

R E S R E A L L D S I N G S

# BASEMENT & KITCHEN RENOVATION & ALTERATION PERMIT PLANS FOR: 4 BROOKSIDE LANE DOBBS FERRY, NY 10522

## BUILDING CODE AND REFERENCE STANDARDS:

THE 2020 RESIDENTIAL CODE OF NEW YORK STATE, AS ADOPTED AND MODIFIED BY THE LOCAL JURISDICTION SHALL GOVERN THE DESIGN AND CONSTRUCTION OF THIS PROJECT. REFERENCE TO A SPECIFIC SECTION IN THE CODE DOES NOT RELIEVE THE CONTRACTOR FROM COMPLIANCE WITH THE ENTIRE MATERIALS REFERENCE STANDARDS. THE LATEST EDITION OF THE MATERIALS REFERENCE STANDARDS SHALL BE USED. EXISTING BUILDING SHALL COMPLY WITH [NY] APPENDIX J FOR EXISTING BUILDINGS AND STRUCTURES.

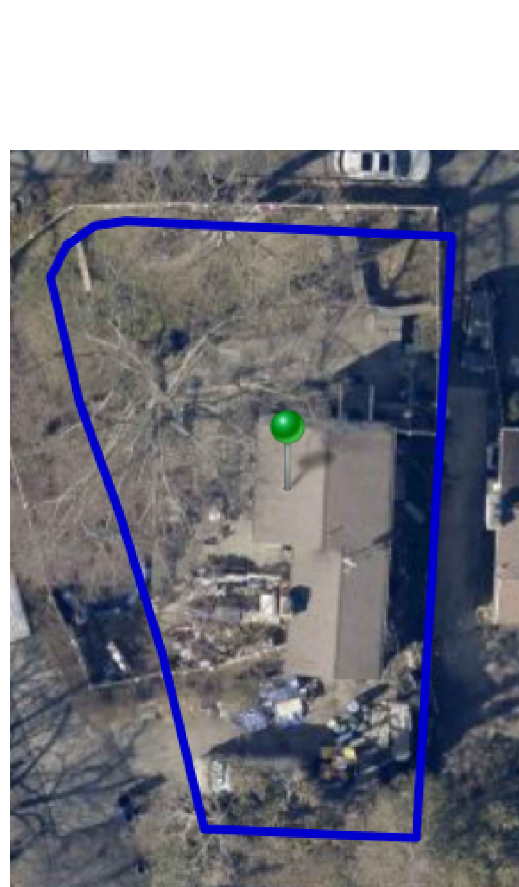
## DETAILS SCOPE OF WORK DESCRIPTION

EXISTING SINGLE FAMILY RESIDENCE -LEVEL 2 ALTERATION PERMIT PLANS SCOPE:

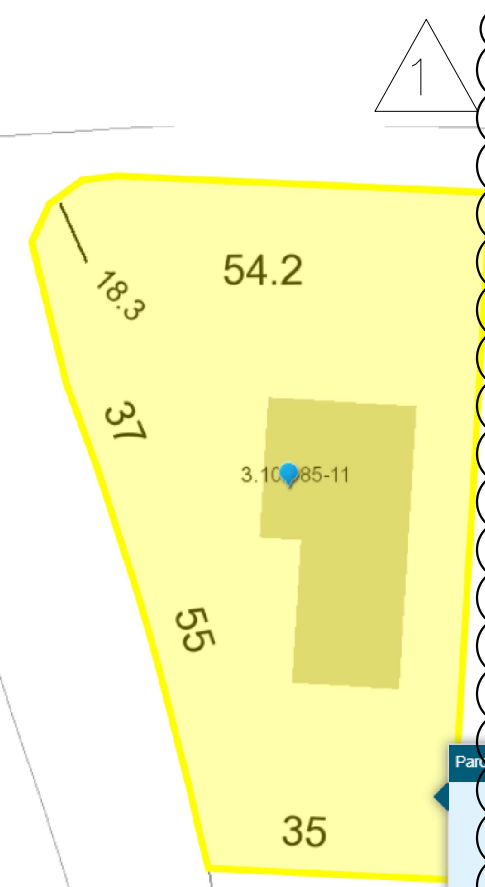
- BASEMENT RENOVATION
- KITCHEN RENOVATION

## CLASSIFICATION OF WORK- ALTERATION LEVEL 2

- THE WORK PERFORMED ON THE EXISTING SINGLE FAMILY RESIDENTIAL DWELLING SHALL BE CLASSIFIED AS AN **ALTERATION - LEVEL 2 (AJ301.5)**, WHICH INCLUDES THE RECONFIGURATION OF SPACES AS DEFINED IN THE WORK DESCRIPTION. THE USE CLASSIFICATION SHALL BE RESIDENTIAL **GROUP R3 WITH CONSTRUCTION TYPE V**. EXISTING BUILDINGS SHALL COMPLY WITH [NY] APPENDIX J FOR EXISTING BUILDINGS AND STRUCTURES.



**A1** AERIAL VIEW  
SCALE: NTS



**G** GIS VIEW  
SCALE: NTS

## GENERAL NOTES:

1. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AT THE BUILDING SITE BEFORE COMMENCEMENT OF WORK
2. ALL DIMENSIONS ARE TO ROUGH FRAMING
3. CONTRACTOR SHALL RECEIVE, STORE AND PROTECT ALL MATERIALS DELIVERED TO THIS SITE FROM WEATHER AND DAMAGE.
4. CONTRACTOR SHALL INSTALL ALL MATERIALS IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SITE CLEAN UP ON A DAILY BASIS.
6. THE CONTRACTOR SHALL MAINTAIN A SET OF APPROVED PLANS AT THE CONSTRUCTION SITE IN A SAFE PLACE FOR REVIEW BY THE MUNICIPALITY BUILDING INSPECTOR DURING CONSTRUCTION.
7. ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.
8. CONTRACTOR SHALL NOT SCALE DRAWINGS.
9. USE GIVEN DIMENSIONS. CHECK DETAILS FOR APPROPRIATE LOCATION OF ALL ITEMS NOT DIMENSIONED.
10. ALL CONSTRUCTIONS IS SUBJECT TO INSPECTION BY THE BUILDING OFFICIAL. THE CONTRACTOR SHALL COORDINATE ALL REQUIRED INSPECTION WITH BUILDING OFFICIAL AND DOCUMENT FOR REVIEW AN INSPECTION REPORT.
11. DISCREPANCIES FOUND BY THE CONTRACTOR BETWEEN FIELD CONDITIONS, NOTES, CONTRACT DRAWINGS, SPECIFICATIONS, AND/OR REFERENCE STANDARDS, THE ENGINEER SHALL DETERMINE WHICH SHALL GOVERN. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.

