

SCALE: 1"=10'

PROPOSED WORK SITE PLAN

SCALE: 1"=10'

THIS DRAWING AND CONTAINED ON IT DESIGN IS A PROPERTY OF AMG ARCHITECTURE & DESIGN, LLC. ANY USE OF THESE DOCUMENTS WITHOUT THE CONSENT OF THE ARCHITECT, OTHER THAN FOR THE ADDRESS CONTAINED IN THE PROJECT TITLE, IS PROHIBITED AND WILL RESULT IN LEGAL ACTIONS. IT IS ALSO ILLEGAL TO TRACE, MODIFY AND/OR USE THESE DOCUMENTS FOR ANY OTHER PURPOSE WITHOUT WRITTEN APPROVAL OF THE ARCHITECT. ALL RIGHTS RESERVED, AND THIS DRAWING IS LOANED WITH ABOVE UNDERSTANDING.

REVISIONS:

03/15/2021 -ISSUED FOR PERM
AND CONSTRUCTION

**RENOVATIONS & MODIFICATIONS
HARDING RESIDENCE
24 BELLWOOD AVE.
DOBBS FERRY, NEW YORK 10622**

- | | |
|-------|--|
| A-0.0 | LIST OF DRAWINGS, LOCATION PLAN, GENERAL NOTES, EXISTING SURVEY, PROPOSED SITE PLAN, BUILDING CODE NOTES, ZONING NOTES |
| A-0.1 | PROPOSED DESIGN BASEMENT PLAN, 1st FLOOR PLAN, ATTIC PLAN WINDOW SCHEDULE, NOTES |
| A-1.1 | DEMOLITION PLANS, BASEMENT PLAN, 1st FLOOR PLAN, ATTIC PLAN |
| A-2.1 | ATTIC FRAMING PLAN, PLUMBING RISER DIAGRAM |
| A-3.1 | BUILDING ELEVATIONS |
| A-4.1 | BUILDING SECTION #1 |
| A-4.2 | BUILDING SECTION #2 |
| A-5.1 | SECOND FLOOR BATHROOM ALTERNATE 2-nd FLOOR PLAN, SECTION #1 |
| A-6.1 | ELECTRICAL PLANS |



LIST OF DRAWINGS

SITE PLAN

LOCATION PLAN

ZONING INFORMATION

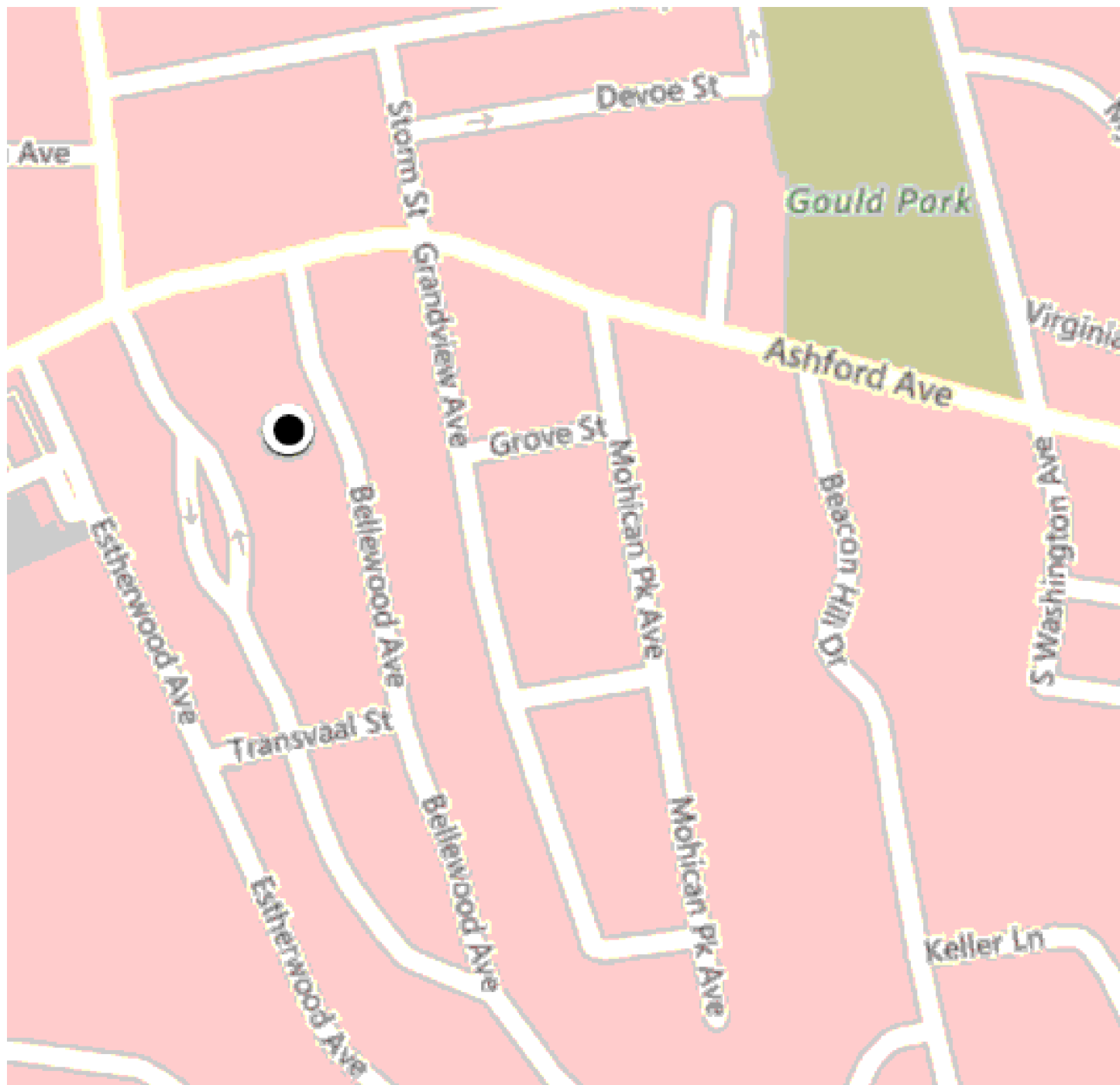
DATE: 02/09/2021

SCALE:

PROJECT NO. 2101

DRAWING:

A-0.0



LOCATION PLAN

| MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS (in pounds per square foot) | |
|---|-----------|
| USE | LIVE LOAD |
| Exterior balconies | 60 |
| Decks | 40 |
| Passenger Vehicle garages | 50 |
| Attics without storage | 10 |
| Attics with storage | 20 |
| Rooms other than sleeping rooms | 40 |
| Sleeping rooms | 30 |
| Guardrails and handrails | 200 |

FOR SE: 1 pound per square foot = 0.0479kN/m²,
 1 inch = 645mm.; 1 pound = 4.45N

| CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA | | | | | | | | | |
|---|----------------|-------------------------------|------------------------|------------------------|----------------------|--------------------------|---|------------------|-------|
| GROUND SNOW LOAD | WIND | SEISMIC DESIGN CATEGORY | SUBJECT TO DAMAGE FROM | | | WINTER DESIGN TEMP | ICE SHIELD UNDERLAY- MENT REQUIRED | FLOOD HAZARDS | |
| | SPEED (MPH) | | WEATHER- RING | FROST LINE DEPTH | TERMITE | | | | DECAY |
| 35 psf | 120 mph | 35% G | severe | 42" | moderate to heavy | slight to moderate | 11' | yes | no |

SMOKE DETECTORS

SMOKE AND CO DETECTORS SHALL BE INSTALLED AS PER THE RESIDENTIAL NEW YORK STATE BUILDING CODE SECTION R313. EXACT LOCATIONS TO BE DETERMINED BY CONTRACTOR.
SMOKE ALARMS, CARBON MONOXIDE DETECTORS TO COMPLY WITH R 314.1 AND R 315.1 OF IRC

EGRESS WINDOWS

R3101.1 MINIMUM OPENING AREA - ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT.
EXCEPTION: GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQ. FT.
R3101.2 MINIMUM OPENING HEIGHT - THE MINIMUM OPENING HEIGHT SHALL BE 24".
R3101.3 MINIMUM OPENING WIDTH - THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20".
R3101.4 OPERATIONAL CONSTRAINTS - EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS OR TOOLS.

BUILDING CODE INFORMATION:

THIS DOCUMENTS ADDRESS ONLY PRINCIPAL BUILDING ON THE LOT (1 FAMILY -RESIDENTIAL R-3 BUILDING)

EXISTING CONSTRUCTION: R3 -RESIDENTIAL (PRIMARY USE)
NEW CONSTRUCTION: R3 -RESIDENTIAL (PRIMARY USE)

1. USE GROUP CLASSIFICATION

| | | |
|----------------|-------------------------------|---------------------------|
| MAIN USE: | R-3, RESIDENTIAL (ONE FAMILY) | RENOVATION AND ALTERATION |
| ACCESSORY USE: | U, GARAGE (IN BASEMENT) | NOT IN CONTRACT |

2. CONSTRUCTION TYPE:

EXISTING: V-B - CONSTRUCTION IS BY ANY MATERIAL PERMITTED BY CODE (TABLE 601)
(COMBUSTIBLE - UNPROTECTED)

NEW: V-B - CONSTRUCTION IS BY ANY MATERIAL PERMITTED BY CODE (TABLE 601)
(COMBUSTIBLE - UNPROTECTED)

BUILDING HEIGHT : 25'-8" (TO TOP OF ROOF - EXISTING), 17'-4" (MIDPOINT OF SLOPE)
BUILDING AREA : 1095.3 SF (FOOT PRINT - EXISTING)

5. SECOND FLOOR AREA: 647 SF (EXISTING ATTIC: 647 SF, ADDITION: 0 SF)
6. BASEMENT FINISHED: 82.4 SF NEW, 284.7 SF EXISTING = TOTAL FINISHED BASEMENT: 367.1 SF
7. SPRINKLER PROTECTION - NO

GOVERNING BUILDING CODES:

2020 BUILDING CODE OF NEW YORK STATE
2020 RESIDENTIAL CODE OF NEW YORK STATE
2020 PLUMBING CODE OF NEW YORK STATE
2020 MECHANICAL CODE OF NEW YORK STATE
2020 FUEL GAS CODE OF NEW YORK STATE
2020 FIRE CODE OF NEW YORK STATE
2020 PROPERTY MAINTENANCE CODE OF NEW YORK STATE
2020 EXISTING CODE OF NEW YORK STATE
2020 ENERGY CONSERVATION CODE OF NEW YORK STATE

ZONING INFORMATION:

ZONING DISTRICT: RESIDENCE - OF-6

1. LOT SIZE: 5,283 SF (MINIMUM REQUIRED: 5,000 SF)
2. SETBACKS – MAIN HOUSE: (EXISTING NOT COMPLYING).
PROVIDED: FRONT 20'-0", ONE SIDE 10'-0", SECOND SIDE 10'-0", REAR 25'-0"
PROVIDED: FRONT 23'-6", ONE SIDE 4'-0", SECOND SIDE 10'-0", REAR 33'-6"
3. CORNICE OR ROOF PROJECTIONS: N/A, (EXISTING TO REMAIN)
4. MIN. LOT WIDTH: 50 FT, (PROVIDED: 50 FT) MIN. LOT DEPTH: 100 FT, (PROVIDED: 101.47 FT)
5. MAXIMUM COVERAGE BY BUILDINGS : REQUIRED 27%,
PROVIDED: $1,095 \text{ SF} / 5,283 \text{ SF} = 0.21 = 21\%$ (EXISTING)
6. MAXIMUM COVERAGE BY IMPERVIOUS SURFACES: REQUIRED 54%
PROVIDED $2,691 \text{ SF} / 5,283 \text{ SF} = 0.91 = 51\%$ (EXISTING: HOUSE DECK/PATIO, DRIVEWAY)
7. FLOOR AREA RATIO (FAR) –EXISTING BUILDING:
PROVIDED $1742 / 5283 = 0.33$
1-ST FLOOR AREA: 1095 SF (EXISTING) + $0'-0"$ (NEW) = 1095 SF
2ND FLOOR AREA: 647 SF (EXISTING) + 0 SF (NEW) = 647 SF (NEW LIVING SPACE)
FINISHED BASEMENT: 0 SF (EXISTING)
TOTAL FLOOR AREA = $1095 + 647 = 1742 \text{ SF}$
8. BUILDING HEIGHT: REQUIRED 28 FT TO EAVE MAX., PROVIDED 13"-6" (EXISTING),
(NO CHANGE IN THIS DESIGN)

N1101.2 ENERGY EFFICIENCY COMPLIANCE

ESCHECK IS NOT REQUIRED SINCE DESIGNED STRUCTURE COMPLIES WITH PRESCRIPTIVE VALUES IN TABLE N1102.1.2 (R402.1.2) OF RESIDENTIAL BUILDING CODE OF NEW YORK STATE.
CLIMATE ZONE : 4

MINIMUM REQUIRED BUILDING ENVELOPE THERMAL COMPONENTS:

WINDOWS AND DOORS MAX. U = 0.35

CEILINGS BELOW ATTIC MIN. R-49,
PROVIDED: R=49 BLOWN-IN INSULATION

PROVIDED : 5.5" CLOSED CELL CAVITY INSULATION =R-38.5 + 1" CONTINUOUS POLYSTYRENE =R-5, TOTAL = R-43.5

EXTERIOR WALLS MIN. R-20 (CAVITY) OR R-13 (CAVITY) + R-5 (CONTINUOUS)
PROVIDED: R-13 BATT. + R-5 EXTRUDED POLYSTYRENE -1" THICK

PROVIDED: N/A

BASEMENT WALLS: R-10 CONTINUOUS OR R-13 CAVITY INSULATION
PROVIDED: (EXISTING TO REMAIN - AREA NOT IN SCOPE OF ESSENTIAL WORK)

INDOWNS ARE TO BE SELECTED BY CONTRACTOR/ OWNER AND SHALL MEET U VALUE REQUIREMENT SHOWN ABOVE.

SEE TYPICAL WALL SECTIONS FOR ACTUAL THERMAL ENVELOPE COMPONENTS DESIGNED. ALL INTERIOR GYPSUM WALL SURFACES TO BE FULLY PAINTED WITH LATEX PAINT TO CREATE VAPOR BARRIER ON THE WALL SURFACE. PENETRATIONS IN TO EXTERIOR WALLS AND CEILINGS CAVES TO BE TIGHTLY SEALED WITH APPROVED CAULKING OR EXPANDABLE FOAM SEALERS. ALL JOINTS BETWEEN EXTERIOR WALLS AND FLOORS ABOVE UNHEATED SPACES SHALL BE SEALED TIGHT AGAINST VAPOR PENETRATION IN TO THE WALLS. ALL WALLS BETWEEN HEATED AND UNHEATED SPACES SHALL BE TREATED AS EXTERIOR WALLS.

THIS DRAWING AND CONTAINED ON IT DESIGN IS A PROPERTY OF AMG ARCHITECTURE & DESIGN, LLC. ANY USE OF THESE DOCUMENTS WITHOUT THE CONSENT OF THE ARCHITECT, OTHER THAN FOR THE ADDRESS CONTAINED IN THE PROJECT TITLE, IS PROHIBITED AND WILL RESULT IN LEGAL ACTION. IT IS ALSO ILLEGAL TO TRACE, MODIFY AND/OR USE THESE DOCUMENTS FOR ANY OTHER PURPOSE WITHOUT WRITTEN APPROVAL OF THE ARCHITECT. ALL RIGHTS RESERVED, AND THIS DRAWING IS LOANED WITH ABOVE UNDERSTANDING.

REVISIONS:

03/15/2021 -ISSUED FOR PERMIT
AND CONSTRUCTION

RENOVATIONS & MODIFICATIONS
HARDING RESIDENCE
24 BELLWOOD AVE.
DOBBS FERRY, NEW YORK 10522

amg
architecture and design LLC

Tel/Fax : (860) 305-5952
76 JOHNSON ROAD, MARLBOROUGH, CT 06447

PROPOSED
DESIGN

BASEMENT PLAN
1ST FLOOR PLAN
ATTIC PLAN

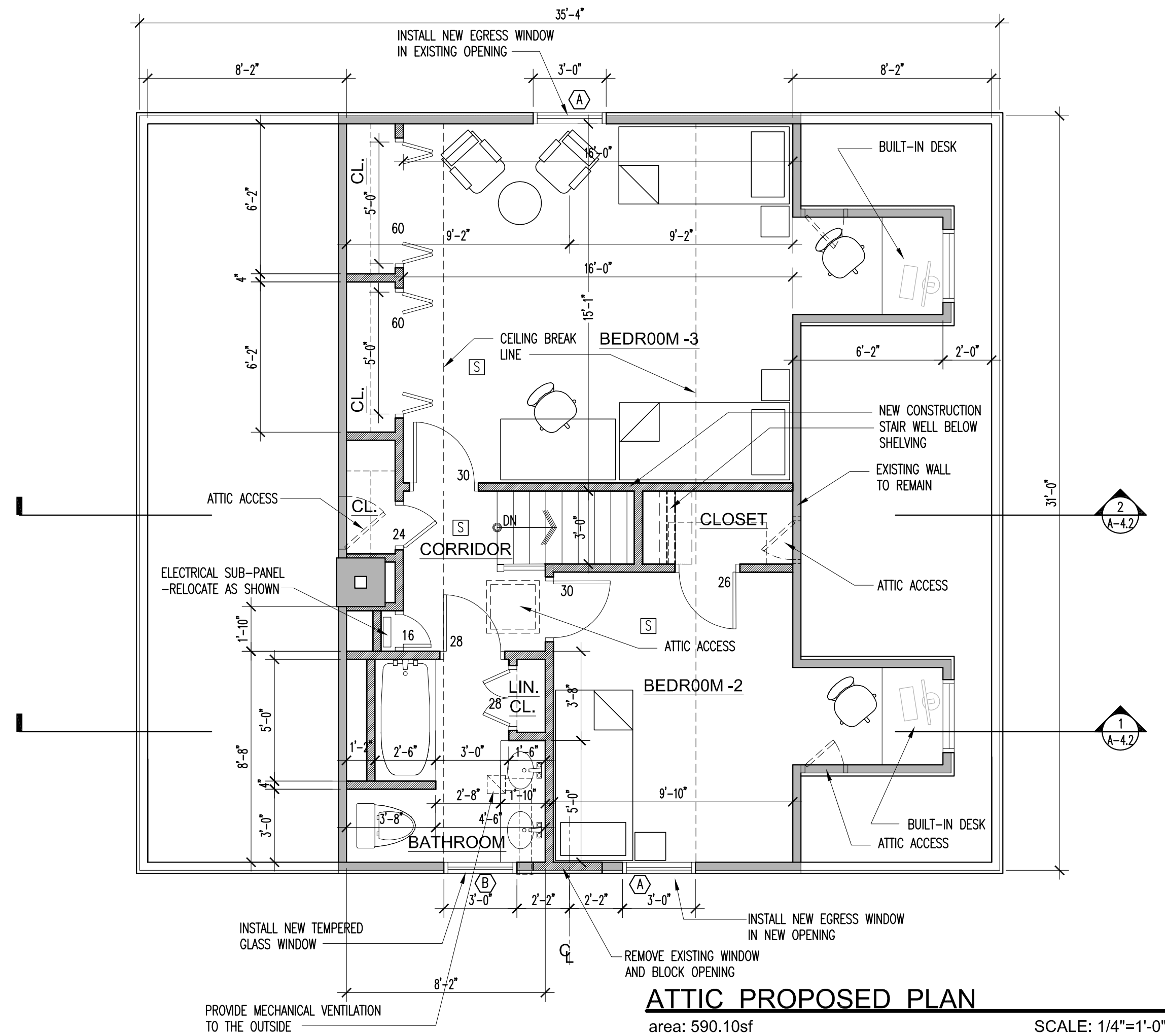
DATE: 02/09/2021

SCALE:

PROJECT NO. 2101

DRAWING:

A-0.1



| window schedule | | | | | | |
|-----------------|--------------|--------|-------------|-----------|----------|----------------|
| MARK | MANUFACTURER | SERIES | TYPE | PRODUCT # | R.O. | NOTES |
| (A) | ANDERSEN | 100 | CASEMENT | 100CS3040 | 36"x 48" | EGRESS |
| (B) | ANDERSEN | 100 | CASEMENT | 100CS3040 | 36"x 48" | TEMPERED GLASS |
| (C) | ANDERSEN | 100 | CASEMENT | 100CS2620 | 30"x 24" | - |
| (D) | ANDERSEN | 100 | SINGLE-HUNG | 100SH2636 | 30"x 42" | - |

SMOKE AND CO DETECTORS

SMOKE AND CO DETECTORS SHALL BE INSTALLED AS PER THE RESIDENTIAL CODE OF NEW YORK STATE SECTION R24 & R315. EXACT LOCATIONS TO BE DETERMINED BY ELECTRICAL CONTRACTOR.
SMOKE ALARMS, CARBON MONOXIDE DETECTORS IN NEW SLEEPING AREAS ON ATTIC FLOOR ARE LOCATED ON DRAWINGS. ELECTRICAL CONTRACTOR TO VERIFY REMAINING EXISTING HOME AREAS FOR REQUIRED UPDATE COMPLIANCE WITH R 314 AND R 315 OF RESIDENTIAL CODE OF NEW YORK STATE AND EXISTING BUILDING CODE OF NEW YORK STATE AND SECTION 915 OF FIRE CODE OF NEW YORK STATE

NOTE:

1.) MEP NOTES

ALL ELECTRICAL, PLUMBING, HVAC WORK TO BE PERFORM ACCORDINGLY TO THE NEW YORK STATE BUILDING CODES AND LOCAL CODES.
LOCATION OF OUTLETS AND ELECTRICAL FIXTURES TO BE DETERMINED IN THE FIELD BY OWNER.
ALL PLUMBING FIXTURES AND EQUIPMENT TO BE SELECTED BY OWNER.
ALL MECHANICAL DESIGN AND EQUIPMENT TO BE SELECTED BY OWNER.

2.) MEP DOCUMENTATION FOR PERMITS WILL BE PROVIDED BY RELATIVE DISCIPLINE CONTRACTORS.

