

GENERAL REQUIREMENTS

- GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- GENERAL CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH SITE WORKING CONDITIONS, HOURS OF LEGAL OPERATION AND RELATED PERFORMANCE CRITERIA. GENERAL CONTRACTOR SHALL CONTACT IRA FRAZIN, ARCHITECT REGARDING ANY DEVIATIONS OR FIELD CONDITIONS CONFLICTING WITH THE DRAWINGS.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CODES, ORDINANCES AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, INSPECTIONS AND CERTIFICATE(S) OF OCCUPANCY, INSURANCES AND BONDS AS REQ.
- ALL MATERIALS SPECIFIED OR USED TO EXECUTE THIS PROJECT SHALL BE DELIVERED, STORED AND INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
- ANY DESIRED SUBSTITUTION OR DEVIATIONS FROM CONTRACT DOCUMENTS WILL REQUIRE WRITTEN APPROVAL FROM IRA FRAZIN, ARCHITECT PRIOR TO INSTALLATION.
- REMOVE EXISTING CONSTRUCTION AS REQUIRED TO ALLOW INSTALLATION OF NEW WORK SHOWN ON THE DRAWINGS. PATCH AREAS OF DEMOLITION FLUSH AND SMOOTH TO ADJACENT SURFACES. REFLECT FOR APPLICATION OF FINISHES.
- SHUT-DOWNS AND INTERRUPTIONS TO NORMAL ACTIVITIES SHALL BE REVIEWED WITH OWNER PRIOR TO IMPLEMENTATION. THE GC SHALL CONTACT AND COORDINATE UTILITY SHUT-DOWNS, RECONNECTS AND UPGRADES WITH THE PROPER PROVIDER IN A TIMELY MANNER.
- PROVIDE SHORING, STABILIZATION AND BRACING AS REQUIRED. PROVIDE PROPERTY, SITE AND PERSONAL PROTECTION AS REQUIRED FOR THE SAFE AND ORDERLY EXECUTION OF THE WORK.
- PROVIDE WEATHER PROTECTION IN A TIMELY MANNER TO PROTECT THE SITE, PREMISES, MATERIALS, INSTALLED WORK AND PERSONNEL.
- ALL MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS AND SERVICES TO BE COMPLETE AND OPERATIONAL. INSTALLATIONS SHALL NOT CONFLICT WITH FIXTURES OR CONSTRUCTION SHOWN MECHANICAL, ELECTRICAL AND PLUMBING WORK SHALL BE PERFORMED BY LICENSED TRADESMAN.
- THE GENERAL CONDITIONS FOR THIS PROJECT ARE THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION AIA DOCUMENT A201, 2007 EDITION, AVAILABLE FROM ARCHITECT.
- THE GC SHALL COORDINATE THE WORK OF ALL TRADES.
- THE GC SHALL SUBMIT A WRITTEN PROGRESS SCHEDULE AS WELL AS A LISTING OF ALL MAJOR SUBCONTRACTORS WITHIN 2 WEEKS OF AWARD FOR OWNER APPROVAL.
- SUBMIT MONTHLY APPLICATIONS FOR PAYMENT OR AS INDICATED IN OWNER-CONTRACTOR AGREEMENT IN AIA G702 FORMAT. PROVIDE UNIT PRICES AND ALLOWANCES AS PER OWNER-CONTRACTOR AGREEMENT.
- ALL DELIVERIES, STAGING AND AVAILABLE UTILITIES SHALL BE COORDINATED WITH OWNER PRIOR TO CONSTRUCTION.
- PROVIDE REMOVALS AND PROPER, LEGAL DISPOSAL OF ALL WASTE LEAVE PROJECT IN "BROOM-LEAN" CONDITION.
- WORK IN HARMONY WITH INDEPENDENT CONTRACTORS HIRED BY THE OWNER.
- PROVIDE MINIMUM WARRANTY FOR ALL NEW & AFFECTED CONSTRUCTION OF 2 YEARS FROM DATE OF SUBSTANTIAL COMPLETION. PROVIDE OWNER WITH MANUALS AND WARRANTIES.
- WHERE NO SPECIFICATION IS GIVEN, THE MINIMUM STANDARD FOR INSTALLATION SHALL MEET THE NATIONAL ASSOC. OF HOME BUILDERS "RESIDENTIAL CONSTRUCTION PERFORMANCE GUIDELINES" CURRENT EDITION.
- THE GC AND EACH OF HIS SUBCONTRACTORS SHALL HAVE A MINIMUM OF 5 YEARS OF RELATED WORK EXPERIENCE ON PROJECTS OF A SIMILAR NATURE.
- WHERE CONFLICTS OR POSSIBLE CONTRADICTORY INFORMATION ARE SHOWN, THE BASIS OF THE BID SHALL BE BASED ON THE MORE EXPENSIVE MEANS.
- CONTRACTOR SHALL PROVIDE SEGREGATED ACCOUNTING RELATED TO ENERGY SAVINGS FOR OWNERS TAX CREDIT PURPOSES, INCLUDING, BUT IS NOT LIMITED TO WINDOWS, EXTERIOR DOORS, INSULATION, ROOF SHEATHING, HVAC SYSTEMS, CAULKING, WEATHERSEALS, HOT WATER PRODUCTION AND ENERGY SAVING LAMPS.
- CONTRACTORS' INPUT AND RECOMMENDATIONS ARE WELCOMED AND ANTICIPATED. CONSTRUCTION ALTERNATIVES WILL BE CONSIDERED IF THEY HAVE MERIT AND CAN ACHIEVE A BETTER RESULT THAN INDICATED HEREIN FOR THE SAME COST AND TIME. SUCH CHANGES SHALL NOT TAKE PLACE WITHOUT THE APPROVAL OF THE ARCHITECT AND OWNER.