## ENERGY CONSERVATION CODE

1. 2020 NY STRETCH ENERGY CODE
  - a. NEW YORK STATE CLIMATE ZONES BY COUNTY (TABLE N.1 101.4)
  - b. CLIMATE ZONE 4 INSULATION AND FENESTRATION BY COMPONENT (TABLE N 1102.1(1) )

## ENERGY STATEMENT:

I, JOHN M. SCAVELLI, CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THIS DRAWING PACKAGE IS PREPARED IN CONFORMANCE WITH THE ENERGY CONSERVATION. CODE REQUIREMENTS FOR THE CLIMATE ZONE AND BUILDING TYPE LISTED BELOW.

CLIMATE ZONE: ZONE (4) WESTCHESTER

BUILDING TYPE: 1- FAMILY RESIDENTIAL

Table R402.1.2 Insulation and Fenestration Requirements by Component*									
Climate Zone	Fenestration U-factor <sup>a</sup>	Skylight U-factor <sup>a</sup>	Glazed Fenestration SHGC <sup>a</sup>	Ceiling R-Value	Wood Frame Wall <sup>b</sup> R-Value	Mass Wall <sup>b</sup> R-Value	Floor R-Value	Basement Wall <sup>b</sup> R-Value	Slab <sup>b</sup> R-Value and Depth
4	0.27	0.50	0.4	49	21 int. or 20+5 or 13+10	15/20	30 <sup>c</sup>	15/19	10.4 ft

NR = Not Required  
For Sl: 5 foot = 304.8 mm.  
a. R-values are minimums. U-factors and SHGC are maximums. Where insulation is installed in a cavity that is less than the label or design thickness of the insulation, the installed R-value of the insulation shall be not less than the R-value specified in the table.  
b. int. (intermediate framing) denotes standard framing 16 inches on center. Headers shall be insulated with a minimum of R-10 insulation.  
c. The first value is cavity insulation, the second value is continuous insulation. Therefore, as an example, "13+10" means R-13 cavity insulation plus R-10 continuous insulation.  
d. Mass walls shall be in accordance with Section R402.2.5. The second R-value applies when more than half the insulation is on the interior of the mass wall.  
e. 15/19 means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall.  
f. R-10 continuous insulation shall be provided under the full slab area of a heated slab in addition to the required slab edge insulation R-value for slabs as indicated in the table. The slab edge insulation for heated slabs shall not be required to extend below the slab.  
g. Alternatively, insulation sufficient to fill the framing cavity and providing not less than an R-value of R-19.  
h. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.

## ELECTRICAL NOTES:

1. THE GC SHALL BE RESPONSIBLE FOR THE PERFORMANCE AND CODE COMPLIANCE OF THE ELECTRICAL SYSTEM.
2. ALL WORK TO BE PERFORMED UNDER SUPERVISION OF A LICENSED ELECTRICAL CONTRACTOR.
3. CONTRACTOR TO OBTAIN ALL PERMITS REQUIRED TO COMPLETE WORK AND SCHEDULE NECESSARY INSPECTIONS WITH LOCAL AUTHORITIES
4. ELECTRICAL OUTLET PLACEMENT IS FOR LOCATION ONLY, COORDINATE INSTALLATION WITH ALL TRADE WORK.
5. INSTALL ALL OUTLETS AT 15" AFF EXCEPT OTHERWISE NOTED, OR TO MATCH HEIGHTS OF EXISTING OUTLETS WITHIN THE SAME SPACE.
6. ALL FLOOR OUTLETS SHALL BE INSTALLED AS CLOSE TO THE DIMENSIONED LOCATIONS AS POSSIBLE, WITHIN A TOLERANCE OF 2" BUT NOT TO EXCEED PLACEMENT DISALLOWED BY LOCAL CODE.
7. ELECTRICAL PANELS SHALL BE FULLY LABELED WITH CIRCUIT NUMBERS AND IDENTIFICATIONS FOR ALL SPACES SERVED BY EACH CIRCUIT.
8. ALL NEW SWITCHES SHALL BE GANGED TOGETHER WHENEVER MORE THAN ONE SWITCH OCCURS IN THE SAME LOCATION.
9. ALL SWITCHES TO BE MOUNTED AT 48" AFF UNLESS OTHERWISE NOTED.
10. ALL WIRING SHALL BE PROVIDED AND INSTALLED PER NFPA 70 NATIONAL ELECTRICAL CODE REQUIREMENTS.
11. ELECTRICAL COMPONENTS, EQUIPMENT, AND SYSTEMS SHALL BE CONSTRUCTED, INSTALLED, AND MAINTAINED IN CONFORMANCE W/ NFPA 70 NATIONAL ELECTRICAL CODE.
12. CONTRACTOR SHALL FIXTURE SELECTIONS, SWITCHES AND OUTLETS AND GAIN OWNER APPROVAL PRIOR TO INSTALLATION.
13. ALL EQUIPMENT TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

## PLUMBING

1. PLUMBING COMPONENTS, EQUIPMENTS AND SYSTEMS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE PLUMBING CODE.
2. THE GC SHALL BE RESPONSIBLE FOR THE PERFORMANCE AND CODE COMPLIANCE OF THE PLUMBING SYSTEM.
3. ALL WORK TO BE PERFORMED UNDER SUPERVISION OF A LICENSED TRADE PROFESSIONAL. CONTRACTOR TO OBTAIN ALL PERMITS REQUIRED TO COMPLETE WORK AND SCHEDULE NECESSARY INSPECTIONS WITH LOCAL AUTHORITIES

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA								
GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	WEATHERING	FROST LINE DEPTH	TERMITES	DECAY	HEATING DEGREE-DAYS	ICE SHIELD UNDERLAYMENT REQUIRED
30 PSF	120 MPH	C	SEVERE	42"	MODERATE/HEAVY	SLIGHT/MODERATE	5750 DEGREE-DAYS (CLIMATE ZONE 4)	YES

