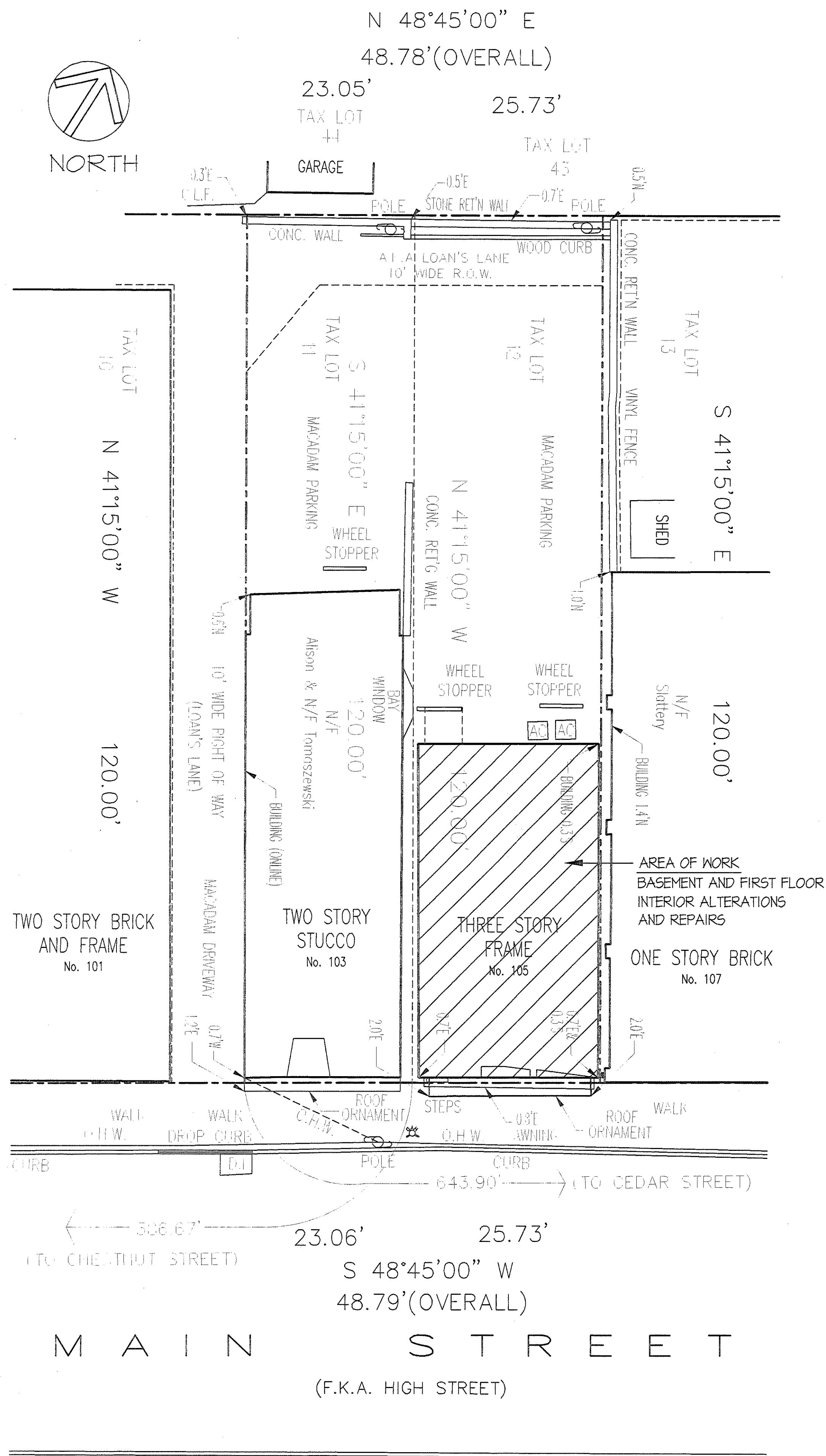


NORTH



① SITE PLAN
1" = 10'-0"

SITE PLAN BASED ON SURVEY PREPARED BY
SUMMIT LAND SURVEYING, PC
DOBBS FERRY, NEW YORK
DATED JUNE 6, 2018

BUILDING DATA / BUILDING CODE ANALYSIS

105 MAIN STREET
VILLAGE OF DOBBS FERRY
SECTION: 3.80 BLOCK: 40 LOT: 12
ZONE: DB (DOWNTOWN BUSINESS)

EXISTING OCCUPANCY: MIXED USE
FIRST FLOOR (GROUP B) - SECOND/THIRD FLOORS (GROUP R-2)
EXISTING CONSTRUCTION CLASS: TYPE V B
EXISTING BUILDING IS NOT SPRINKLERED

2015 IECC - CODE COMPLIANCE

THE WORK PROPOSED IN THIS APPLICATION IS EXEMPT FROM THE 2015 INTERNATIONAL ENERGY CONSERVATION CONSTRUCTION CODE AS PER SECTION C503.1

1. THERE IS NO INCREASE IN FLOOR AREA.
2. THERE IS NO INCREASE IN THE ENERGY USE OF THE BUILDING.
3. THERE IS NO CHANGE TO THE EXISTING EXTERIOR ENVELOPE.

John Iannacito



SMOKE DETECTOR NOTE

PROVIDE DETECTORS AS PER SECTION 907.2.10.1.2 OF THE N. Y. S. FIRE CODE

DEVICES TO BE LOCATED AS FOLLOWS:

1. ONE FOR EACH SLEEPING ROOM
2. ONE DIRECTLY OUTSIDE EACH SLEEPING ROOM

DEVICES LOCATED IN AREAS WHERE INTERIOR WALL OR CEILING FINISHES ARE NOT REMOVED TO EXPOSE THE STRUCTURE CAN BE BATTERY OPERATED AND ARE NOT REQUIRED TO BE INTERCONNECTED. (N.Y.S.F.C. 907.3.2.2)

FIRE/LIFE SAFETY NOTE:

ALL EXISTING FIRE AND LIFE SAFETY DEVICES (PORTABLE FIRE EXTINGUISHERS, FIRE ALARM SYSTEM, FIRE DETECTION SYSTEM, EXIT SIGNS AND EMERGENCY LIGHTING TO REMAIN.