SITEWORK

- PROVIDE PROTECTION OF ALL TREES AND PLANTING THAT MAY BE AFFECTED BY THE CONSTRUCTION ACTIVITIES.
- PROVIDE SILT FENCE AT ADJACENT AREAS TO EXCAVATION, GRADING AND CONSTRUCTION.
- STOCKPILE ALL TOPSOIL AS DIRECTED BY OWNER, REGRADE, AND RE-SEED ALL DISTURBED AREAS.
- ASSURE MINIMUM 1/4" PER 1'-0" POSITIVE DRAINAGE AWAY FROM STRUCTURE.
- SOIL SHALL BE EXCAVATED AS REQUIRED. FIELD VERIFY 2,500 PSF BEARING CAPACITY, AND BE FREE OF DEBRIS, WASTE, FLOWING WATER, VEGETATION OR OTHER DELETERIOUS MATTER. NOTIFY ARCHITECT OF SUBSTANDARD SOIL CONDITIONS.
- AREAS WITHIN 6' OF EXISTING CONSTRUCTION (WHOSE SOIL HAS NOT BEEN DISTURBED WITHIN 30 YEARS) SHALL BE CONSIDERED BACKFILL AND REQUIRES ADDITIONAL SOIL TAMPING TO DEMONSTRATE 95% COMPACTION AT SOIL BEARING FACE.
- PROVIDE CLEAN FILL WHERE REQUIRED TO MATCH ADJACENT GRADES AS REQUIRED, OR AS SHOWN ON THE DRAWINGS. BACKFILLING SHALL BE PERFORMED IN 8" LIFTS AND COMPACTED TO ACHIEVE RECOMMENDED ACI DENSITIES.
- LOCATE UNDERGROUND UTILITIES BEFORE EXCAVATION. OBTAIN REQUIRED APPROVALS AND INSPECTIONS. CALL BEFORE YOU DIG OR EXCAVATE 1-800-962-7962. CONFIRMATION NUMBER MUST BE PROVIDED. SUBGRADE PIPING OR UTILITY SYSTEMS TO BE REPAIRED/REPLACED TO PROPER WORKING ORDER IF ENCOUNTERED AND DAMAGED.
- TRENCHES SHALL BE BACK FILLED IN 6" LIFTS, BEDDED WITH GRAVEL AND SAND. COORDINATE WITH ALL TRADES.
- DO NOT BACKFILL AGAINST FOUNDATION UNTIL CONC./CMU INSTALLATION HAS REACHED 75% OF ULTIMATE STRENGTH.
- GRAVEL FOR DRAINAGE TO BE CLEAN BANK-RUN 1" STONE. KEEP EXCAVATION CLEAR OF WATER BY PUMPING OR OTHER APPROVED MEANS.
- REMOVE BALL & BURL APFECTED PLANTINGS AND WATER AND MAINTAIN DURING CONSTRUCTION. REPLANT ACCORDING TO OWNERS DIRECTIONS. NEW PLANTINGS, RELATED GRADING AND TOPSOIL TO BE COORDINATED WITH OWNERS INSTALLER.