## CONSTRUCTION NOTES:

1. INFORMATION SHOWN ON THESE DRAWINGS IS FOR DESIGN INTENT ONLY. VERIFY EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD. COORDINATE DISCREPANCIES WITH DESIGN PROFESSIONAL.
2. PROVIDE PROOF OF WORKMAN'S COMPENSATION INSURANCE AND DISABILITY INSURANCE COVERAGE AS REQUIRED BY THE LOCAL LAW.
3. ALL WORK SHALL BE CONSTRUCTED AND INSTALLED IN A PLUMB, LEVEL, SQUARE, TRUE AND PROPER ALIGNMENT.
4. ALL MATERIALS AND ASSEMBLIES TO HAVE A FIRE RESISTANCE RATING SHALL COMPLY WITH NFPA "FIRE RESISTANCE RATINGS" AND HAVE BEEN TESTED IN ACCORDANCE WITH ASTM "STANDARDS METHODS OF FIRE TESTS"
5. WHERE PIPES OR CABLES PENETRATE WALL OR FLOOR OPENINGS PROVIDE FIRE STOP MATERIAL AS REQUIRED TO ENSURE CONTINUITY OF RATING PER LOCAL LAW.
6. FOOTINGS SHALL BEAR ON UNDISTURBED SOIL HAVING A SAFE BEARING CAPACITY OF 2000 PSF.
7. ALL CONCRETE WORK SHALL CONFORM TO THE ACI BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE.
8. ALL REINFORCEMENT BAR SHALL BE MADE OF STEEL CONFORMING TO ASTM A615, GRADE 60.
9. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A82 AND A185.
10. INSTALL ALL WINDOWS, DOORS AND ALL OTHER EQUIPMENT AS PER MANUFACTURERS' SPECIFICATIONS.
11. PAINTING OR INTERIOR FINISH SHALL BE DONE UNDER CONDITIONS ACCEPTABLE TO THE MANUFACTURERS SPECIFICATIONS.
12. ALL DIMENSIONS ARE TO FACE OF FRAMING UNLESS OTHERWISE NOTED.
13. THE CONTRACTOR SHALL PROTECT ALL ITEMS TO BE RELOCATED. ANY ITEMS REQUIRED TO BE RELOCATED WHICH ARE DAMAGE BY THE CONTRACTOR'S OPERATION SHALL BE REPLACED AT THEIR EXPENSE.
14. ALL EXISTING FLOORS REVEALED FROM DEMOLITION OF EXISTING PARTITIONS SHALL BE PATCHED TO PROVIDE ADEQUATE SURFACE FOR NEW FLOORING.
15. ALL PARTITIONS PARTIALLY DEMOLISHED SHALL BE PATCHED AND REFURISHED TO MATCH EXISTING.
16. ALL PLUMBING, ELECTRICAL OR OTHER EXISTING UTILITIES SERVICE ITEMS TO BE RELOCATED SHALL HAVE CAPS, FACE PLATES, ETC. TO MATCH EXISTING.
17. "AREA OF NO WORK" DELINEATES ARCHITECTURAL WORK. IT DOES NOT EXCLUDE WORK THAT MAY BE REQUIRED FOR MECHANICAL, ELECTRICAL, PLUMBING OR OTHER TRADES.
18. PARTITIONS SHOWN ALIGNED WITH BASE BUILDING STRUCTURE SHALL BE FLUSH AND SMOOTH WITH BASE BUILDING UNLESS OTHERWISE NOTED.
19. ALL DOORS SHALL AVE AN UNDERCUT TO CLEAR FINISH FLOOR BY  $\frac{1}{2}$ ". UNLESS OTHERWISE NOTED.
20. CONTRACTOR SHALL BE RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION AND JOB RELATED SAFETY STANDARDS. CONTRACTOR SHALL BE AWARE AND RESPONSIBLE FOR STABILITY OF STRUCTURE AT ALL TIMES DURING CONSTRUCTION.
21. TEMPORARY SHORING SHALL BE PROVIDE PRIOR TO THE DEMOLITION OF LOAD BEARING WALLS.
22. EXISTING STRUCTURAL ELEMENTS SHALL REMAIN IN PLACE UNTIL ALL TEMPORARY SHORING HAS BEEN PROPERLY INSTALLED.

## SMOKE DETECTION AND NOTIFICATION NOTES:

1. EXISTING DWELLINGS UNDERGOING REPAIR, ALTERATION CHANGE OF OCCUPANCY, ADDITION OR RELOCATION SHALL BE PROVIDED WITH SMOKE ALARMS IN COMPLIANCE WITH LOCAL BUILDING CODE.
  2. ALL COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND INSTALLED IN ACCORDANCE WITH THE RESIDENTIAL CODE AND NFPA 72
  3. ALL EXISTING SMOKE, CO & HEAT DETECTORS SHALL REMAIN IN EXISTING LOCATIONS. DETECTORS SHALL BE TESTED TO ENSURE IN WORKING CONDITIONS AND INSTALLED AT ALL LOCATIONS AS LISTED BELOW.
- REQUIRED LOCATIONS:
1. IN EACH SLEEPING ROOM
  2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS.
  3. ON EACH STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT CRAWL SPACES AND UNINHABITABLE ATTICS.
  4. ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

## FRAMING NOTES:

1. ALL STRUCTURAL PRODUCTS SHALL BE IDENTIFIED BY GRADE MARK OR CERTIFICATE OF INSPECTION ISSUED BY CERTIFYING AGENCY.
2. FOR ALL OPENINGS NOT OTHERWISE NOTED, SCHEDULED OR DETAIL ON THE PLANS, HEADER SIZING SHALL FOLLOW THE SIZES LISTED ON HEADER TABLE.
3. WOOD FRAMING SHALL MAINTAIN 8" CLEARANCE ABOVE GRADE.
4. UNLESS OTHERWISE NOTED 2x4 COLLAR TIES SHALL BE INSTALLED AT THE TOP THIRD POINT OF EVERY OTHER ROOF RAFTER. CUT ENDS TO FIT SLOPE AND NAIL TO ADJACENT RAFTERS.
5. NOTCH RAFTERS TO FIT EXTERIOR WALL PLATES AND TOE NAIL OR USE METAL FRAMING ANCHORS.
6. ANY OPENINGS IN ROOF FRAMING SHALL HAVE 2-PLY AND MINIMUM 2" DEEPER THAN ADJACENT RAFTERS UNLESS SIZE NOTED OTHERWISE. BEVEL ENDS OF JACK RAFTERS FOR FULL BEARING AGAINST VALLEY RAFTER.
7. WHERE RAFTERS ABUT AT RIDGE, PLACE DIRECTLY OPPOSITE EACH OTHER AND NAIL TO RIDGE MEMBER.
8. HIP AND VALLEY RAFTERS SHALL BE 2-PLY AND MINIMUM 2" DEEPER THAN ADJACENT RAFTERS UNLESS SIZE NOTED OTHERWISE. BEVEL ENDS OF JACK RAFTERS FOR FULL BEARING AGAINST VALLEY RAFTER.

## DESIGN LOADS:

LIVE LOAD = 40 PSF ,DEAD LOAD = 20 PSF ,ROOF LIVE = 20 PSF ,ROOF (SNOW) = 30 PSF  
ALLOWABLE DEFLECTION = L/360

## LIGHT VENTILATION AND HEATING NOTES:

LIGHT, VENTILATION AND HEATING SHALL BE PROVIDED IN ACCORDANCE WITH RESIDENTIAL CODE R303.

