

GENERAL NOTES -CONSTRUCTION

- A. ALL NEW WORK SHALL COMPLY WITH MATERIALS AND METHODS REQUIREMENTS THAT SPECIFY MATERIAL STANDARDS, DETAIL OF INSTALLATION AND CONNECTION, JOINTS, PENETRATIONS, AND CONTINUITY OF ANY ELEMENT, COMPONENT OF ANY ELEMENT, COMPONENT OR SYSTEM IN THE BUILDING.
- B. CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE LICENSED IN THE COUNTY OF WORK TO PERFORM THE WORK REQUIRED
- C. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, INSPECTIONS AND CERTIFICATES.
- D. CONTRACTOR TO PROVIDE INSURANCE AS REQUIRED BY LOCAL AUTHORITIES
- E. THE CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIM/HERSELF WITH EXISTING SITE CONDITIONS PRIOR TO SUBMITTING A BID. HE SHALL CHECK AND VERIFY ALL CONDITIONS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE OWNER AND ARCHITECT.
- F. CONTRACTOR SHALL PROVIDE FOR THE LEGAL REMOVAL AND DISPOSITION OF RUBBISH AND DEBRIS AND FOR GENERAL CLEANING FOR THE DURATION OF THE PROJECT. UPON COMPLETION, THE CONTRACTOR SHALL LEAVE THE PREMISES FREE AND CLEAR OF ALL RUBBISH AND DEBRIS AND IN A BROOM SWEEP CONDITION.
- G. REFER TO ADDITIONAL NOTES ON PLANS FOR ADDITIONAL INFORMATION.
- H. CONTRACTOR SHALL SHORE, BRACE AND MAKE SAFE ALL FLOORS, ROOFS, WALLS AND ADJACENT PROPERTY AS JOB CONDITIONS REQUIRE

LEAD -BASED PAINT.

- A. IN ADDITION TO REQUIREMENTS OF THIS CODE, 4) CFR 745 (TITLED "LEAD-BASED PAINT POISONING PREVENTION IN CERTAIN RESIDENTIAL STRUCTURES"), A REGULATION ISSUED AND ENFORCED BY THE FEDERAL ENVIRONMENTAL PROTECTION AGENCY, APPLIES TO CERTAIN ACTIVITIES IN BUILDINGS THAT MAY CONTAIN LEAD-BASED PAINT, INCLUDING RENOVATIONS PERFORMED FOR COMPENSATION IN "TARGET HOUSING" AND "CHILD-OCCUPIED FACILITIES," "ABATEMENT" OF LEAD-BASED PAINT HAZARDS AND OTHER "LEAD-BASED PAINT ACTIVITIES"

INSULATION AND FENESTRATION REQUIREMENTS - CLIMATE ZONE 4A

COMPONENT	REQUIREMENT
FENESTRATION U-FACTOR	0.35
SKYLIGHT U-FACTOR	0.55
SHGC	0.4
CEILING R-VALUE	49
WOOD WALL R-VALUE	20 OR 13+5
MASS WALL R-VALUE	8/13
FLOOR R-VALUE	19
BASEMENT R-VALUE	10/13
SLAB R-VALUE & DEPTH	10, 2FT.
CRAWL SPACE R-VALUE	10/13

USE/LIVE LOAD PSF

- UNINHABITABLE ATTICS WITHOUT STORAGE /10
- UNINHABITABLE ATTICS WITH LIMITED STORAGE/20
- HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS/30
- BALCONIES (EXTERIOR) AND DECKS/40
- FIRE ESCAPES/40
- GUARDS AND HANDRAILS/200
- GUARD IN-TILL COMPONENTS/50
- PASSENGER VEHICLE GARAGES/50
- ROOMS OTHER THAN SLEEPING ROOMS/ 40
- SLEEPING ROOMS/30
- STAIRS/40

ABBREVIATIONS

ACT	ACOUSTICAL CEILING TILE	GWB, GYP BD	GYPSUM WALL BOARD
AFF	ABOVE FINISHED FLOOR	HGT	HEIGHT
APPL	APPLIANCE	HM	HOLLOW METAL
BB	BASE BOARD	HW	HOT WATER
BD	BOARD	ICE	ICEMAKER
BET	BETWEEN	INFO	INFORMATION
BLDG	BUILDING	MAX	MAXIMUM
BLKG	BLOCKING	MBATH	MASTER BATHROOM
BM	BEAM	MBR	MASTER BEDROOM
B.O.	BY OTHERS	MIN	MINIMUM
BR	BRICK	MTD	MOUNTED
CABT.	CABINET	MTL	METAL
C.J.	CONTROL JOINT	MW	MICROWAVE
CLOS.	CEILING	N.T.S.	NOT TO SCALE
CLO., CLOS.	CLOSET	O.C.	ON CENTER
CMU	CONCRETE MASONRY UNIT	OPNG	OPENING
C.O.	CLEAN OUT	OPP.	OPPOSITE
COL	COLUMN	P-LAM	PLASTIC LAMINATE
CONC	CONCRETE	PLYWD	PLYWOOD
C.T.	CERAMIC TILE	P.T	PRESSURE TREATED
CW	COLD WATER	PTD	PAINTED
DTLS	DETAILS	RCP	REFLECTED CEILING PLAN
DR.	DOOR	REF	REFRIGERATOR
DWGS	DRAWINGS	REQ'D	REQUIRED
DWR	DRAWER	RM	ROOM
DW	DISHWASHER	SECT	SECTION
ELEV	ELEVATOR	SHT MTL	SHEET METAL
ENCL	ENCLOSURE	SIM	SIMILAR
EXIST., EXG	EXISTING	SPECS	SPECIFICATIONS
F.B.O.	FURNISHED BY OWNER	STL	STEEL
FDN	FOUNDATION	S.S.	STAINLESS STEEL
FG	FIBERGLASS	TR	TRASH RECEPTACLE
FL, FLR.	FLOOR	TYP.	TYPICAL
FTG.	FOOTING	U.O.N.	UNLESS OTHERWISE NOTED
GALV	GALVANIZED	VCT	VINYL COMPOSITION TILE
GC	GENERAL CONTRACTOR	V.I.F.	VERIFY IN FIELD
GL	GLASS	WD	WOOD

DEMO NOTES

- A. CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY IN A SYSTEMATIC MANNER.
- B. ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO OWNER.
- C. CONTRACTOR TO PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIER AND GUARDS AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY DEPT OF BUILDINGS RULES AND REGULATIONS.
- D. CAREFULLY REMOVE EXISTING APPLIANCES, LIGHT FIXTURES AND PLUMBING FIXTURES. CAP OFF ALL UTILITY CONNECTIONS AS REQUIRED. CUT, CAP AND FLUSH ALL ABANDONED STUBS AND PROVIDE REQUIRED PATCHING. PROVIDE BLANK COVERS FOR ABANDONED OUTLETS.
- E. SALVAGED WOOD TO BE DE-NAILED. WOOD TO BE FREE OF PAINT OR OTHER FINISHES.
- F. CONTRACTOR TO DISPOSE OF FLUORESCENT LAMPS AS REQUIRED.

HVAC, ELECTRICAL AND PLUMBING NOTES

- ELECTRICAL NOTES
- A. ALL ELECTRICAL EQUIPMENT, MATERIALS, COMPONENTS, DEVICES, FIXTURES SHALL BE LISTED FOR APPLICATION AND HAVE LABEL OF APPROVED AGENCY AND BE INSTALLED PER MANUFACTURERS
- B. ELECTRICAL CONTRACTOR TO EXAMINE PROPOSED LAYOUT WITH RESPECT TO EXISTING FIELD CONDITIONS AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES
- C. ANY ALTERATION TO AN EXISTING ELECTRICAL SYSTEM RELATING TO WORK DONE IN ANY WORK AREA SHALL BE MADE IN CONFORMITY WITH THE CODE.
- D. INCREASED LOADS. WHERE ALTERATIONS SUBJECT PORTIONS OF EXISTING ELECTRICAL SYSTEMS TO INCREASED LOADS, SUCH PORTIONS SHALL BE MADE TO COMPLY WITH THE CODE.
- E. SERVICE TO DWELLING UNITS SHALL BE A MINIMUM OF 100 AMPERE, THREE-WIRE CAPACITY, AND SERVICE EQUIPMENT SHALL BE DEAD FRONT HAVING NO LIVE PARTS EXPOSED WHEREBY ACCIDENTAL CONTACT COULD BE MADE. TYPE "S" FUSES SHALL BE INSTALLED WHEN FUSED EQUIPMENT IS USE
- F. CLEARANCE. CLEARANCE FOR ELECTRICAL SERVICE EQUIPMENT SHALL BE PROVIDED IN ACCORDANCE WITH THE CODE.
- G. GROUND-FAULT AND ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION. GROUND-FAULT AND ARCAULT CIRCUIT-INTERRUPTER PROTECTION SHALL BE PROVIDED ON NEWLY INSTALLED RECEPTACLE OUTLETS AS REQUIRED BY THE CODE.
- H. ADDITIONAL ELECTRICAL REQUIREMENTS. WHEN THE WORK AREA INCLUDES ANY OF THE FOLLOWING AREAS WITHIN A DWELLING UNIT, THE REQUIREMENTS SHALL APPLY.
- I. ENCLOSED AREAS. ALL ENCLOSED AREAS OTHER THAN CLOSETS, KITCHENS, BASEMENTS, GARAGES, HALLWAYS, LAUNDRY AREAS AND BATHROOMS SHALL HAVE A MINIMUM OF TWO DUPLEX RECEPTACLE OUTLETS, OR ONE DUPLEX RECEPTACLE OUTLET AND ONE CEILING OR WALL TYPE LIGHTING OUTLET.
- J. KITCHEN AND LAUNDRY AREAS. KITCHEN AREAS SHALL HAVE A MINIMUM OF TWO DUPLEX RECEPTACLE OUTLETS. LAUNDRY AREAS SHALL HAVE A MINIMUM OF ONE DUPLEX RECEPTACLE OUTLET LOCATED NEAR THE LAUNDRY EQUIPMENT AND INSTALLED ON AN INDEPENDENT CIRCUIT.
- K. BATHROOMS, HALLWAYS, STAIRWAYS, ATTACHED AND DETACHED GARAGES. AT LEAST ONE LIGHTING OUTLET SHALL BE PROVIDED IN EVERY BATHROOM, HALLWAY, STAIRWAY, ATTACHED GARAGE AND DETACHED GARAGE WITH ELECTRIC POWER TO ILLUMINATE OUTDOOR ENTRANCES AND EXITS

CODE NOTES- EXISTING BUILDINGS

AJ301 WORK AREA

- A. PORTION(S) OF A BUILDING AFFECTED BY ANY RENOVATION, ALTERATION OR RECONSTRUCTION WORK AS INITIALLY INTENDED BY THE OWNER AND INDICATED AS SUCH IN THE PERMIT. WORK AREA EXCLUDES OTHER PORTIONS OF THE BUILDING WHERE INCIDENTAL WORK ENTAILED BY THE INTENDED WORK MUST BE PERFORMED, AND PORTIONS OF THE BUILDING WHERE WORK NOT INITIALLY INTENDED BY THE OWNER IS SPECIFICALLY REQUIRED BY THIS APPENDIX

REPAIRS TO EXISTING BUILDINGS

- A. EXCEPT AS OTHERWISE REQUIRED HEREIN, WORK SHALL BE DONE USING MATERIALS PERMITTED BY THE APPLICABLE CODE FOR NEW CONSTRUCTION OR USING LIKE MATERIALS SUCH THAT NO HAZARD TO LIFE, HEALTH OR PROPERTY IS CREATED.
- B. EXISTING ELECTRICAL WIRING AND EQUIPMENT UNDERGOING REPAIR SHALL BE ALLOWED TO BE REPAIRED OR REPLACED WITH LIKE MATERIAL
- C. DAMAGED BUILDINGS SHALL BE REPAIRED IN ACCORDANCE WITH THIS SECTION.
- D. NEW STRUCTURAL FRAME MEMBERS USED IN THE REPAIR OF DAMAGED BUILDINGS, INCLUDING ANCHORAGE AND CONNECTIONS, SHALL COMPLY WITH THIS CODE.

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA- CLIMATE ZONE 4A

GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT FROM DAMAGE FROM			CLIMATE ZONE	ICE BARRIER UNDERLAYME NT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	SPEED MPH	TOPO EFFECTS	WIND REGION	WINDBORNE DEBRIS		WEATHERING	FROST LINE DEPTH	TERMITE					
	SPEECH WIND REGION	NO	YES	NO		SEVERE	42	SEVERE TO HEAVY					
30 PSF					C				4A	YES	NA	2000	51.6

LOCATION



Sheet List			
Sheet Number	Sheet Name	Current Revision Description	Current Revision Date
A-000	Cover	AHRB	2/22/21
A-001	Specifications	AHRB	2/22/21
A-002	Aerial Photo, Survey and Parking	AHRB	2/22/21
A-105	Plans	AHRB	2/22/21
A-110	Elevations	AHRB	2/22/21
A-111	Pricing Information	AHRB	2/22/21
A-210	Sections & Details	AHRB	2/22/21
S-100	Structural Details	FOR PERMIT	11/29/20

PROPERTY INFORMATION

MUNICIPALITY: VILLAGE OF DOBBS FERRY
ADDRESS: 54 MAGNOLIA DR
SBL: 3.160-144-12
OWNER: CHARLES AND LISA BETROS
ZONING: OF5

PROJECT DESCRIPTION

- EXISTING ONE-STORY SINGLE FAMILY HOUSE
- EXTERIOR REPAIRS TO FRONT PORCH AND SIDE STAIR

BUILDING, PLUMBING MECHANICAL, FUEL GAS, AND ELECTRICAL CODES

2020 NYS RESIDENTIAL CODE

REQUIRED INSPECTIONS

- R109.1.1 FOUNDATION INSPECTION.
- A. INSPECTION REQUIRED AFTER POLES OR PIERS ARE SET OR TRENCHES OR BASEMENT AREAS ARE EXCAVATED AND ANY REQUIRED FORMS ERECTED AND ANY REQUIRED REINFORCING STEEL IS IN PLACE AND SUPPORTED PRIOR TO THE PLACING OF CONCRETE. THE FOUNDATION INSPECTION SHALL INCLUDE EXCAVATIONS TOR THICKENED SLABS INTENDED FOR THE SUPPORT OF BEARING WALLS, PARTITIONS STRUCTURAL SUPPORTS, OR EQUIPMENT AND SPECIAL REQUIREMENTS TOR WOOD FOUNDATIONS.

- R109.1.2 PLUMBING, MECHANICAL, GAS AND ELECTRICAL SYSTEMS INSPECTION.
- A. ROUGH INSPECTION OF PLUMBING, MECHANICAL, GAS AND ELECTRICAL SYSTEMS REQUIRED PRIOR TO COVERING OR CONCEALMENT, BEFORE FIXTURES OR APPLIANCES ARE SET OR INSTALLED AND PRIOR TO FRAMING INSPECTION
- R109.1.4 FRAME AND MASONRY INSPECTION.
- A. INSPECTION OF FRAMING AND MASONRY CONSTRUCTION SHALL BE MADE AFTER THE ROOF, MASONRY, FRAMING, FIRE STOPPING, DRAFT STOPPING AND BRACING ARE IN PLACE AND AFTER THE PLUMBING, MECHANICAL AND ELECTRICAL ROUGH INSPECTIONS ARE APPROVED.