CARBON MONOXIDE ALARM NOTE

PROVIDE DETECTORS AS PER SECTION 610.3.2.2 OF THE N. Y. S. FIRE CODE

DEVICES TO BE LOCATED AS FOLLOWS:

1. WITHIN 15 FEET OF A SLEEPING AREA

DEVICES MAY BE BATTERY OPERATED, CORD TYPE OR DIRECT PLUS. (N.Y.S.F.C. 610.5)

CONSTRUCTION NOTES

1. INFORMATION SHOWN ON THESE DRAWINGS IS FOR DESIGN INTENT ONLY. VERIFY EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD. COORDINATE DISCREPANCIES WITH THE ARCHITECT.
2. PROVIDE PROOF OF WORKMAN'S COMPENSATION INSURANCE AND DISABILITY INSURANCE COVERAGE REQUIRED BY GOVERNING STATE LAW PRIOR TO START OF WORK.
3. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, TRUE AND IN PROPER ALIGNMENT.
4. ALL MATERIALS AND ASSEMBLIES REQUIRED TO HAVE A FIRE RESISTANCE RATING SHALL COMPLY WITH NFPA 'FIRE RESISTANCE RATINGS' AND HAVE BEEN TESTED IN ACCORDANCE WITH ASTM 'STANDARD METHODS OF FIRE TESTS'.
5. WHERE PIPES OR CABLES PENETRATE WALL, FLOOR OR CEILING OPENINGS PROVIDE FIRESTOP MATERIAL AS REQUIRED TO INSURE CONTINUITY OF RATING PER NEW YORK STATE OR LOCAL BUILDING CODES.
6. INSTALL DOORS AND OTHER EQUIPMENT AS PER MANUFACTURERS' SPECIFICATIONS.
7. PAINTING OR INTERIOR FINISH SHALL BE DONE UNDER CONDITIONS WHICH WILL NOT JEOPARDIZE THE QUALITY OR APPEARANCE OF SUCH WORK.
8. ALL DIMENSIONS ARE TO FACE OF FRAMING UNLESS OTHERWISE NOTED.
9. ELECTRICAL WORK TO COMPLY WITH U.L. REQUIREMENTS AND WITH THE NATIONAL ELECTRIC CODE.
10. ALL PARTITIONS TO BE CONSTRUCTED OF 3 1/2" METAL STUDS (16" o.c.) WITH ONE LAYER OF 5/8" GYPSUM WALL BOARD SECURED TO BOTH SIDES.
11. ALL DOORS IN DRYWALL PARTITIONS SHALL BE SET 4" FROM CLEAR OPENING OF FRAME TO IMMEDIATE ADJACENT WALL, UNLESS OTHERWISE NOTED.

2015 INTERNATIONAL BUILDING CODE COMPLIANCE

SCOPE OF WORK

BASEMENT AND FIRST FLOOR
INTERIOR ALTERATIONS AND REPAIRS
EXTERIOR FACADE ALTERATIONS AND REPAIRS

CODE COMPLIANCE

CHAPTER 8 - ALTERATIONS - LEVEL 2
2015 INTERNATIONAL EXISTING BUILDING CODE

NO CHANGE TO USE OR OCCUPANCY
NO CHANGE TO FIRE RATINGS OF ASSEMBLIES
NO CHANGE TO MEANS OF EGRESS
NO CHANGE TO EGRESS HAZARD CATEGORY

GENERAL NOTES

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, OMISSIONS AND/OR CONFLICTS BEFORE PROCEEDING WITH THE WORK.
2. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF HE CANNOT COMPLY WITH ALL REQUIREMENTS. 'DO NOT SCALE DRAWINGS' DIMENSIONS GOVERN, LARGER SCALE DRAWINGS GOVERN OVER SMALLER SCALED DRAWINGS.
3. CONTRACTOR MUST COMPLY WITH THE RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO THE 2015 INTERNATIONAL EXISTING BUILDING CODE AND THE VILLAGE OF DOBBS FERRY.
4. THE CONTRACTOR SHALL MAINTAIN A BOUND CURRENT AND COMPLETE SET OF CONTRACT DOCUMENTS ON THE PREMISES FOR ALL TRADES TO USE.
5. THE OWNER SHALL RELEASE, HOLD HARMLESS AND INDEMNIFY THE ARCHITECT WITH RESPECT TO ANY CHANGES MADE TO THE CONSTRUCTION DOCUMENTS BY ANYONE OTHER THAN THE ARCHITECT, OR CHANGES IN ANY ASPECT OF THE WORK, OR FAILURE BY THE CONTRACTOR TO BUILD IN ACCORDANCE WITH THESE CONSTRUCTION DOCUMENTS.