1. DWELLING UNIT SHALL BE PROVIDED WITH SUFFICIENT HEATING FACILITIES CAPABLE OF MAINTAINING 68°F (20°C) AT A POINT OF 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS.
2. WHERE GLAZING INSTALLATION IS NOT FEASIBLE, PERMANENT ARTIFICIAL LIGHT SHALL BE PROVIDED CAPABLE OF PROVIDING 6 FOOTCANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE FLOOR LEVEL.
3. WHERE NATURAL VENTILATION IS NOT FEASIBLE THROUGH WINDOW OPENINGS A MECHANICAL VENTILATION SYSTEM CAPABLE OF 0.35 AIR CHANGES PER HOUR SHALL BE INSTALLED.
4. NOT LESS THAN 90 PERCENT OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH EFFICACY LAMPS IN COMPLIANCE WITH N1104.1 (R404.1)

## DEMOLITION NOTES:

1. DEMOLITION SHALL BE PERFORMED IN A SAFE AND ORDERLY MANOR AND IS RESPONSIBILITY OF CONTRACTOR TO ENSURE SAFE WORKING CONDITIONS.
2. PRIOR TO ANY DEMOLITION THE JOBSITE SHALL BE VISITED BE DEMOLITION CONTRACTOR TO EXAMINE THE EXTENTS OF DEMOLITION. ANY AREAS OF DEMOLITION NOT DESCRIBED UNDER THIS DRAWING PACKAGE SHALL BE VERIFIED BY OWNER AND DESIGN PROFESSIONAL PRIOR TO ANY ADDITIONAL DEMOLITION.
3. ALL BUILDING MATERIAL AND DEBRIS SHALL BE REMOVED FROM SITE IN AN ORDERLY AND TIMELY FASHION.
4. EXCESSIVE QUANTITIES OF DEBRIS SHALL NOT BE PILED TOGETHER INSIDE THE STRUCTURE OR ON THE SURROUNDING PREMISES.
5. ALL DEMOLITION WORK SHALL CONFORM TO THE CURRENT LOCAL CODES.
6. PRIOR TO ANY DEMOLITION OF BUILDING SERVICES, THE PROPER UTILITIES SHOULD BE DISCONNECTED. COORDINATE WITH LOCAL UTILITY PROVIDERS AS REQUIRED.
7. ALL ELECTRICAL WORK SHALL BE COMPLETED UNDER THE SUPERVISION OF A LICENSED ELECTRICAL CONTRACTOR.
8. ALL PLUMBING WORK SHALL BE COMPLETED UNDER THE SUPERVISION OF A LICENSED PLUMBING CONTRACTOR.
9. ALL SURFACES DAMAGED DURING THE DEMOLITION PROCESS SHALL BE REPAIRED AS NECESSARY.

## TEMPORARY SHORING PROCEDURE NOTES:

1. TEMPORARY SHORING SHALL BE PROVIDED FOR REMOVAL OF LOAD BEARING WALLS.
2. SHORING SHALL CONSISTS OF 2x4 LUMBER AND SHORING SHALL BEAR DIRECTLY ONTO SOLID GROUND.
3. EXISTING SUPPORT COLUMNS SHALL NOT BE REMOVED UNTIL ALL TEMPORARY SHORING HAS BEEN PROPERLY INSTALLED.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION AND JOB RELATED SAFETY STANDARDS. CONTRACTOR SHALL BE AWARE AND RESPONSIBLE FOR STABILITY OF STRUCTURE AT ALL TIMES DURING CONSTRUCTION.

## LUMBER NOTES:

1. ALL NOMINAL STRUCTURALLY GRADED LUMBER SHALL BE DOUGLAS FIR NO. 2, E - 1,600,000 PSI OR AN APPROVED EQUIVALENT.
2. LVL MEMBERS SHALL BE 'MICRO-LAM LVL' AS MANUFACTURED BY TRUSS JOIST CORPORATION, Fb = 2,600 PSI, E = 1,900,000 PSI OR AN APPROVED EQUIVALENT, U.N.O.
3. PSL MEMBERS SHALL BE 'PARALLAM PSL' AS MANUFACTURED BY 'TRUSS JOIST CORPORATION, Fb= 2900 PSI, Fb= 2900 PSI OR AN APPROVED EQUIVALENT.
4. FLUSH FRAMED WOOD CONNECTIONS SHALL BE MADE WITH PREFABRICATED GALVANIZED STEEL HANGERS OF THE WIDTH AND DEPTH REQUIRED FOR THE SUPPORTED MEMBER. HANGERS SHALL BE SECURED WITH THE QUANTITY AND TYPE OF FASTENERS RECOMMENDED BY THE MANUFACTURER. (APPLIES TO EXISTING & NEW MEMBERS)
5. BUILT-UP FRAMING MEMBERS SHALL HAVE ADJACENT PLIES NAILED TOGETHER WITH /ROWS OF NAILS AT 12" O.C. LUMBER SHALL BE NAILED WITH ROWS OF 10D COMMON NAILS WITH (2) NAILS PER ROW FOR 2x6 AND 2x8 AND (3) NAILS PER ROW FOR 2x10 AND 2x12. LVL MEMBERS SHALL BE NAILED WITH ROWS OF 16D COMMON NAILS WITH (2) NAILS PER ROW FOR 7" AND SHALLOWER MEMBERS, (3) NAILS PER ROW FOR 9x4 TO 11 W DEPTH MEMBERS, AND (4) NAILS PER ROW FOR 14" TO 16" DEPTH MEMBERS. U.N.O.
6. PROVIDE TWO STUDS AT EACH END OF ALL FLUSH FRAMED HEADERS AND BEAMS UNLESS MORE ARE INDICATED ON PLAN. PROVIDE A JACK STUD AND A KING STUD AT EACH END OF ALL DROPPED HEADERS AND BEAMS UNLESS MORE ARE INDICATED ON PLAN.
7. FLOOR AND ROOF OPENINGS SHALL BE FRAMED WITH DOUBLE MEMBERS, UNLESS OTHERWISE NOTED IN PLAN. FLOOR JOISTS WHICH SUPPORT NON-LOAD BEARING PARTITIONS WHICH SPAN PARALLEL TO THE JOISTS SHALL BE DOUBLED AND BRIDGING SHALL BE PROVIDED AT A MAXIMUM SPACING OF 8'-0" O.C. IN ALL FLOOR FRAMING.
8. ALL WOOD EXPOSED TO THE WEATHER OR IN CONTACT WITH MASONRY SHALL BE PRESSURE TREATED.
9. PLYWOOD SHALL CONFORM TO THE U.S. DEPT. OF COMMERCE DOC PS-1 AND BEAR THE APA GRADE TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION. PLYWOOD SHEATHING FOR FLOORS, ROOFS, & WALLS SHALL BE OF THICKNESS INDICATED, EXPOSURE 1.
10. HEADERS AT EXTERIOR WALLS SHALL BE MINIMUM (2) 2x10, U.N.O.
11. ALL WOOD PLACED IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
12. PRIOR TO THE ISSUANCE OF A CERTIFICATE OF COMPLIANCE A TRUSS IDENTIFICATION SIGN SHALL BE FIXED AT THE ELECTRICAL METER STATING THAT THIS STRUCTURE UTILIZES TRUSS TYPE, PRE-ENGINEERED WOOD AND/OR TIMBER CONSTRUCTION. SIGN SHALL BE A PERMANENT, NON-FADING WEATHER RESISTANT STICKER OR DECAL.