- R109.1.S FINAL INSPECTION.
- A. FINAL INSPECTION SHALL BE MADE AFTER THE PERMITTED WORK IS COMPLETE AND PRIOR TO OCCUPANCY

REQUIRED PERMITS

- BUILDING PERMIT
- ELECTRICAL PERMIT

No.	Description	Date
1	FOR PERMIT	11/29/20
3	AHRB	2/22/21

54 Magnolia Drive
Dobbs Ferry, NY

Porch Renovation
Betros

Cover

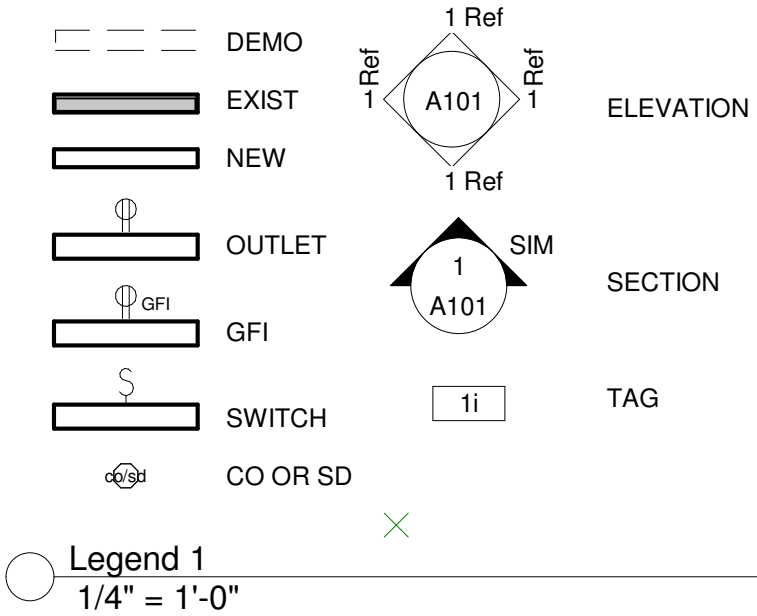
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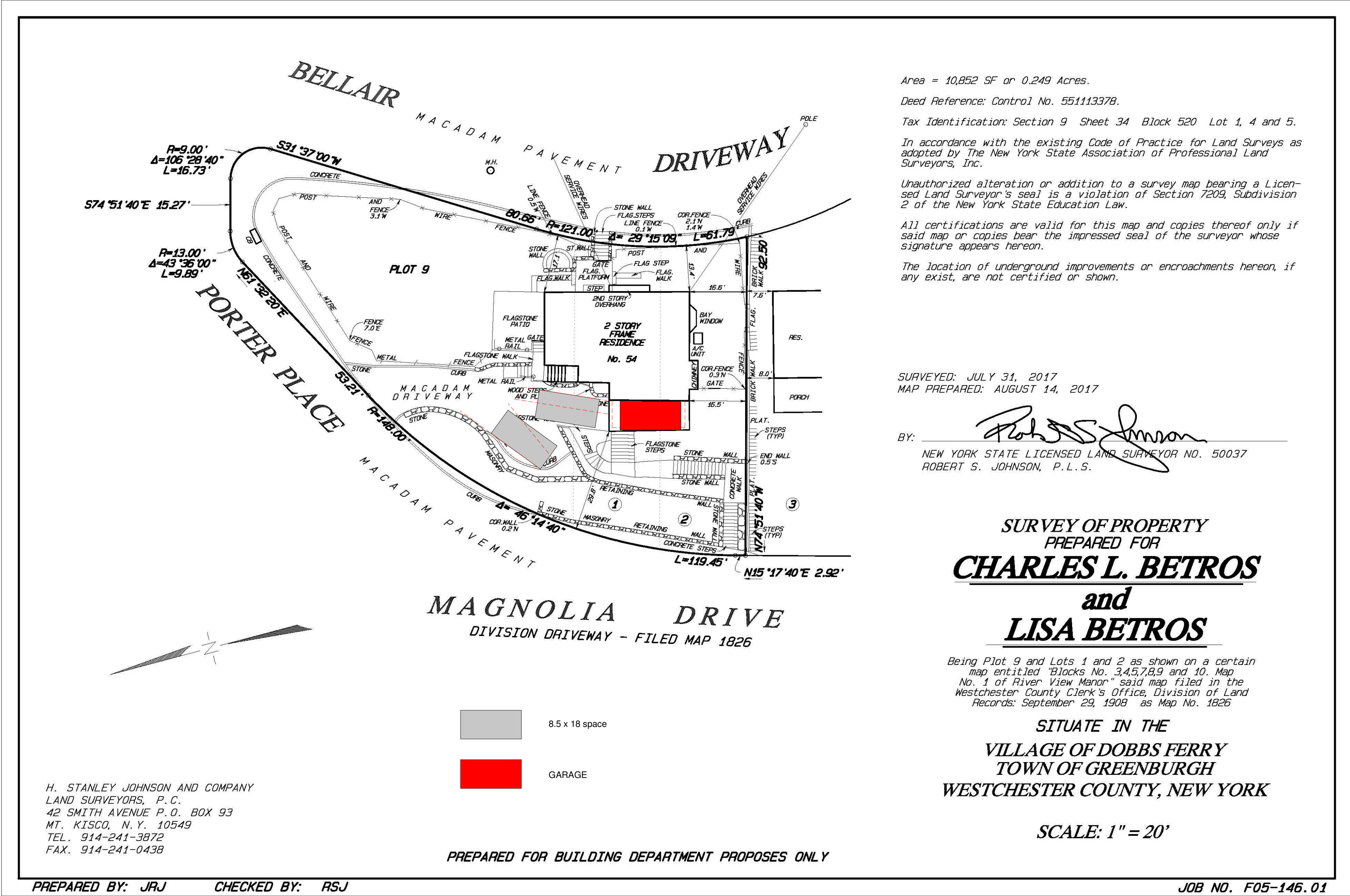
Date 11/4/20

A-000

TRIO

architecture, pllc
17 Wilson Pl Hastings on Hudson NY
914 907 2511

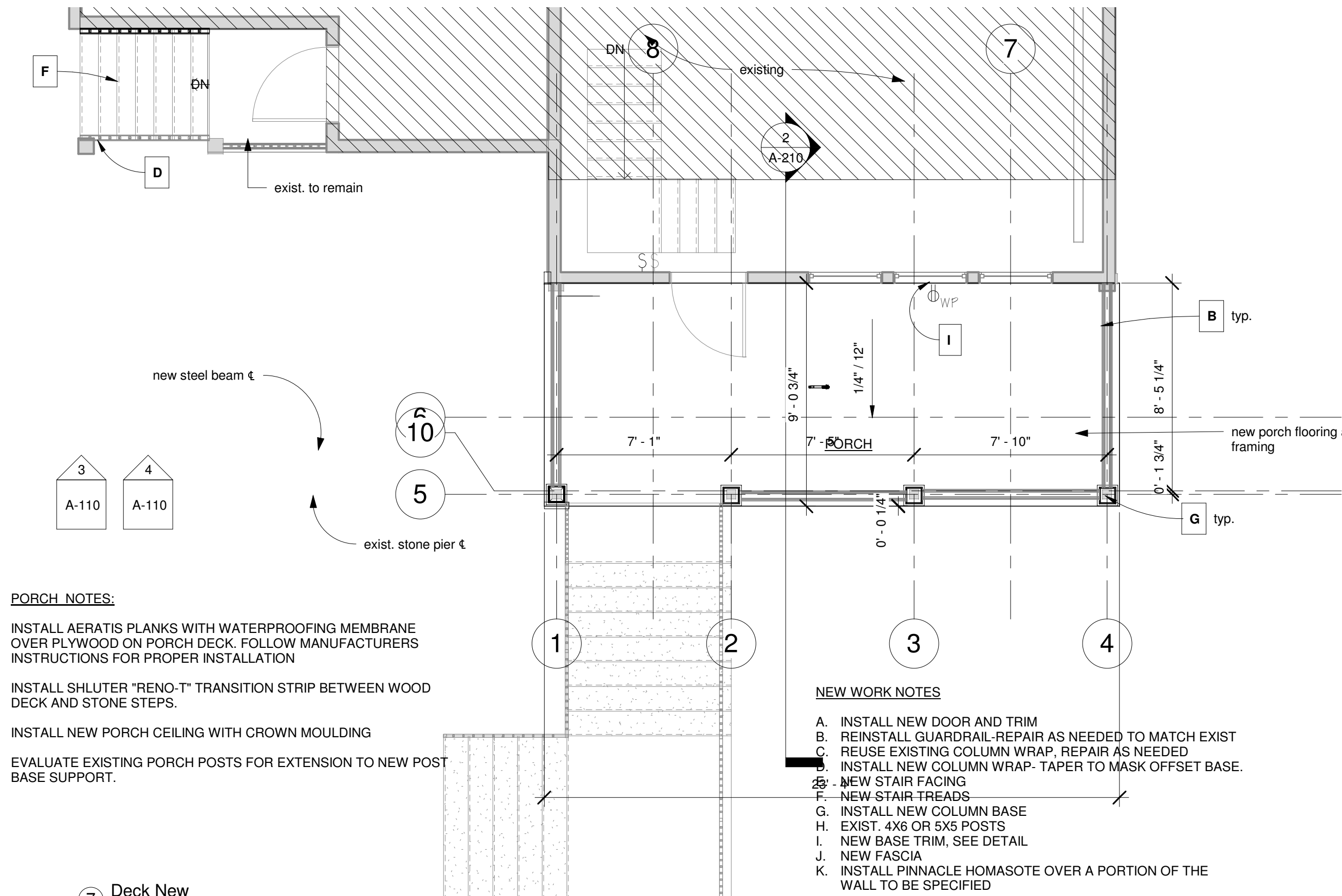




AERIAL

① Survey
1" = 20'-0"

TRIO architecture, pllc 17 Wilson Pl Hasbrouck on Hudsonoo NY 914 907 2511	
MARKIS CONSULTING ENGINEERING, PLLC 1000 N. 10TH STREET SUITE 200 ARLINGTON, VA 22201 703 525 1100	
No.	Date
3	2/22/21
Description	
ALHBB	
54 Magnolia Drive Dobbs Ferry, NY	
Porch Renovation	Betros
Aerial Photo, Survey and Parking	
Scale	1" = 20'-0"
Date	11/4/20
A-002	



PORCH NOTES:

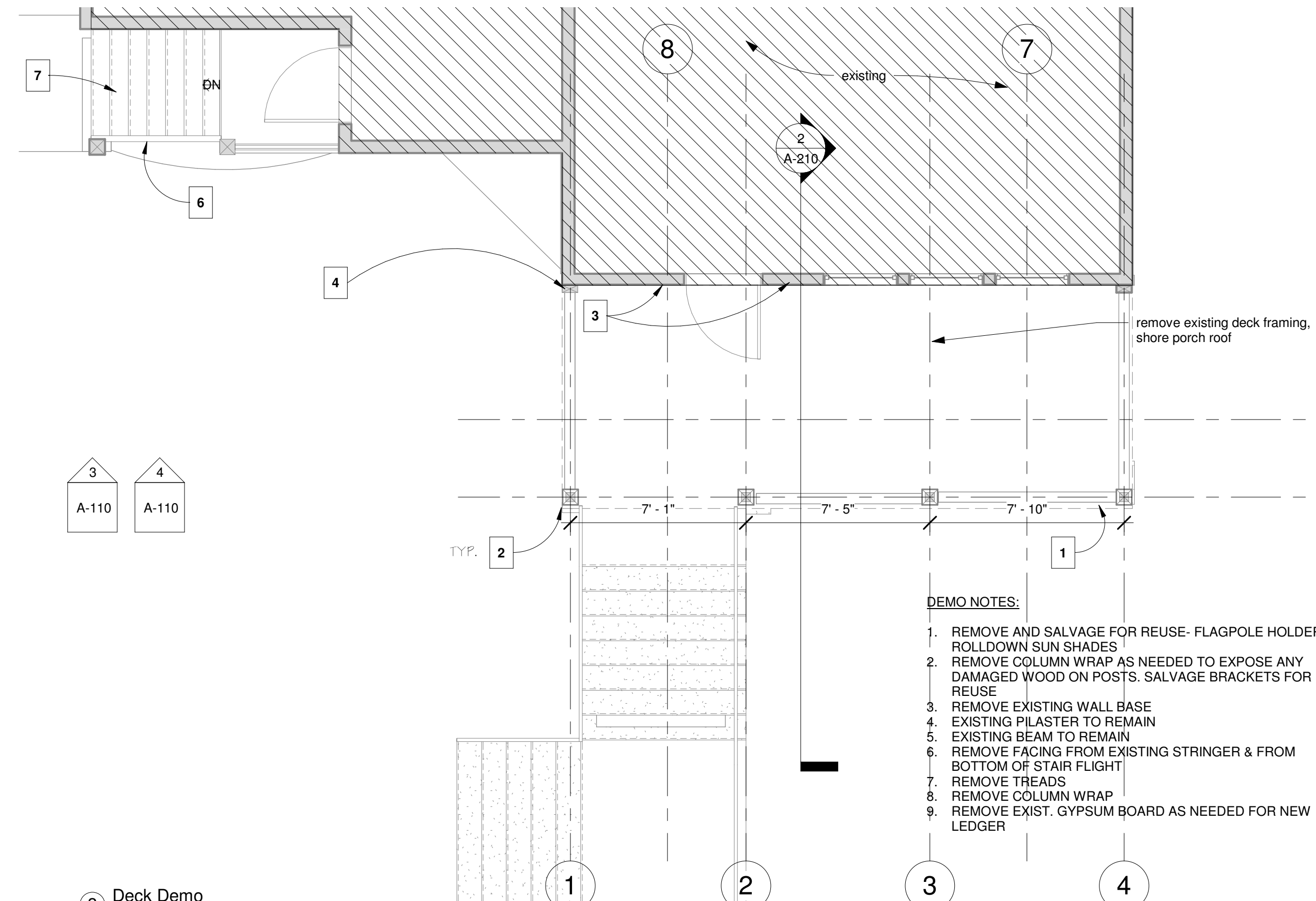
INSTALL AERATIS PLANKS WITH WATERPROOFING MEMBRANE OVER PLYWOOD ON PORCH DECK. FOLLOW MANUFACTURERS INSTRUCTIONS FOR PROPER INSTALLATION

INSTALL SHLUTER "RENO-T" TRANSITION STRIP BETWEEN WOOD DECK AND STONE STEPS.

