE EXISTING JOISTS AND PROVIDE 3X - 2X12 BUILT UP BEAM, CONNECTION WITH SIMPSON STRONG TIE BEAM TO POST CONNECTION
40	BUILT UP BEAM TO REST ON 3 - 2X4 POST, BEAM ATTACHED WITH SIMSPON STRONG TIE POST TO BEAM CONNECTORS



ROOM SCHEDULE			
Number	Name	Area	Level
1-A	LIVING ROOM	375 SF	1ST FLOOR
1-A 1-B	KITCHEN	234 SF	1ST FLOOR
1-C	DINING ROOM	120 SF	1ST FLOOR
1-F	FAMILY ROOM	221 SF	1ST FLOOR
2-D	CLOSET	23 SF	1ST FLOOR
I-G	VESTIBULE	38 SF	1ST FLOOR
L-5	STAIR	54 SF	1ST FLOOR

	DEMOLITION NOTES	
NOTE NO.	COMMENT	
1	DEMO WALL, SHORE DURING REMOVAL OF WALL AND INSTALL OF BEAM	
2	DEMO CEILING	
3	DEMO FLOOR	
4	DEMO WINDOW AND CLOSE OPENING	
5	DEMO CEILING AND ROOF	
6	DEMO UPPER PORTION OF WALL, SEE ELEVATION, SHORE AS NEEDED DURING DEMOLITION	
7	DEMO FOR NEW DOORWAY	
8	DEMO FOR NEW WINDOW OPENING	





LOWER LEVEL ECS) CONDITONED SPACE: 719 SF (NS) NEW SPACE: 0 SF (EAS) EXISTING ALTERED SPACE: 0 SF

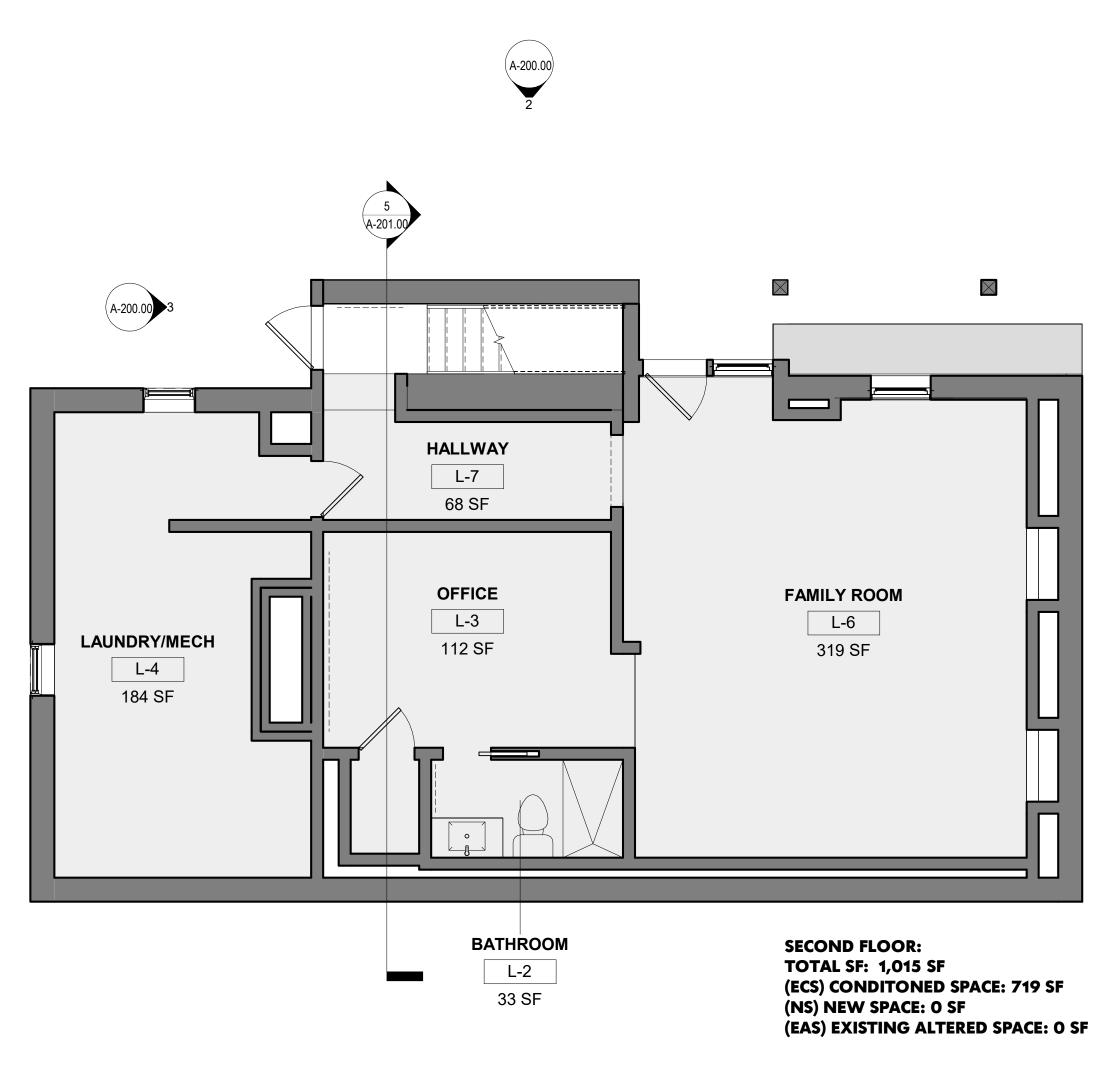
FIRST FLOOR (ECS) CONDITONED SPACE: 1,092 SF (NS) NEW SPACE: 0 SF (EAS) EXISTING ALTERED SPACE: 792 SF