## FIRE BLOCKING NOTES:

1. FIRE BLOCKING SHALL BE INSTALLED IN ACCORDANCE WITH R302.11
2. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF BOTH VERTICAL AND HORIZONTAL CONCEALED DRAFT OPENINGS AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN, STORIES.
3. FIRE BLOCKING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:
  - 3.1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS AS FOLLOWS:
    - VERTICALLY AT THE CEILING AND FLOOR LEVELS
    - HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET
  - 3.1. AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILINGS AND COVE CEILINGS.
  - 3.2. AT OPENINGS AROUND VENTS, PIPES, DUCTS CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED FIRE RESISTANT MATERIAL.
  - 3.3. ONE HALF INCH SHEETROCK OR TWO INCH NOMINAL LUMBER SHALL BE USED FOR FIRE BLOCKING MATERIAL. ADDITIONAL MATERIALS MAY BE USED WHERE APPROVED UNDER R302.11.1

## INTERIOR FINISH NOTES:

1. ANY DAMAGED WALL SURFACES SURFACES ARE TO BE PROVIDED WITH NEW GYPSUM WALL BOARD INSTALLATION. REFER TO WALL DETAILS FOR ADDITIONAL INFORMATION.
2. ALL WALL SURFACES ARE TO BE PAINTED WITH MINIMUM ONE COAT OF PRIMER AND TWO FINISH COATS. COLORS AS APPROVED BY OWNER
3. ALL NEW INTERIOR AND EXTERIOR WALL OPENINGS TO BE PROVIDED WITH INTERIOR TRIM. PROVIDE BASE, DOOR, WINDOW AND CROWN MOLDINGS AS APPROVED BY OWNERS. ALL TRIM TO BE PREPARED AND PAINTED.
4. ALL FRAMING IN CONTACT WITH CONCRETE OR MASONRY SURFACES SHALL BE PRESSURE TREATED TYPE LUMBER.

## RENOVATIONS NOTES:

1. NEW WALL, BASE CABINETS AND VANITIES TO BE INSTALLED. REFER TO PLANS.
2. NEW PLUMBING FIXTURES AND ASSOCIATED PIPING AND TRIM WORKS SHALL BE INSTALLED. ALL PLUMBING TO BE INSTALLED IN ACCORDANCE WITH PLUMBING CODE REQUIREMENTS.
3. NEW FLOORING SHALL BE INSTALLED IN BATHROOM AREAS. FLOORING FINISH AND LOCATIONS TO BE APPROVED BY OWNER PRIOR TO INSTALLATION.



www.ResReal.com  
(914)-330-7712

361 Route 202 - Suite #7  
Somers, NY 10589

PROPERTY INFORMATION:  
PREPARED BY: JMS ENGINEERING SERVICES, PC  
PROJECT LOCATION: 4 BROOKSIDE LANE  
PROJECT TOWN: DOBBS FERRY, NY  
BUILDING DEPARTMENT: DOBBS FERRY  
PROPERTY IDENTIFICATION: 3.100-85-11  
OCCUPANCY: SINGLE FAMILY DWELLING  
ZONING CODE: OF-6

ISSUE	DATE:	BY:	CHECKED:	APPROVED:
0	05/17/2022	JMS	JMS	JMS
1	10/02/2022	JMS	JMS	JMS

SEAL &  
SIGNATURE:



JOHN M. SCAVELLI PE LICENSE # 095178  
JMS ENGINEERING SERVICES, PC

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON UNLESS DIRECTED BY A REGISTERED ARCHITECT OR PROFESSIONAL ENGINEER TO ALTER THIS ITEM IN ANY WAY.

