

November 1, 2021

Mr. Ed Manley  
Village of Dobbs Ferry  
Building Department  
112 Main Street  
Dobbs Ferry, NY 10522

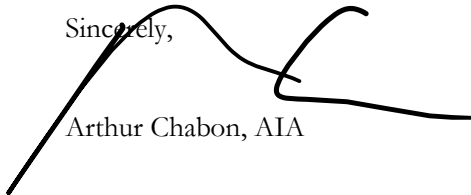
Dear Mr. Manley:

I am writing to report a potentially dangerous condition at the south chimney of 480 Broadway, Dobbs Ferry. Due to age, historic neglect, and lack of maintenance under previous ownership, the masonry and flashing have deteriorated to such an extent that there is constant water infiltration both through the masonry and between the masonry and the roof. The optimal solution is the complete replacement of the chimney. However, due to the high cost of the extensive restoration work the owner has undertaken on all other parts of the house, this additional work is prohibitively expensive. The damage to the interior and potentially to the structure, makes this an emergency situation. As the chimney is obsolete serving no mechanical purpose, we strongly recommend that the chimney be removed under an emergency work order.

With last week's severe weather and additional severe weather expected the end of this week, it is our intention to remove the chimney this week. We would greatly appreciate your immediate response.

Sincerely,

Arthur Chabon, AIA

A handwritten signature in black ink, appearing to be 'Arthur Chabon', written over the printed name.



## EXISTING WITH CHIMNEY

REQUEST FOR EMERGENCY CHIMNEY REMOVAL  
11/4/21

EXISTING SOUTH EXTERIOR ELEVATION  
SCALE 1/4" = 1'-0"

STRUCTURAL  
KSI Professional Engineers  
P.O. Box 628  
Farmingdale, NJ 07727

[illegible]