WOOD

- THE DESIGN, TRANSPORTATION AND ERECTION OF ALL STRUCTURAL LUMBER SHALL BE IN CONFORMANCE WITH THE "TIMBER CONSTRUCTION MANUAL", THE AITC AND "MANUAL FOR WOOD FRAME CONSTRUCTION" PER AMERICAN FOREST AND PAPER ASSOC. LATEST EDITION.
- DECK JOISTS & LEDGER SHALL BE PRESSURE TREATED NO. 2 SOUTHERN PINE. BEAM SHALL BE PACIFIC WOODTECH PWT TREATED 3-1/2 x 9-1/2 LVL STRINGERS. RM JOIST & FASCIA SHALL BE PACIFIC WOODTECH PWT TREATED 1-1/2 x 11-1/4 LVL.
- ALL STRUCTURAL LUMBER SHALL BE MACHINE RATED FOR THE FOLLOWING PROPERTIES:
F(B)=1,350 PSI F(V)=75 PSI E=1,350,000 PSI F(T)=875 PSI
F(C)=325 PSI (PERPEN), F(C)=825 PSI (PARA)
- ALL LUMBER SHALL BE KILN DRIED TO MAXIMUM MOISTURE CONTENT OF 15%.
- JOIST/RAFTER HANGERS SHALL BE 18 GAUGE GALVANIZED STEEL UNQ.
- ALL STRUCTURAL LUMBER THAT IS EXPOSED TO WEATHER, IN CONTACT WITH THE FOUNDATION OR WITHIN 18" OF EARTH SHALL BE ACQ-PRESSURE TREATED PRESERVATIVE. PRESSURE TREATMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE AMERICAN WOOD PRESERVERS' ASSOC. FASTENERS USED WITH PRESSURE TREATED WOOD SHALL BE STAINLESS STEEL OR GALVANIZED G-185 PROCESS.
- ENGINEERED LUMBER BY TRUS-JOIST MC MILLAN INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
- DO NOT CUT HOLES IN DIMENSIONAL LUMBER FRAMING EXCEEDING 1/3 OF DEPTH WITH OUT CONTACTING ARCHITECT FOR REINFORCEMENT INSTRUCTIONS. DO NOT CUT HOLES OR NOTCHES WITHIN 2" OF TOP OF BOTTOM OF MEMBER HOLES AND NOTCHES IN ENGINEERED FRAMING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- CROSS BRIDGE JOISTS AT MIDSPAN OR 8' O.C., CORNER BRACE AS REQ. PROVIDE SOLID BLOCKING IN FLOOR CONSTRUCTION BELOW POSTS.