SECOND FLOOR ECS) CONDITONED SPACE: 697 SF (NS) NEW SPACE: 0 SF (EAS) EXISTING ALTERED SPACE: 0 SF

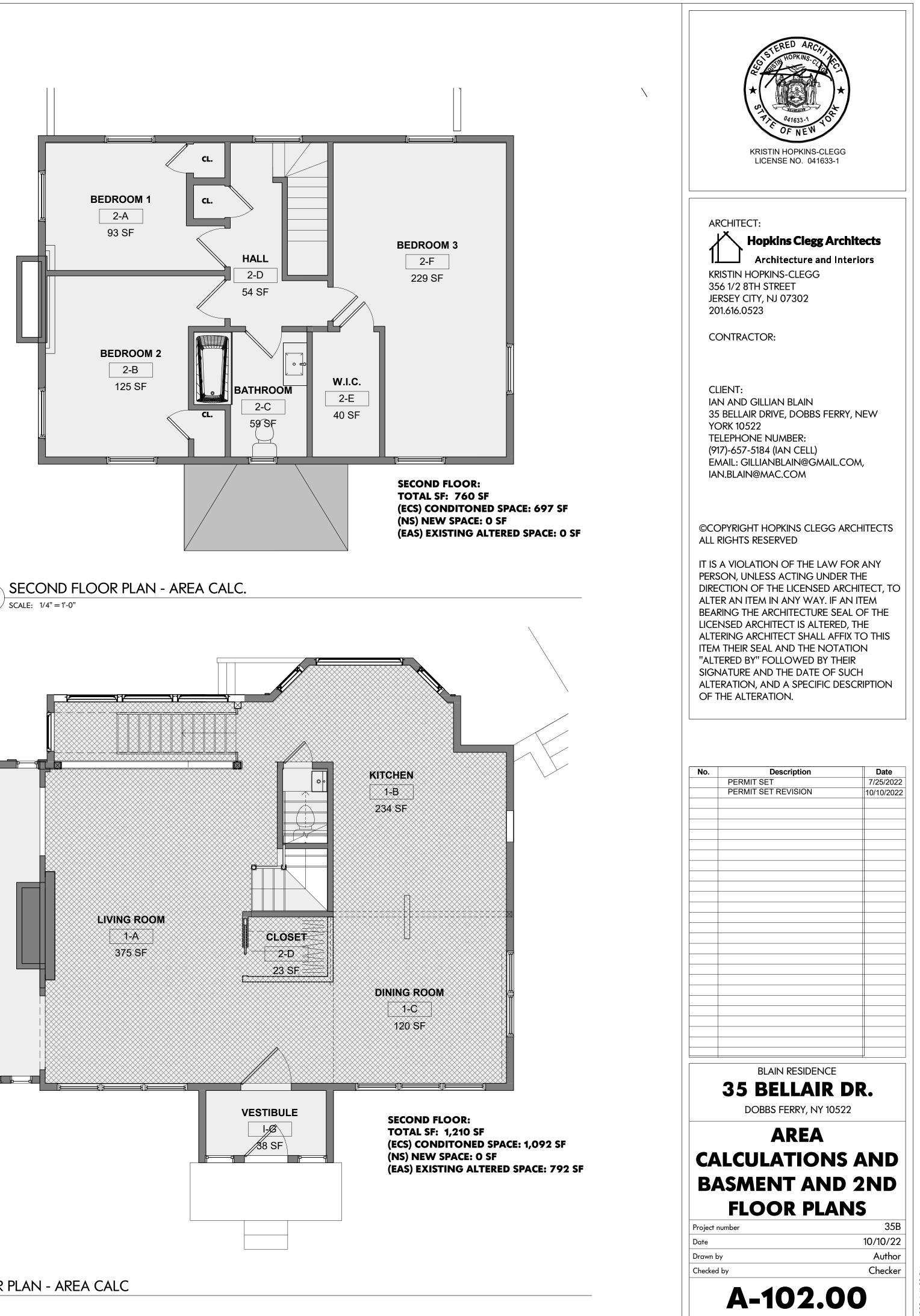
TOTAL (ECS) CONDITONED SPACE: 2,508 SF (NS) NEW SPACE: 0 SF (EAS) EXISTING ALTERED SPACE: 740 SF

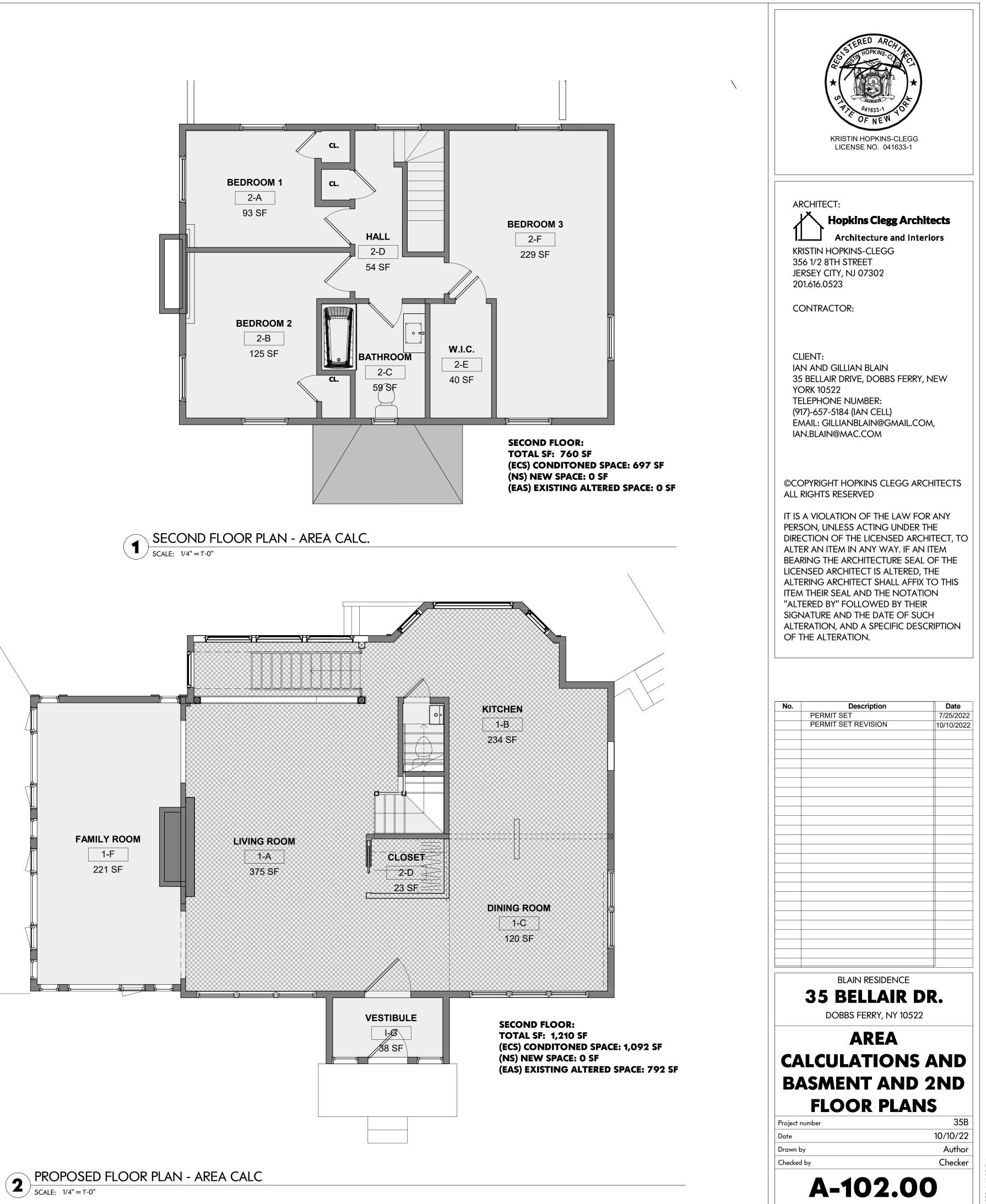
TOTAL (EAS+NS)/ECS X100= % (740+0)/2,508 SF X100= 740/2,508 = .29X100 = 29%