LEGEND:

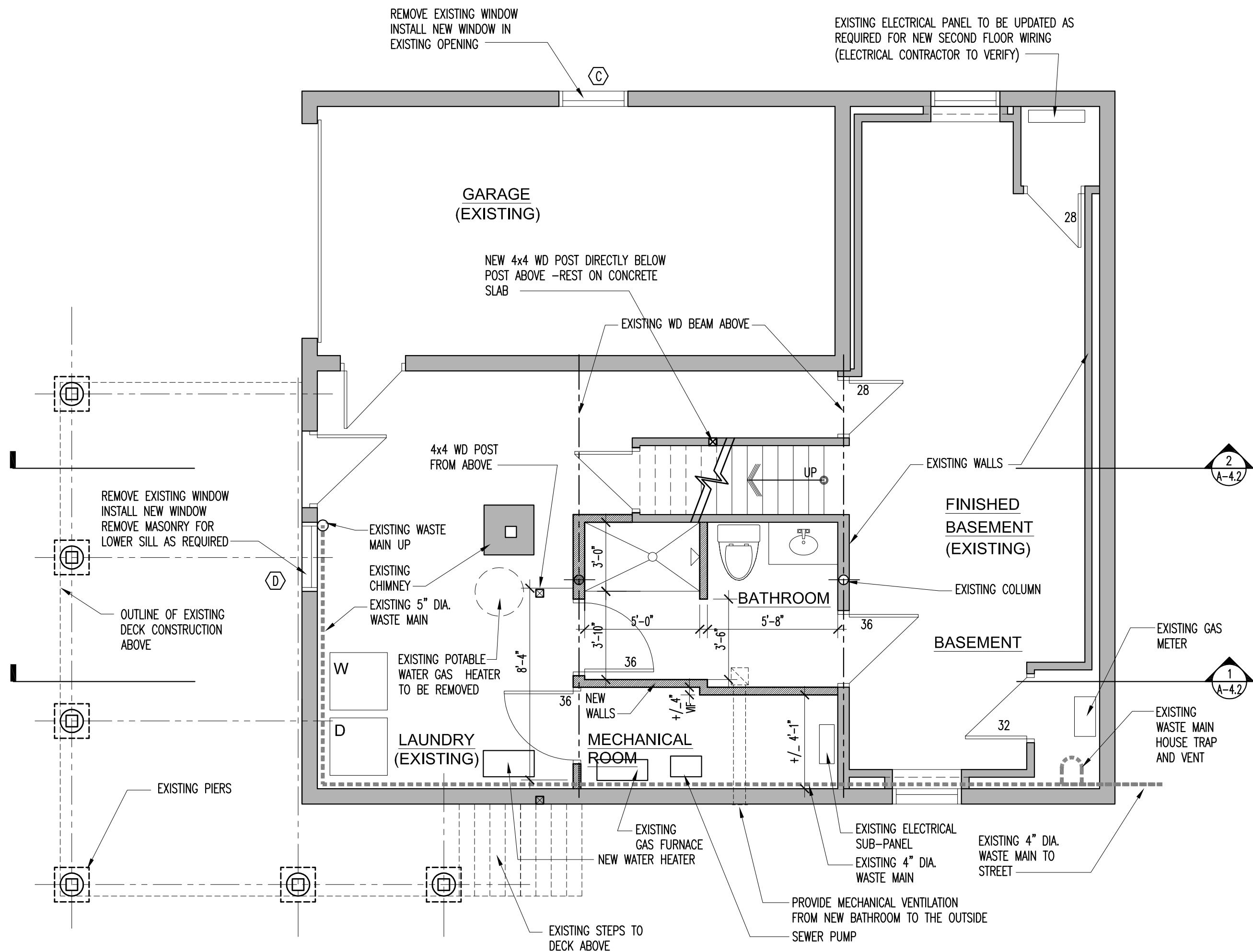
EXISTING CONSTRUCTION TO REMAIN
EXISTING EXTERIOR WALL WITH SIDING TO REMAIN
NEW CONSTRUCTION

EXISTING DOOR AND FRAME TO REMAIN
EXISTING WINDOW CONSTRUCTION TO REMAIN

NEW DOOR SIZE
NEW DOOR AND FRAME IN EXISTING OR NEW WALL CONSTRUCTION
NEW WINDOW IN EXISTING OR NEW WALL CONSTRUCTION

BUILDING SECTION KEY NUMBER

SMOKE/MONOXIDE DETECTOR



BASEMENT PROPOSED PLAN

existing finished basement area: 285 sf
proposed new finished basement area: 82 sf
TOTAL finished basement area: 367 sf

SCALE: 1/4"=1'-0"

THIS DRAWING AND CONTAINED ON IT DESIGN IS A PROPERTY OF AMG ARCHITECTURE & DESIGN, LLC. ANY USE OF THESE DOCUMENTS WITHOUT THE CONSENT OF THE ARCHITECT, OTHER THAN FOR THE ADDRESS CONTAINED IN THE PROJECT TITLE, IS PROHIBITED AND WILL RESULT IN LEGAL ACTIONS. IT IS ALSO ILLEGAL TO TRACE, MODIFY AND/OR USE THESE DOCUMENTS FOR ANY OTHER PURPOSE WITHOUT WRITTEN APPROVAL OF THE ARCHITECT. ALL RIGHTS RESERVED, AND THIS DRAWING IS LOANED WITH ABOVE UNDERSTANDING.

REVISIONS:

03/15/2021 -ISSUED FOR PERMIT
AND CONSTRUCTION

RENOVATIONS & MODIFICATIONS
HARDING RESIDENCE
24 BELLWOOD AVE.
DOBBS FERRY, NEW YORK 10522

amg
architecture and design LLC
Tel/Fax : (860) 305-5952
76 JOHNSON ROAD, MARLBOROUGH, CT 06447

DEMOLITION
PLANS

BASEMENT PLAN
1ST FLOOR PLAN
ATTIC PLAN

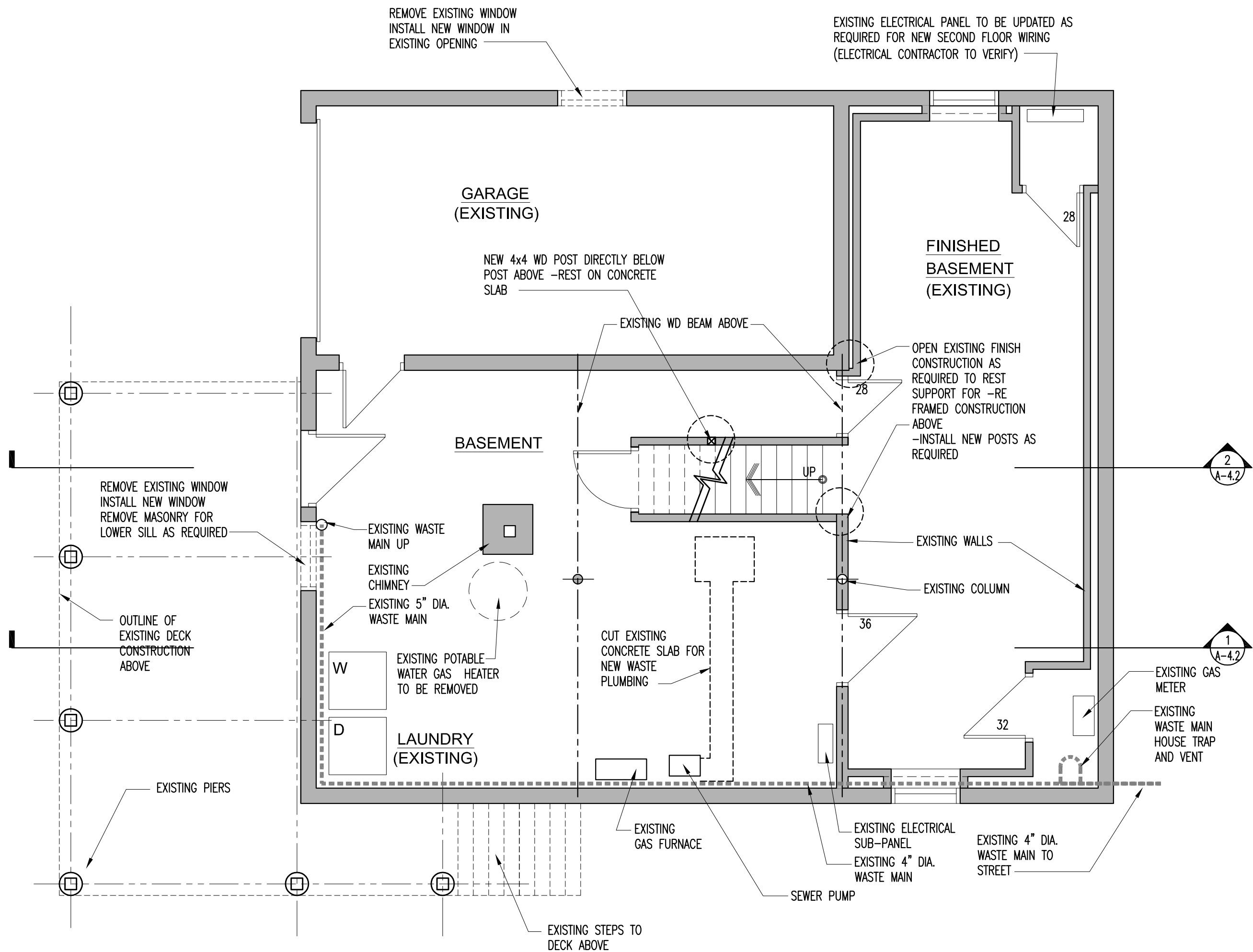
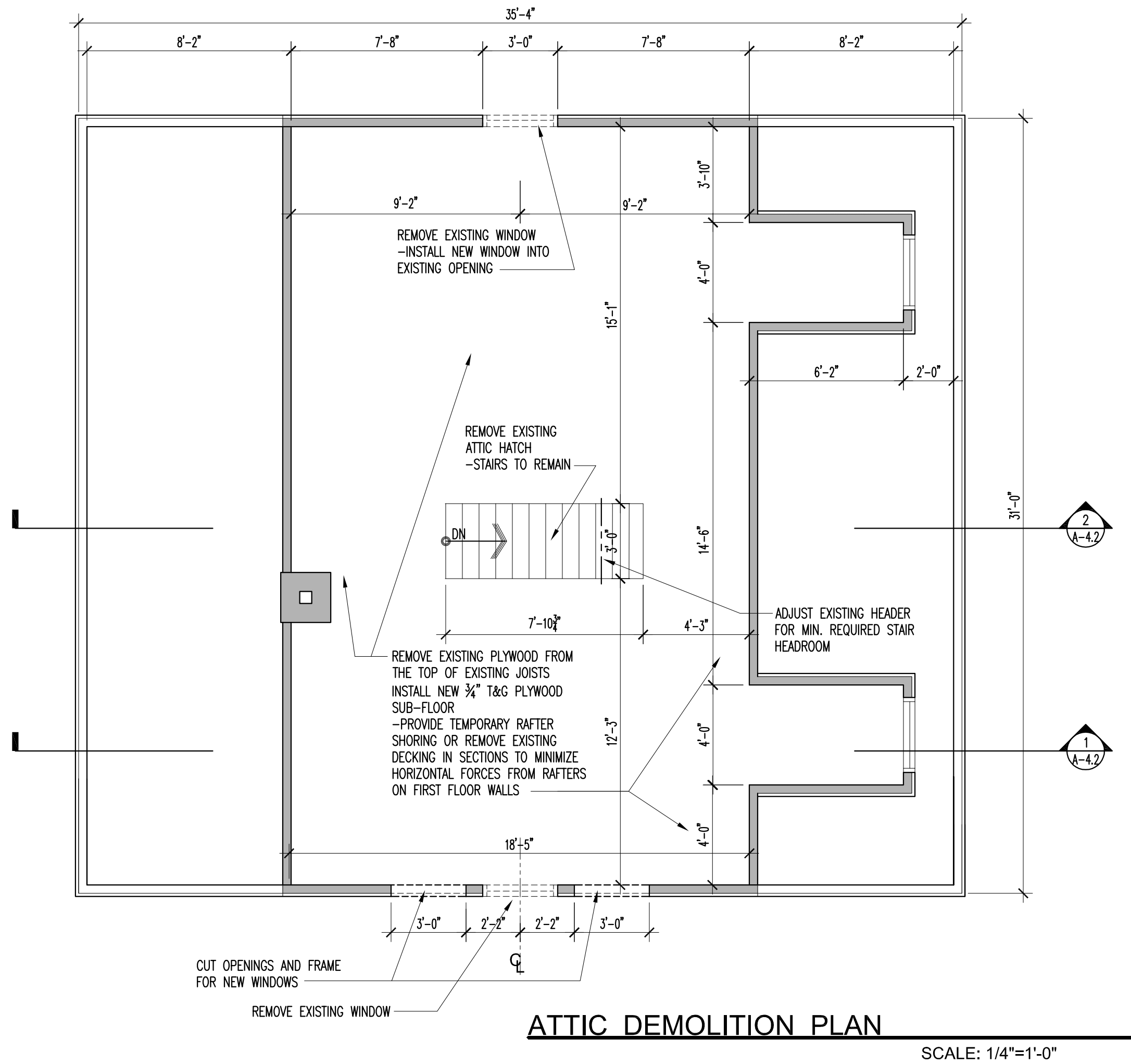
DATE: 02/09/2021