CONCRETE

- THE DESIGN, "MIXING, TRANSPORTING AND CURING OF ALL STRUCTURAL CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", THE ACI.
- STRUCTURAL CONCRETE SHALL POSSESS A 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI.
- AGGREGATES SHALL CONFORM TO ASTM C33. THE COARSE COMPONENT EITHER WASHED GRAVEL OR CRUSHED STONE. FINE AGGREGATE SHALL BE CLEAN NATURAL SAND.
- PORTLAND CEMENT SHALL BE IN COMPLIANCE WITH ASTM C150, TYPE I.
- DEFORMED REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ASTM A615, GRADE 60.
- STANDARD DETAILS FOR HOOKS, BENDS, AND DEVELOPMENT LENGTHS SHALL BE IN CONFORMANCE WITH THE "CONCRETE REINFORCING STEEL HANDBOOK", THE CRSI ENGINEERING PRACTICE COMMITTEE.
- SMOOTH WIRE FABRIC REINFORCEMENT SHALL BE IN COMPLIANCE WITH ASTM A185, SHEETS ONLY NO ROLLS.
- GROUT SHALL BE NON-METALLIC AND NON-SHRINK, AND POSSESS A 28-DAY COMPRESSIVE STRENGTH OF 5,000 PSI.
- EXPANSION ANCHORS SHALL BE STAINLESS STEEL "WIK BOLTS" AS MANUFACTURED BY THE HILTI CO. NEW RE-BAR DOWELS SECURED TO EXISTING CONCRETE WITH "HIT C-100" ADHESIVE ANCHORS.
- SLABS ON GRADE FOR WALKS OR PATIOS SHALL BE 4" (6" AT DRIVEWAYS) AIR-ENTRAINED 3000 PSI WITH 6x6 W/WF REINFORCEMENT ON 4" COMPACTED GRAVEL BASE. PROVIDE EXPANSION JOINTS AT 5' O.C., TOOLED FLAG CONTROL JOINT AT 5' O.C. FLOOR FINISH INDOOR EXPOSED SLABS, BROOM FINISH EXTERIOR EXPOSED SLABS APPLY CURING COMPOUND.
- OBSERVE MINIMUM REBAR CONCRETE COVER PER ACI STANDARDS.
- CONCRETE SHALL POSSESS A MAXIMUM SLUMP OF 3.5".
- PROVIDE ADEQUATE WEATHER PROTECTION FROM EXCESS COLD, HEAT OR WIND PER A.C.I. GUIDELINES AND PER ASTM C94.
- COORDINATE WITH RELATED TRADES FOR EMBEDS, SLEEVES, OPENINGS, CHASES AND RELATED FORMING REQUIREMENTS.

BUILDING CODE AND ZONING INFORMATION

PARCEL ID: 3.120-110-1
PROPERTY CLASS: 1 FAMILY RES
2 APPLETON PLACE
ZONING DISTRICT: OF-3
LOT SIZE: 13,980 SF (0.32 ACRES)

ZONING COMPONENT	ALLOWABLE	EXISTING	PROPOSED	COMMENT
LOT SIZE	15,000 SF MIN.	13,980 SF	13,980 SF	CONFORMS
LOT WIDTH	100' MIN.	147'	147'	CONFORMS
LOT DEPTH	100' MIN.	105'	105'	CONFORMS
FRONT SETBACK	30' MIN.	34'	34'	CONFORMS
SIDE SETBACK (EACH)	15' MIN.	25.6' & 33.3'	22' & 33.3"	CONFORMS
SIDE SETBACK (SUM)	40' MIN.	58.9'	55.3'	CONFORMS
REAR SETBACK	25' MIN.	41'	41'	CONFORMS
HEIGHT- MAIN BLDG.	30'	16'	16'	CONFORMS
MAX. LOT COVERAGE-BLDG	(0.2) 2,796 SF	(108) 1,512 SF	(108) 1,512 SF	CONFORMS
MAX. LOT COVERAGE-IMPERVIOUS	(0.4) 5,592 SF	(14) 1,958 SF	(157) 2,190 SF	CONFORMS