## PROJECT:

4 Brookside Lane  
Dobbs Ferry, NY 10522

## DRAWING TITLE:

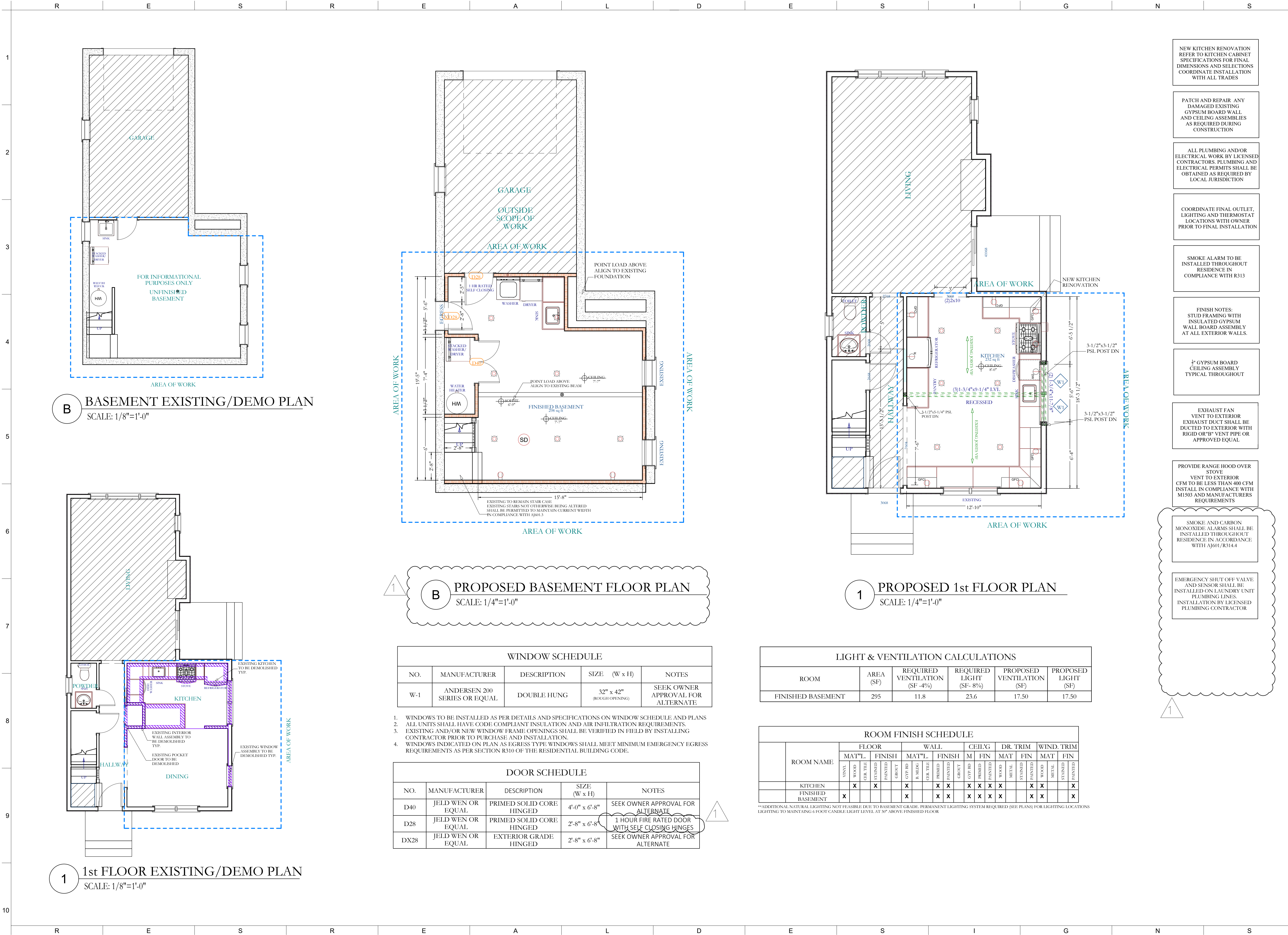
GENERAL NOTES  
SHEET 1


G-101

## NOTES:

NOTE: NOT ALL SYMBOLS LISTED MAY BE USED UNDER THIS DRAWING PACKAGE.







**RESREAL DESIGNS**  
Architecture & Engineering Services  
For Homes

**www.ResReal.com**  
(914)-330-7712  
361 Route 202 - Suite #7  
Somers, NY 10589

PROPERTY INFORMATION:  
PREPARED BY: JMS ENGINEERING SERVICES, PC  
PROJECT LOCATION: 4 BROOKSIDE LANE  
PROJECT TOWN: DOBBS FERRY, NY  
BUILDING DEPARTMENT: DOBBS FERRY  
PROPERTY IDENTIFICATION: 3.100-85-11  
OCCUPANCY: SINGLE FAMILY DWELLING  
ZONING CODE: OF6

NEW KITCHEN RENOVATION  
REFER TO KITCHEN CABINET  
SPECIFICATIONS FOR FINAL  
DIMENSIONS AND SELECTIONS  
COORDINATE INSTALLATION  
WITH ALL TRADES

PATCH AND REPAIR ANY  
DAMAGED EXISTING  
GYPSUM BOARD WALL  
AND CEILING ASSEMBLIES  
AS REQUIRED DURING  
CONSTRUCTION

ALL PLUMBING AND/OR  
ELECTRICAL WORK BY LICENSED  
CONTRACTORS. PLUMBING AND  
ELECTRICAL PERMITS SHALL BE  
OBTAINED AS REQUIRED BY  
LOCAL JURISDICTION

COORDINATE FINAL OUTLET,  
LIGHTING AND THERMOSTAT  
LOCATIONS WITH OWNER  
PRIOR TO FINAL INSTALLATION

SMOKE ALARM TO BE  
INSTALLED THROUGHOUT  
RESIDENCE IN  
COMPLIANCE WITH R313

FINISH NOTES:  
STUD FRAMING WITH  
INSULATED GYPSUM  
WALL BOARD ASSEMBLY  
AT ALL EXTERIOR WALLS.

1/2" GYPSUM BOARD  
CEILING ASSEMBLY  
TYPICAL THROUGHOUT


EXHAUST FAN  
VENT TO EXTERIOR  
EXHAUST DUCT SHALL BE  
DUCTED TO EXTERIOR WITH  
RIGID OR "B" VENT PIPE OR  
APPROVED EQUAL

PROVIDE RANGE HOOD OVER  
STOVE  
VENT TO EXTERIOR  
CFM TO BE LESS THAN 400 CFM  
INSTALL IN COMPLIANCE WITH  
M1503 AND MANUFACTURERS  
REQUIREMENTS

SMOKE AND CARBON  
MONOXIDE ALARMS SHALL BE  
INSTALLED THROUGHOUT  
RESIDENCE IN ACCORDANCE  
WITH A3601/R314.4

EMERGENCY SHUT OFF VALVE  
AND SENSOR SHALL BE  
INSTALLED ON LAUNDRY UNIT  
PLUMBING LINES.  
INSTALLATION BY LICENSED  
PLUMBING CONTRACTOR

SEAL &  
SIGNATURE:



JOHN M. SCAVELLI PE LICENSE # 095178  
JMS ENGINEERING SERVICES, PC

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON  
UNLESS DIRECTED BY A REGISTERED ARCHITECT  
OR PROFESSIONAL ENGINEER TO ALTER THIS ITEM  
IN ANY WAY.

PROJECT:  
**4 Brookside Lane  
Dobbs Ferry, NY 10522**

DRAWING TITLE:  
**FLOOR PLANS  
SHEET 1  
A-101**

NOTES:



R E S R E A L D E S I G N S

1

2

3

4

5

1 EXISTING FRONT ELEVATION  
SCALE: 1/4"=1'-0"

6

7

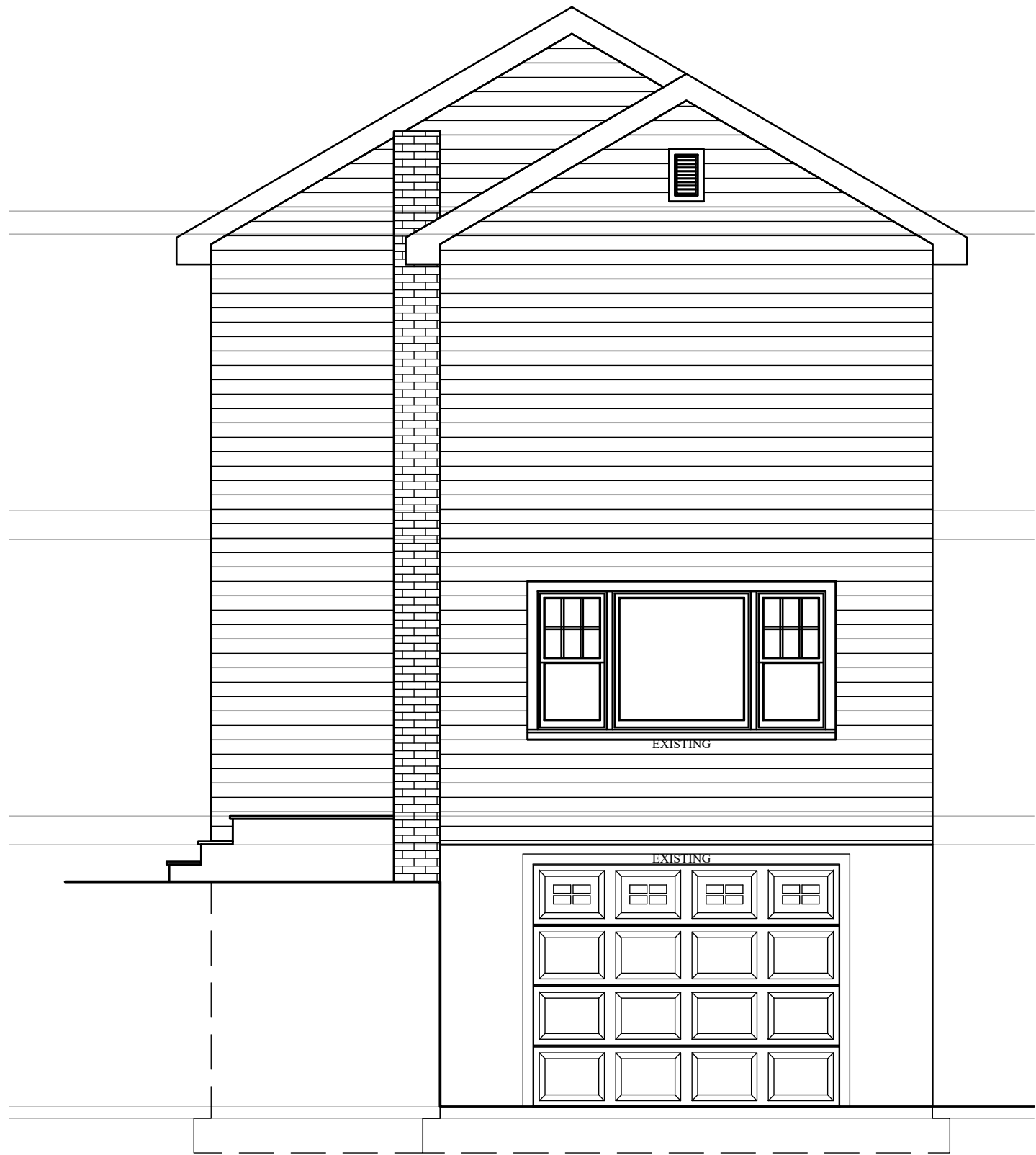
8

9

10

3 EXISTING REAR ELEVATION  
SCALE: 1/4"=1'-0"

R E S R E A L D E S I G N S



2 EXISTING LEFT ELEVATION  
SCALE: 1/4"=1'-0"



4 EXISTING RIGHT ELEVATION  
SCALE: 1/4"=1'-0"

PROPERTY INFORMATION:  
PREPARED BY: JMS ENGINEERING SERVICES, PC  
PROJECT LOCATION: 4 BROOKSIDE LANE  
PROJECT TOWN: DOBBS FERRY, NY  
BUILDING DEPARTMENT: DOBBS FERRY  
PROPERTY IDENTIFICATION: 3.100-85-11  
OCCUPANCY: SINGLE FAMILY DWELLING  
ZONING CODE: OF6

ISSUE:	DATE:	BY:	CHECKED:	APPROVED:
0	05/17/2022	JMS	JMS	JMS
1	10/02/2022	JMS	JMS	JMS

SEAL &  
SIGNATURE:



JOHN M. SCAVELLI PE LICENSE # 095178  
JMS ENGINEERING SERVICES, PC

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON  
UNLESS DIRECTED BY A REGISTERED ARCHITECT  
OR PROFESSIONAL ENGINEER TO ALTER THIS ITEM  
IN ANY WAY.

PROJECT:

**4 Brookside Lane  
Dobbs Ferry, NY 10522**

DRAWING TITLE:

**EXISTING  
ELEVATIONS**

**A-200**

NOTES:





**RESREAL DESIGNS**  
Architecture & Engineering Services  
For Homes

[www.ResReal.com](http://www.ResReal.com)  
(914)-330-7712  
361 Route 202 - Suite #7  
Somers, NY 10589

PROPERTY INFORMATION:  
PREPARED BY: JMS ENGINEERING SERVICES, PC  
PROJECT LOCATION: 4 BROOKSIDE LANE  
PROJECT TOWN: DOBBS FERRY, NY  
BUILDING DEPARTMENT: DOBBS FERRY  
PROPERTY IDENTIFICATION: 3.100-85-11  
OCCUPANCY: SINGLE FAMILY DWELLING  
ZONING CODE: OF-6

ISSUE	DATE	BY	CHECKED	APPROVED
0	05/17/2022	JMS	JMS	JMS
1	10/02/2022	JMS	JMS	JMS

SEAL &  
SIGNATURE:



JOHN M. SCAVELLI PE LICENSE # 095178  
JMS ENGINEERING SERVICES, PC

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON  
UNLESS DIRECTED BY A REGISTERED ARCHITECT  
OR PROFESSIONAL ENGINEER TO ALTER THIS ITEM  
IN ANY WAY.

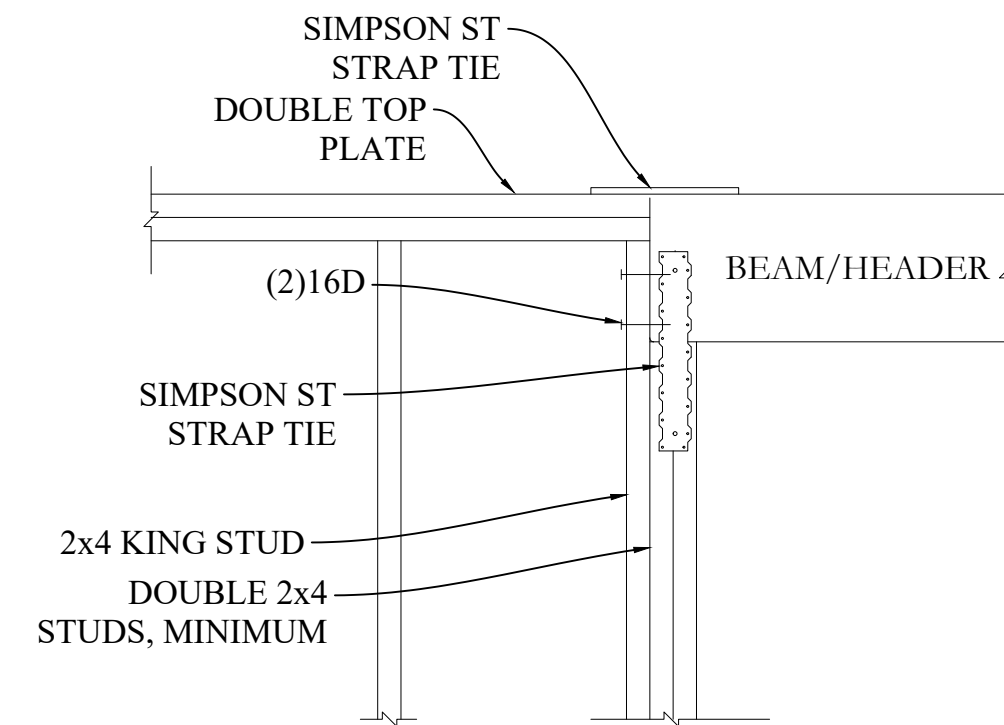
PROJECT:  
**4 Brookside Lane  
Dobbs Ferry, NY 10522**