DEMOLITION NOTES:

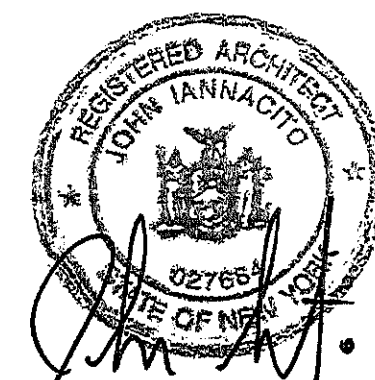
1. THE SCOPE OF DEMOLITION WORK HAS GENERALLY BEEN INDICATED ON THE DRAWINGS FOR CONTRACTORS INFORMATION. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE FULL SCOPE, EXTENT, NATURE AND MANNER OF DEMOLITION REQUIRED.
2. ONLY WORKMEN SKILLED AND KNOWLEDGEABLE IN THEIR RESPECTIVE TRADES SHALL BE EMPLOYED IN THE DEMOLITION OF ANY WORK.
3. THE CONTRACTOR SHALL TAKE SPECIAL CARE TO DEMOLISH ONLY THAT WORK WHICH IS REQUIRED TO BE DEMOLISHED AND NOT DISTURB ANY WORK WHICH IS TO REMAIN. IF IN THE COURSE OF DEMOLITION, THE CONTRACTOR DESTROYS OR DISTURBS ANY WORK WHICH IS TO REMAIN, THEN HE SHALL, AT HIS OWN EXPENSE, REPAIR OR REPLACE SUCH WORK AS NECESSARY.
4. ANY CUTS AND PENETRATIONS IN EXISTING WORK REQUIRED TO ACCOMPLISH NEW WORK SHALL BE KEPT TO A ABSOLUTE MINIMUM AND SHALL BE DONE NEATLY WITHOUT DISTURBANCE TO ADJACENT WORK TO REMAIN.
5. REMOVE AND DISCARD ALL DEMOLISHED ITEMS IN A TIMELY MANNER AND BY METHOD FULLY APPROVED BY THE STATE OF NEW YORK AND ANY OTHER GOVERNMENT AGENCY.
6. DO NOT SCALE DRAWINGS.
7. CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS AND SHALL REPORT TO THE OWNERS REPRESENTATIVE ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH SATISFACTORY COMPLETION OF WORK.
8. ALL BUILDING DEPARTMENT PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION WORK.
9. PROVIDE TEMPORARY SHORING AT ANY BEARING MEMBERS DURING DEMOLITION. SHORING TO BE MAINTAINED UNTIL NEW FRAMING MEMBERS HAVE BEEN INSTALLED AND MADE SECURE.
10. ALL PLUMBING, ELECTRICAL OR OTHER EXISTING UTILITY LINES SERVING ITEMS TO BE RELOCATED SHALL HAVE CAPS, FACE PLATES, ETC.

JOHN
IANNACITO
ARCHITECT

453 WHITE PLAINS ROAD
EASTCHESTER, N.Y. 10709
914-779-2065

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JOHN IANNACITO
NYS LIC. NO. 027684