3 West Main Street  
Suite 102 Irvington, NY 10533  
212 216 9268 T  
914 478 1082 T

info@chabonarchitect.com



**Spinella-Kreuch**  
480 Broadway  
Dobbs Ferry, NY 10522

### Exterior Elevation

First Issue Date	11/04/21
Project #	1806
Drawn by	KZ
Checked by	AC

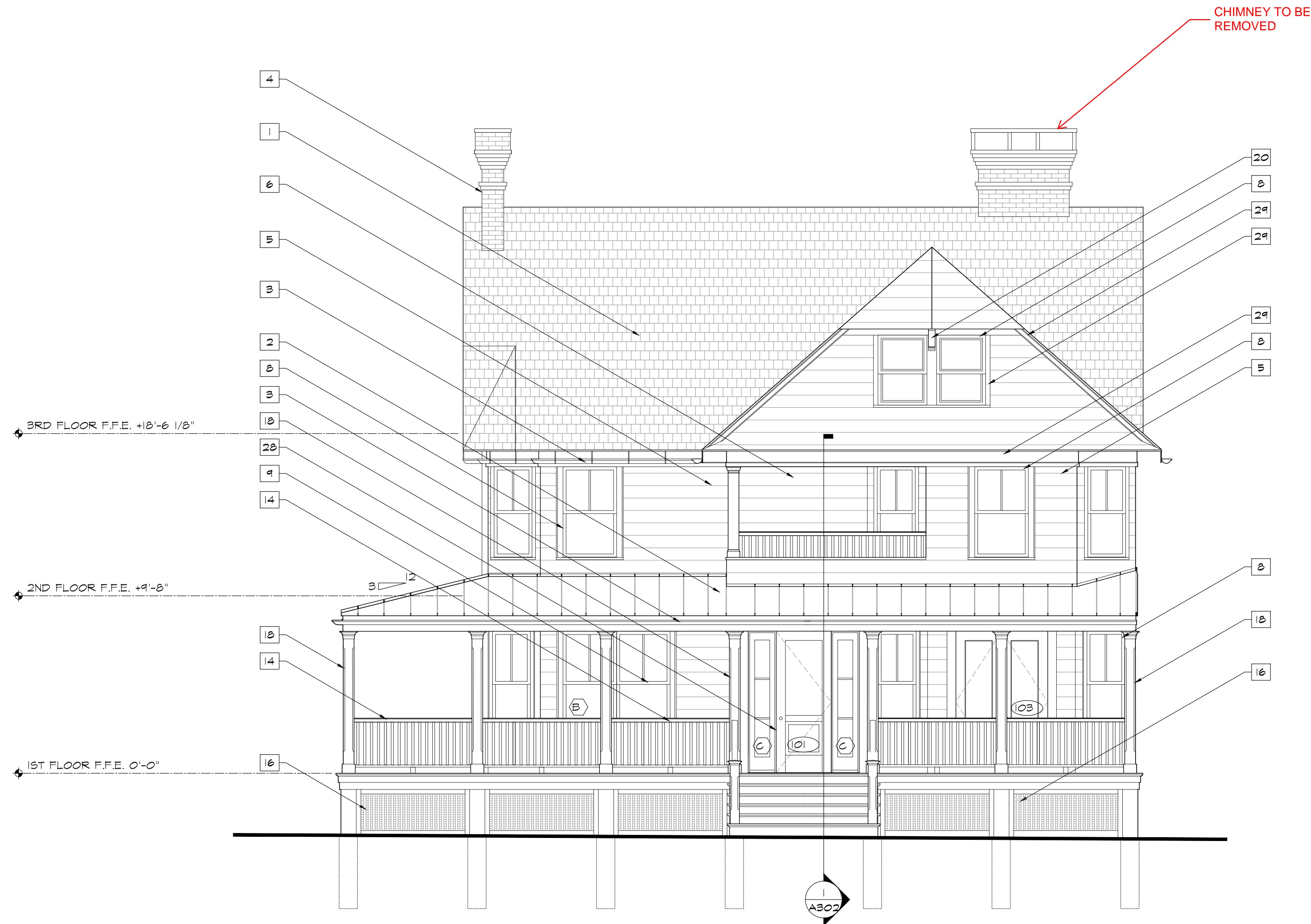
## EC401





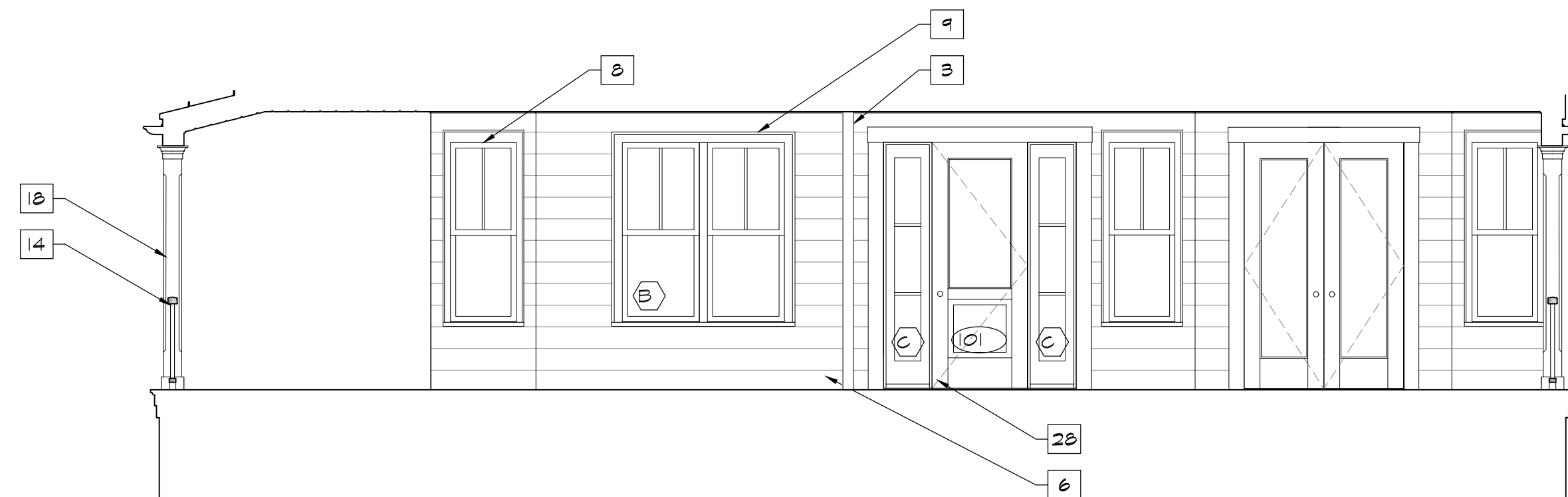






PROPOSED WITH CHIMNEY

1 WEST EXTERIOR ELEVATION (BROADWAY SIDE)  
SCALE 1/4" = 1'-0"



REQUEST FOR EMERGENCY CHIMNEY REMOVAL  
11/4/21

2 WEST EXTERIOR ELEVATION (BROADWAY SIDE) @PORCH INTERIOR  
SCALE 1/2" = 1'-0"

#### MATERIAL LEGEND

1	NEW ARCHITECTURAL ASPHALT SHINGLE ROOFING (GAF TIMBERLINE)	14	NEW PTD. WOOD RAILING & PICKETS
2	NEW STANDING SEAM METAL ROOFING (BY DREXEL METALS OR ARCH. APPROVED EQ.)	15	EXISTING PTD. BRICK BASE - TO BE REPAINTED
3	NEW PREFINISHED ALUMINUM GUTTERS & DOWNSPOUTS	16	NEW PTD. WOOD LATTICE
4	REPAIR & REPAINT EXIST. BRICK CHIMNEY	17	EXIST. WOOD TRIM - REPAINT