SCALE:

PROJECT NO. 2101

DRAWING:

A-1.1



GENERAL DEMOLITION NOTES:

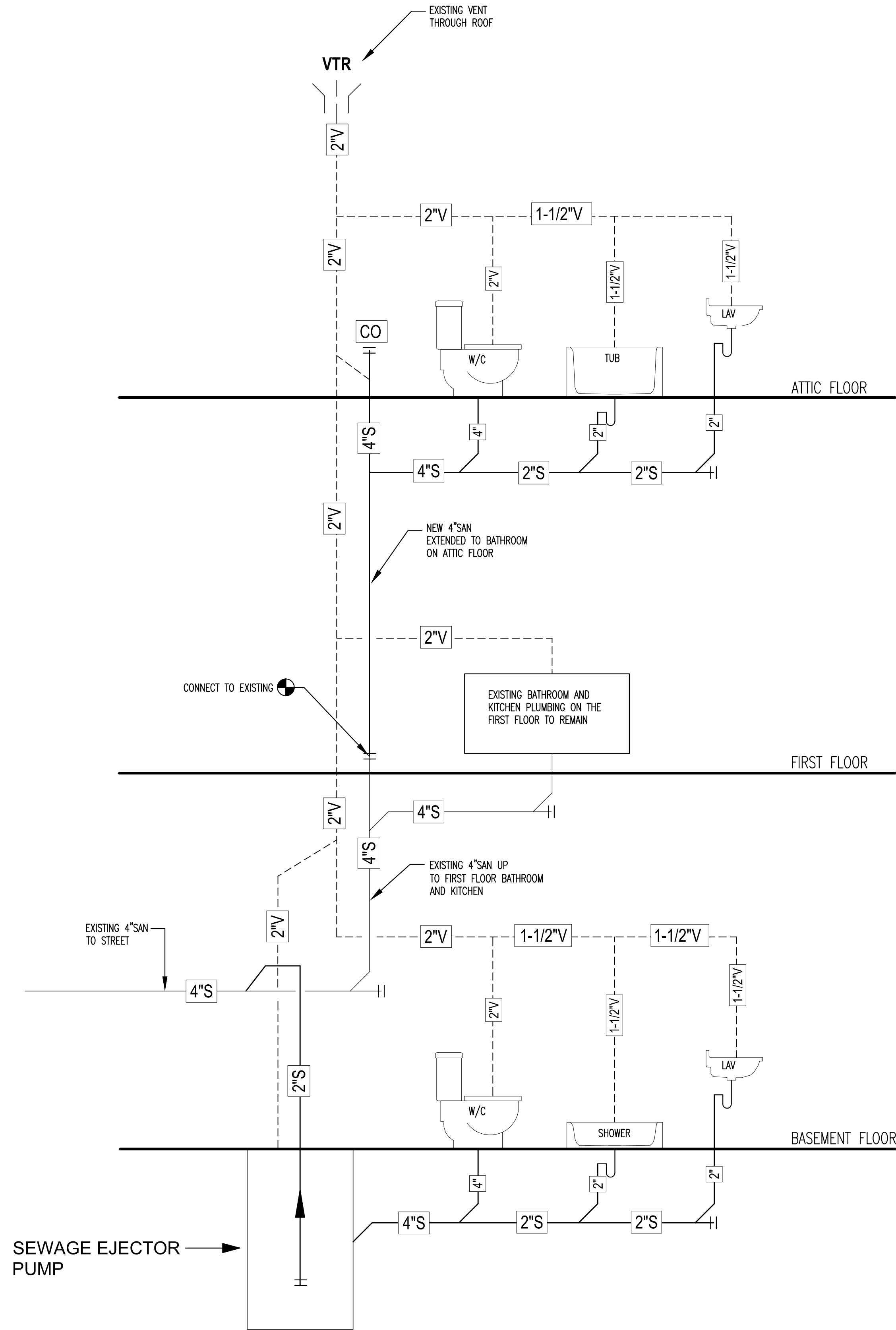
- SEE REMAINDER OF DOCUMENTATION FOR ADDITIONAL NECESSARY DEMOLITION WORK. (CUTTING, TRENCHING FOR NEW ELECTRICAL, PLUMBING, HVAC CONSTRUCTION)
- COORDINATE NEW CONSTRUCTION DRAWINGS.
- DISCONNECT ALL ELECTRICAL POWER AS REQUIRED BEFORE START OF DEMOLITION WORK.
- DISCONNECT/ SHUT-OFF ALL WATER, GAS, PLUMBING AS REQUIRED.
- PROVIDE TEMPORARY LIGHTING AND POWER BEFORE START OF ANY WORK ON THE SITE.
- ALL DEMOLISHED MATERIAL AND DISMANTLED OR REMOVED EQUIPMENT TO BE REMOVED FROM CONSTRUCTION SIDE BY CONTRACTOR .
- CONSTRUCTION SITE TO BE FREE OF ALL DERBIES AND DUST AT THE COMPLETION OF DEMOLITION WORK.
- REMOVE ALL FLOOR FINISHES WHERE SHOWN ON DRAWINGS AND ALL FLOOR ADHESIVE TO CLEAN CONCRETE OR WOOD SUB-FLOOR CONSTRUCTION.
- REMOVE ALL SUSPENDED CEILING GRID, TILES, GRID SUSPENSION WIRES ETC..
- PROTECT EXISTING STRUCTURAL SUPPORT AND STRUCTURAL FRAMING DURING DEMOLITION WORK REGARDLESS IF SHOWN OR NOT ON PLANS.
- PROVIDE TEMPORARY SHORING AS REQUIRED.

EXISTING HAZARDOUS MATERIAL REMOVAL AND DEMOLITION NOTES:

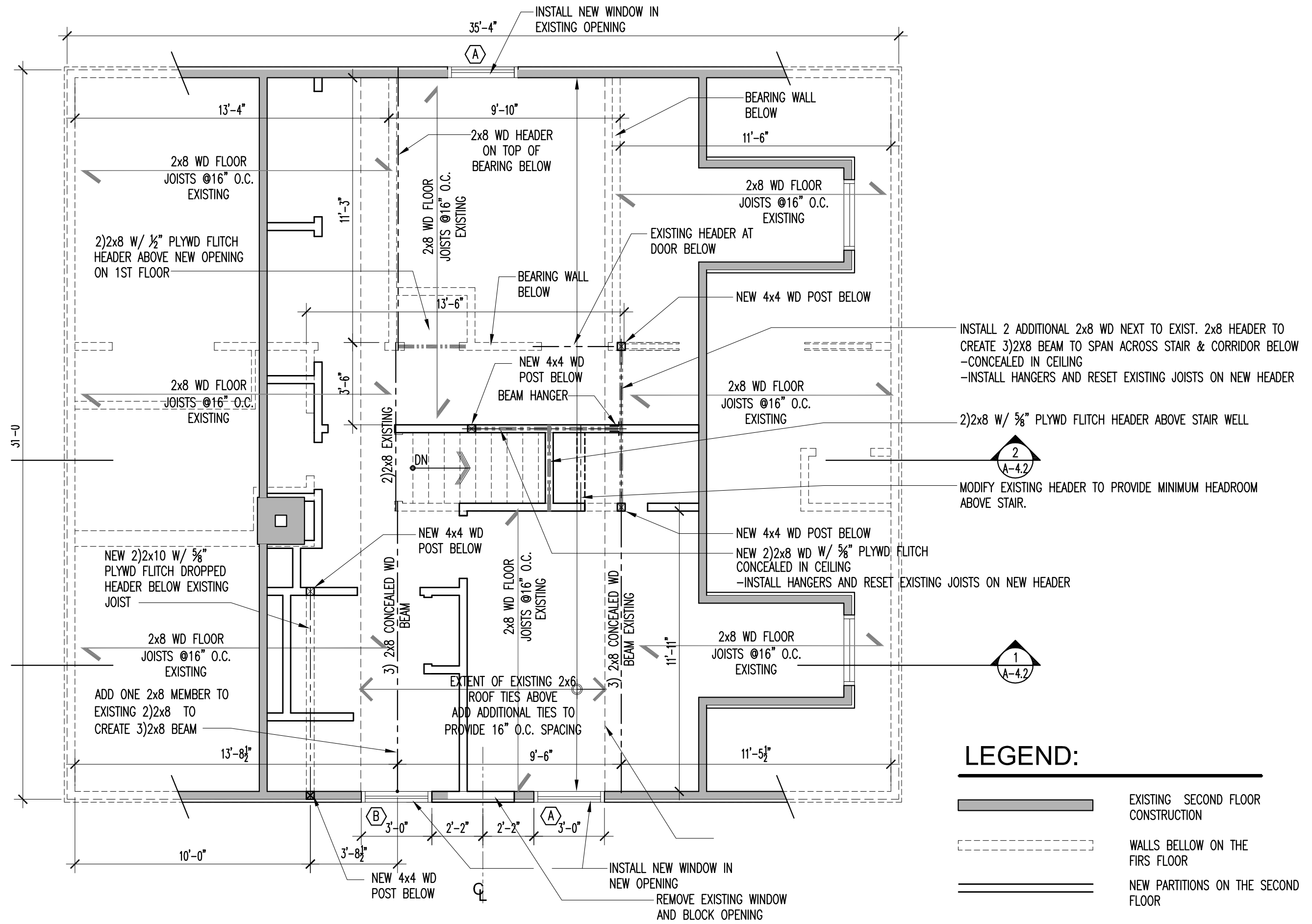
- (ASBESTOS, LEAD, etc.)
- TESTING FOR HAZARDOUS MATERIALS EXISTING ON PREMISES IS TO BE DONE BEFORE THE START OF ANY DEMOLITION WORK SHOWN ON THESE DRAWINGS.
 - IF THE EXISTING CONSTRUCTION AT THE PROPOSED SITE HAS BEEN TESTED POSITIVELY FOR EXISTENCE OF HAZARDOUS MATERIALS THE HAZARDOUS MATERIAL REPORT TO BECOME THE BASES FOR DOCUMENTATION FOR REMOVAL OF THESE MATERIALS. THIS DOCUMENTATION IS TO BE PROVIDED BY SEPARATE LICENSED ENVIRONMENTAL ENGENDER AND IS NOT A PART OF THIS DOCUMENTATION.
 - ABATEMENT OF ALL EXISTING HAZARDOUS MATERIALS FROM CONSTRUCTION SITE IS TO BE PERFORMED BEFORE THE START OF ACTUAL DEMOLITION WORK.
 - ALL TESTING AND ABETMENT OF HAZARDOUS MATERIALS ARE TO BE DONE BY THE OWNER AND ARE NOT RESPONSIBILITY OF THIS ARCHITECT.

