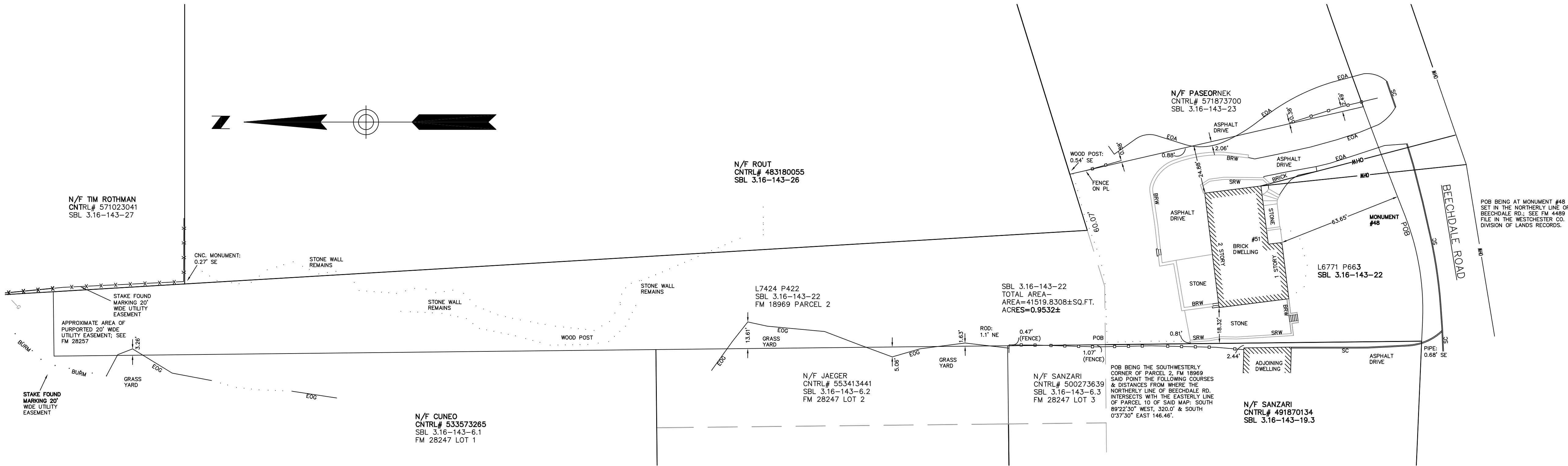


UNAUTHORIZED ALTERATION TO A MAP BEARING A LICENSED PROFESSIONAL LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. THE CERTIFICATION IS NOT AN EXPRESS OR IMPLIED WARRANTY OR GUARANTEE. IT IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. PLAN PREPARED PURSUANT TO SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW. SUBJECT TO THE FINDINGS OF AN UP-TO DATE TITLE SEARCH, UNLESS THE SURVEYOR'S ORIGINAL SIGNATURE AND SEAL APPEARS RAISED ON THIS MAP, IT SHOULD NOT BE CONSIDERED A TRUE AND CORRECT COPY OF THE SURVEYOR'S ORIGINAL WORK AND OPINION.