RECEIVED
SEP 22 2020
Village of Dobbs Ferry
Building Department

1/24/20 ISSUED FOR BLDG PERMIT REVIEW

NO. DATE REVISION
ISSUE/REVISION

PROJECT NAME

105 MAIN STREET

ALTERATIONS
AND REPAIRS

BUILDING ADDRESS

105 MAIN STREET
DOBBS FERRY, N.Y.

PROJECT NUMBER
105 MAIN ST/CD/A-1

DRAWING TITLE

SITE PLAN
AND NOTES

DRAWN BY

J1

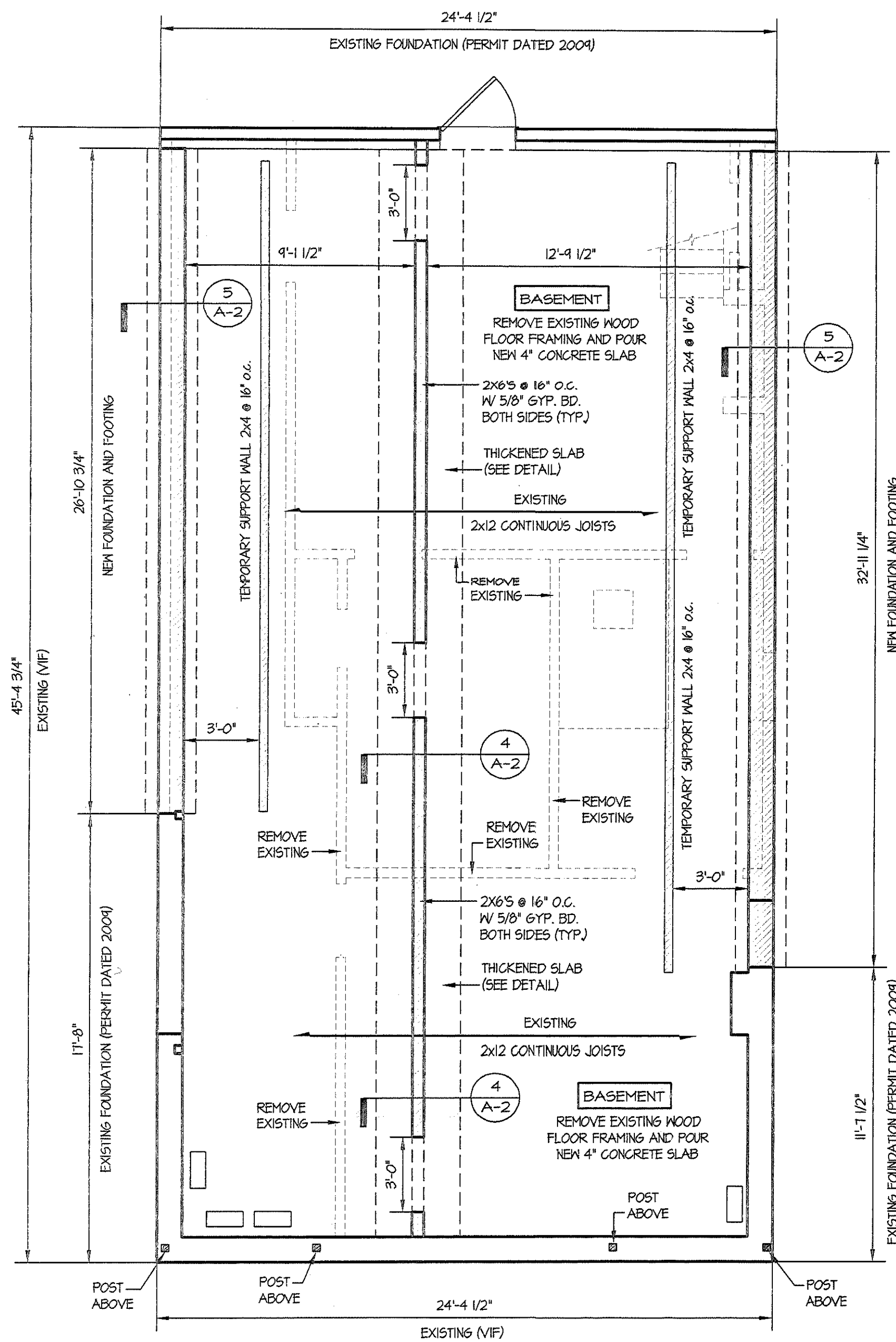
SCALE

AS NOTED

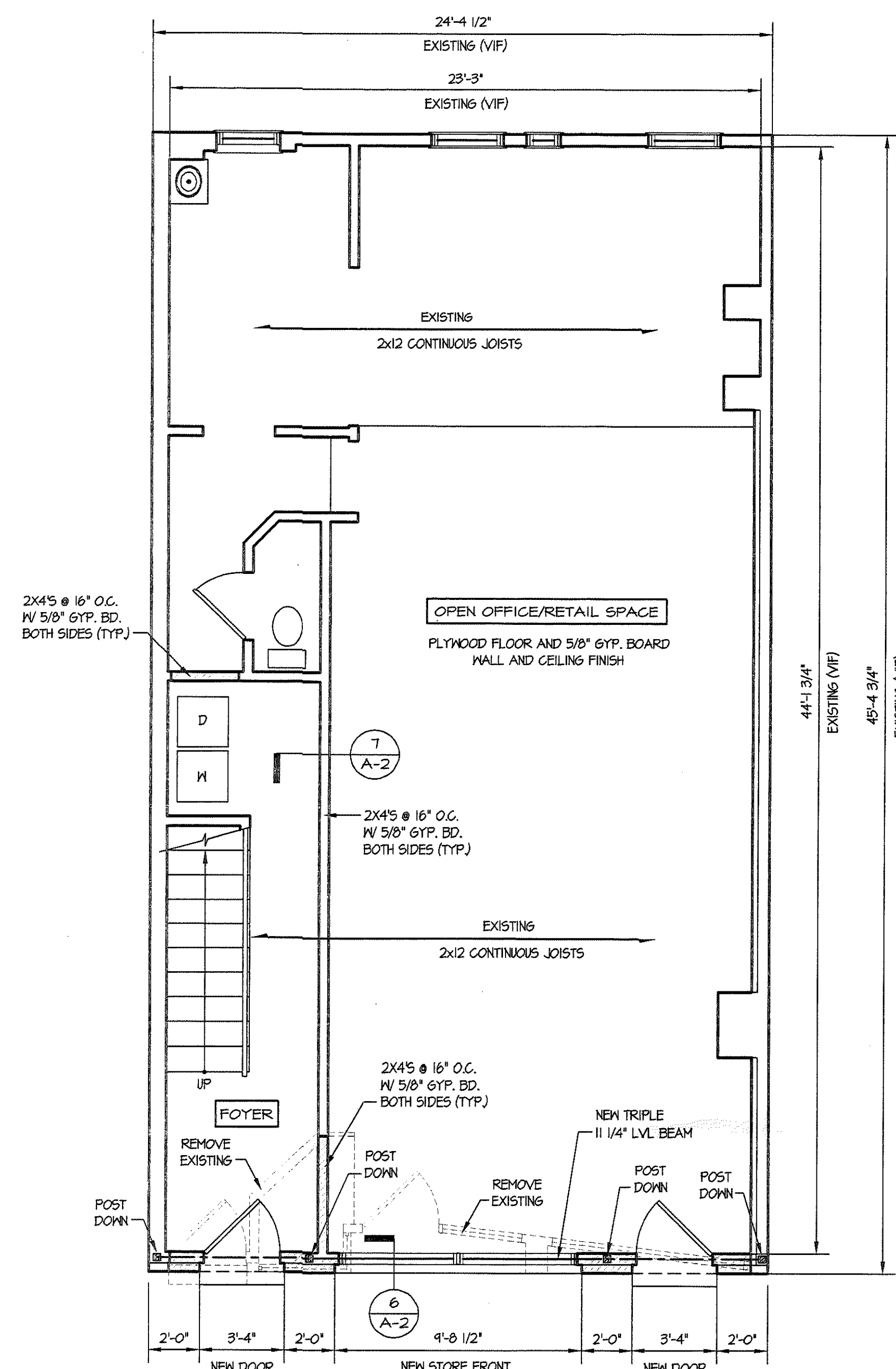
DATE

1/24/20

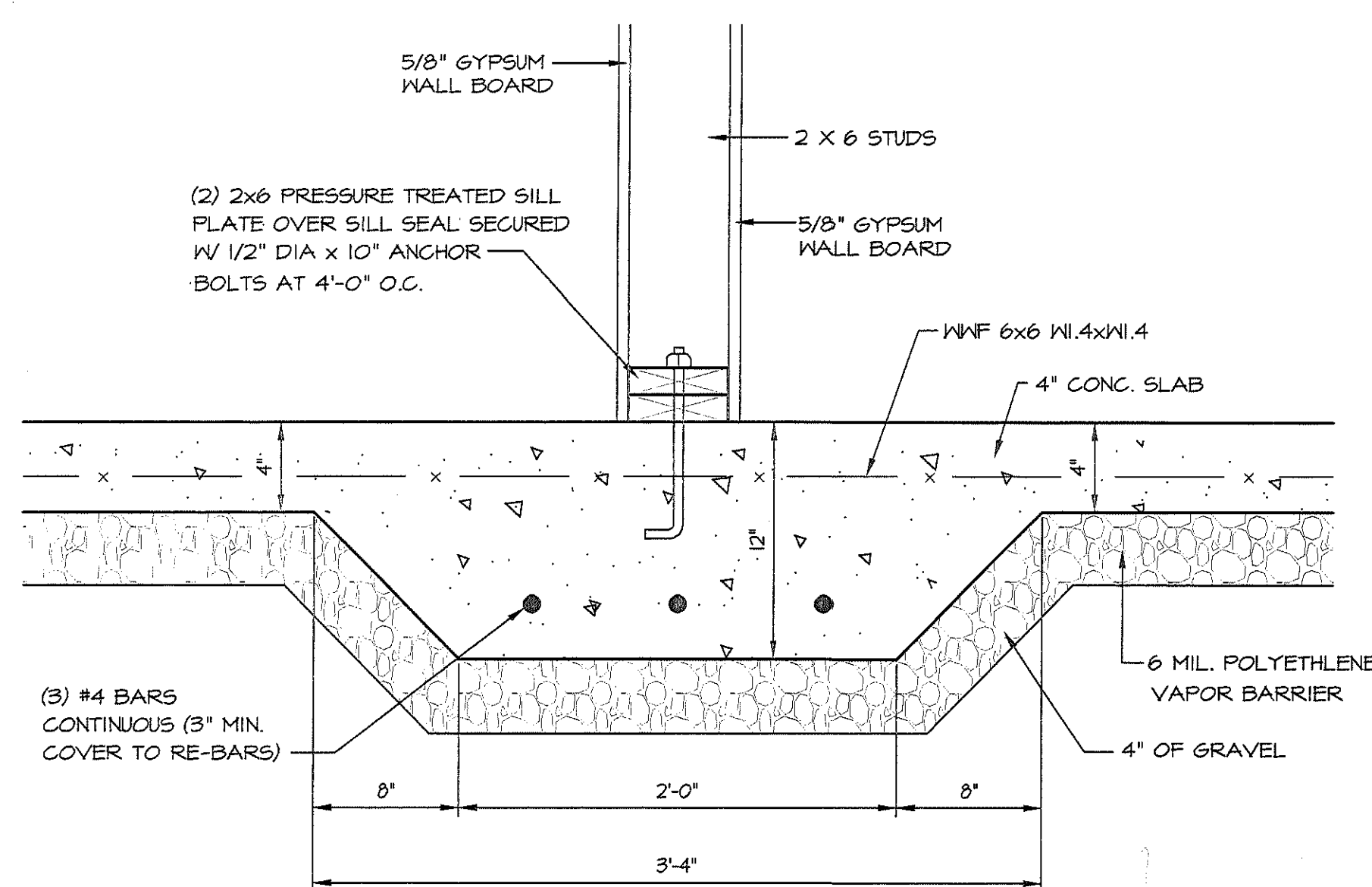
A-1



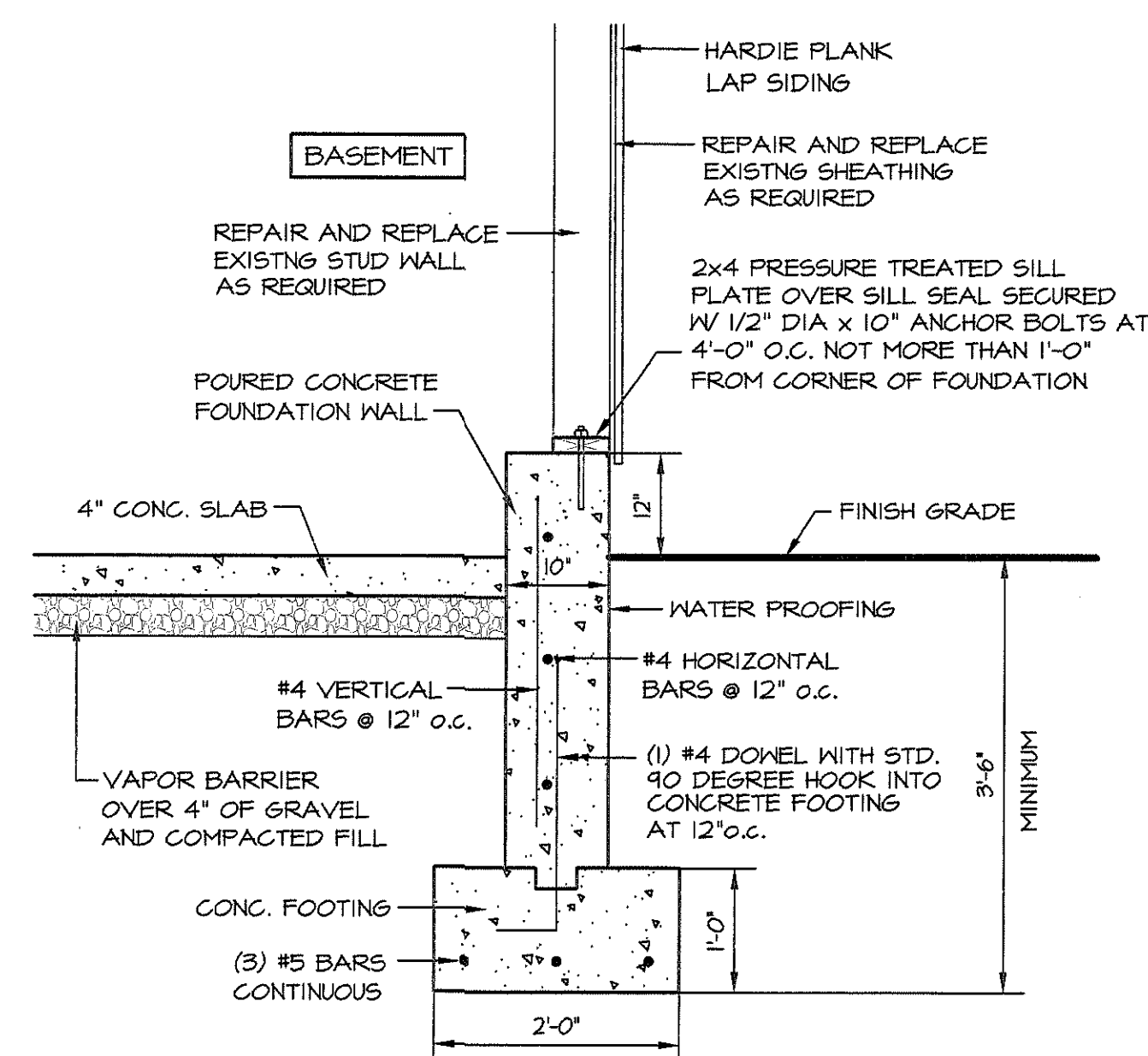
1 BASEMENT PLAN
1/4" = 1'-0"