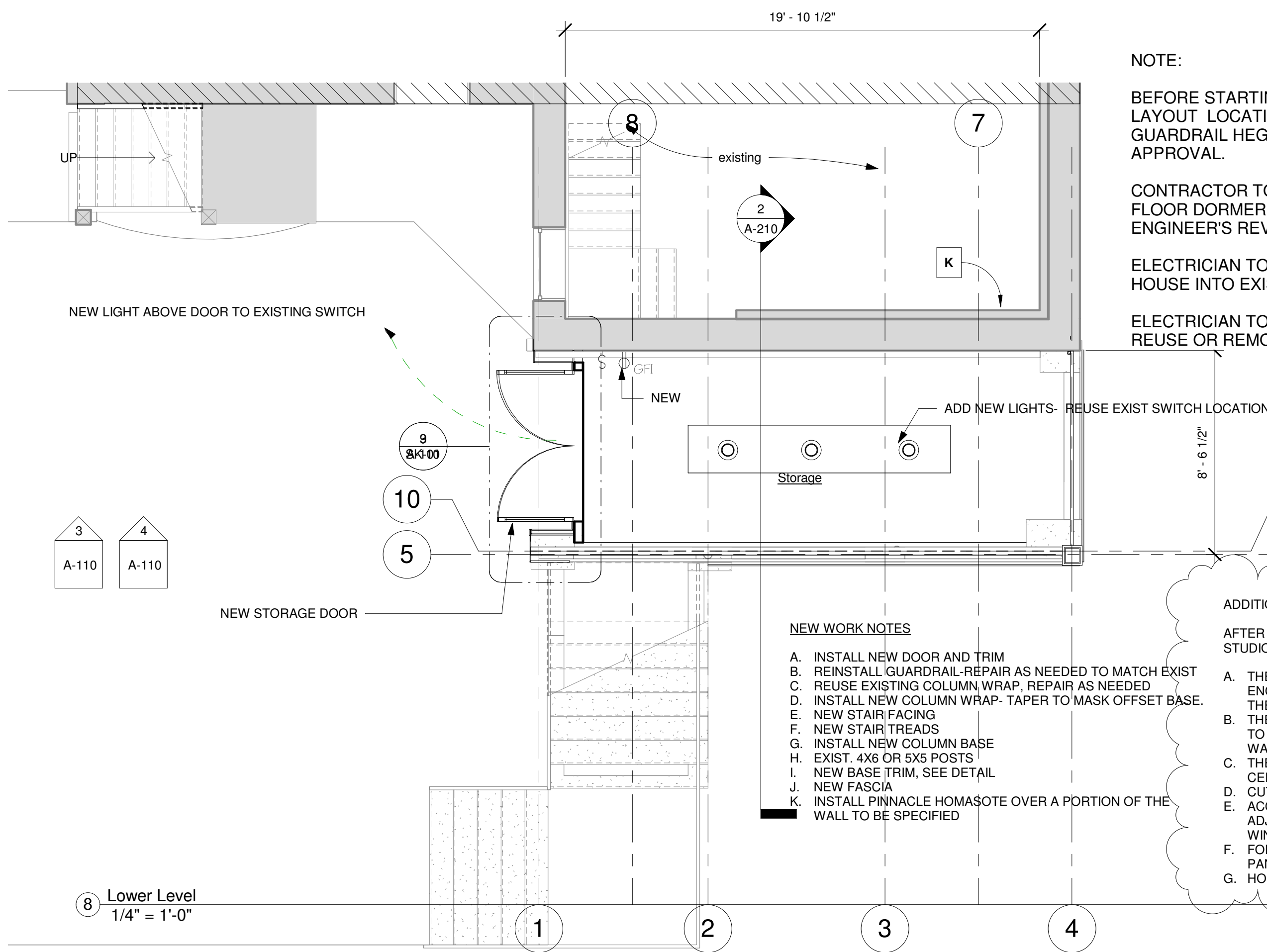
INSTALL NEW PORCH CEILING WITH CROWN MOULDING

EVALUATE EXISTING PORCH POSTS FOR EXTENSION TO NEW POST BASE SUPPORT.

- NEW WORK NOTES**
- A. INSTALL NEW DOOR AND TRIM
 - B. REINSTALL GUARDRAIL-REPAIR AS NEEDED TO MATCH EXIST
 - C. REUSE EXISTING COLUMN WRAP. REPAIR AS NEEDED
 - D. INSTALL NEW COLUMN WRAP- TAPER TO MASK OFFSET BASE.
 - E. NEW STAIR FACING
 - F. NEW STAIR TREADS
 - G. INSTALL NEW COLUMN BASE
 - H. EXIST. 4X6 OR 5X5 POSTS
 - I. NEW BASE TRIM, SEE DETAIL
 - J. NEW FASCIA
 - K. INSTALL PINNACLE HOMASOTE OVER A PORTION OF THE WALL TO BE SPECIFIED



- DEMO NOTES:**
- 1. REMOVE AND SALVAGE FOR REUSE- FLAGPOLE HOLDER & ROLLDOWN SUN SHADES
 - 2. REMOVE COLUMN WRAP AS NEEDED TO EXPOSE ANY DAMAGED WOOD ON POSTS. SALVAGE BRACKETS FOR REUSE
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 - 7. REMOVE TREADS
 - 8. REMOVE COLUMN WRAP
 - 9. REMOVE EXIST. GYPSUM BOARD AS NEEDED FOR NEW LEDGER



NOTE:

BEFORE STARTING CONSTRUCTION CONTRACTOR TO LAYOUT LOCATIONS OF STEEL BEAM, EXIST POSTS AND GUARDRAIL HEIGHTS FOR OWNER AND ARCHITECT APPROVAL.

CONTRACTOR TO PROVIDE PLAN FOR SHORING OF SECOND FLOOR DORMER DURING WORK FOR STRUCTURAL ENGINEER'S REVIEW BEFORE STARTING WORK.

ELECTRICIAN TO TRACE EXIST CIRCUITS. EXTEND FROM HOUSE INTO EXIST PORCH FRAMING.

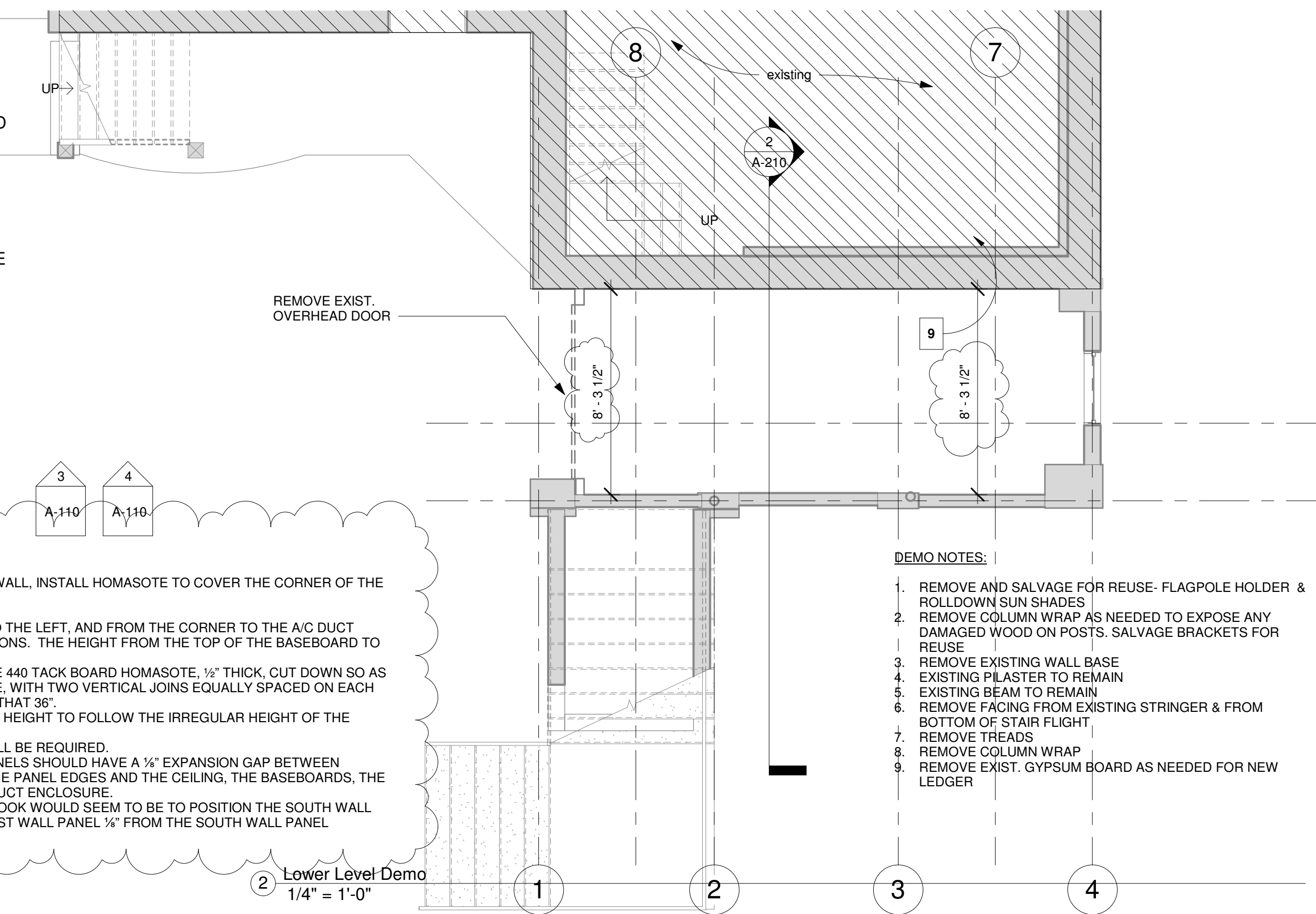
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ADDITIONAL FINISHING IN THE BASEMENT STUDIO

AFTER REPAIRING AND REPAINTING THE BASEMENT FINISHED WALL, INSTALL HOMASOTE TO COVER THE CORNER OF THE STUDIO WALL.

- A. THE WIDTH FROM THE CORNER TO THE WINDOW FRAME TO THE LEFT, AND FROM THE CORNER TO THE A/C DUCT ENCLOSURE TO THE RIGHT, IS ABOUT 110" IN BOTH DIRECTIONS. THE HEIGHT FROM THE TOP OF THE BASEBOARD TO THE CEILING RANGES FROM 82 3/4" TO 84".
- B. THE PROJECT WILL REQUIRE SIX SHEETS OF 4'X8' PINNACLE 440 TACK BOARD HOMASOTE, 1/2" THICK, CUT DOWN SO AS TO FIT LENGTHWISE, BASEBOARD TO CEILING, SIDE-BY-SIDE, WITH TWO VERTICAL JOINS EQUALLY SPACED ON EACH WALL. THE RESULTING PANELS WILL BE JUST A BIT WIDER THAN 36".
- C. THE CEILING END OF THE PANELS WILL HAVE TO BE CUT TO HEIGHT TO FOLLOW THE IRREGULAR HEIGHT OF THE CEILING.
- D. CUTOUT RECTANGLES FOR THREE WALL RECEPTACLES WILL BE REQUIRED.
- E. ACCORDING TO THE INSTALLATION INSTRUCTIONS, THE PANELS SHOULD HAVE A 1/8" EXPANSION GAP BETWEEN ADJOINING PANELS AND A 1/4" EXPANSION GAP BETWEEN THE PANEL EDGES AND THE CEILING, THE BASEBOARDS, THE WINDOW FRAME EDGE, THE WALL CORNER, AND THE A/C DUCT ENCLOSURE.
- F. FOR THE VERTICAL JOIN AT THE CORNER, THE CLEANEST LOOK WOULD SEEM TO BE TO POSITION THE SOUTH WALL PANEL 1/4" FROM THE CORNER AND THEN POSITION THE WEST WALL PANEL 1/4" FROM THE SOUTH WALL PANEL.
- G. HOMASOTE PANELS TO BE PAINTED FRONTS AND SIDES



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No.	Description	Date
1	FOR PERMIT	11/29/20
2	FOR PRICING	12/21/20
3	AHFB	2/22/21