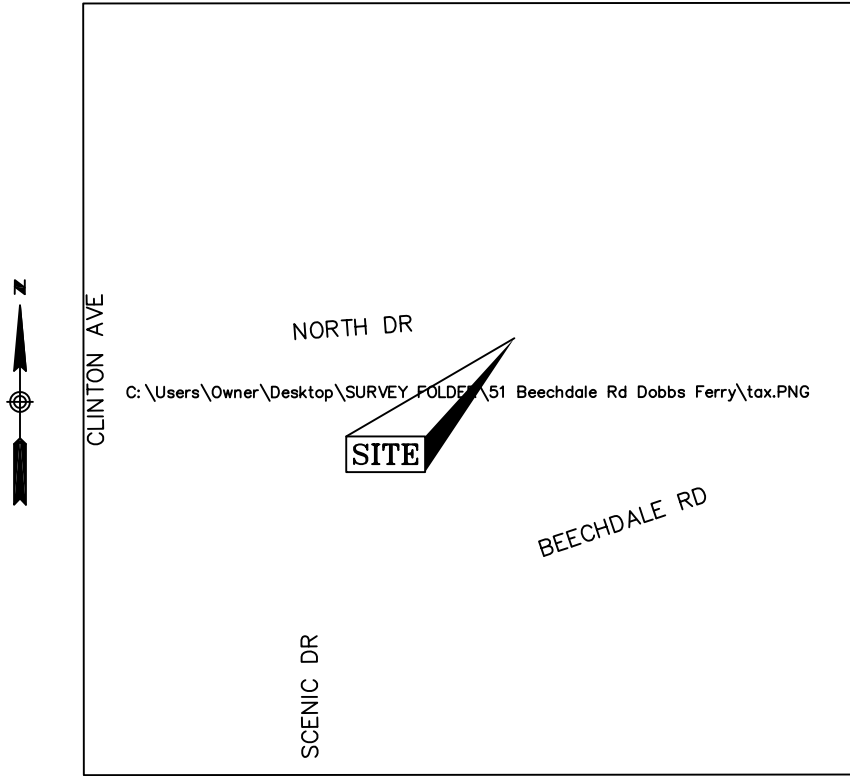


LEGEND

- CONCRETE/STONE BOUND
- IRON PIPE
- IRON ROD
- CATCH BASIN
- UNKNOWN MANHOLE
- ELECTRIC METER
- UTILITY POLE
- UTILITY POLE WITH LIGHT
- POST
- LIGHT POLE

- POINT OF BEGINNING
- PROPERTY LINE
- EDGE OF ASPHALT
- CONCRETE
- STONE RETAINING WALL
- BRICK RETAINING WALL
- EDGE OF GRASS
- STONE CURB

- PROPERTY LINE
- LOT LINE
- VINYL MESH FENCE
- WOOD FENCE
- GAS LINE
- OVERHEAD WIRES
- STONE WALL



LOCUS MAP  
(N.T.S.)

SURVEY NOTES

- THIS PLAN WAS PREPARED FROM AN ON THE GROUND FIELD SURVEY CONDUCTED BY RLS ON APRIL 4, 2020 AND ON THE FOLLOWING DATUM—  
MERIDIAN: FM 18969  
HORIZONTAL: ASSUMED
- REFERENCES  
STREET NAMES, R.O.W. WIDTHS, PROPERTY IDENTIFICATION NUMBERS, OWNER NAMES, EASEMENTS, AND ANY ADDITIONAL INFORMATION SHOWN HEREON ARE REFERENCED FROM THE FOLLOWING MAPS AND DOCUMENTS —  
A. LAND CONVEYED TO BEATRIZ B. & JAMES F. RYAN BY DEED BOOK 7424 PAGE 422, FILED IN THE WESTCHESTER CO. CLERKS OFFICE ON NOVEMBER 15, 1976.  
B. MAP 18969 ENTITLED, "SUBD. MAP OF JORDAN TRACT", PREPARED BY NICHOLAS KLIMETS AND FILED IN THE WESTCHESTER CO CLERKS OFFICE ON OCTOBER 14, 1976.
- THE SURVEYED PROPERTY IS SUBJECT BUT NOT LIMITED TO THE INFORMATION SHOWN HEREON. ALL INFORMATION THAT MAY AFFECT THE QUALITY OF TITLE TO BOTH THE SUBJECT AND ADJOINING PARCELS SHOULD BE VERIFIED BY AND ACCURATE AND CURRENT TITLE REPORT.
- THE LOCATION OF THE UTILITIES AS SHOWN HEREON HAVE BEEN COMPILED FROM VISIBLE STRUCTURES AND INFORMATION OBTAINED FROM VARIOUS SOURCES. THE ACTUAL LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES SHALL BE CONSIDERED APPROXIMATE AND SHALL BE VERIFIED BY THE OWNER PRIOR TO ANY CONSTRUCTION.
- WETLANDS, ENVIRONMENTAL AND/OR HAZARDOUS MATERIALS LOCATION, IF ANY, NOT COVERED UNDER THIS CONTRACT. [OR] WERE LOCATED AS MARKED AT THE TIME OF THE SURVEY.
- UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.  
BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. THIS PLAN NOT VALID UNLESS ORIGINAL STAMP AND SIGNATURE OF A LICENSED SURVEYOR ARE LOCATED HEREON.  
MAP CERTIFIED TO:  
SOLD HEREUNDER DIMENSIONS FROM THE PROPERTY COMPANY RECORDS ARE SHOWN FOR REFERENCE ONLY AND NOT INTENDED TO MONUMENT THE PROPERTY LINES, NOR ARE THEY TO BE USED IN OR GUIDE CONSTRUCTION OF ANY TYPE.

PROPERTY SURVEY  
51 BEECHDALE ROAD  
DOBBS FERRY, NEW YORK  
PREPARED FOR  
BETH LEVINE

ROWAN LAND SURVEYING, PLLC

330 OLD ALBANY POST ROAD  
GARRISON, NY 10524  
914 815 3986  
rowanlandsurveying@outlook.com

Drawn By	PR	Date	Job No.
Surveyed By	PR	APRIL 6, 2020	020-033
		Scale	Sheet No.
		1" = 30'	1 OF 1