SPRINKLER SYSTEMS IN NEW BUILDINGS A. INSTALLATION OF AN APPROVED SPRINKLER SYSTEM MEETING THE REQUIREMENTS OF THE NATIONAL FIRE PROTECTION ASSOCIATION IS HEREBY REQUIRED UNDER ANY OF THE FOLLOWING CONDITIONS (1) IN ALL BUILDINGS CONSTRUCTED AFTER THE EFFECTIVE DATE OF THIS ARTICLE. - DOES NOT APPLY (2) IF MORE THAN 50% OF THE SQUARE FOOTAGE OF FLOOR SPACE OF THE EXISTING STRUCTURE IS BEING RENOVATED. - DOES NOT APPLY (3) IF MORE THAN 50% OF THE SQUARE FOOTAGE OF FLOOR SPACE OF THE EXISTING STRUCTURE IS ADDED TO THE STRUCTURE. - DOES NOT APPLY



3 EXISTING BASEMENT - AREA CALC. SCALE: 1/4" = 1'-0"







Scale

CEILING FIXTURE LEGEND

	L1 - 6" RECESSED CAN	C	CAMERA	
	L2 -FLUSH/SURFACE MOUNT	\otimes	EXIT SIGN	TYPE 1 - CEILING MOUNT 1 WAY
)	L3 - PENDANT MOUNT	•	SPRINKLER	
		Ð	SMOKE DETECTOR	TYPE 2 - CEILING MOUNT 1 WAY
-	L4- TRACK LIGHTING	(M)	MOTION SENSOR	
	L5- UNDERCABINET LIGHT	WIFI	WIFI ROUTER	SUPPLY OR RETURN REGISTER
	L6- BATHROOM WALL SCONCE,	SP	SPEAKER	
)	MAY BE INTEGRATED INTO MED. CAB.	ĒK	FIRE ALARM	ACCESS PANEL
)]	L7- EXTERIOR GOOSENECK			
J	L8- INTERIOR WALL SCONCE			

CEILING TYPES SEE REFLECTED CEILING PLANS

CL1 = GYPSUM WALL BOARDLEVEL 5 FINISH; P1 U.O.N. CL2 = WOOD BEAMS

LIGHTING NOTE:

NO EXTERIOR LIGHTING IS PROPOSED IN NEW WORK. IF ANY LIGHTING IS DAMAGED AND NEEDS TO BE REPLACED LIGHTING MUST COMPLY WITH SECTION 300-41.

SYSTEMS AND INITIALLY SET BY MANUFACTURER TO CODE SPECIFICATIONS.

IC-RATED RECESSED LIGHTING FIXTURES SEALED AT HOUSING/INTERIOR FINISH AND LABELED TO INDICATE ≤2.0 CFM LEAKAGE AT 75 PA.

PROGRAMMABLE THERMOSTATS INSTALLED FOR CONTROL OF PRIMARY HEATING AND COOLING

90% OR MORE OF PERMANENT FIXTURES HAVE LAMPS WITH AN EFFICACY >= 65 LUMANS/WATT OR HAVE A TOTAL LUMINAIRE EFFICACY >= 45 LUMENS/WATT.

RECE	EPTACLE KEY
÷	RECEPTACLE
=⊖ GFI	RECEPTACLE: GROUND FAULT INTERRUPTED, 42" A.F.F. U.O.N.
-⊕ MW	RECEPTACLE: LOCATED IN MILLWORK
#	QUAD RECEPTACLE
Ф	FLOOR RECEPTACLE
- ⊕ _{18"}	18" INDICATES HEIGHT
-⊕ USB	OUTLET WITH USB
\blacksquare	DATA/VOICE
—©	CABLE
Ţ	T-STAT
Ø	OCCUPANCY SENSOR
	JUNCTION BOX
	PLUG-MOLD

SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR NOTES

1. SMOKE DETECTING DEVICES SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL BUILDING CODE 2. SMOKE DETECTING DEVICES SHALL RECEIVE THEIR PRIMARY POWER FROM BUILDING WIRING. THERE SHALL BE NO SWITCHES IN THE CIRCUIT OTHER THAN THERE OVERCURRENT DEVICE PROTECTING THE BRANCH CIRCUIT.

3. ALL SMOKE DETECTING DEVICES SHALL BE ACCEPTED PURSUANT TO RULES AND REGULATIONS PER LOCAL GOVERNING CODES AND COMMISSIONERS. ALL LISTED BY A NATIONALLY APPROVED LABORATORY. NO DEVICE SHALL BE DEEMED TO BE IN COMPLIANCE WITH THIS PROVISION

4. CARBON MONOXIDE DETECTION DEVICES SHALL CONFORM TO LOCAL REQUIREMENTS AS PER THE RULES AND REGULATIONS OF THE LOCAL BUILDING AND FIRE DEPARTMENTS.

5. SUCH DEVICES SHALL BE LOCATED WITHIN 10 FEET OF ANY ROOM USED FOR SLEEPING PURPOSES, AS PER THERE RULES AND REGULATIONS OF THE LOCAL BUILDING AND FIRE DEPARTMENTS.

6. ALL CARBON MONOXIDE DETECTION DEVICES SHALL BE ACCEPTED PURSUANT TO THE RULES AND REGULATIONS. ALL LISTED BY A NATIONALLY APPROVED LABORATORY. NO DEVICE SHALL BE DEEMED TO BE IN COMPLIANCE WITH THIS PROVISION.