54 Magnolia Drive
Dobbs Ferry, NY

Porch Renovation

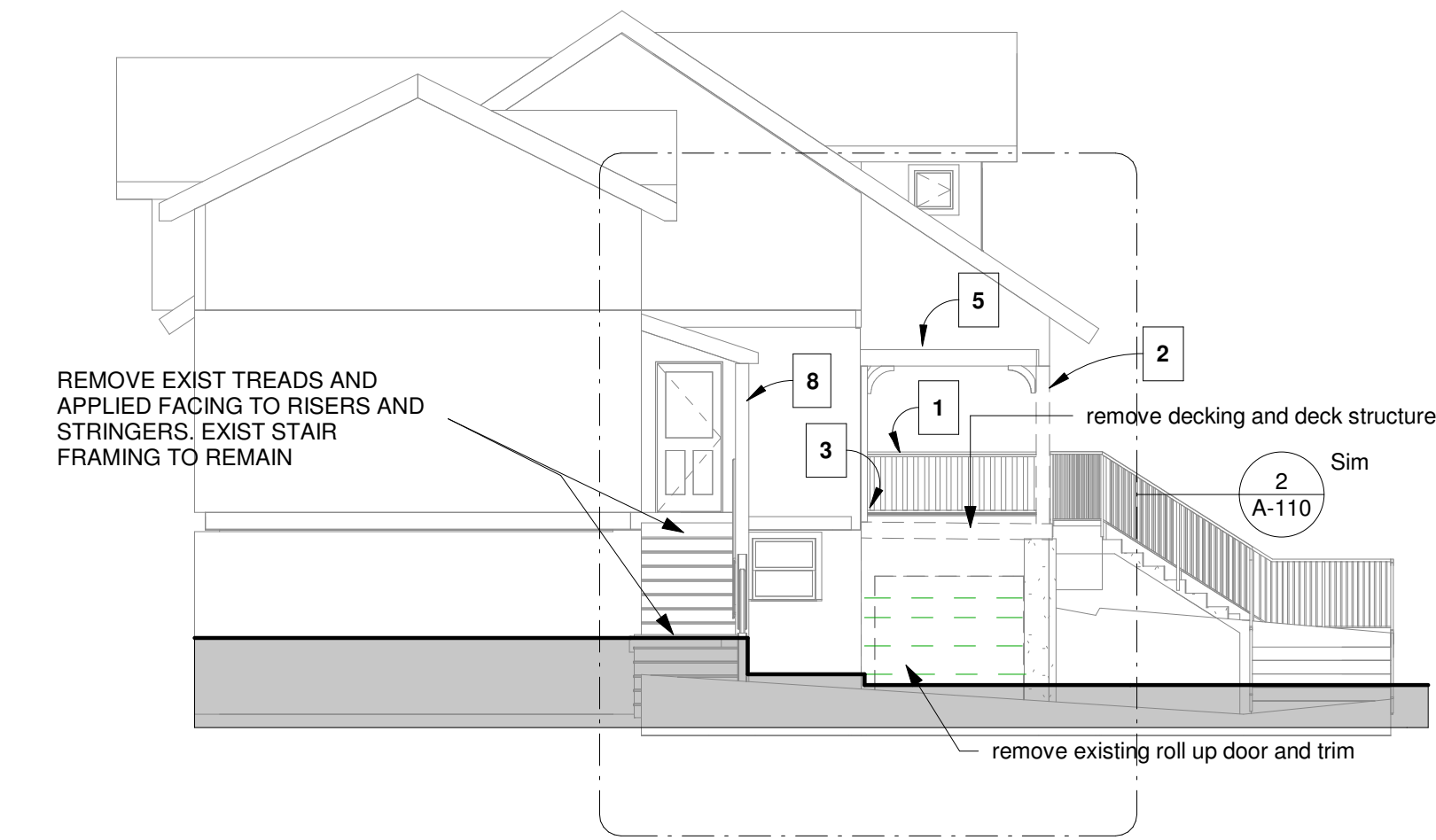
Betros

Plans

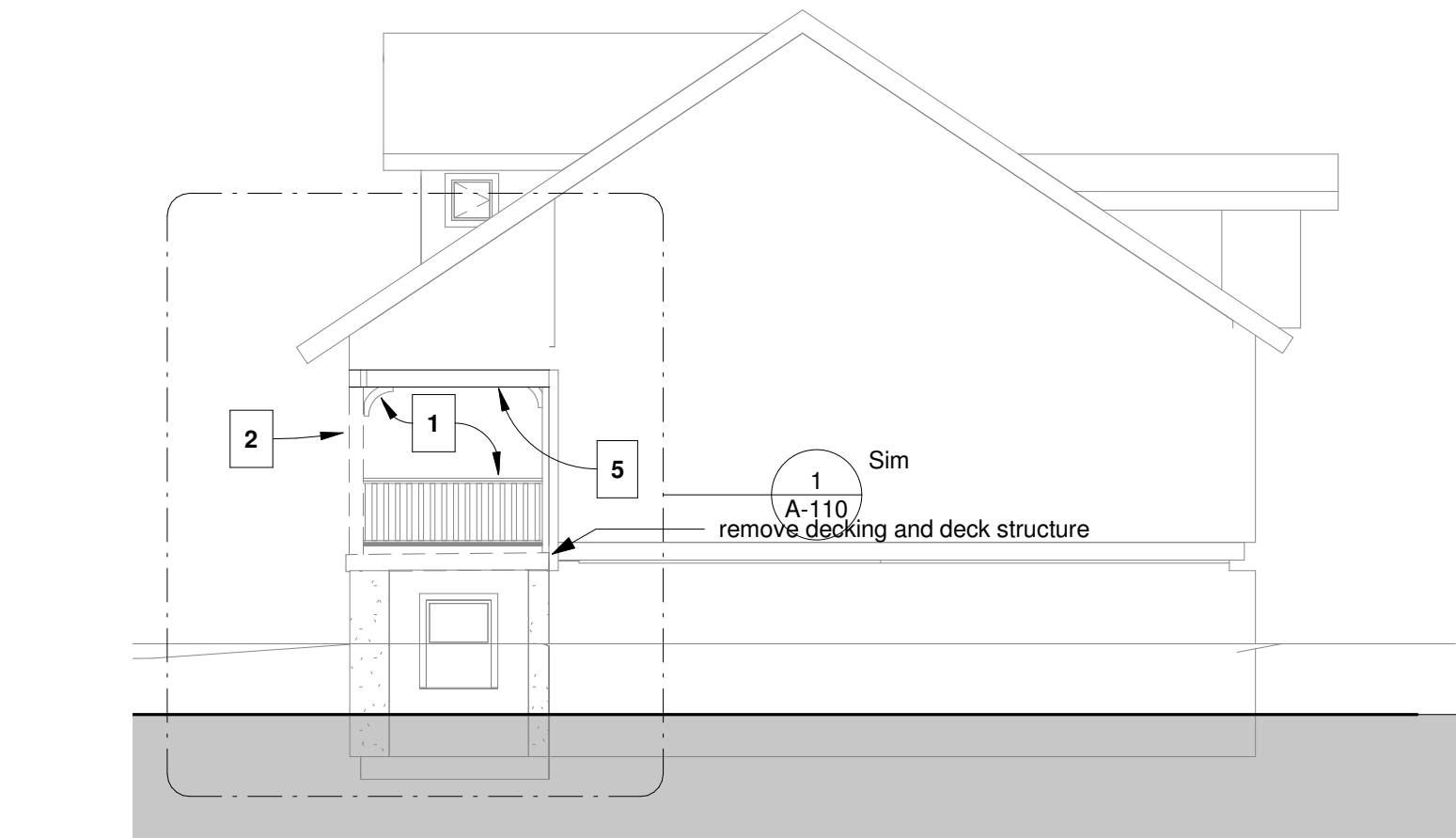
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A-105

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6 Side Elevation Demo
1/8" = 1'-0"



5 Side Elevation Demo
1/8" = 1'-0"



4 Front Elevation Demo
1/8" = 1'-0"

NOTE:

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PORCH NOTES:

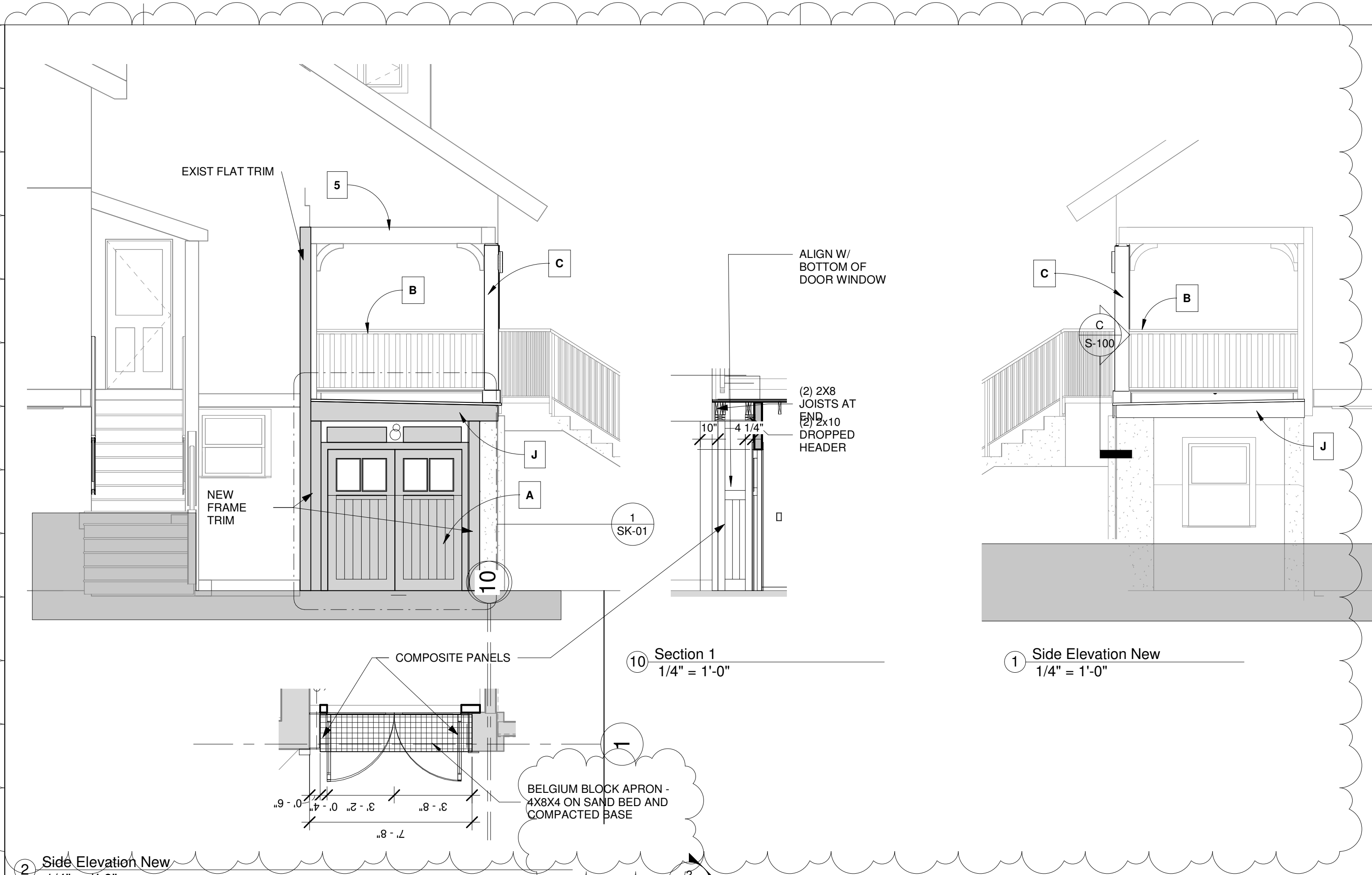
1. INSTALL AERATIS PLANKS WITH WATERPROOFING MEMBRANE OVER PLYWOOD ON PORCH DECK. FOLLOW MANUFACTURERS INSTRUCTIONS FOR PROPER INSTALLATION
2. INSTALL SHLUTER "RENO-T" TRANSITION STRIP BETWEEN WOOD DECK AND STONE STEPS.
3. INSTALL NEW PORCH CEILING WITH CROWN MOULDING
4. EVALUATE EXISTING PORCH POSTS FOR EXTENSION TO NEW POST BASE SUPPORT.

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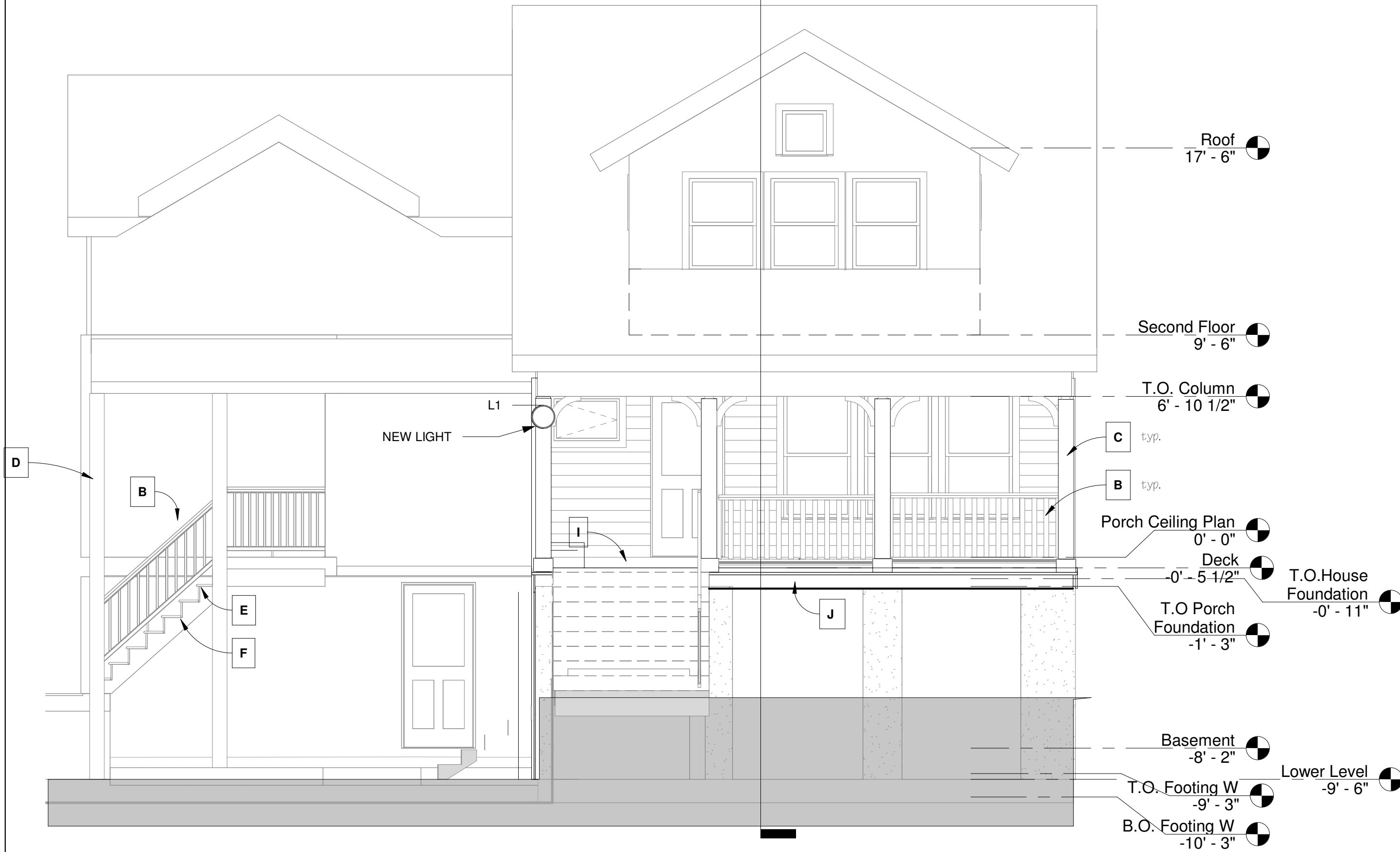
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NEW WORK NOTES

- A. INSTALL NEW DOOR AND TRIM
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C. REUSE EXISTING COLUMN WRAP, REPAIR AS NEEDED
D. INSTALL NEW COLUMN WRAP- TAPER TO MASK OFFSET BASE.
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K. PINNACLE HOMASOTE INSTALLED OVER A PORTION OF THE WALL TO BE SPECIFIED



2 Side Elevation New
1/4" = 1'-0"



3 Front Elevation New
1/4" = 1'-0"

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1	FOR PERMIT	11/29/20
2	FOR PRICING	12/21/20
3	AHFB	2/22/21

54 Magnolia Drive
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Porch Renovation

Betros

Elevations
Scale As indicated
Date 11/4/20

A-110

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REMOVE EXIST FACING ON STRINGERS & RISERS

REMOVE TREADS

SEE PHOTO THIS PAGE

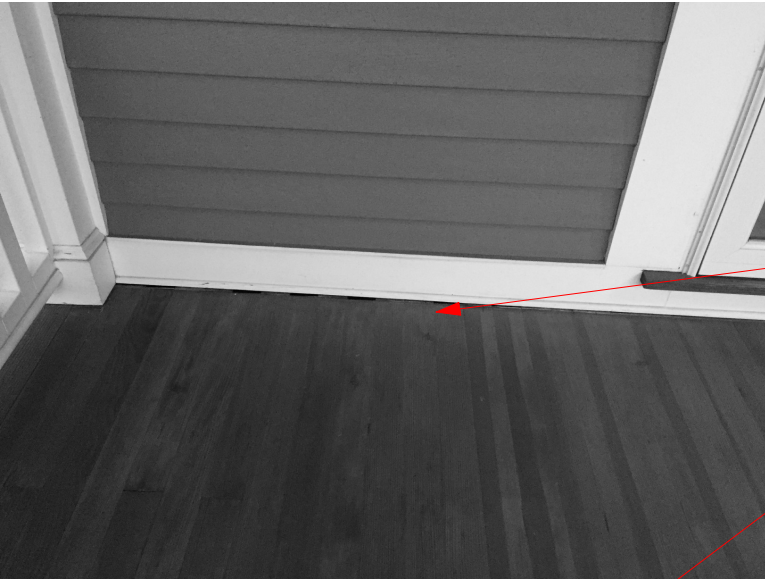


ADD TRIM SEE A-001



REMOVE COLUMN WRAP- KEEP EXIST POST

REPLACE WITH WRAP THAT IS PLUMB



TRIM TO BE REPLACED

GUARDRAIL



SEE ALTERNATES

South Exterior Wall Base - Masonry Repair Needed.