DRAWING TITLE:  
**ELEVATIONS  
SHEET 1**

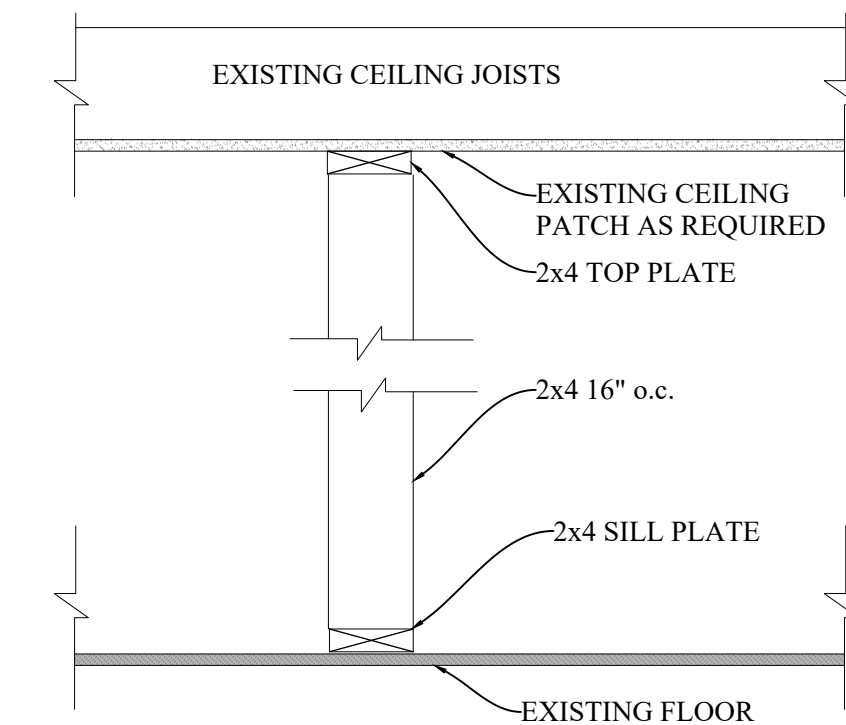
**A-201**

NOTES:

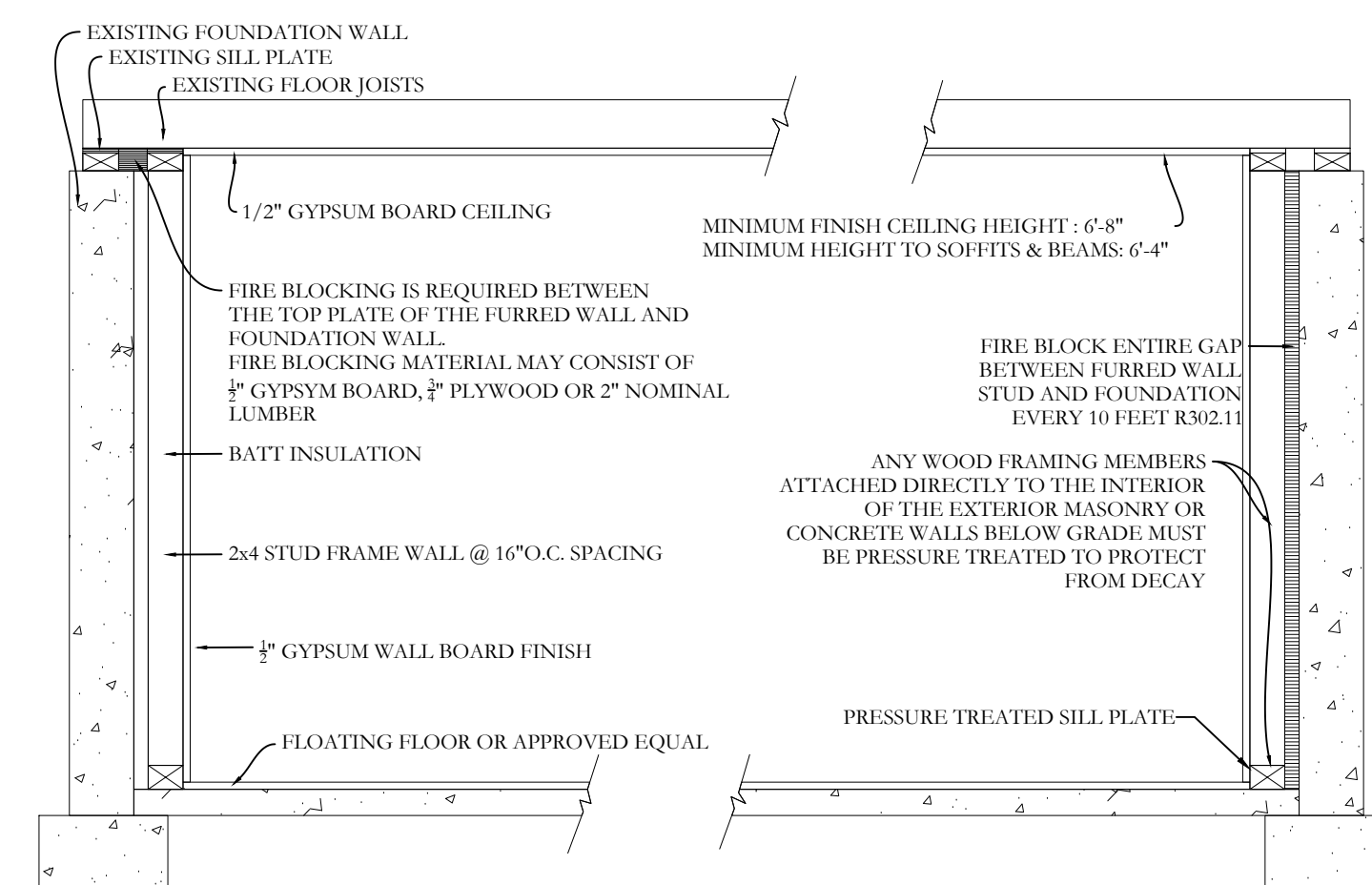




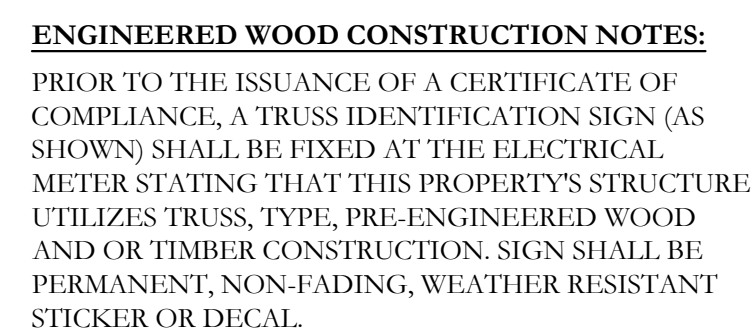
SCALE: NTS



SCALE: NTS



NTS



N'TS