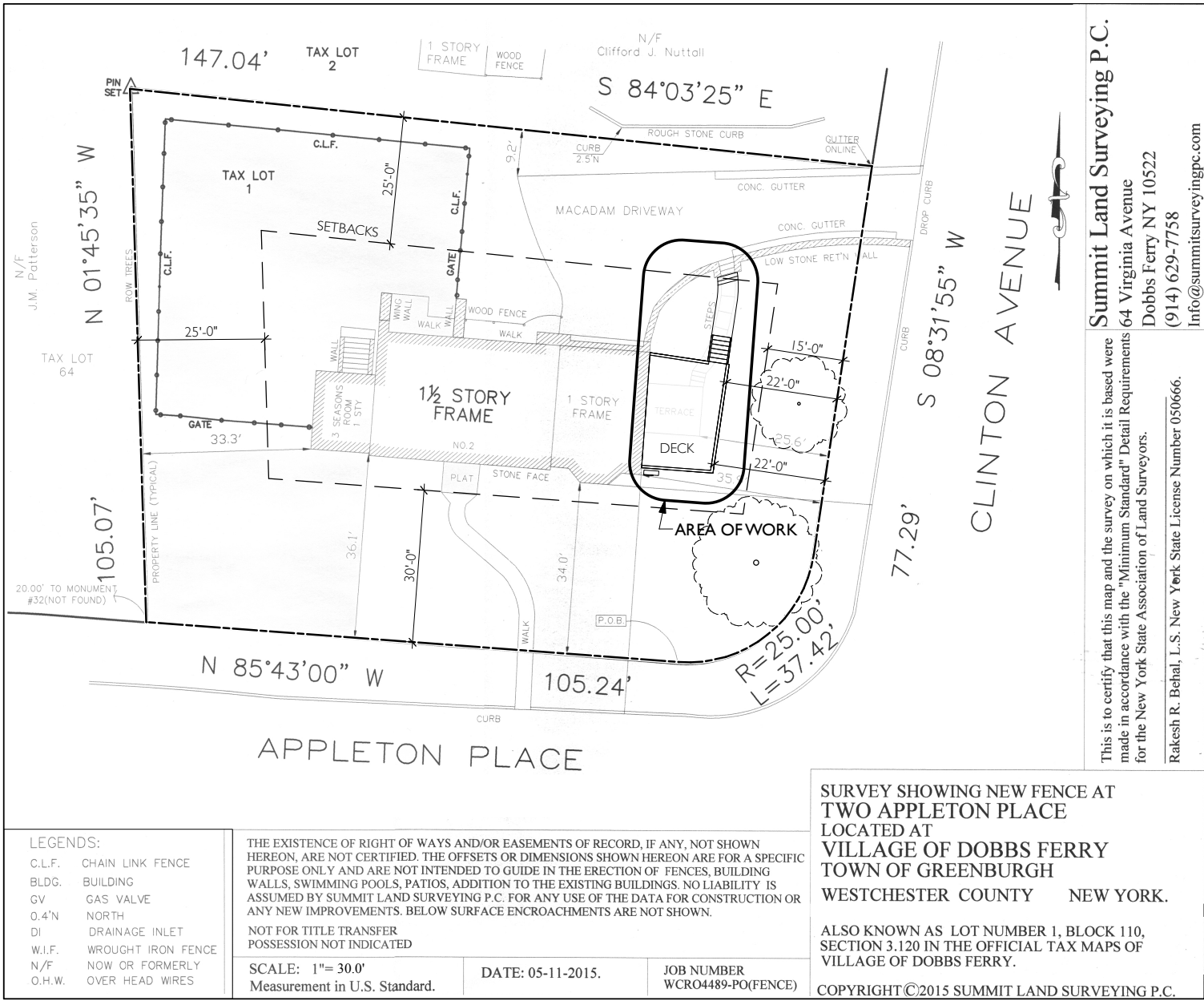
NOTE
ALL LIGHTING SHALL COMPLY WITH THE VILLAGE OF DOBBS FERRY
CODE SECTION 300.41. (THERE IS NO NEW PROPOSED LIGHTING
IN THIS APPLICATION.)