PROJECT RECEPTACLE / EQUIPMENT NOTES

1. STANDARD OUTLET MOUNTING HEIGHT SHALL BE 18" AFF, U.O.N. OUTLETS TO BE ORIENTED VERTICALLY W/ GROUND DOWN, U.O.N.

2. ALL OUTLETS AT NON-STANDARD MOUNTING HEIGHTS SHALL BE INSTALLED FROM THE FINISH FLOOR TO CENTERLINE OF OUTLET, MOUNTED HORIZONTALLY AT DESIGNATED HEIGHT ABOVE MILLWORK, U.O.N. CONTRACTOR SHALL COORDINATE CLEARANCE REQUIRED WITH SCHEDULED FLOOR FINISH AND SLAB LEVELING REQUIREMENTS. ANY CONFLICTS OF SWITCH OR RECEPTACLE LOCATIONS WITH DRYWALL "REVEALS", OBSTRUCTIONS, ETC., SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION

3. ALL OUTLETS / DEVICES ARE DIMENSIONED FROM FINISH FACE OF WALL (OR PARTITION) TO CENTERLINE OF OUTLET. OUTLETS AND DEVICES SHOWN ADJACENT TO DOORS TO BE LOCATED PER TYPICAL MOUNTING DIAGRAM. OUTLETS / DEVICES AT DIFFERENT HEIGHTS SHOWN CLUSTERED TOGETHER ON PLAN TO ALIGN VERTICALLY, TYP. ALL OUTLETS / DEVICES TO BE CENTERED ON WALL, U.O.N.

4. ALL QUADRAPLEX OUTLETS (OR 2 DUPLEX TOGETHER) ARE TO BE SINGLE QUAD BOX WITH MATCHING FACE PLATE.

5. REFER TO ARCHITECTURAL DOCUMENTS AND APPROVED SHOP DRAWINGS FOR EXACT LOCATION OF ALL OUTLETS (VERTICALLY AND HORIZONTALLY) IN WALLS, FLOORS, AND MILLWORK, AND COORDINATE. ANY DISCREPANCIES BETWEEN ARCHITECTURAL DRAWINGS AND ENGINEERING DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION.

6. REFER TO ENGINEERING DOCUMENTS FOR TYPES, SPECIFICATIONS, AND CIRCUITING.

7. ANY DISCREPANCIES OR CONFLICTS BETWEEN PARTITION TYPE PLANS, RECEPTACLE PLANS, ENGINEERING DOCUMENTS, ARCHITECTURAL ELEVATIONS, MILLWORK AND/OR FIELD CONDITIONS SHALL BE CLARIFIED WITH THE ARCHTIECT AND SUBMITTED IN WRITING IN A CLEAR & CONCISE R.F.I. PRIOR TO BEGINNING WORK.

8. OUTLETS INDICATED ON BOTH SIDES OF A PARTITION SHALL BE STAGGERED 4", U.O.N. PROVIDE ADDITIONAL STUD BETWEEN BOXES AS REQUIRED TO ACHIEVE THIS.

9. OUTLETS ADJACENT TO "WET" AREAS SHALL BE GROUND FAULT INTERRUPTION (GFI) TYPE.

11. ALL OUTLETS, LIGHT SWITCHES, T-STATS, TEMPERATURE SENSORS, DEVICES, COVER PLATES, ETC., SHALL BE WHITE U.O.N.

12. OUTLETS, SWITCHES, AND OTHER DEVICES MOUNTED AT DIFFERENT HEIGHTS SHOWN ADJACENT TO EACH OTHER ON PLAN SHALL BE CENTERED & ALIGNED W/ EACH OTHER IN ELEVATION PER TYPICAL MOUNTING HEIGHTS DIAGRAM.

13. LIGHT SWITCHES, THERMOSTATS AND LIFE SAFETY SYSTEMS ITEMS SHALL BE MOUNTED PER MOUNTING HEIGHT DIAGRAM, U.O.N.

14. EXACT LOCATIONS OF THERMOSTATS SHALL BE IDENTIFIED BY CONTRACTOR AND VERIFIED IN FIELD BY ARCHITECT PRIOR TO INSTALLATION. ALL THERMOSTATS SHALL BE MOUNTED PER MOUNTING HEIGHT DIAGRAM, U.O.N. CONTRACTOR SHALL VERIFY CONFLICTS WITH ARCHITECT.

15. ALL SWITCHES LOCATED ON PARTITIONS ADJACENT TO DOOR SWINGING AGAINST PARTITION SHALL BE POSITIONED 6" CLEAR OF DOOR SWING AND VISIBLE WHEN DOOR IS FULLY OPEN. ALL ROOMS SHALL BE SWITCHED INDIVIDUALLY, U.O.N.

16. CONTRACTOR SHALL VERIFY AND COORDINATE SWITCH AND DIMMER CONTROL LOCATIONS WITH MILLWORK AND PROVIDE CUT OUT FOR FLUSH MOUNTED SWITCHES IN MILLWORK WHERE APPLICABLE. MARK CUTOUT LOCATIONS ON MILLWORK WITH TAPE AND REVIEW WITH ARCHITECT PRIOR TO ADDING CUTOUT TO MILLWORK.

17. LOCATION OF ALL OUTLETS SHALL BE PER THE ARCHITECTURAL RECEPTACLE PLANS. SEE ENGINEERING DRAWINGS FOR CIRCUITING INFORMATION. INSTALLATIONS SHALL BE IN COMPLIANCE WITH ALL LAWS APPLICABLE AND ENFORCED BY LOCAL AUTHORITIES. IF THERE ARE ANY DISCREPANCIES, CONTRACTOR SHALL DOCUMENT THE CONFLICT AND SUBMIT TO ARCHITECT IN WRITING FOR RESOLUTION PRIOR TO INSTALLATION.