DEMOLITION LEGEND:

- EXISTING WINDOWS AND DOORS TO BE REMOVED
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING MASONRY OR CONCRETE CONSTRUCTION TO BE REMOVED
- EXISTING STUD PARTITIONS TO BE REMOVED
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING WINDOW CONSTRUCTION TO REMAIN



PLUMBING RISER DIAGRAM
NOT TO SCALE



SECOND FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"

- NOTES:**
- 1.) EXISTING PLYWOOD DECK IN ATTIC AREA TO REMAIN. INSTALL ADDITIONAL 3/8" PLYWOOD SUB-FLOOR OVER EXISTING DECK. GLUE TO EXISTING DECK WITH CONSTRUCTION. BEADS OF GLUE TO BE 4" O.C. MAX. AND FASTEN 16" MIN. IN ALL DIRECTIONS & 8" MIN ALONG JOISTS.
 - 2.) ADJUST STAIR RISERS FOR ADDITIONAL FLOOR THICKNESS TO COMPLY W/ CODE.
 - 3.) SUB-FLOOR ALTERNATE: REMOVE EXISTING PLYWOOD. INSTALL NEW 3/4" CDX T&G PLYWOOD. GLUE AND NAIL TO EXISTING FLOOR JOISTS 8" O.C. MIN.
 - 4.) INSTALL SOLID CONTINUOUS 4X4 WD POST AT SUPPORTS FOR ALL NEW BEAMS. EXTEND DOWN TO FOUNDATION WALL OR SOLID EXISTING CONCRETE SLAB.
 - 5.) INSTALL C185 18-GAUGE SLANT NAIL FACE MOUNT JOIST HANGERS WHERE POSSIBLE.
 - 6.) INSTALL C 185 18-GAUGE FRAMING ANGLE ON BOTH SIDES OF EXISTING JOIST AT FLUSH BEAM CONNECTIONS WHERE ACCESSIBLE DUE TO EXISTING FLOOR DECK REPLACEMENT.

STRUCTURAL ANALYSIS

1.) EXISTING ATTIC WAS CONSIDERED FOR ATTIC STORAGE AREA AT THE CONSTRUCTION TIME SO IT HAS BEEN DESIGNED FOR 30PSF LIVE LOAD PER CODE AT THAT TIME. NEW BEDROOMS IN THIS AREA STILL REQUIRES FRAMING DESIGNED FOR 30 PSF, SO SO IT CAN BE ASSUMED THAT EXISTING FRAMING OF ATTIC FLOOR IS SUFFICIENT FOR THE NEW USE. EXCEPT IN THE AREA OF ALTERATION ON THE FIRST FLOOR. FOR BEDROOM LOAD 2X8 DF#2 SPANS 14'-2", AND ALL SPANS ARE LESS THAN THAT.

2.) THE ONLY PLACE WHERE THE LOADS INCREASE IS THE NEW BATHROOM, BUT AFTER INSTALLATION OF NEW BEAM BELOW CEILING BETWEEN KITCHEN AND DINING ROOM, ATTIC FLOOR JOISTS SPAN ONLY ABOUT 10'-0", AND 2X8 DF#2 SPAN 12'-9" FOR 40PSF LIVE. THIS ALLOWS ALSO TO USE HEAVY TILES IN THE NEW BATHROOM.

3.) ALSO WORTH NOTING IS THE FOLLOWING FACT THAT THE HOUSE IS OVER 60 YEARS OLD, AND LUMBER WAS BETTER BACK THEN, SO IT'S PROBABLY NOT #2 BUT RATHER EQUAL TO CONTEMPORARY #1 OR SS.



THIS DRAWING AND CONTAINED ON IT DESIGN IS A PROPERTY OF AMG ARCHITECTURE & DESIGN, LLC. ANY USE OF THESE DOCUMENTS WITHOUT THE CONSENT OF THE ARCHITECT, OTHER THAN FOR THE ADDRESS CONTAINED IN THE PROJECT TITLE, IS PROHIBITED AND WILL RESULT IN LEGAL ACTION. IT IS ALSO ILLEGAL TO TRACE, MODIFY AND/OR USE THESE DOCUMENTS FOR ANY OTHER PURPOSE WITHOUT WRITTEN APPROVAL OF THE ARCHITECT. ALL RIGHTS RESERVED, AND THIS DRAWING IS LOANED WITH ABOVE UNDERSTANDING.

REVISIONS:
03/15/2021 -ISSUED FOR PERMIT AND CONSTRUCTION

**RENOVATIONS & MODIFICATIONS
HARDING RESIDENCE**
24 BELLWOOD AVE.
DOBBS FERRY, NEW YORK 10522

amg
architecture and design LLC
Tel/Fax : (860) 305-5952
76 JOHNSON ROAD, MARLBOROUGH, CT 06447

**ATTIC FLOOR
FRAMING PLAN**

**PLUMBING
DIAGRAM**

DATE: 02/09/2021
SCALE:
PROJECT NO. 2101

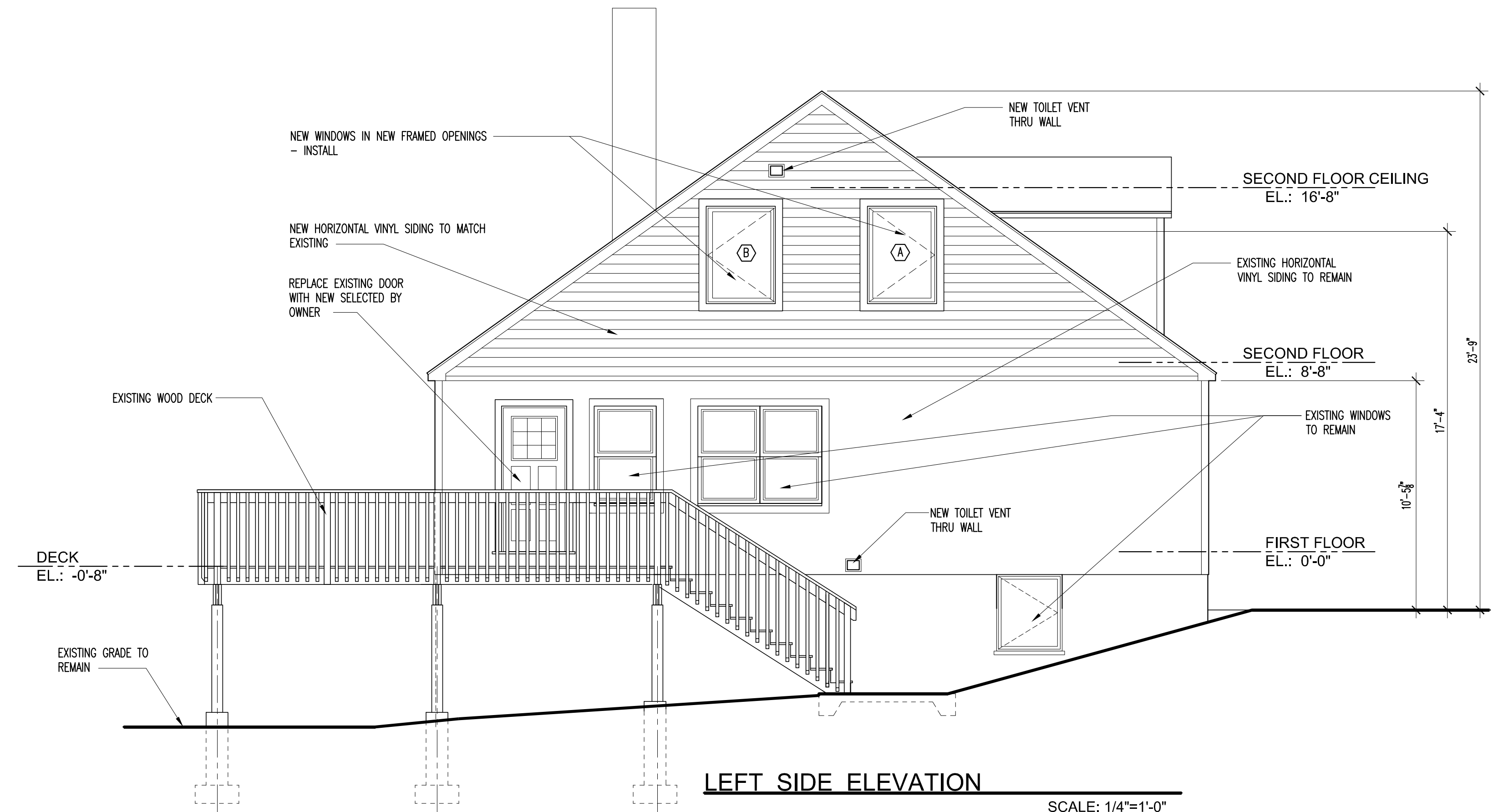
DRAWING:

A-2.1



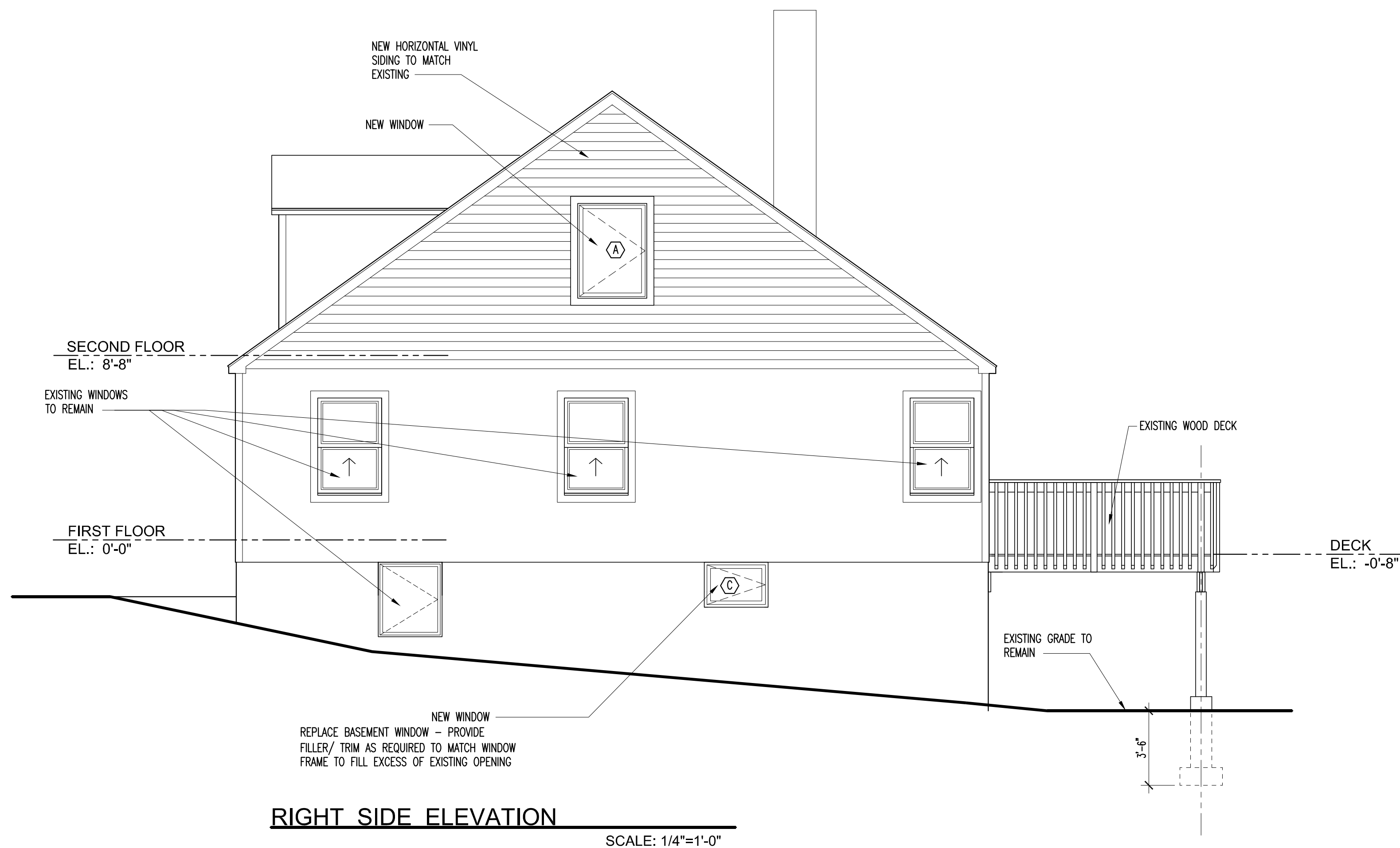
FRONT ELEVATION

SCALE: 1/4"=1'-0"



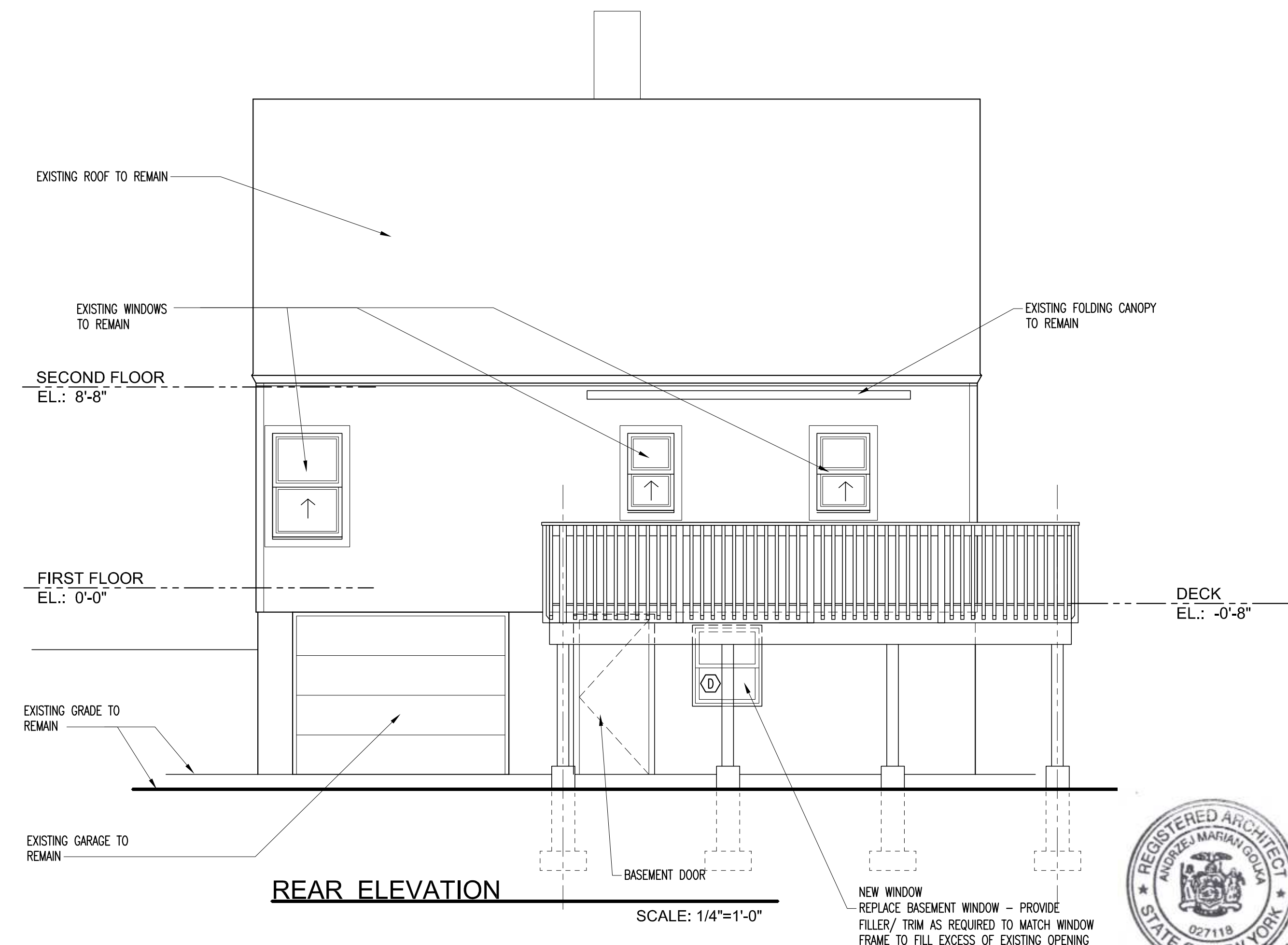
LEFT SIDE ELEVATION

SCALE: 1/4"=1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"



REAR ELEVATION

SCALE: 1/4"=1'-0"

THIS DRAWING AND CONTAINED ON IT DESIGN IS A PROPERTY OF AMG ARCHITECTURE & DESIGN, LLC. ANY USE OF THESE DOCUMENTS WITHOUT THE CONSENT OF THE ARCHITECT, OTHER THAN FOR THE ADDRESS CONTAINED IN THE PROJECT TITLE, IS PROHIBITED AND WILL RESULT IN LEGAL ACTIONS. IT IS ALSO ILLEGAL TO TRACE, MODIFY AND/OR USE THESE DOCUMENTS FOR ANY OTHER PURPOSE WITHOUT WRITTEN APPROVAL OF THE ARCHITECT. ALL RIGHTS RESERVED, AND THIS DRAWING IS LOANED WITH ABOVE UNDERSTANDING.

REVISIONS:

03/15/2021 -ISSUED FOR PERMIT AND CONSTRUCTION

RENOVATIONS & MODIFICATIONS
HARDING RESIDENCE
24 BELLWOOD AVE.
DOBBS FERRY, NEW YORK 10522

amg
architecture and design LLC
Tel/Fax : (860) 305-5952
76 JOHNSON ROAD, MARLBOROUGH, CT 06447

BUILDING ELEVATIONS

DATE: 02/09/2021

SCALE:

PROJECT NO. 2101

DRAWING:

A-3.1

THIS DRAWING AND CONTAINED ON IT DESIGN IS A PROPERTY OF AMG ARCHITECTURE & DESIGN, LLC. ANY USE OF THESE DOCUMENTS WITHOUT THE CONSENT OF THE ARCHITECT, OTHER THAN FOR THE ADDRESS CONTAINED IN THE PROJECT TITLE, IS PROHIBITED AND WILL RESULT IN LEGAL ACTIONS. IT IS ALSO ILLEGAL TO TRACE, MODIFY AND/OR USE THESE DOCUMENTS FOR ANY OTHER PURPOSE WITHOUT WRITTEN APPROVAL OF THE ARCHITECT. ALL RIGHTS RESERVED, AND THIS DRAWING IS LOANED WITH ABOVE UNDERSTANDING.

REVISIONS:

03/15/2021 -ISSUED FOR PERMIT AND CONSTRUCTION

RENOVATIONS & MODIFICATIONS
HARDING RESIDENCE
24 BELLWOOD AVE.
DOBBS FERRY, NEW YORK 10522

amg
architecture and design LLC

Tel/Fax : (860) 305-5952
76 JOHNSON ROAD, MARLBOROUGH, CT 06447

BUILDING
SECTION #1

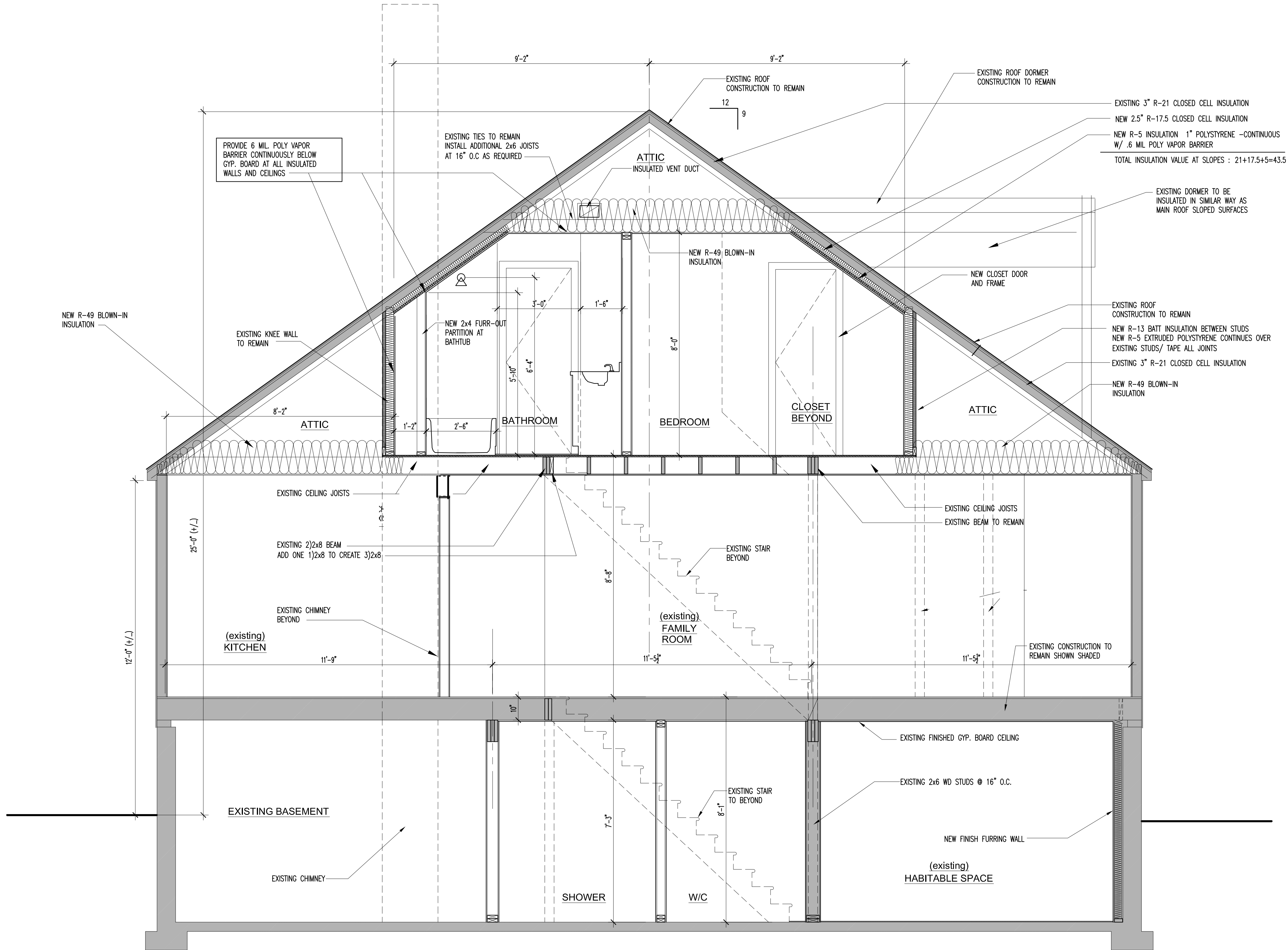
DATE: 02/09/2021

SCALE:

PROJECT NO. 2101

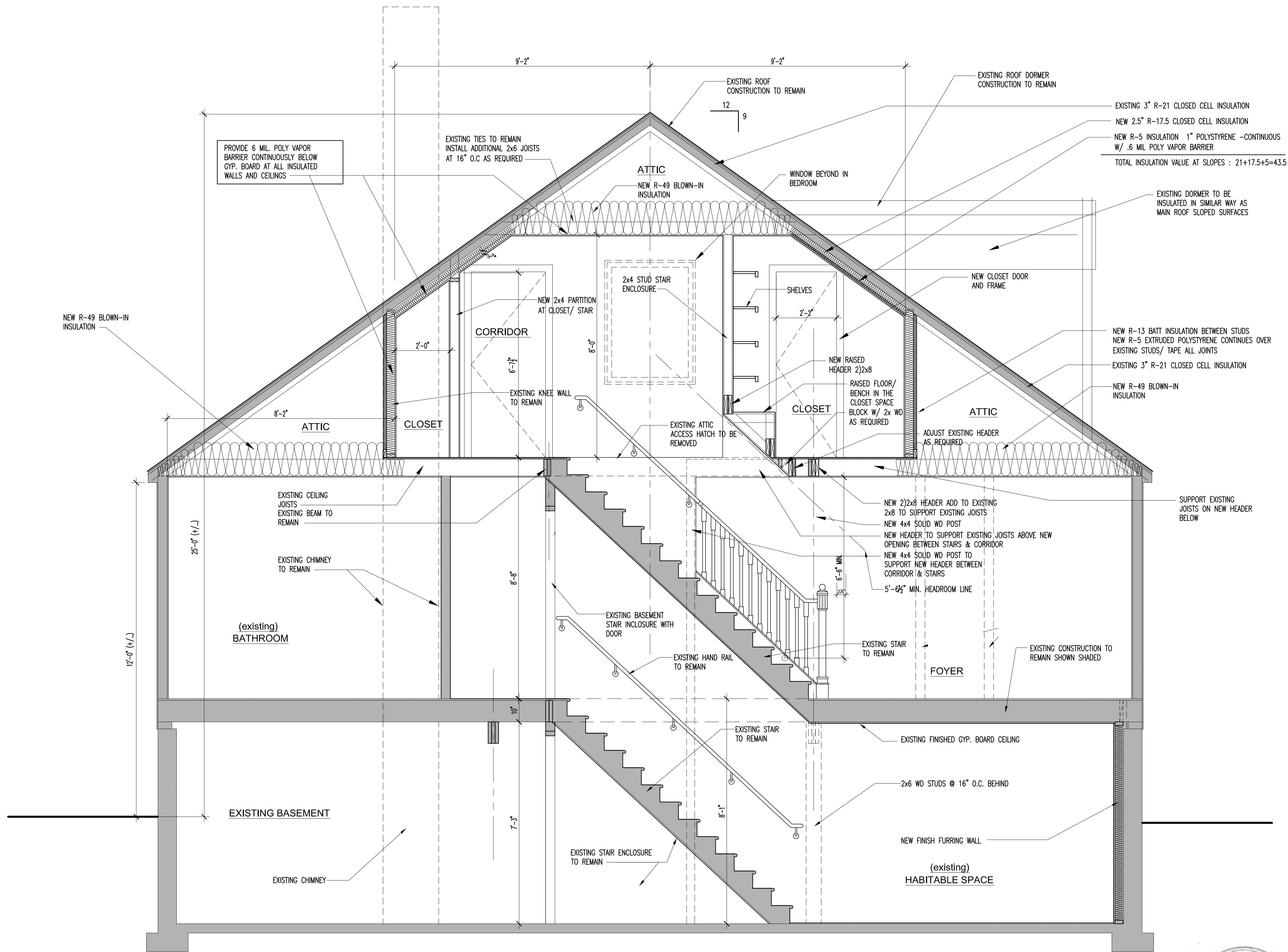
DRAWING:

A-4.1



1 BUILDING SECTION
SCALE: 1/2"=1'-0"





2 BUILDING SECTION SCALE: 1/2"=1'-0"



THIS DRAWING AND CONTAINED ON IT DESIGN IS A PROPERTY OF AMG ARCHITECTURE & DESIGN, LLC. ANY USE OF THESE DOCUMENTS WITHOUT THE CONSENT OF THE ARCHITECT, OTHER THAN FOR THE ADDRESS CONTAINED IN THE PROJECT TITLE, IS PROHIBITED AND WILL RESULT IN LEGAL ACTIONS. IT IS ALSO ILLEGAL TO TRACE, MODIFY AND/OR USE THESE DOCUMENTS FOR ANY OTHER PURPOSE WITHOUT WRITTEN APPROVAL OF THE ARCHITECT. ALL RIGHTS RESERVED, AND THIS DRAWING IS LOANED WITH ABOVE UNDERSTANDING.

REVISIONS:
03/15/2021 -ISSUED FOR PERMIT AND CONSTRUCTION

RENOVATIONS & MODIFICATIONS
HARDING RESIDENCE
24 BELLWOOD AVE.
DOBBS FERRY, NEW YORK 10522

amg
architecture and design LLC
Tel/Fax : (860) 305-5952
76 JOHNSON ROAD, MARLBOROUGH, CT 06447

BUILDING SECTION #2

DATE: 02/09/2021
SCALE:
PROJECT NO. 2101
DRAWING:

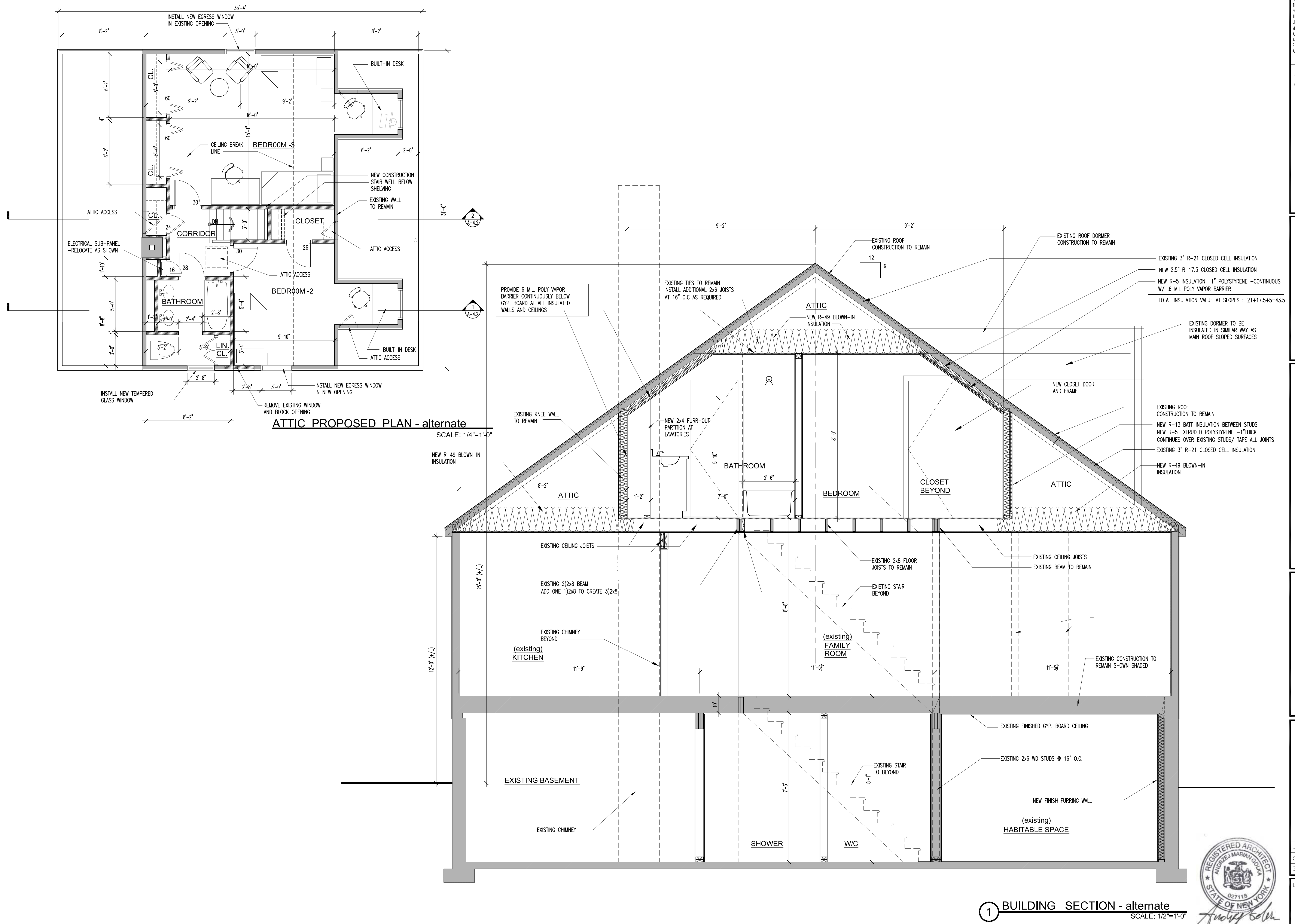
A-4.2

03/15/2021 -ISSUED FOR PERMIT
AND CONSTRUCTION

aiig
architecture and design LLC

Tel./Fax. : (860) 305-5952
76 JOHNSON ROAD, MARLBOROUGH, CT 06447

A-5.1



THIS DRAWING AND CONTAINED ON IT DESIGN IS A PROPERTY OF A&C ARCHITECTURE & DESIGN, LLC. ANY USE OF THESE DOCUMENTS WITHOUT THE CONSENT OF THE ARCHITECT, OTHER THAN FOR THE ADDRESS CONTAINED IN THE PROJECT TITLE, IS PROHIBITED AND WILL RESULT IN LEGAL ACTIONS. IT IS ALSO ILLEGAL TO TRACE, REPRODUCE AND/OR USE THESE DOCUMENTS FOR ANY OTHER PURPOSE WITHOUT WRITTEN APPROVAL OF THE ARCHITECT. ALL RIGHTS RESERVED, AND THIS DRAWING IS LOANED WITH ABOVE UNDERSTANDING.