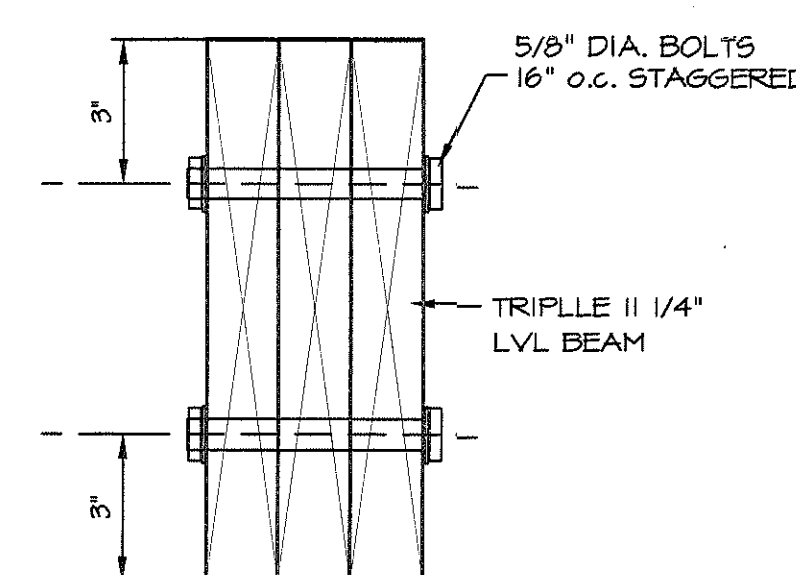
2 FIRST FLOOR PLAN
1/4" = 1'-0"