5	EXIST. PTD. CEDAR CLAPBOARD SIDING, REPAIR AS REQ'D	18	NEW PTD. WOOD COLUMN
6	NEW PTD. CEDAR CLAPBOARD SIDING, TO MATCH EXIST.	19	NOT USED.
7	NOT USED.	20	EXIST. WD. BRACKET - REPAINT
8	EXISTING VINYL-CLAD WOOD WINDOWS (BY SILVERLINE)	21	NEW PTD. WOOD PANEL
9	NEW VINYL WINDOWS (BY SILVERLINE) - MATCH EXISTING	22	NOT USED.
10	NEW PTD. WOOD DOOR W/ GLASS LITE	23	NOT USED.
11	NEW PTD. WOOD OVERHEAD GARAGE DOOR W/ GLASS LITES	24	REPAIR & REPAINT EXIST. STUCCO CHIMNEY
12	NEW PTD. WOOD TRIM	25	EXIST. STEEL PIPE COLUMN W/ NEW PTD. WD. CLADDING
13	NEW PTD. WOOD BRACKET	26	NEW METAL FLASHING
		27	NEW THIN BRICK, PAINTED, TO MATCH EXISTING
		28	NEW WOOD DOOR W/ SIDE LITES
		29	EXISTING WOOD TRIM TO BE REPAINTED

STRUCTURAL  
KSI Professional Engineers  
P.O. Box 628  
Farmingdale, NJ 07727

Rev	PERMIT	Date
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ACA ARTHUR CHABON Architects

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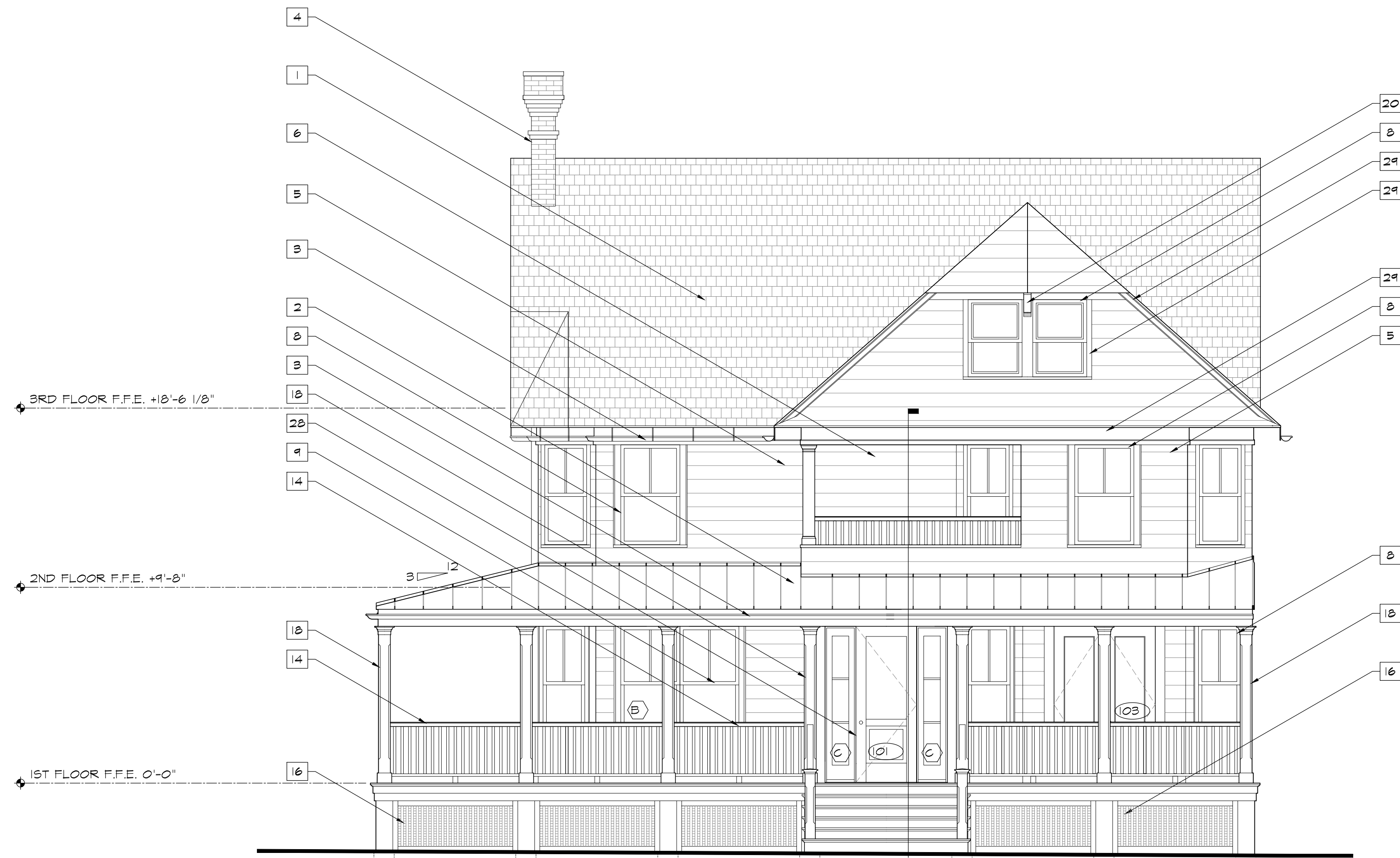