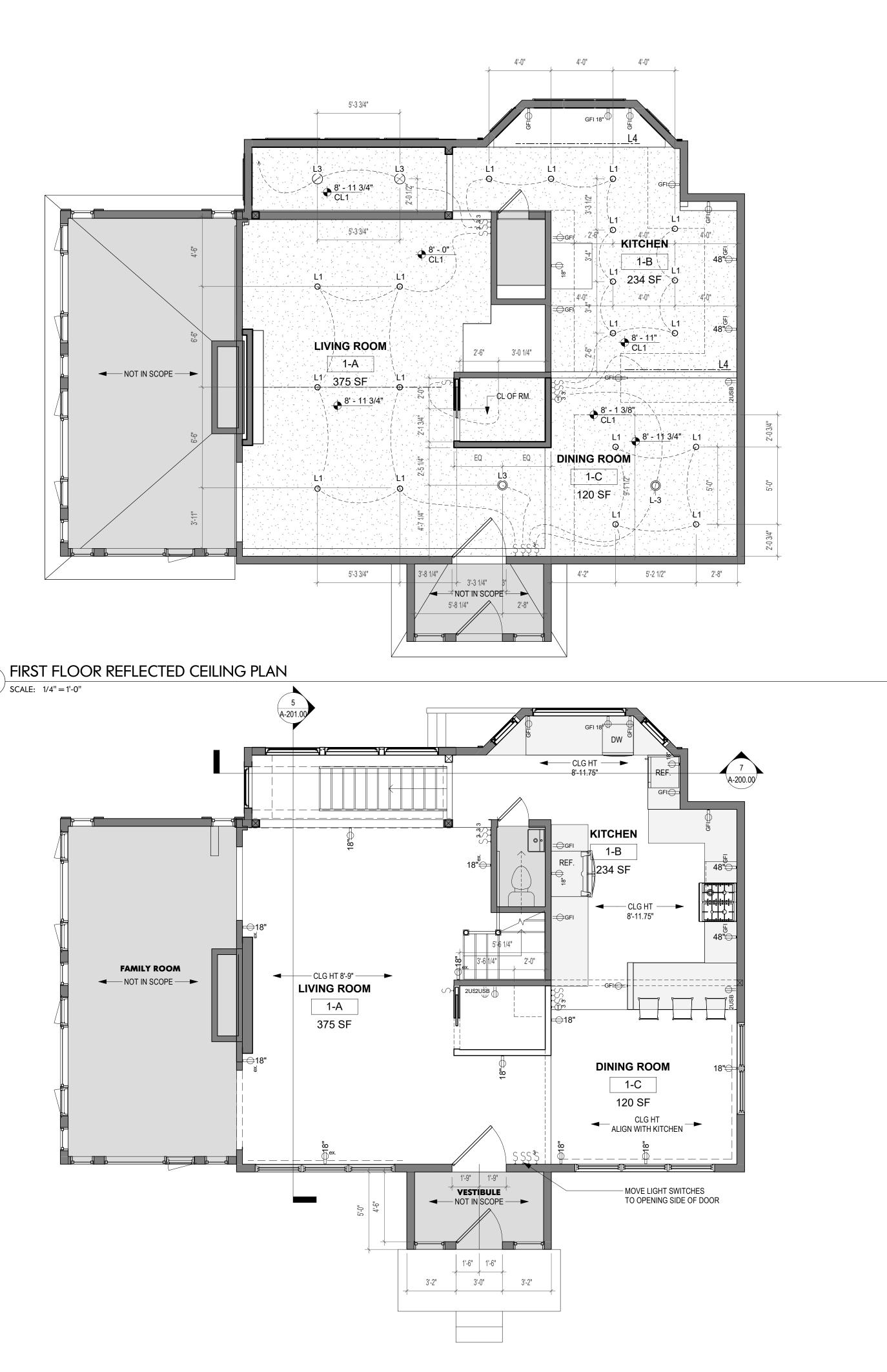
18. VERTICAL DIMENSIONS ARE TO THE HORIZONTAL CENTERLINE OF OUTLET. ANY CONFLICTS OF SWITCH LOCATIONS AND DRYWALL "REVEALS", OBSTRUCTIONS, ETC., SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION. IF ADJUSTMENTS IN VERTICAL DIMENSION FOR AN OUTLET IS REQUIRED, THEN ALL NEARBY OR ADJACENT LIGHT SWITCHES, THERMOSTATS, ETC., SHALL ALIGN. ALIGN TOP EDGES OF TRIM OR FACE PLATES.

19. ELECTRICAL SWITCH, WALL OUTLET COVERPLATES, AND WALL TELEPHONE COVER PLATES SHALL BE SUBMITTED TO ARCHITECT FOR REVIEW PRIOR TO ORDERING AND INSTALLATION.

20. MULTIPLE OUTLETS AND SWITCHES SHALL BE GANGED IN ONE BOX AND HAVE A SINGLE COVERPLATE, WHERE POSSIBLE.

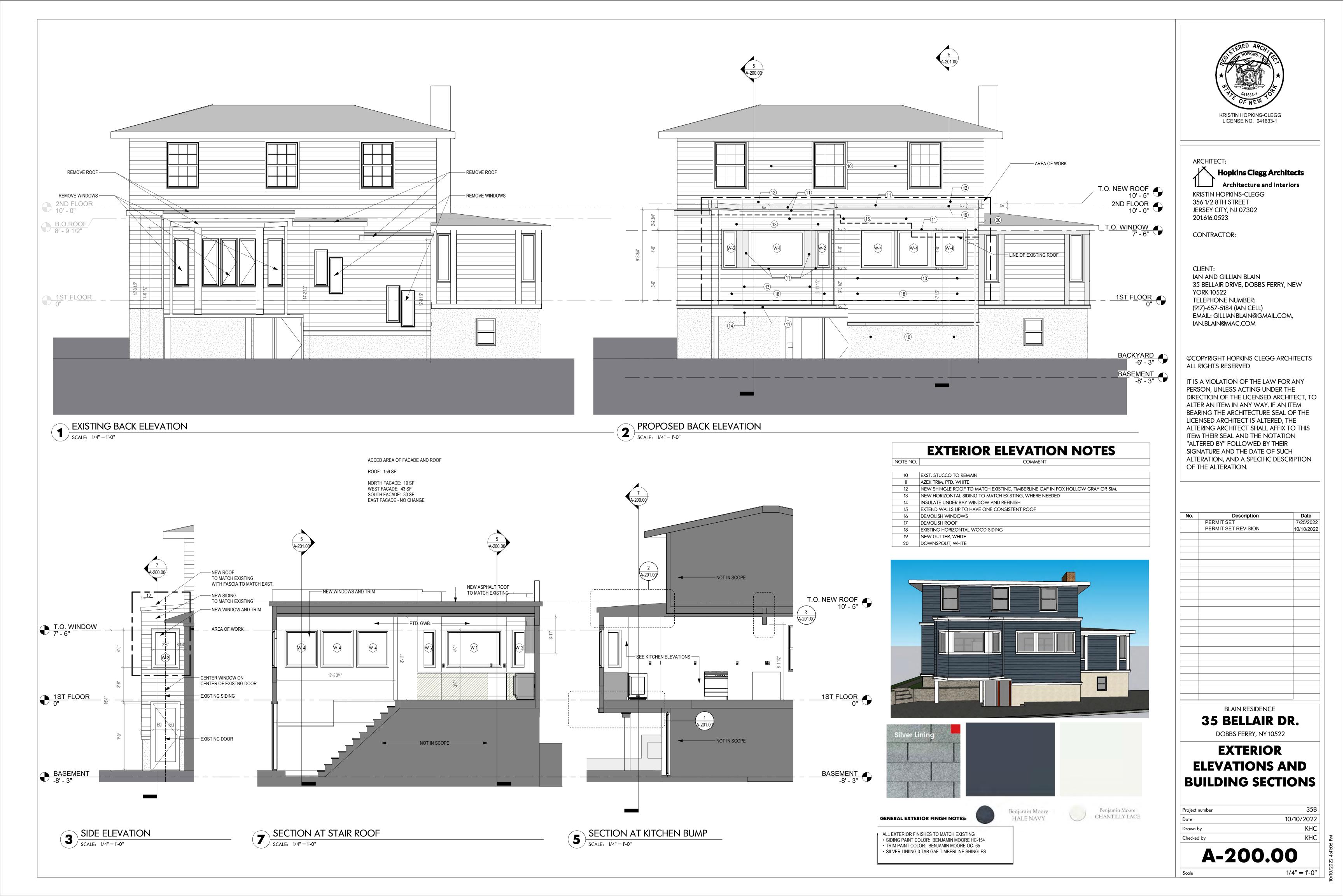
21. FIXED DIMENSIONS ARE NOT ADJUSTABLE WITHOUT REVIEW OF ARCHITECT, U.O.N. DIMENSIONS WITH +/-, +, -, DESIGNATIONS INDICATE THAT OUTLETS MAY BE MOVED 3" TO A GREATER OR LESSER DIMENSION THAN ORIGINALLY SPECIFIED.