REVISIONS:
03/15/2021 --ISSUED FOR PERMIT
AND CONSTRUCTION

RENOVATIONS & MODIFICATIONS
HARDING RESIDENCE
24 BELLWOOD AVE.
DOBBS FERRY, NEW YORK 10622

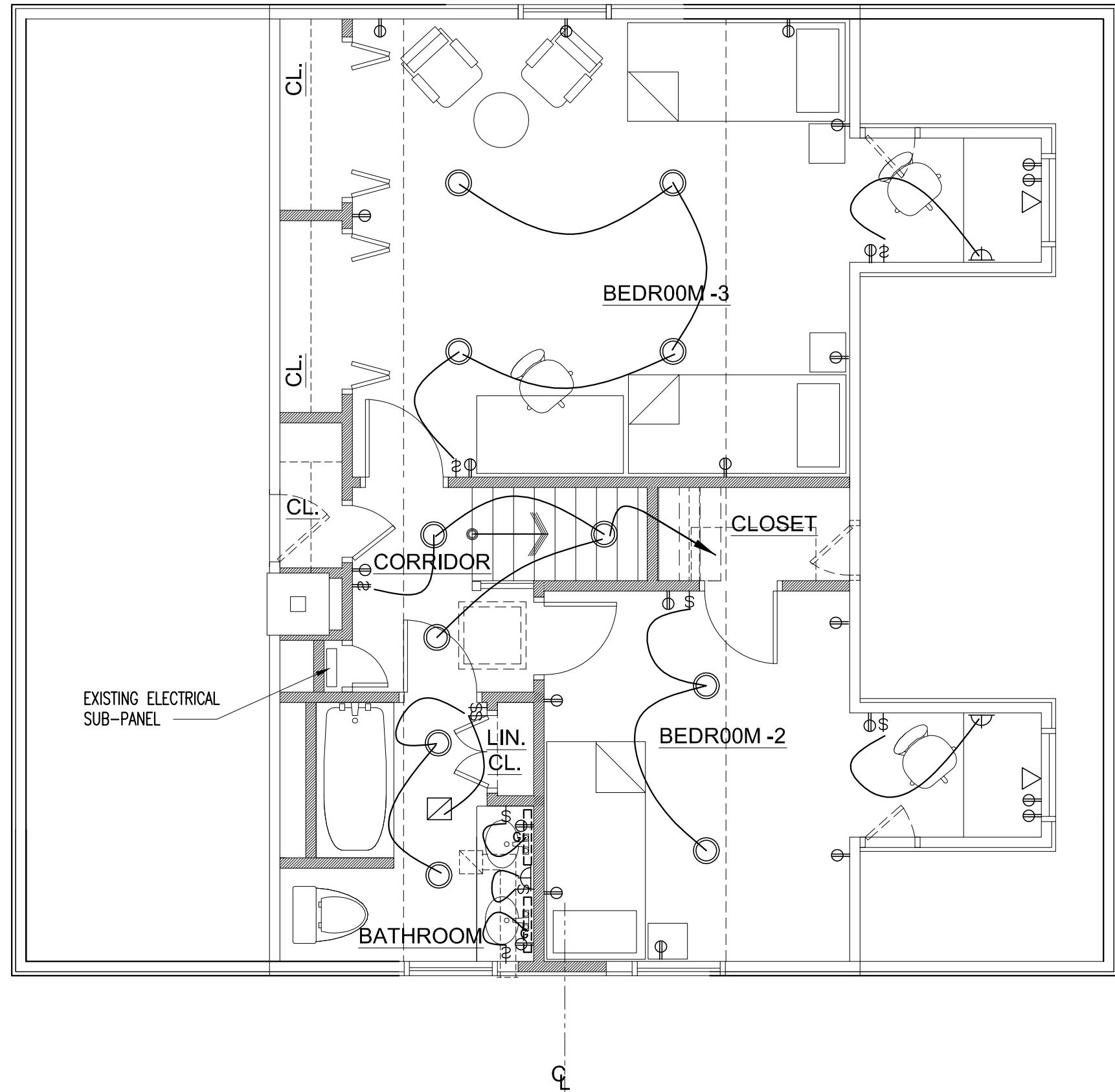
g&g
architecture and design LLC
Tel/Fax : (860) 305-5952
76 JOHNSON ROAD, MARLBOROUGH, CT 06447

NEW ELECTRICAL
OUTLETS & LIGHT
FIXTURES

DATE: 02/09/2021
SCALE: AS SHOWN
PROJECT NO. 2101

DRAWING:

A-6.1



ATTIC ELECTRICAL PLAN

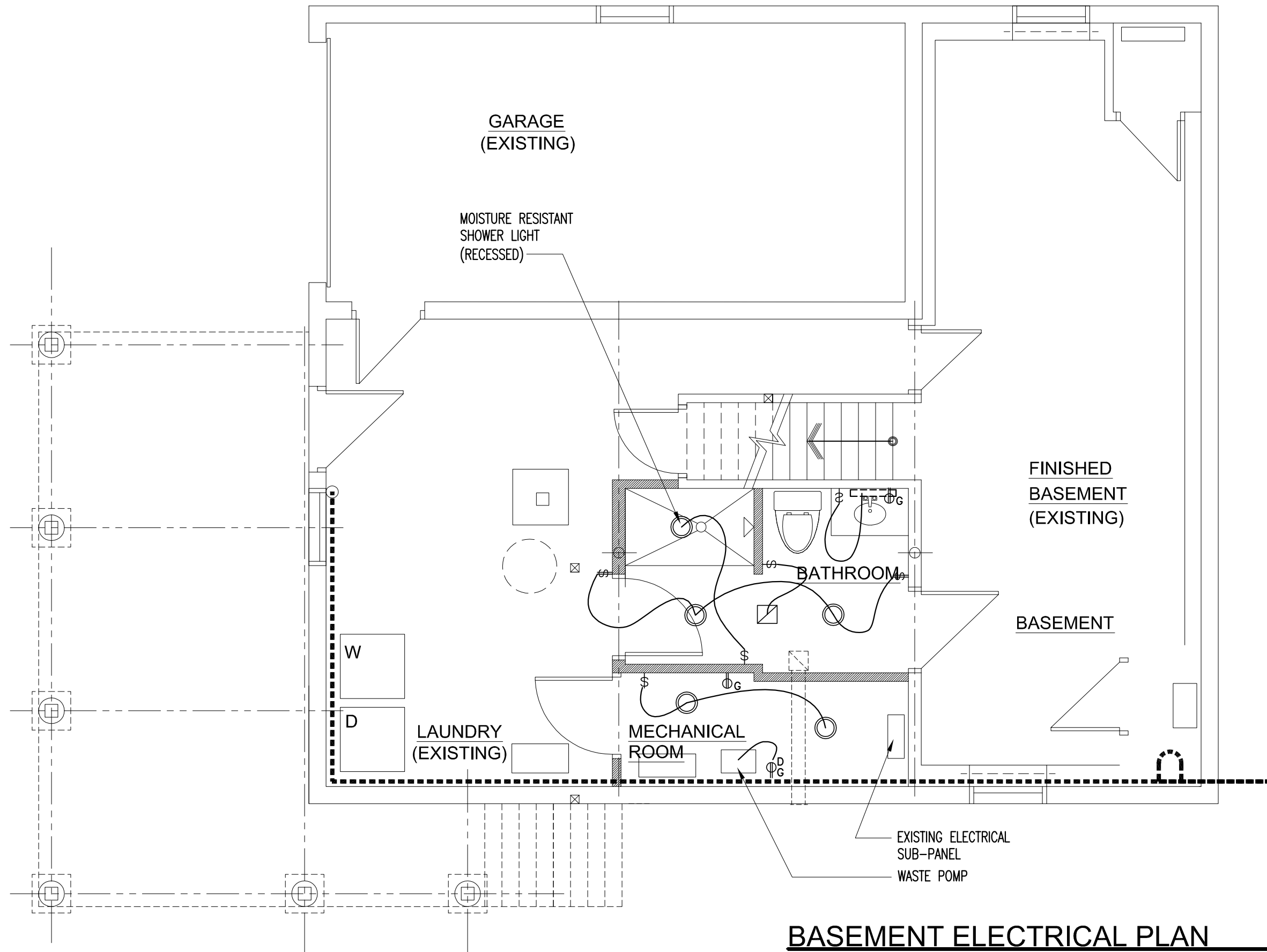
SCALE: 1/4"=1'-0"

ELECTRICAL NOTES:

- 1.) REPLACE ALL ELECTRICAL WIRING IN ALL CONSTRUCTION AREAS. ELECTRICAL CONTRACTOR TO VERIFY EXISTING WIRING, AND ALL LIGHT FIXTURES, AND ELECTRICAL EQUIPMENT FOR CODE COMPLIANCE IN THE REMAINDER OF THE HOUSE.
- 2.) THIS PLANS ARE DIAGRAMMATIC ONLY. ALL FIXTURES TO BE SELECTED BY THE OWNER AND ALL ELECTRICAL ENGINEERING TO BE PROVIDED BY THE ELECTRICAL CONTRACTOR.
- 3.) ELECTRICAL CONTRACTOR TO VERIFY WITH OWNER AND DOUBLE CHECK IN THE FIELD ALL LOCATIONS OF OUTLETS AND LIGHT FIXTURES. PROVIDE ADDITIONAL OUTLETS AND FIXTURES AS DIRECTED BY OWNER IN THE FIELD. COORDINATE ALL FIXTURES AND OUTLETS WITH MILL WORK, INTERIOR TRIM WORK AND FRAMING, ADJUST AS REQUIRED IN THE FIELD.
- 4.) GENERAL CONTRACTOR TO COORDINATE ALL FIELD CONDITIONS AND SHALL CONTACT ARCHITECT OR OWNER TO RESOLVE CONFLICTS.
- 5.) ALL NEW OR REPLACED ELECTRICAL OUTLETS NOT DESIGNATED AS GFCI TO BE AFCI (ARC FAULT CIRCUIT INTERRUPTER)
- 6.) COORDINATE EQUIPMENT OUTLETS VOLTAGE WITH OWNERS SELECTED EQUIPMENT. (I.E.: DRYER, OVEN, STOVE, ETC.)
- 7.) PROVIDE DATA / TELEPHONE WIRING IN LOCATION SHOWN ON FURNITURE PLANS (TVS, DESKS, E.T.C.) COORDINATE WITH OWNER

ELECTRICAL LEGEND:

- CEILING MOUNTED RECESSED LIGHT FIXTURE (SELECTED BY OWNER)
- ⬆ WALL MOUNTED LIGHT FIXTURE (SELECTED BY OWNER)
- ⊕ CEILING MOUNTED PENDANT LIGHT FIXTURE
- ⋯ WALL OR UNDER-COUNTER MOUNTED LIGHT FIXTURE (SELECTED BY OWNER)
- ◻ CEILING MOUNTED MECHANICAL VENTILATION
- ⚡ LIGHT SWITCH (48" H. TYPICAL), (42" ABOVE COUNTERS OR COORDINATE IN THE FIELD WITH OWNER)
- ⚡ TWO-WAY LIGHT SWITCH (48" H. TYPICAL)
- ⊕ WALL MOUNTED DOUBLE RECEPTACLE (18" TYPICAL MOUNTING HEIGHT)
- ⊕_{38"} WALL MOUNTED DOUBLE RECEPTACLE (INDICATED MOUNTING HEIGHT)
- ⊕ WALL MOUNTED SINGLE RECEPTACLE
- ⊕ WALL MOUNTED DEDICATED RECEPTACLE
- ⊕_G WALL MOUNTED DOUBLE GFCI RECEPTACLE
- ▷ DATA OUTLET



BASEMENT ELECTRICAL PLAN

SCALE: 1/4"=1'-0"