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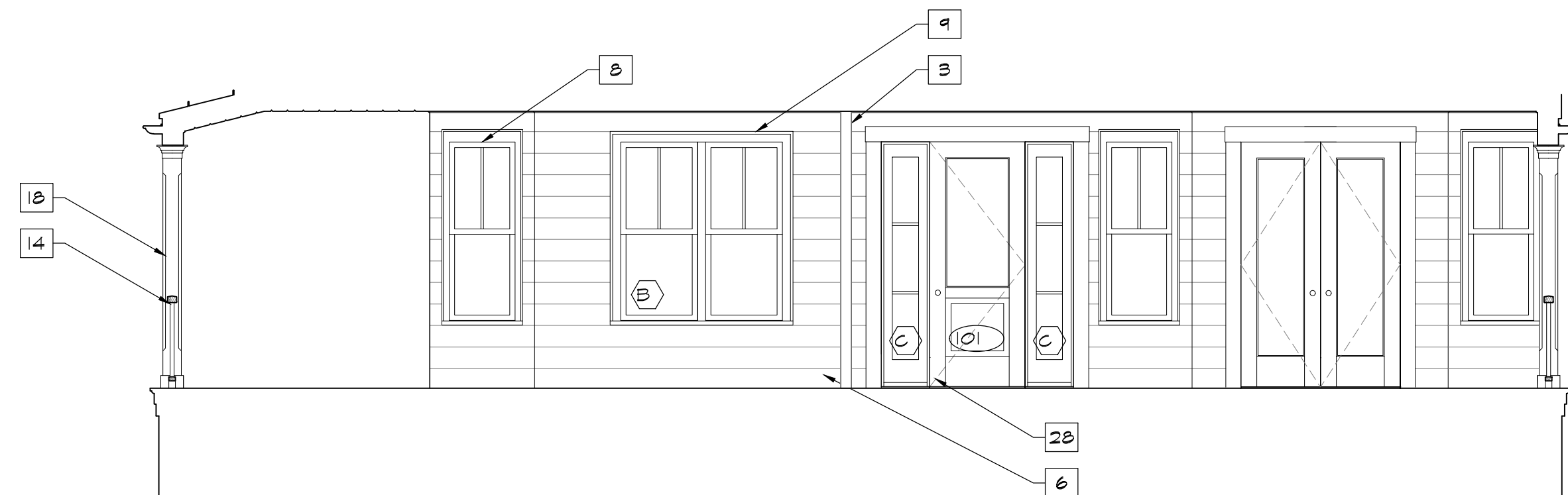
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A402



PROPOSED WITHOUT CHIMNEY

1 WEST EXTERIOR ELEVATION (BROADWAY SIDE)  
SCALE 1/4" = 1'-0"



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