PHOTOS

UNIT PRICING

OBSERVED LOCATIONS TO REPLACE ROTTING WOOD TRIM WITH AZEK TRIM

- LONG HORIZONTAL PANEL UNDER SIDE LANDING BY DRIVEWAY
- BASEMENT WINDOW BY GARAGE DOOR
- TRIM AROUND SECOND FLOOR FRONT DORMER WINDOWS OVER PORCH
- TRIM AROUND SECOND FLOOR FRONT LEFT WINDOWS
- LONG HORIZONTAL PANEL BY SIDE PATIO (WIRE PENETRATING PANEL AT LEFT IS NO LONGER NEEDED)
- NORTHEAST CORNER TRIM AT LOWER ROOF LINE
- TRIM BELOW AND AROUND THE SECOND-FLOOR OVERHANG ON BACK OF HOUSE
- TRIM AROUND SECOND FLOOR BACK OVERHANG WINDOWS
- TRIM AROUND SECOND FLOOR BACK WINDOW TO LEFT OF OVERHANG
- HORIZONTAL PANEL AROUND BASE OF BAY WINDOW ON SOUTH SIDE OF HOUSE
- VERTICAL PANELS ON BOTH SIDES OF CHIMNEY ON SOUTH SIDE OF HOUSE. NOTE: AFTER REMOVING OLD TRIM, CAULK THE JOINT BETWEEN THE STONE CHIMNEY AND THE WOOD WALL.

TASKS

- REPLACE ROTTING EXTERIOR WOOD TRIM WITH AZEK TRIM ACCORDING TO MANUFACTURER'S SPECIFICATIONS, INCLUDING AMBIENT TEMPERATURE
- RECAULK AS NEEDED
- PROVIDE A LIST OF ALL TRIM PIECES REPLACED

ELECTRICAL NOTES

54 Magnolia Dr.

EXISTING WIRING FOR FRONT PORCH & GARAGE

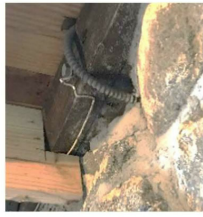
Circuit 11 (15 Amp) [Porch ceiling light, Livingroom outlets, Second floor outlets]

- This circuit emerges from the panel box as a plastic-clad wire. It is unclear what route Circuit 11 follows from the panel box to the front of the house.
- The porch ceiling light is on this circuit.
- The porch ceiling light is controlled by a light switch inside the house by the front door.
- The porch ceiling light is powered by a plastic-clad wire running from the light switch up through the front wall into the porch attic and over to the light fixture which is surface-mounted on the drop ceiling.
- Two living room outlets on the front wall are on this circuit.
- There are eight outlets on this circuit in the second-floor bedroom that extends out over the porch. On the south end of the dormer in the porch attic a plastic-clad wire connecting two of these outlets hangs down unsecured to any structure.



Unidentified wire in garage

- There is a metal-clad wire visible in the garage that emerges from under the sill plate midway along the top of the garage wall, turns up and back around into the wall heading up into the center of the front wall of the house.
- This wire may or may not be part of Circuit 11, because of its proximity to the living room outlets at the front of the house.
- Conceivably, the wire is part of Circuit 6 which emerges as a metal-clad wire from the panel box, but has no known function.
- Or it could be an abandoned wire.



Two unidentified wires in porch attic which need to be assessed for function and safety

- Two apparently rubber-clad wires emerge a foot or so apart from the front of the house into the porch attic and are joined together by a red wire nut resting loose on the porch ceiling near the ceiling light, but not connected to it.



Circuit 33 (20 Amp) [Porch Attic]

- This circuit has no known function, but winds up in the porch attic, so may be useful.
- It emerges from the panel box as a yellow plastic-clad wire and is next visible in the portion of the basement garage wall exposed by a construction probe. It there enters a junction box and emerges as a metal-clad wire. The metal-clad wire penetrates the top of the wall emerging on the other side near the front of the garage. From there, it turns south and re-enters the wall heading up into the front wall of the house. According to a tone wire locator, this wire continues up the front of the house by the front doorframe and turns out into the attic above the porch ceiling. A metal-clad wire is visible in the

1

ELECTRICAL NOTES

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porch attic there coiling on the porch ceiling and then apparently rising up to the north side of the dormer out of sight. It does not provide power to any of the dormer electrical outlets in that area.

Circuit 10 (15 Amp) [Front step pillar light, Garage exterior light]

- The front porch pillar light fixture and the garage door exterior light fixture are on this circuit. Both lights are controlled by a light switch inside the house by the front door.
- This circuit emerges from the panel box as a metal-clad wire, but when it next becomes visible, in the portion of the basement garage wall exposed by a construction probe, it is a plastic-clad wire.
- The plastic-clad wire enters a junction box and emerges as two metal-clad wires, one of which runs up the interior of the wall to the light switch by the front door. The other metal-clad wire penetrates the top of the wall emerging on the other side near the front of the garage and winds up connecting to the two light fixtures.
- This same junction box is connected with a plastic-clad ground wire to the junction box above it for Circuit 18. (Perhaps to ensure that Circuit 10 is grounded all of the way back to the panel box via Circuit 18.)



Circuit 18 (20 Amp) [Garage interior]

- This circuit provides power for the garage interior: the overhead light and switch, the garage door opener, and a wall outlet.
- This circuit emerges from the panel box as a plastic-clad wire and is next visible in the portion of the basement garage wall exposed by a construction probe. It there enters a junction box and emerges as a plastic-clad wire. The plastic-clad wire penetrates the top of the wall emerging on the other side near the front of the garage and winds up connecting to the various garage interior fixtures.
- As previously indicated, this junction box is connected with a plastic-clad ground wire to the nearby junction box for Circuit 10.

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ELECTRICAL NOTES

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NEW CONFIGURATION

Note: Electrician to provide homeowner with a description of new wiring layout and which fixtures wind up on which circuit breakers and any discoveries made regarding existing wiring.

Porch Ceiling

The existing ceiling will be removed and replaced with a higher ceiling, so during construction the electrician will have full access to the porch attic for new electrical work.

- Existing Wiring Issues:**
 - Assess function and safety of two wires joined by a red wire nut lying on top of drop ceiling and bring them up to code.
 - Assess function, usability and safety of the metal-clad wire emerging from vicinity of front door (Circuit 33) whose purpose, if any, has not yet been determined.
 - Properly secure loose wire on north side of dormer.
 - Rectify any other issues discovered after old ceiling is removed.
- Replace Ceiling Light Fixture:** The current central light fixture will be replaced with a new one, supplied by the owner, flush with the new ceiling.
 - Install a junction box for the light fixture. Evaluate whether to reuse the existing power wire coming up from the wall switch or run a new one.
 - Install the new light fixture when appropriate.
- New Ceiling Fans:** Two ceiling fans, supplied by the owner, will be added in central locations between the ceiling light and either side of the porch.
 - Install electrical junction boxes suitable for supporting ceiling fans. Assess whether to use existing service from Circuit 33 or to bring up power from Circuit 18 in the garage.
 - Ceiling fans to be controlled from new wired control switches by door in living room. See installation instructions wiring diagram for the fans. (With luck plaster damaged can be minimized by snaking the wiring down the inside of the wall where the wire for the ceiling light comes up.)
 - Install the new fans when appropriate.
- New outlet near ceiling:** To be installed on the north beam trim wall below the new crown molding near the upper northeast corner of the porch. Once the old ceiling is removed, the back of the beam trim wall will be accessible from above.
 - The outlet should be flush with the finished surface of the beam trim wall, not a surface-mount box.
 - Include a white low-profile weather cover.
 - Outlet can be on same circuit as the ceiling fans.



3

ELECTRICAL NOTES

54 Magnolia Dr.

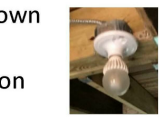
Other Porch Electrical Outlet Addition

- New outlet below middle window:** To comply with the building code governing porches, install a new exterior outlet under the middle front window flush with the clapboard siding with a dark gray low-profile weather cover.
 - The outlet should be flush with the clapboard siding, not a surface-mount box.
 - It may be possible to wire this outlet by bringing a wire up from the garage interior light circuit just below.



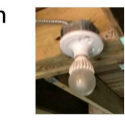
Porch Pillar and Garage Exterior Light Fixtures

- The existing fixtures are to be discarded and replaced with new fixtures supplied but the owner and are to be controlled by the interior light switch as the existing fixtures are on Circuit 10.
- The existing wiring and junction boxes will need to be redone.



Garage Interior Electrical Fixtures (lights, switch, outlet)

- Existing garage door opener to be discarded and not replaced.
- Light Fixtures:** Install three basic overhead light fixtures spaced evenly down the middle of the ceiling to be controlled by a simple on/off.
- Light switch** to be located near where the current light switch is located on the wall to the left of the garage door.
- Electrical outlet** to be located near where the existing electrical outlet is located on the wall to the left of the garage door next to the light switch.



Hidden junction boxes in basement wall

- A construction probe discovered three junction boxes enclosed in the basement wall.
- The junction boxes buried in the wall need to be unburied to be up to code.



Two Additional Exterior Ceiling Light Fixtures

- An existing exterior ceiling light fixture at the side door and another at the back door will be replaced with new fixtures supplied by the owner. At present it is unknown whether these lights are surface mounted like the current similar porch ceiling light fixture or are mounted to junction boxes. The new light fixtures should be mounted in a code compliant manner.



4

TRIO
architecture, pllc
17 Wilson Pl Haslings on Hudsonoo NY
914 907 2511

MARKIS
CONSULTING ENGINEERING, PLLC
1000 PARK AVENUE
SUITE 1000
NEW YORK, NY 10022

No.	Description	Date
3	A/HBB	2/22/21

54 Magnolia Drive
Dobbs Ferry, NY

Porch Renovation

Betros

Pricing Information

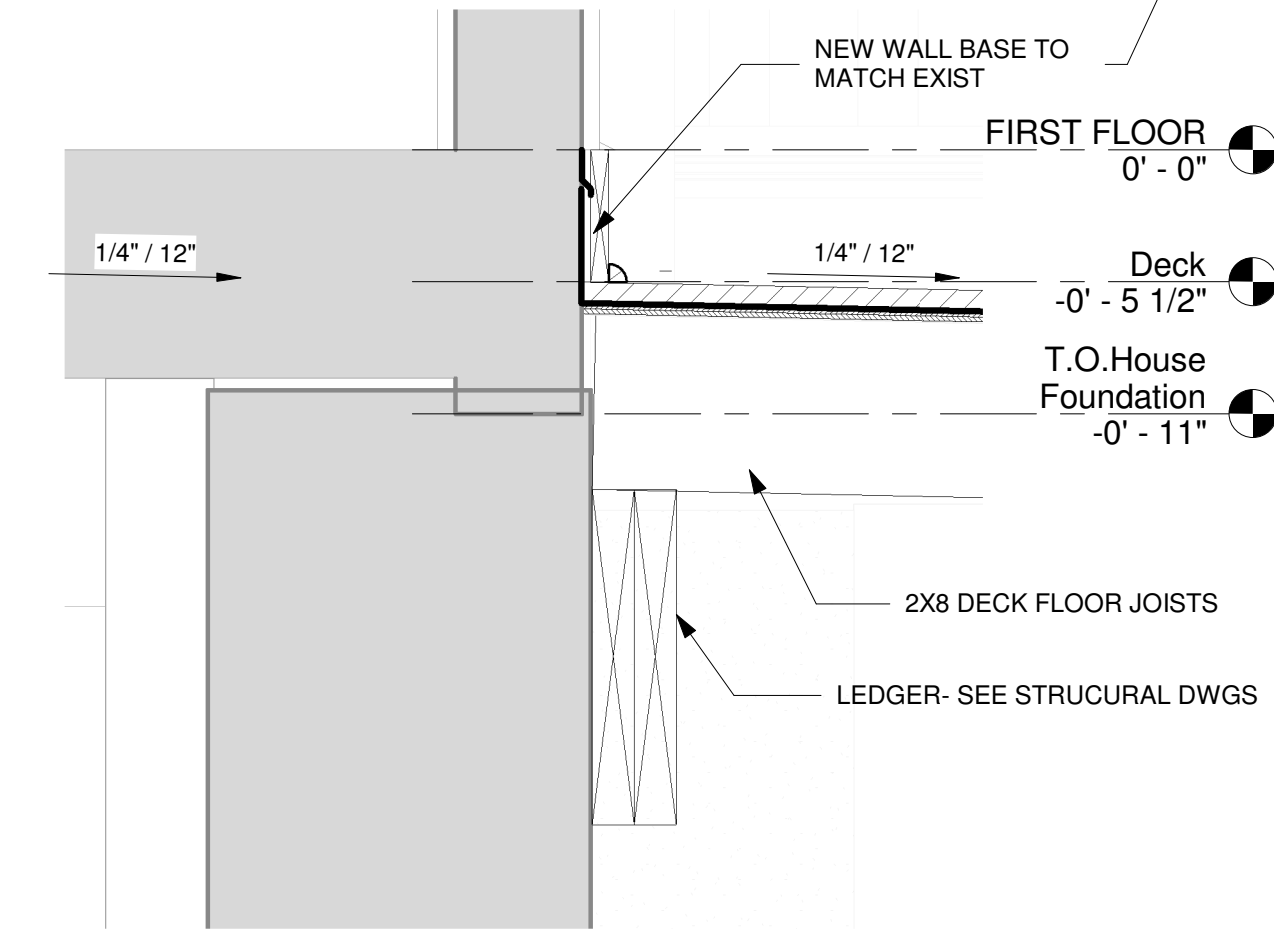
Scale 12" = 1'-0"

Date 11/4/20

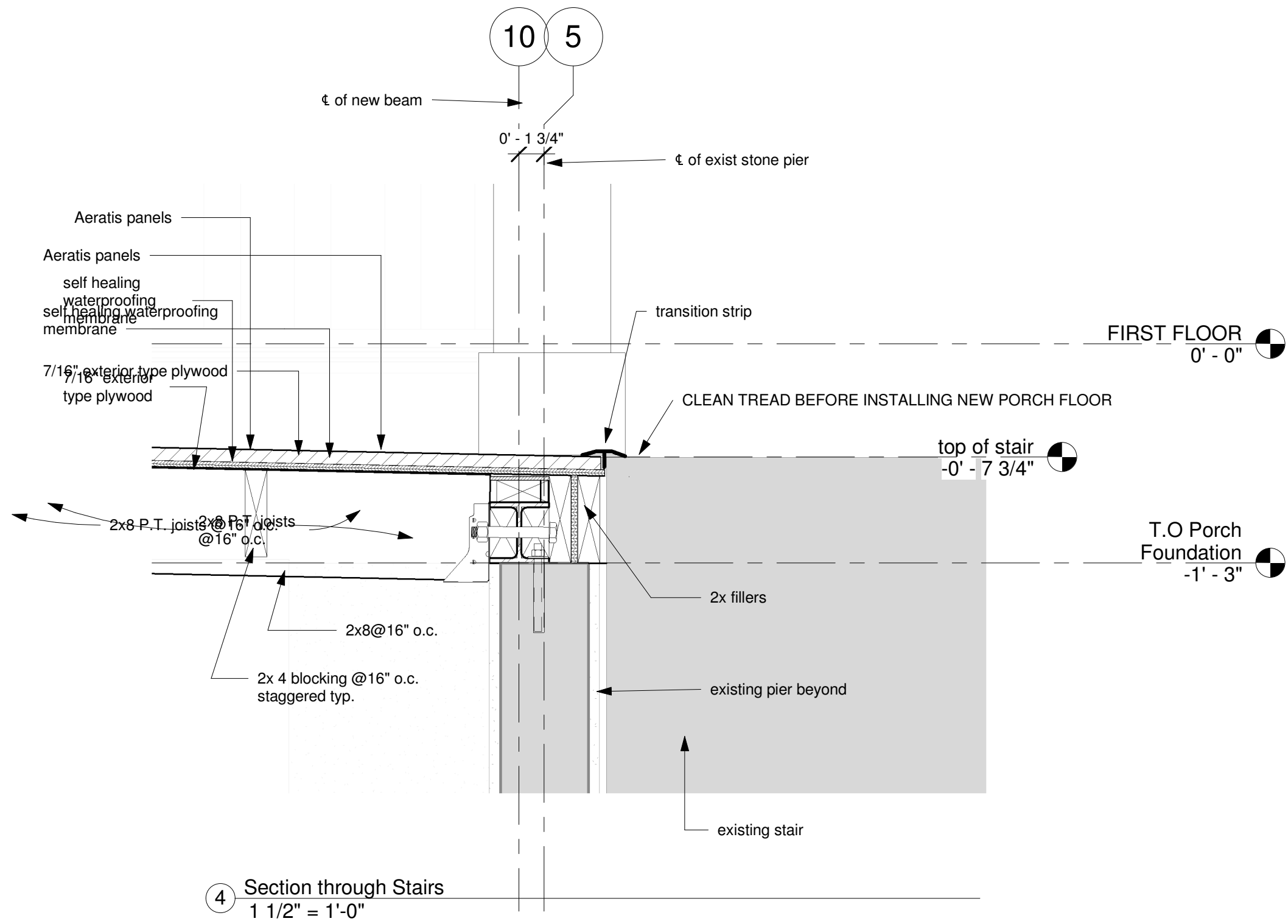
A-111

WHILE THE TOP OF THE BASEMENT WALL IS EXPOSED AND ACCESSIBLE.