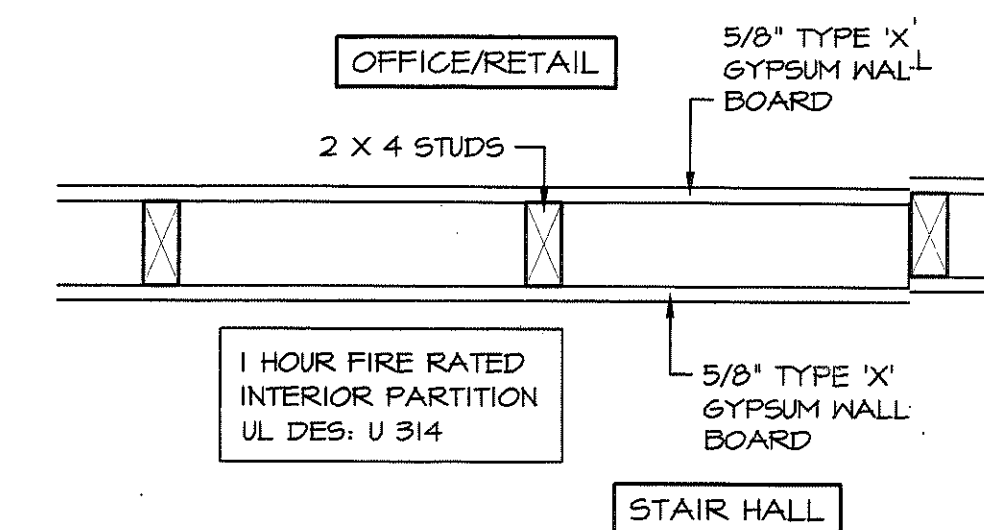
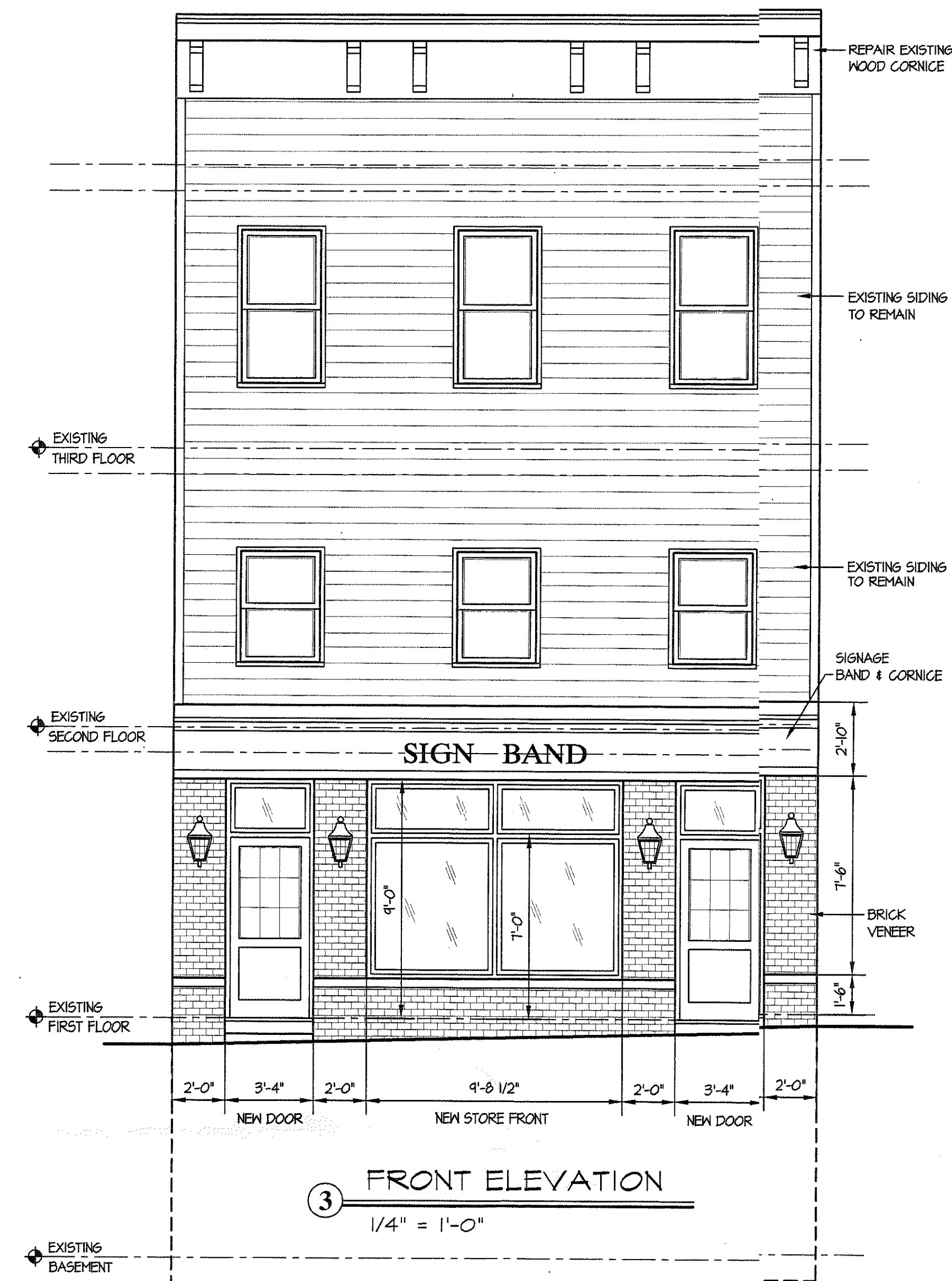
4 THICKENED SLAB DETAIL
1 1/2" = 1'-0"



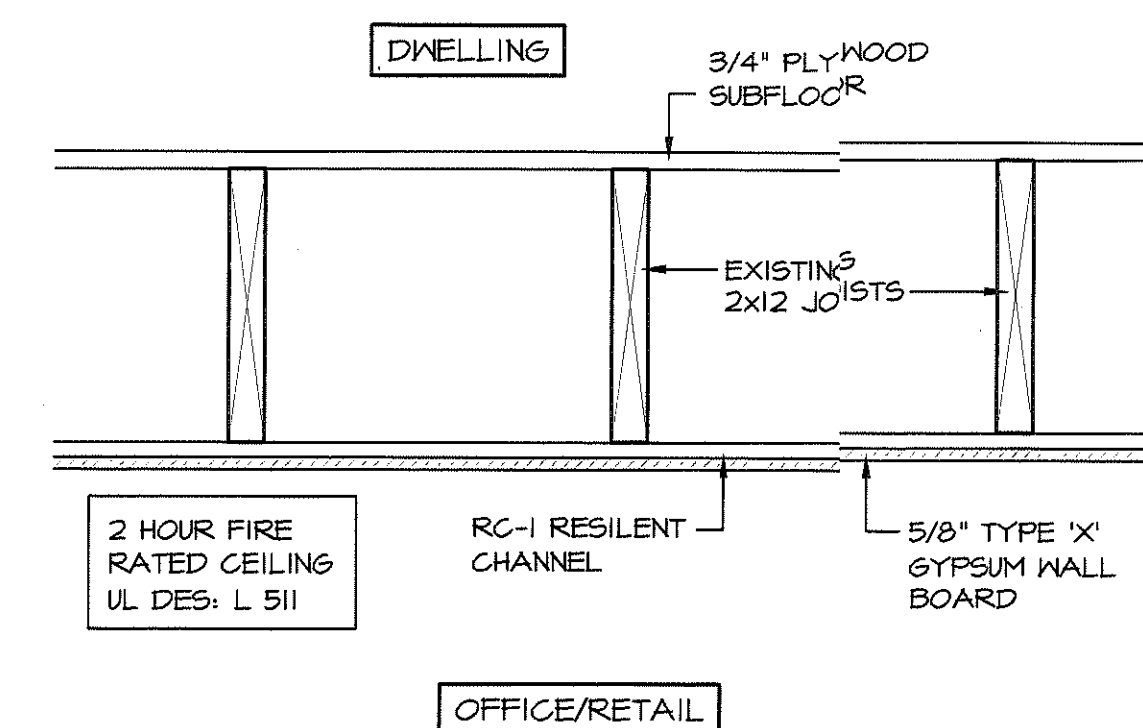
5 FOUNDATION REPAIR DETAIL
3/4" = 1'-0"