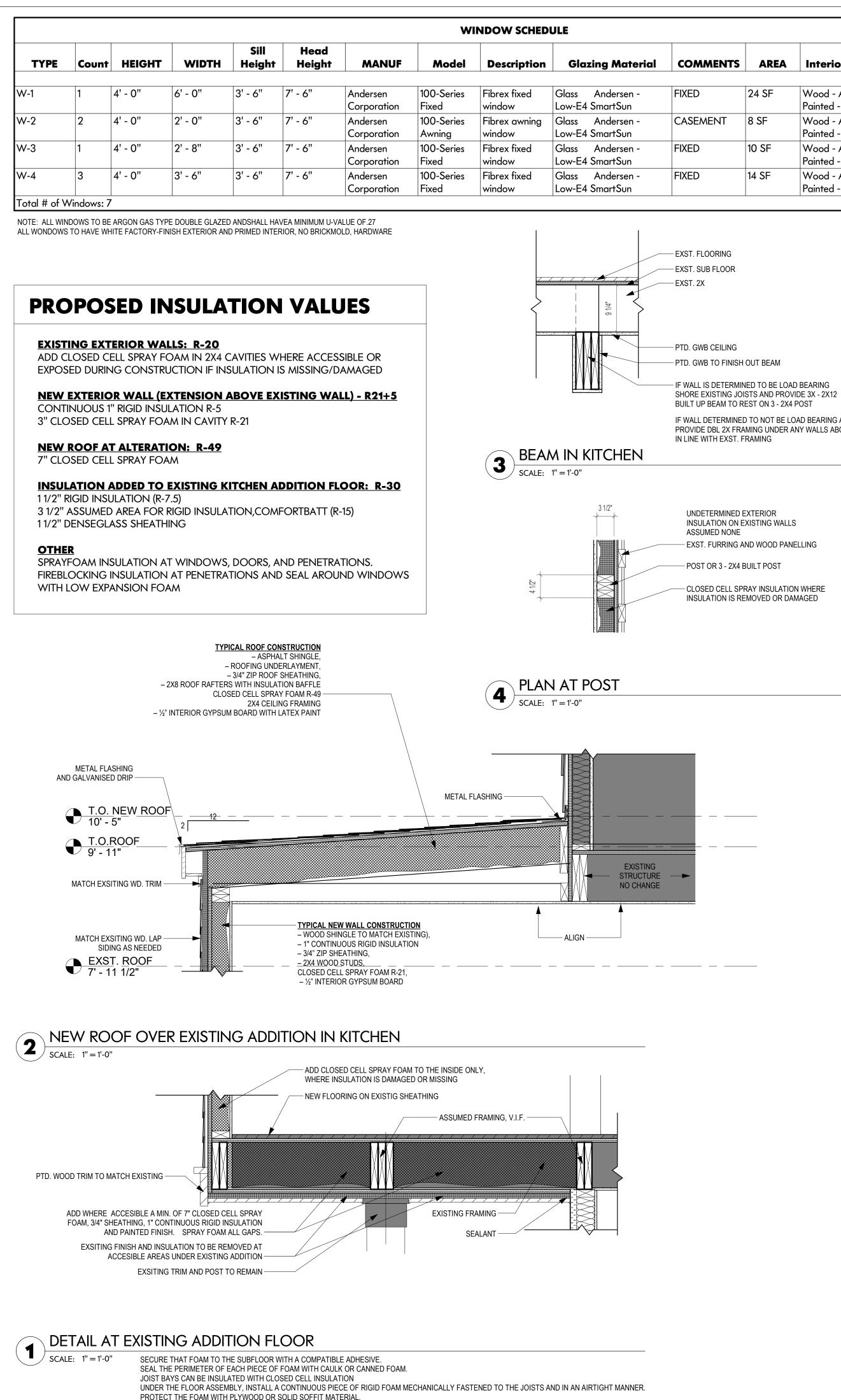
22. ALL DEVICES CLUSTERED IN SAME AREA OF WALL TO BE VERTICALLY ALIGNED, U.O.N.