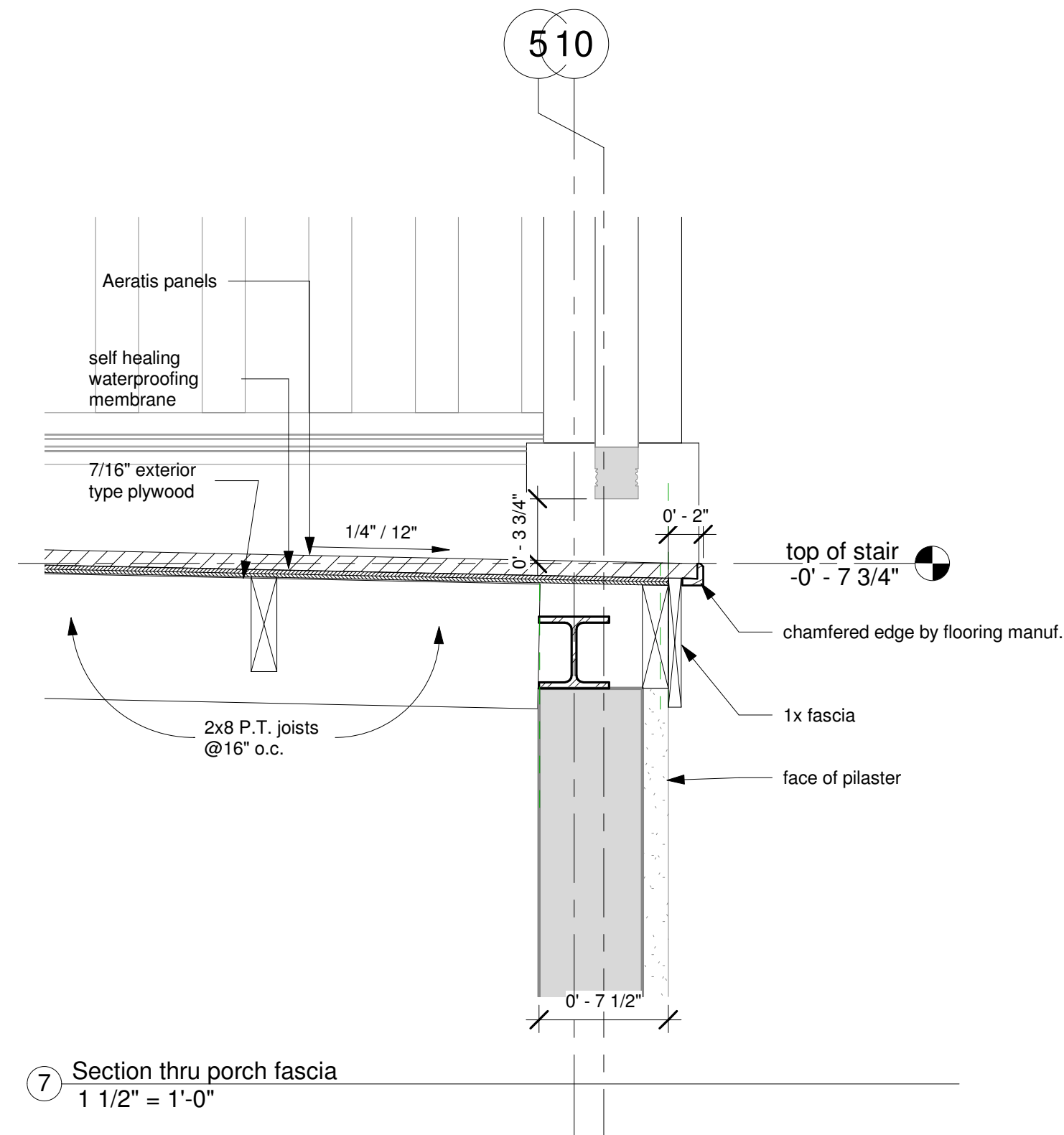
1. SEAL THE AREA TO PREVENT AIR FLOW FROM THE STORAGE INTO THE HOUSE
2. REPAIR MASONRY INCLUDING TO EXTERIOR CORNER BY STORAGE DOOR
3. (CONSULT WITH OWNERS ABOUT THE AESTHETICS OF ANY VISIBLE MASONRY REPAIRS)



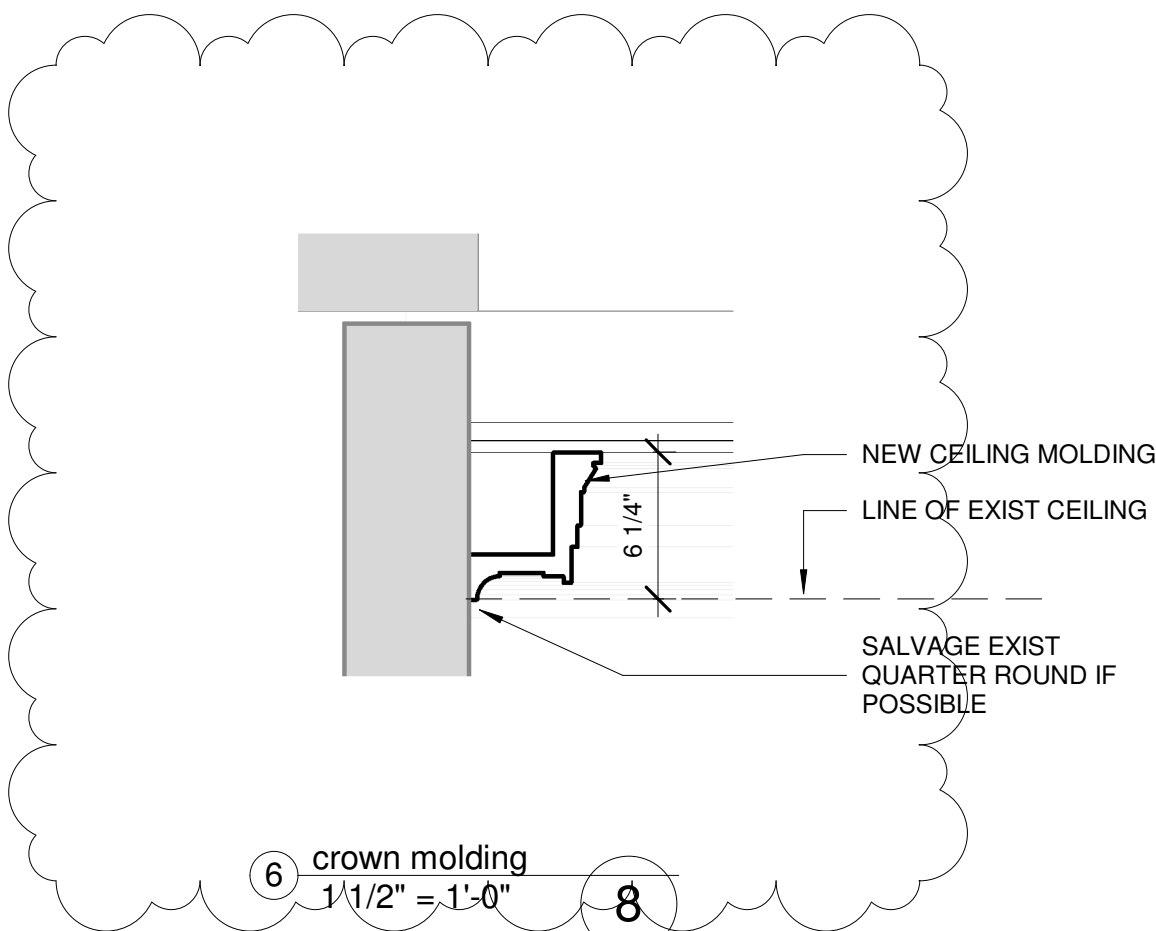
8 Section at Ledger
1 1/2" = 1'-0"



4 Section through Stairs
1 1/2" = 1'-0"



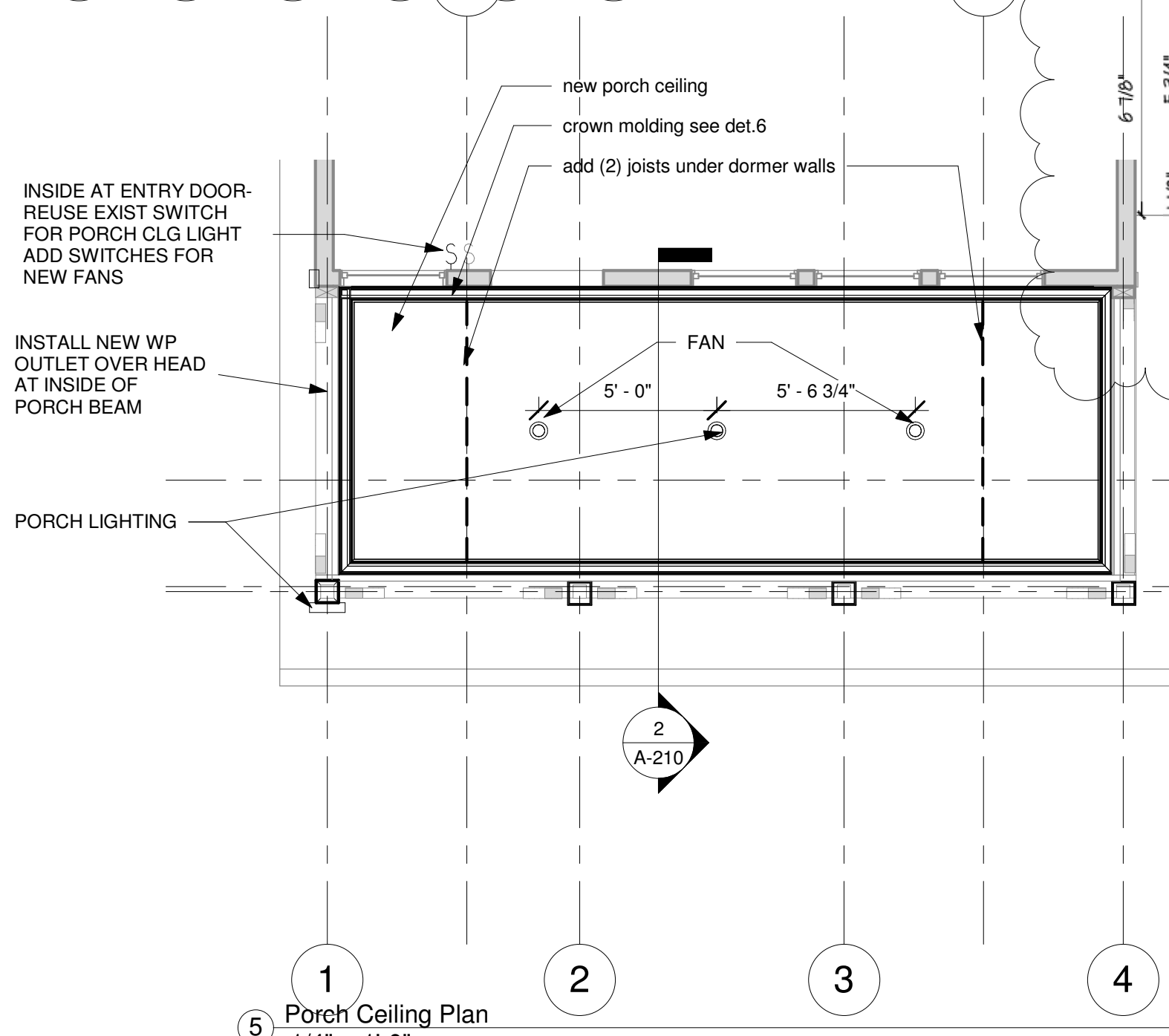
7 Section thru porch fascia
1 1/2" = 1'-0"



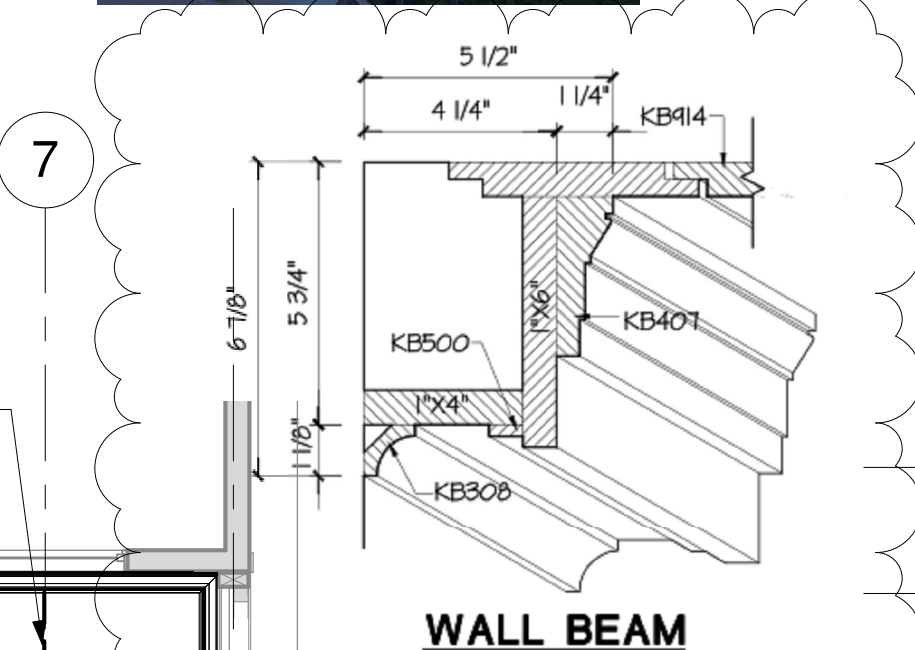
6 crown molding
1 1/2" = 1'-0"