ENERGY CODE INFORMATION

CLIMATE ZONE 4
FENESTRATION U-FACTOR 0.34
CEILING R-VALUE 38
WOOD FRAME WALL R-VALUE 19
SLAB R-VALUE & DEPTH 10, 2 ftd

I.R.C. INFORMATION

GROUND SNOW LOAD 45 LBS.
LIVE LOAD 40 LBS.
WIND SPEED 90 MPH
SEISMIC DESIGN CATEGORY D
WEATHERING DAMAGE SEVERE
FROST LINE DEPTH 42" MIN. BELOW GRADE
TERMITE DAMAGE MEDIUM TO HEAVY
DECAY DAMAGE SLIGHT TO MEDIUM
WINTER DESIGN TEMP 7°
ICE SHIELD UNDERLAY REQ. YES

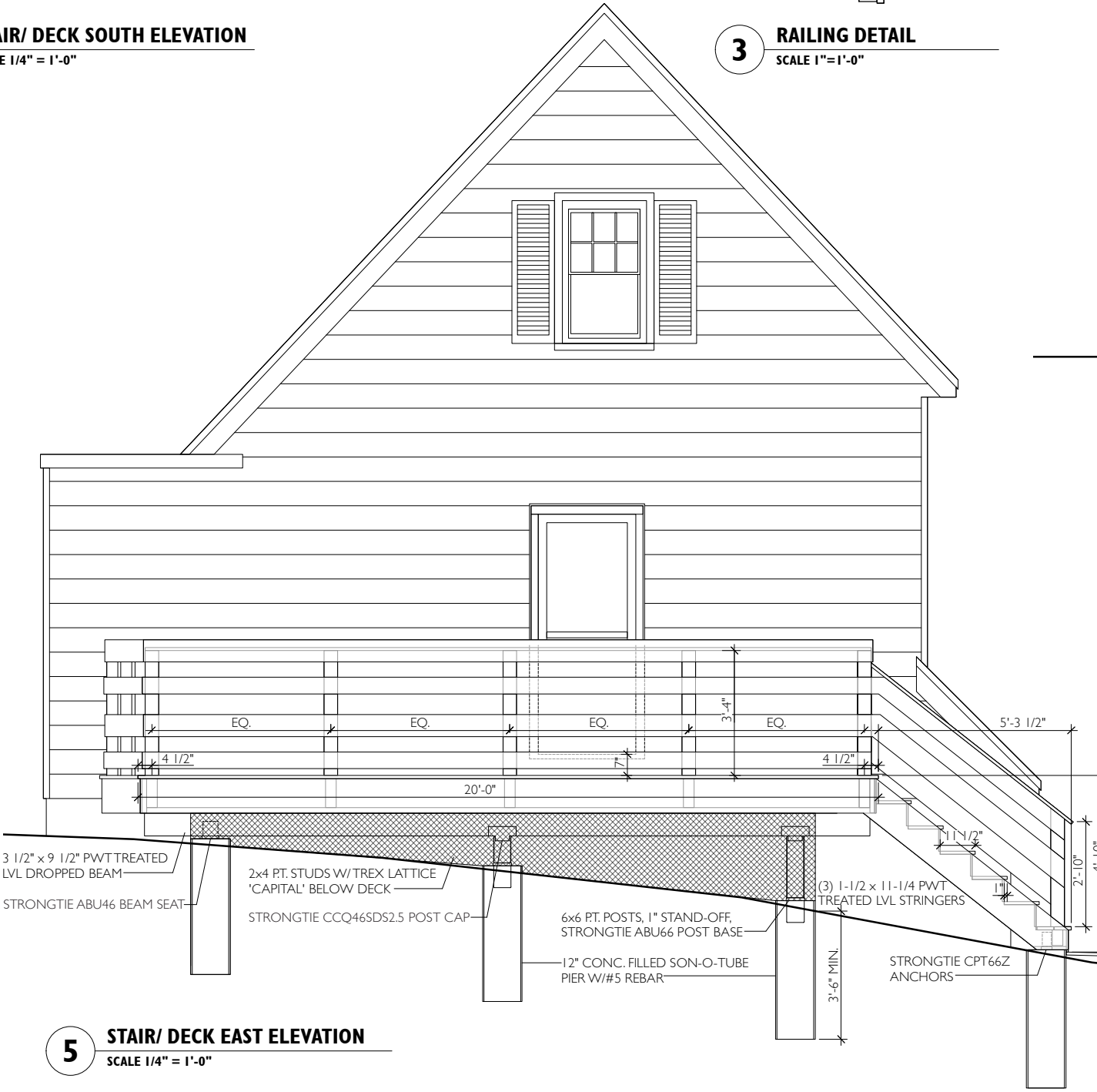


1 SURVEY
SCALE 1" = 30'-0"

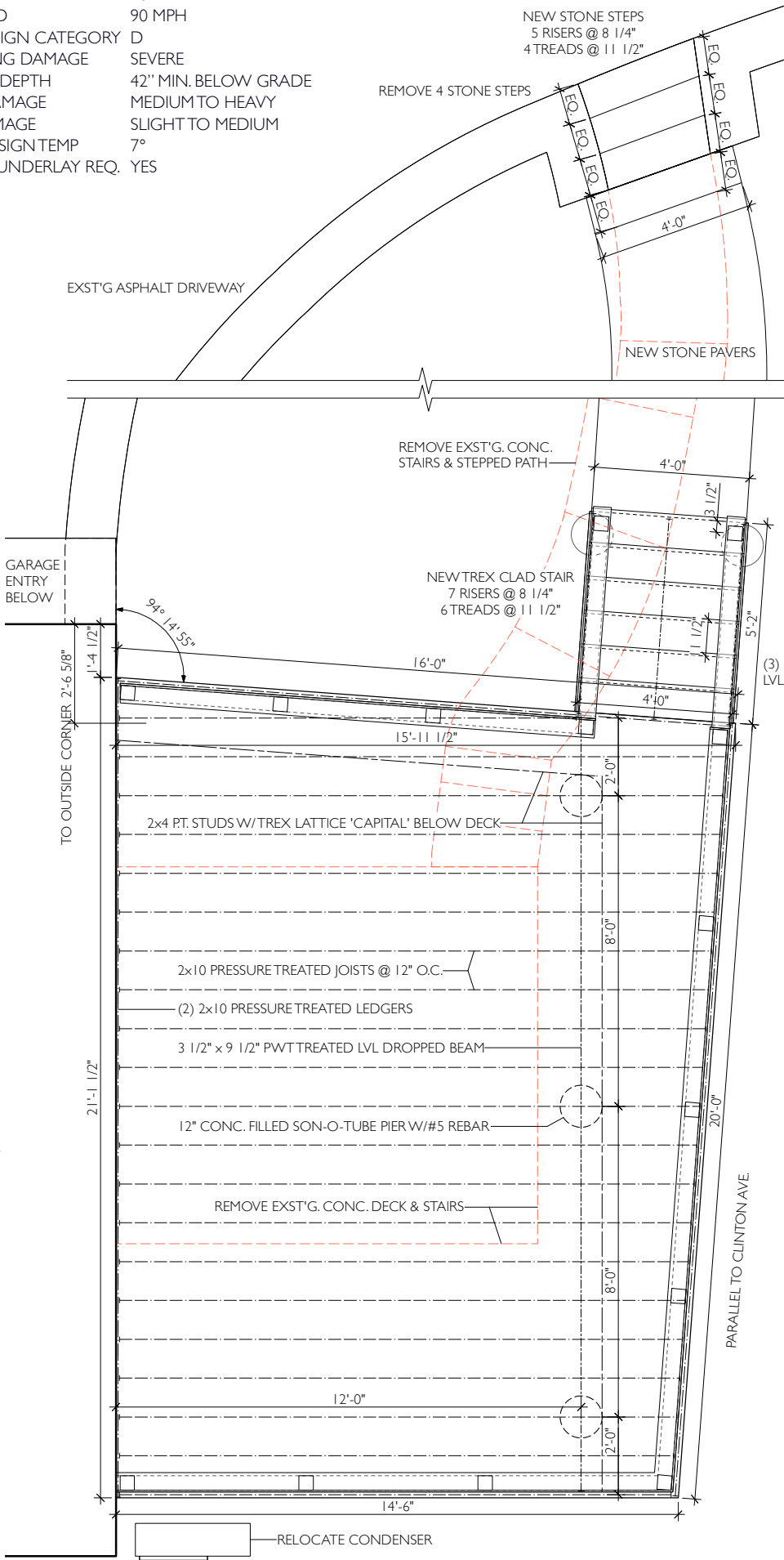
SURVEY PROVIDED BY OWNER, PREPARED BY SUMMIT LAND SURVEYING, PC, RAKESH R. BEHAL, L.S., NY'S LICENSE NO. 050666, DATED: MAY 11, 2015