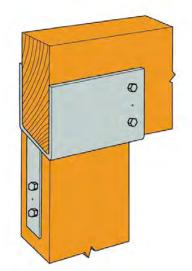
	SISTERED ARCH	
	07 77 041633-1 10 05 NEW	
	OF NET	
	KRISTIN HOPKINS-CLEGG LICENSE NO. 041633-1	
A۴	CHITECT:	
1	Hopkins Clegg Archite	ects
	Architecture and Interio	ors
35	6 1/2 8TH STREET	
	RSEY CITY, NJ 07302 11.616.0523	
C	ONTRACTOR:	
-	IENT: N AND GILLIAN BLAIN	
35	BELLAIR DRIVE, DOBBS FERRY, N	EW
TE	DRK 10522 ELEPHONE NUMBER:	
È٨	17)-657-5184 (IAN CELL) MAIL: GILLIANBLAIN@GMAIL.COM,	
IAI	N.BLAIN@MAC.COM	
©CC	PYRIGHT HOPKINS CLEGG ARCH	TECTS
ALL I	RIGHTS RESERVED	
	A VIOLATION OF THE LAW FOR A	
DIRE	CTION OF THE LICENSED ARCHIT	ECT, TO
BEA	ER AN ITEM IN ANY WAY. IF AN IT RING THE ARCHITECTURE SEAL O	F THE
	NSED ARCHITECT IS ALTERED, TH ERING ARCHITECT SHALL AFFIX TO	
	THEIR SEAL AND THE NOTATION ERED BY'' FOLLOWED BY THEIR	1
SIGN	ATURE AND THE DATE OF SUCH	DTION
	RATION, AND A SPECIFIC DESCRI THE ALTERATION.	FIION
No.	Description	Date
NO.	PERMIT SET PERMIT SET REVISION	7/25/2022 10/10/2022
		10/10/2022
	BLAIN RESIDENCE	
	JJ DELLAIK UN DOBBS FERRY, NY 10522	
D		
K		
-	PLANS AND	
R	ECEPTACLE PLA	NS
Project r Date		35B /10/2022
Drawn b	У	КН
Checked		КНС
	A-110.00	

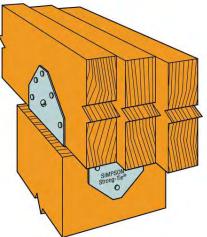
Scale





MMENTS	AREA	Interior Trim Finish	Exterior Trim Finish
Ð	24 SF	Wood - Andersen - Painted - White	Fibrex Composite - Andersen - White
SEMENT	8 SF	Wood - Andersen - Painted - White	Fibrex Composite - Andersen - White
Ð	10 SF	Wood - Andersen - Painted - White	Fibrex Composite - Andersen - White
Ð	14 SF	Wood - Andersen - Painted - White	Fibrex Composite - Andersen - White





- EXST. FLOORING - EXST. SUB FLOOR

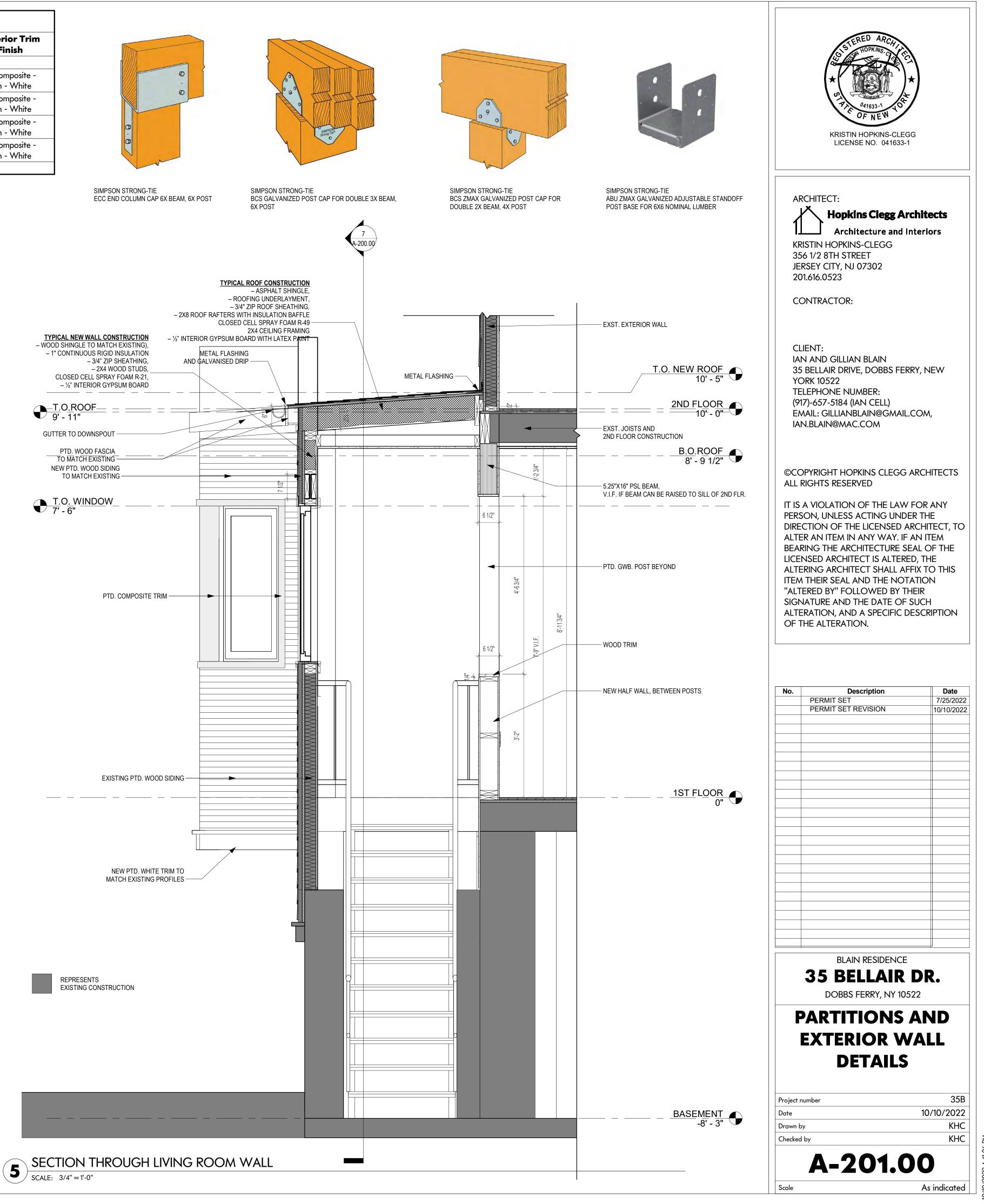
- PTD. GWB CEILING PTD. GWB TO FINISH OUT BEAM - IF WALL IS DETERMINED TO BE LOAD BEARING

BUILT UP BEAM TO REST ON 3 - 2X4 POST IF WALL DETERMINED TO NOT BE LOAD BEARING AT DEMO, PROVIDE DBL 2X FRAMING UNDER ANY WALLS ABOVE, IN LINE WITH EXST. FRAMING