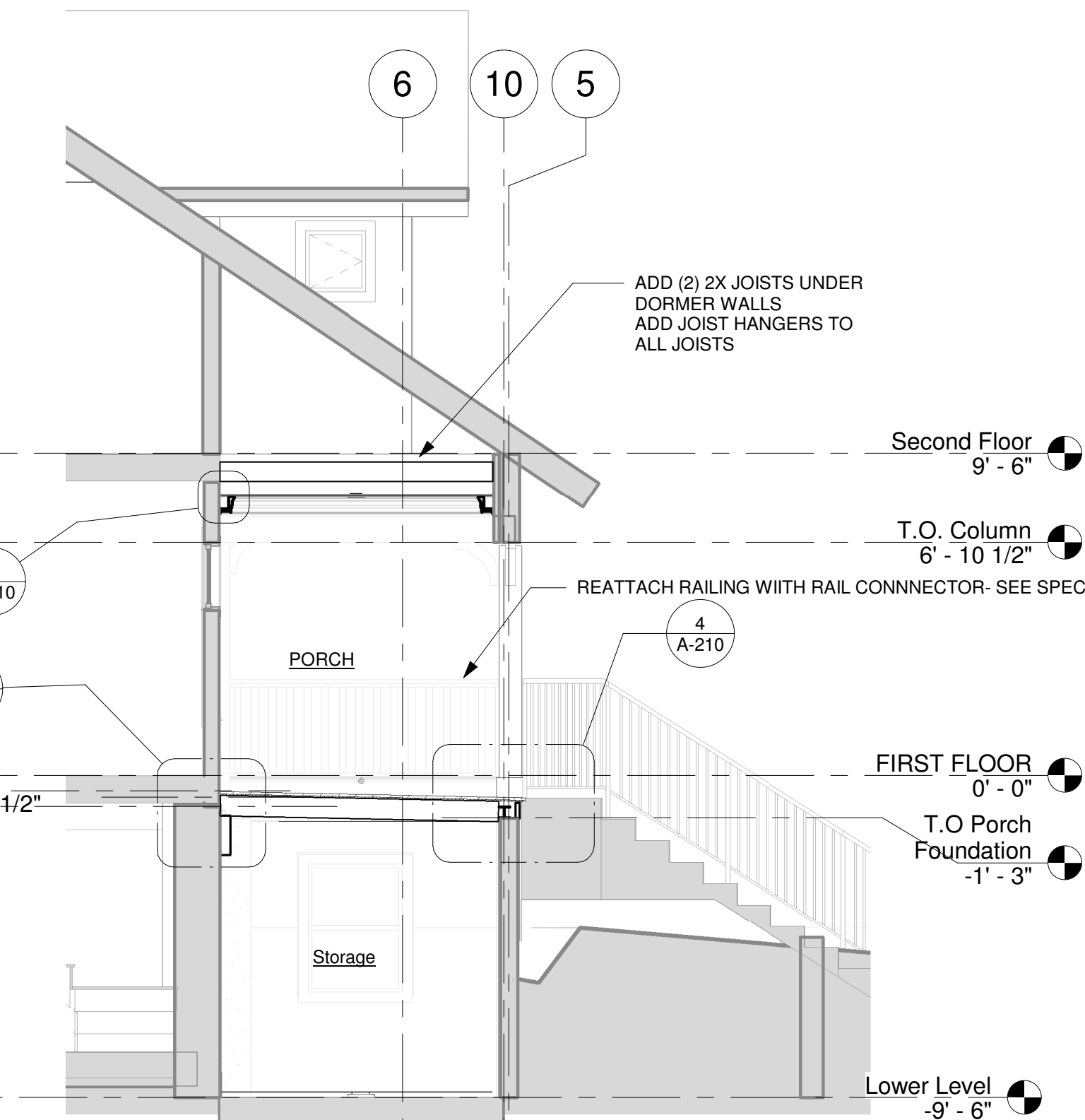
- EXIST PORCH CEILING- TO BE RAISED
- EXIST PORCH BRACKETS TO BE REUSED
- EXIST POST WRAP
- EXIST RAILING
- EXIST POST BASE



5 Porch Ceiling Plan
1/4" = 1'-0"



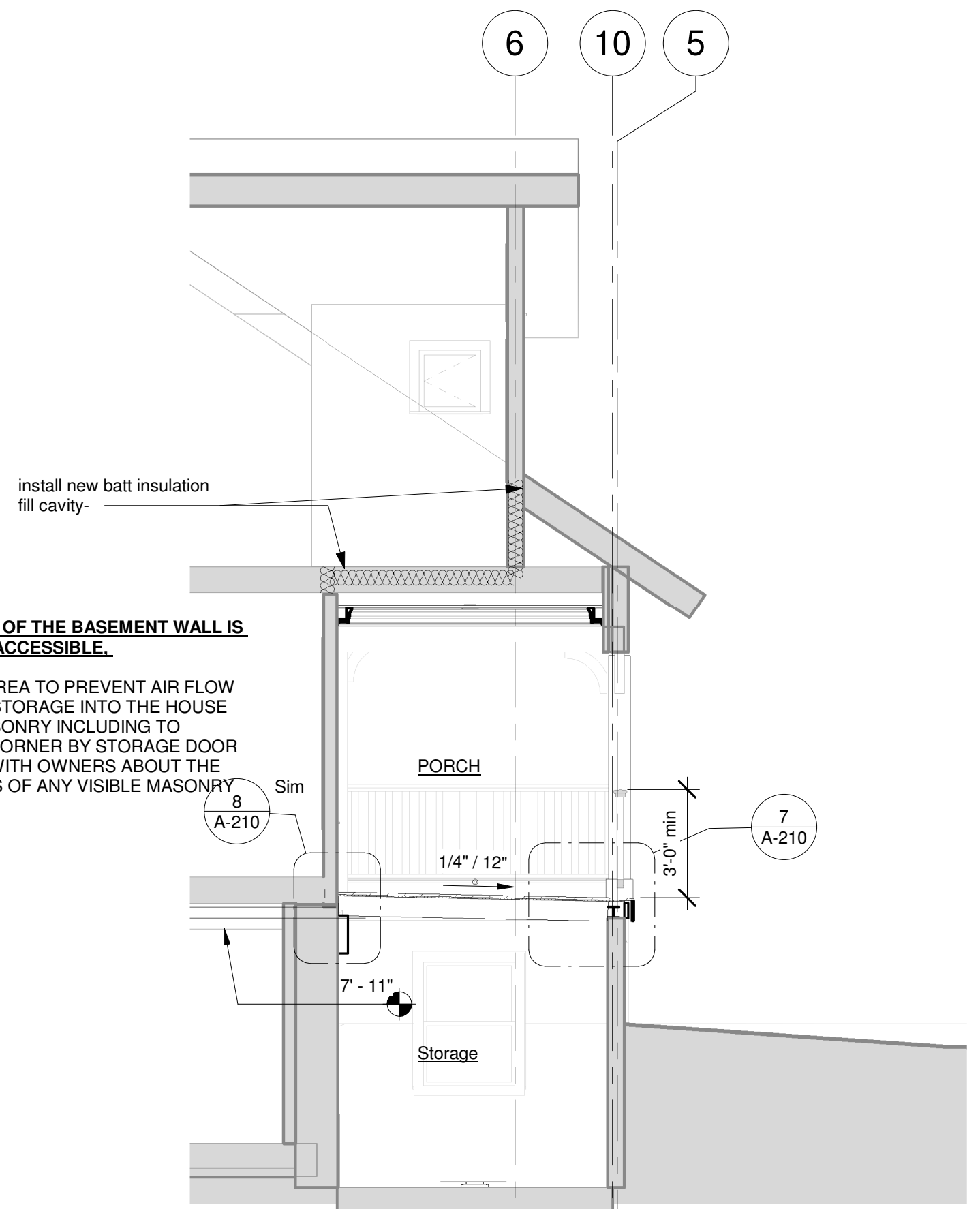
7



1 Section through Stairs
1/4" = 1'-0"

WHILE THE TOP OF THE BASEMENT WALL IS EXPOSED AND ACCESSIBLE.

1. SEAL THE AREA TO PREVENT AIR FLOW FROM THE STORAGE INTO THE HOUSE
2. REPAIR MASONRY INCLUDING TO EXTERIOR CORNER BY STORAGE DOOR
3. (CONSULT WITH OWNERS ABOUT THE AESTHETICS OF ANY VISIBLE MASONRY REPAIRS)