2 STAIR/ DECK SOUTH ELEVATION
SCALE 1/4" = 1'-0"

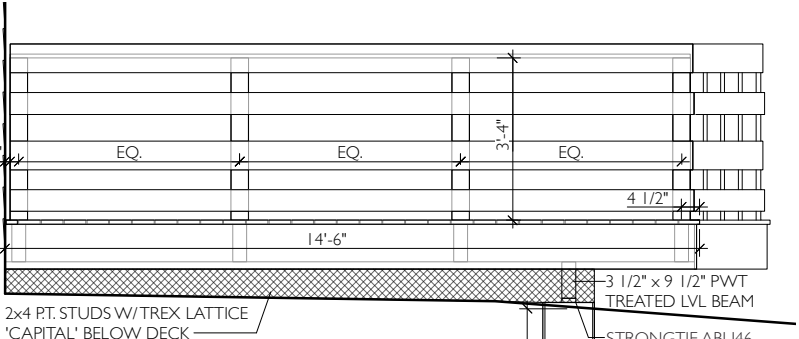
3 RAILING DETAIL
SCALE 1" = 1'-0"



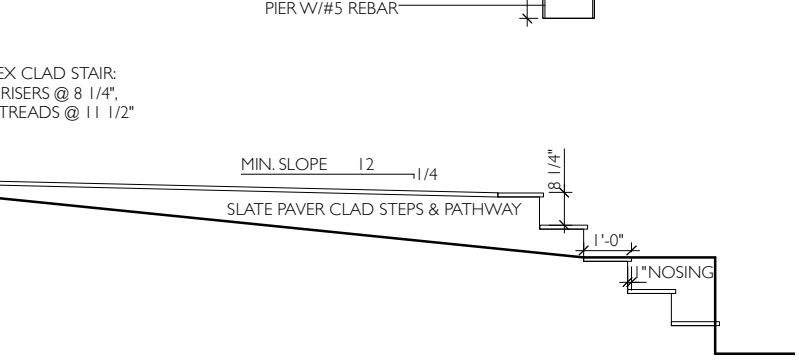
5 STAIR/ DECK EAST ELEVATION
SCALE 1/4" = 1'-0"



4 STAIR/ DECK FRAMING PLAN
SCALE 1/4" = 1'-0"

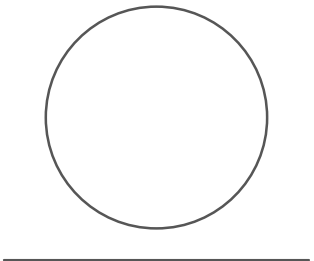


6 DECK SOUTH ELEVATION
SCALE 1/4" = 1'-0"



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PROJECT NO: 2004



LOGAN RESIDENCE
DECK
2 APPLETON PLACE
DOBBS FERRY, NEW YORK 10522

DATE: 19 MAY 2021
SCALE: AS NOTED

DRAWING:
GENERAL NOTES, SURVEY, FRAMING/
DECK PLAN, ELEVATIONS & DETAILS

A-000.00

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