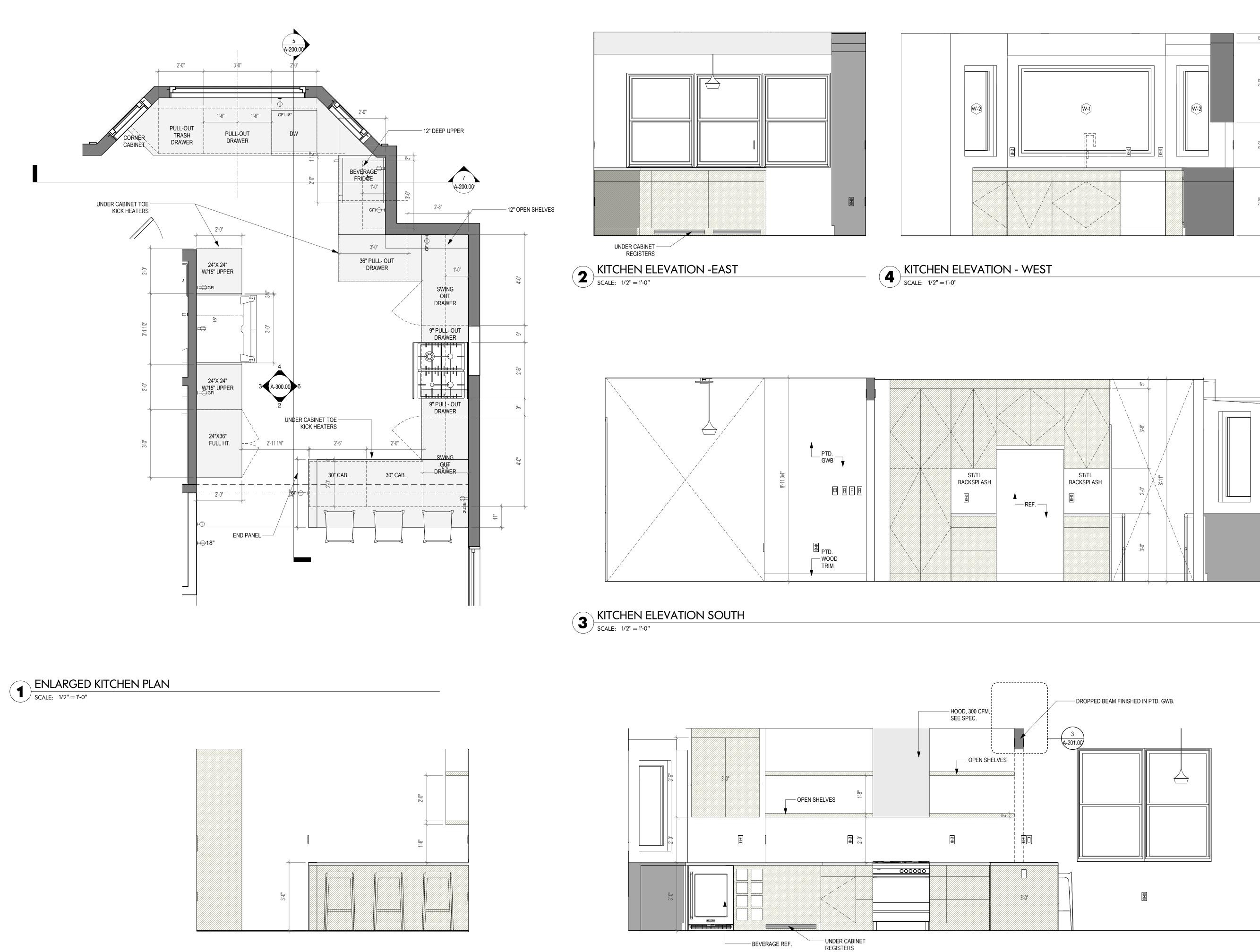
UNDETERMINED EXTERIOR INSULATION ON EXISTING WALLS ASSUMED NONE - EXST. FURRING AND WOOD PANELLING

POST OR 3 - 2X4 BUILT POST

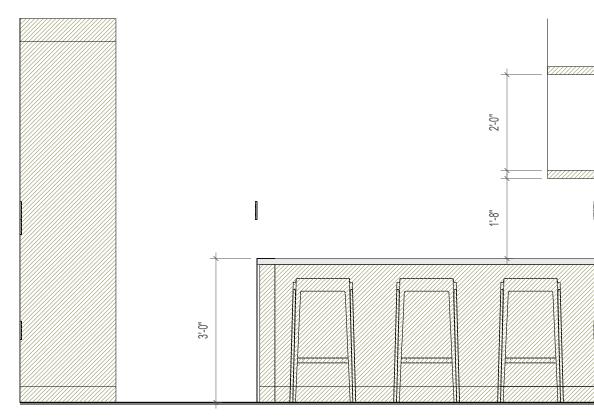
CLOSED CELL SPRAY INSULATION WHERE INSULATION IS REMOVED OR DAMAGED





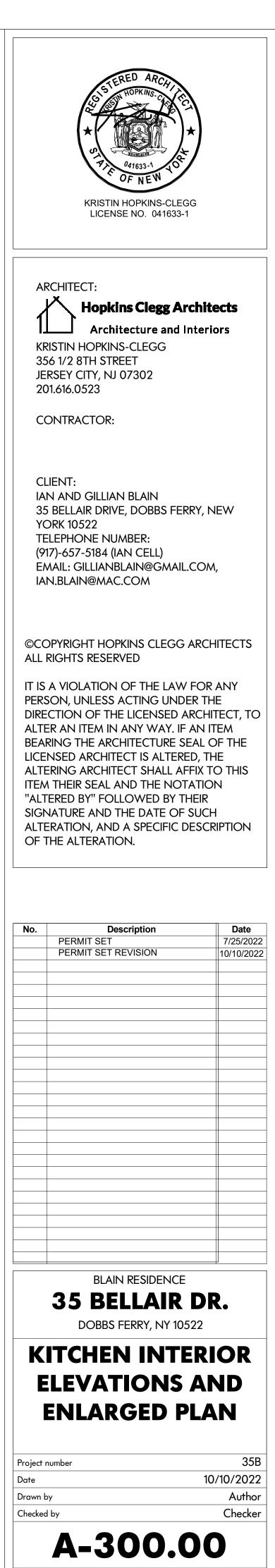


6 KITCHEN ELEVATION NORTH SCALE: 1/2" = 1'-0"





5 ELEVATION AT LIVING ROOM AND ENTRY SCALE: 1/2" = 1'-0"



Scale