6 BEAM DETAIL
3" = 1'-0"



7 INTERIOR WALL DETAIL
1 1/2" = 1'-0"



8 CEILING DETAIL
1 1/2" = 1'-0"

JOHN IANNACITO ARCHITECT

453 WHITE PLAINS ROAD
EASTCHESTER, N.Y. 10709
914-779-2065

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JOHN IANNACITO
NYS LIC. NO. 027684

1/24/20 ISSUED FOR BLDG PERMIT REVIEW

NO.	DATE	REVISION

PROJECT NAME
105 MAIN STREET
ALTERATIONS AND REPAIRS

BUILDING ADDRESS
105 MAIN STREET
DOBBS FERRY, N.Y.
PROJECT NUMBER
105 MAIN ST/CD/A-2

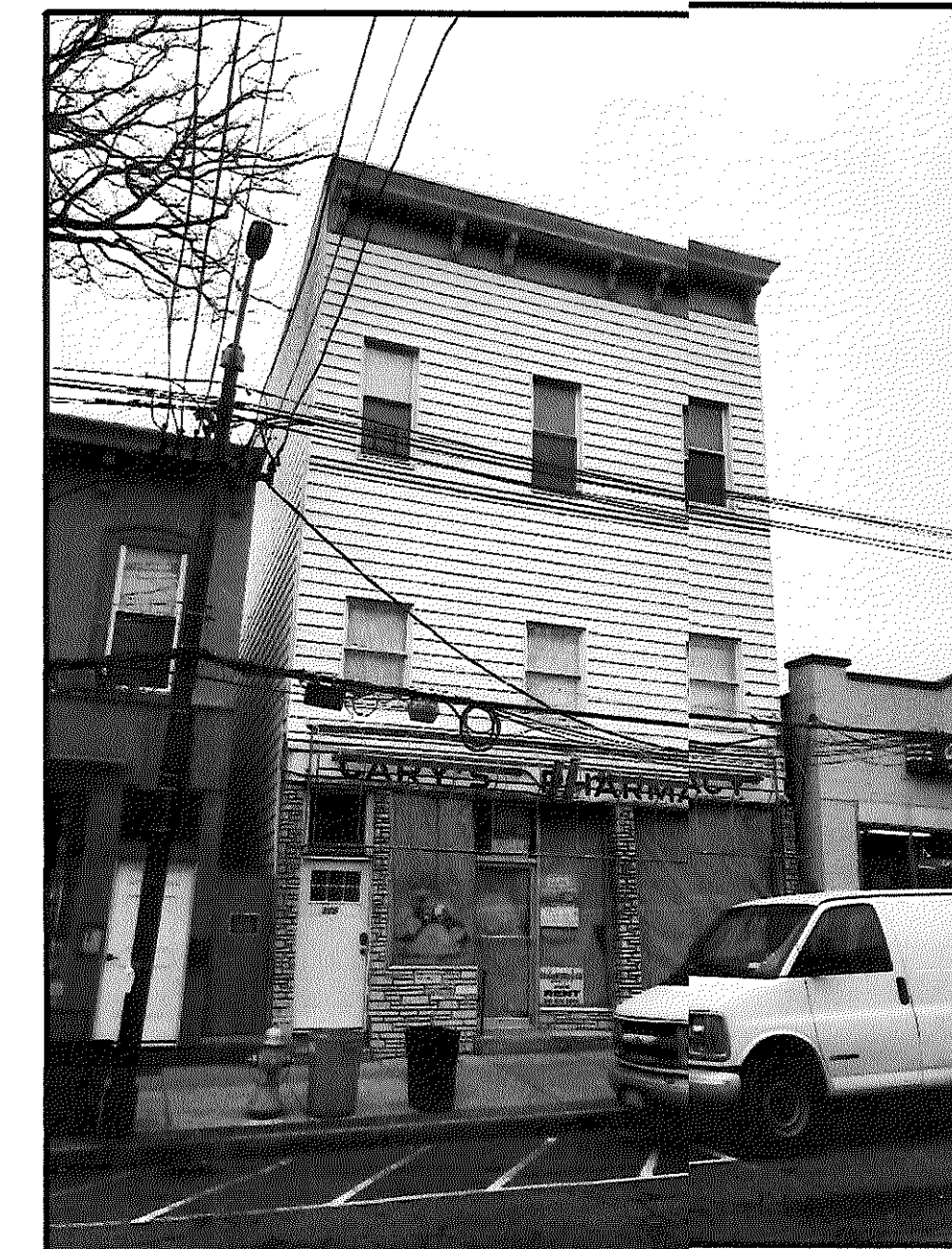
DRAWING TITLE
PLANS, DETAILS & ELEVATIONS

DRAWN BY JI	A-2
SCALE AS NOTED	
DATE 1/24/20	

ENTRY DOOR: FIBERGLASS - BLACK FINISH

ALL EXTERIOR LIGHTING SHALL COMPLY
WITH SECTION 300-41 OF THE VILLAGE CODE

Product URL: <https://www.lumens.com/irvington-manor-72173-189-outdoor-wall-sconce-by-the-great-outdoors%3A-minka-lavery-MAFP86499.html>
Rating: ETL Listed Wet



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JOHN IANNACITO
NYS LIC. NO. 027684

2/17/20 ISSUED FOR
AHBR REVIEW

NO.	DATE	REVISION
ISSUE/REVISION		

PROJECT NAME
105 MAIN STREET
ALTERATIONS
AND REPAIRS

BUILDING ADDRESS
105 MAIN STREET
DOBBS FERRY, N.Y.

PROJECT NUMBER
105 MAIN ST/CD/A-3

DRAWING TITLE

**FRONT FACADE
& STOREFRONT**

A-3