2 Section through 2nd Floor Dormer
1/4" = 1'-0"

No.	Description	Date
1	FOR PERMIT	11/29/20
3	AHFB	2/22/21

54 Magnolia Drive
Dobbs Ferry, NY

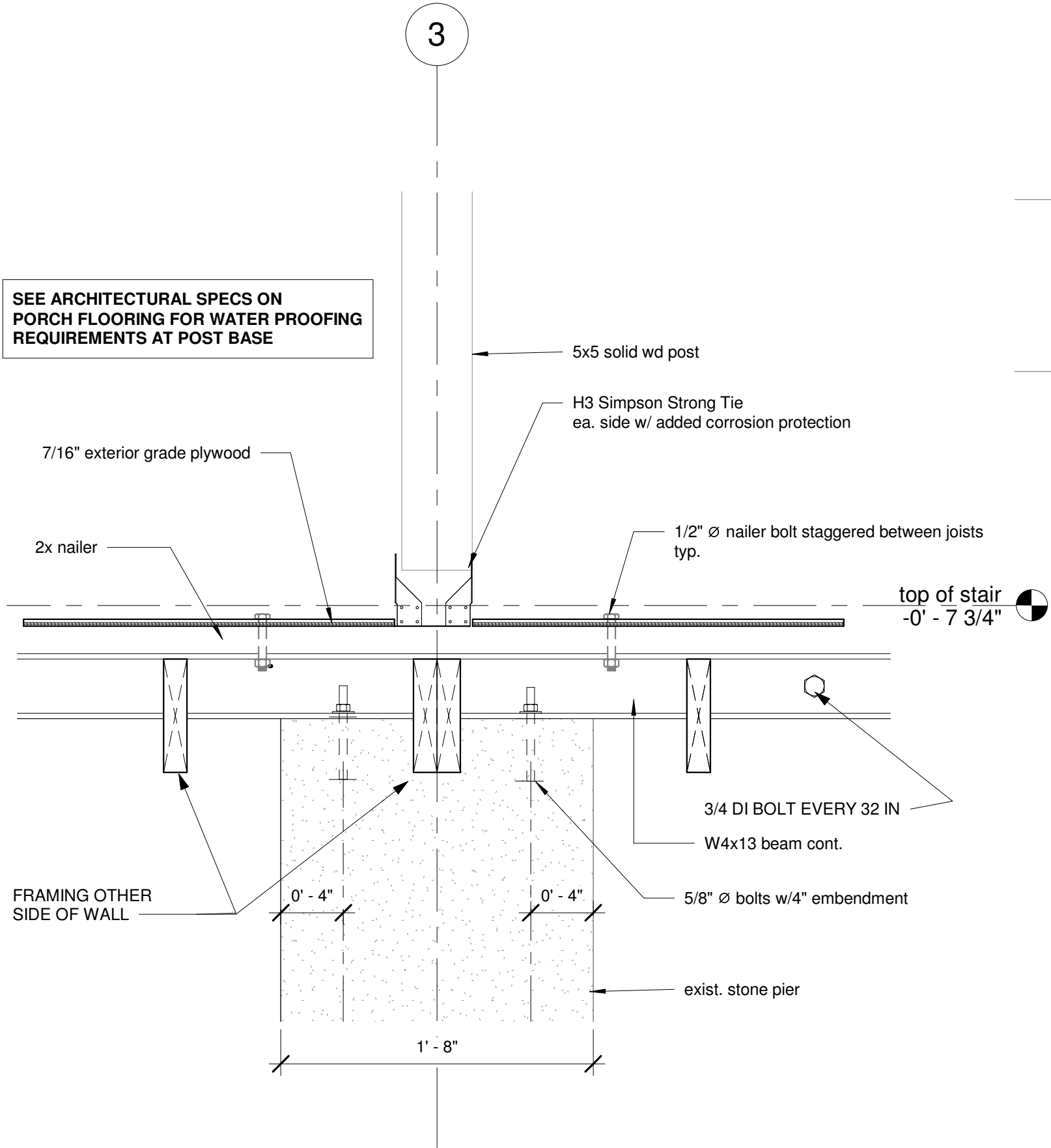
Porch Renovation
Betros

Sections & Details

Scale
As indicated

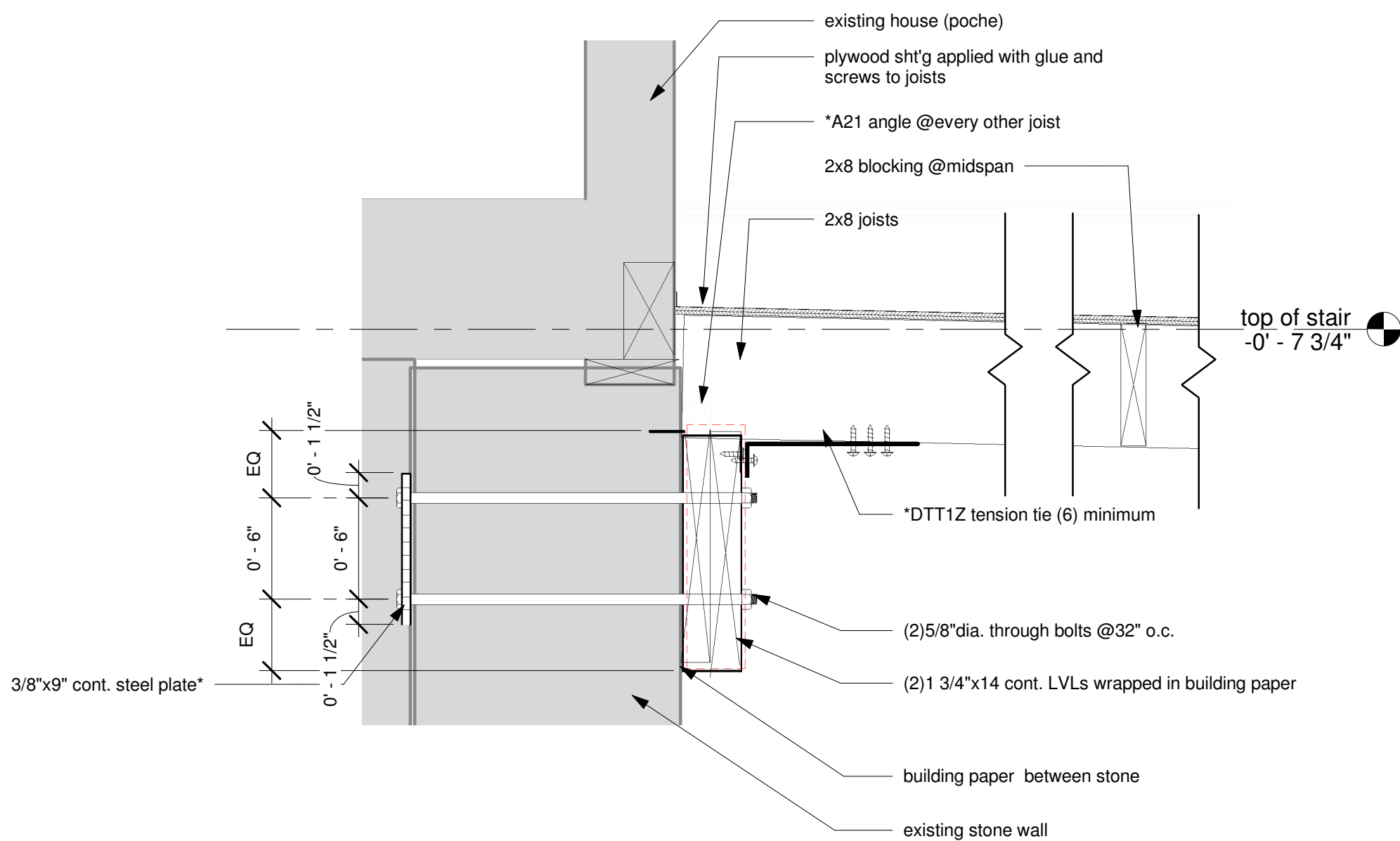
Date
11/4/20

A-210



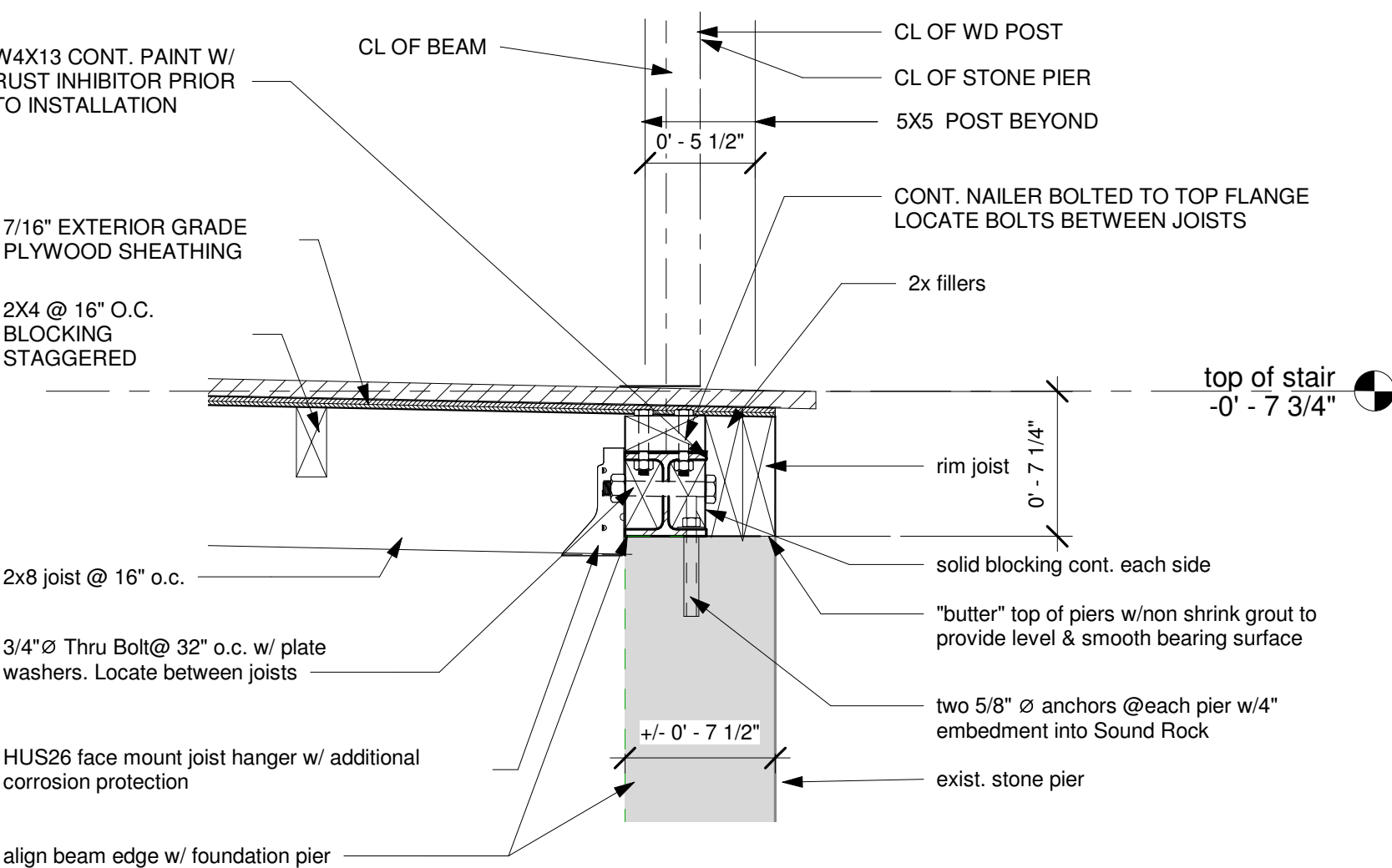
C Section C
1 1/2" = 1'-0"

* BY SIMPSON STRONG TIE, STAINLESS STEEL OR W/ ADDITIONAL CORROSION PROTECTION, INSTALLED PER MANUF. RECOMMENDATIONS



A Section A New Deck Ledger Detail
1 1/2" = 1'-0"

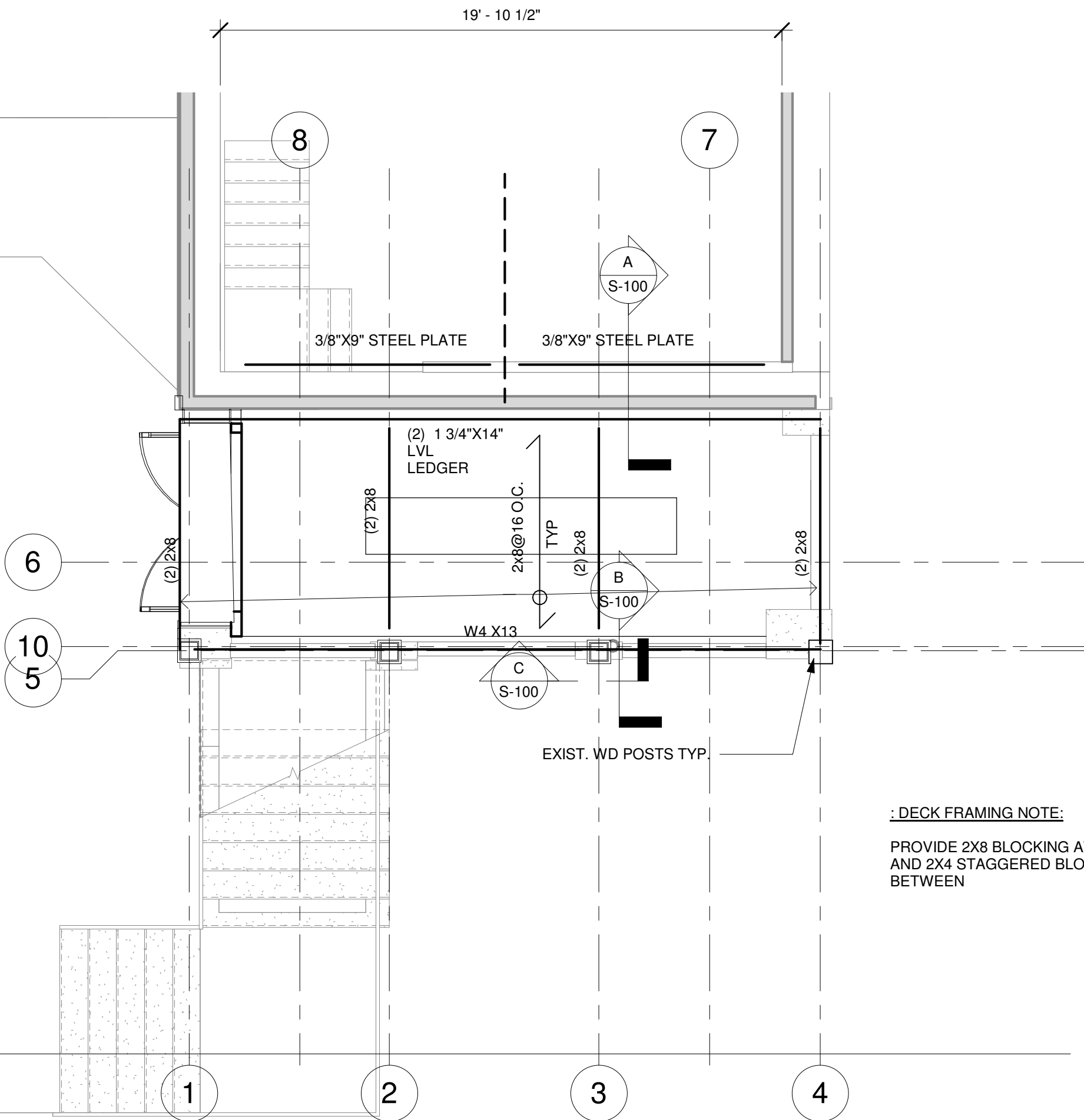
1 Porch Framing
1/4" = 1'-0"



B New Steel Beam Detail B
1 1/2" = 1'-0"

NOTE:

1. VERIFY THE LAYOUT OF THE NEW BEAM OVER THE PIERS AND THE COLUMNS ABOVE.
2. BEAM TO REST ON THE PIERS AND POST TO REST ON BEAM.
3. STRUCTURAL ENGINEER TO APPROVE BEFORE INSTALLATION
4. PROVIDE SHOP DRAWINGS FOR ENGINEERS' REVIEW



STRUCTURAL NOTES:

1. ALL STRUCTURAL WORK SHALL BE COORDINATED WITH THE ARCHITECTURAL DRAWINGS AND THE SPECIFICATIONS.
2. CONTRACTOR SHALL PROPERLY SHORE, BRACE AND MAKE SAFE ALL FLOORS, ROOFS, WALLS AND ADJACENT PROPERTY AS JOB CONDITIONS REQUIRE.
3. PERIODIC SITE VISITS BY THE ENGINEER SHALL NOT BE CONSTRUED AS SUPERVISION OF ACTUAL CONSTRUCTION OR MAKE HER RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCING, OR PROCEDURE OF CONSTRUCTION SELECTED BY THE CONTRACTOR OR HIS SUBCONTRACTORS.
4. STRUCTURAL STEEL SHALL CONFORM TO THE LATEST EDITION OF THE AISC STEEL DESIGN MANUAL AND THE SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS.
5. UNLESS OTHERWISE NOTED IN THE STRUCTURAL DRAWINGS: ALL WIDE FLANGE SHAPES ARE ASTM A992 ALL SHAPES AND PLATES ARE ASTM A 36.
6. ALL FRAMING LUMBER AND DETAILS OF WOOD CONSTRUCTION SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR STRESS-GRADE LUMBER AND ITS FASTENINGS (INCLUDING SUPPLEMENT NO. 1)
7. ALL FRAMING LUMBER AND DETAILS OF WOOD CONSTRUCTION SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR STRESS-GRADE LUMBER AND ITS FASTENINGS (INCLUDING SUPPLEMENT NO. 1). ALL NEW FRAMING LUMBER SHALL BE GRADE MARKED AT MILL AND SHALL BE SURFACED DRY. NEW JOISTS SHALL COMPLY WITH PS 20-70 FOR SIZES AND SHALL CONFORM TO THE FOLLOWING SPECIE AND GRADE:
RAFTERS AND JOISTS: DOUGLAS FIR, LARCH #2
BEAMS AND HEADERS DOUGLAS FIR, LARCH #1
STUDS AND PLATES DOUGLAS FIR, LARCH - STUD GRADE
8. ALL FACTORY MANUFACTURED GLUE LAMINATED WOOD FRAMING MEMBERS (LVL, PSL, TJI) SHALL BE TJI JOISTS AND MICROLAM OR PARALLAM BEAMS AS MANUFACTURED BY TRUS JOIST CORPORATION, OR ARCHITECT APPROVED EQUAL.
9. ALL FLUSH FRAMED CONNECTIONS SHALL BE MADE WITH APPROVED GALVANIZED STEEL JOIST OR BEAM HANGERS, AS SHOWN IN THE DETAILS, INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
10. BUILT UP BEAMS SHALL BE SPIKED TOGETHER WITH 2 - 16D NAILS @ 16" O.C.
11. PLYWOOD SHALL BE APA GRADE STAMPED AND SHALL NOT EXCEED THE SPANS INTENDED FOR USE ON THE GRADE STAMP. ALL PLYWOOD SHALL BE MADE WITH EXTERIOR GLUE.
ALL PLYWOOD SHALL BE GLUE NAILED TO FLOOR JOISTS USING AN APA APPROVED ADHESIVE. (B.F. GOODRICH PL400 OR EQUAL).

STRUCTURAL NOTES

1. FOR EXISTING PORTIONS OF THE STRUCTURE- MINIMUM DESIGN CRITERIA ARE LOADS APPLICABLE WHEN BUILDING CONSTRUCTED- PROVIDED THAT NO DANGEROUS CONDITION IS CREATED.
2. STRUCTURAL ELEMENTS UNCOVERED DURING THE ALTERATION AND ARE UNSOUND OR DANGEROUS - TO COMPLY WITH THE APPLICABLE REQUIREMENTS OF THIS CODE.
3. INCREASED LOADS. IF INSTALLATION OF ADDITIONAL EQUIPMENT OR RECONFIGURATION CAUSES PORTIONS OF THE BUILDING BECOME SUBJECT TO HIGHER DEAD OR LIVE LOADS, ALL STRUCTURAL MEMBERS AFFECTED BY SUCH INCREASE SHALL MEET THE LOAD REQUIREMENTS OF CODE.
A. EXCEPTION: STRUCTURAL ELEMENTS WHOSE STRESS IS NOT INCREASED BY MORE THAN 5 PERCENT.

REDUCTION OF STRENGTH.

1. ALTERATIONS SHALL NOT REDUCE THE STRUCTURAL STRENGTH OR STABILITY OF THE BUILDING, STRUCTURE OR ANY INDIVIDUAL MEMBER THEREOF.
A. EXCEPTION: SUCH REDUCTION SHALL BE ALLOWED AS LONG AS THE STRENGTH AND THE STABILITY OF THE BUILDING ARE NOT REDUCED TO BELOW THE LEVELS REQUIRED BY THIS CODE.

NEW STRUCTURAL MEMBERS.

1. NEW STRUCTURAL MEMBERS IN ALTERATIONS, INCLUDING CONNECTIONS AND ANCHORAGE, SHALL COMPLY WITH THIS CODE.
2. ADDITIONAL LOADS.
A. EXISTING STRUCTURAL ELEMENTS SUPPORTING ANY ADDITIONAL LOADS AS A RESULT OF ADDITIONS SHALL COMPLY WITH THIS CODE. EXCEPTION: STRUCTURAL ELEMENTS WHOSE STRESS IS NOT INCREASED BY MORE THAN 5 PERCENT

CLEARANCE TO SOIL

1. GIRDERS MIN 12 IN. ABOVE EXPOSED GROUND IF NOT PT OR NATURALLY DURABLE
2. JOISTS & SUBFLOOR MIN 18 IN. ABOVE GROUND IF NOT PT OR NATURALLY DURABLE

TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION, AND/OR TIMBER CONSTRUCTION

1. WHEN TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION, AND/OR TIMBER CONSTRUCTION IS USED, SIGN TO AFFIXED TO THE ELECTRIC BOX AT EXTERIOR OF THE RESIDENTIAL STRUCTURE; OR IN A LOCATION APPROVED BY THE AUTHORITY HAVING JURISDICTION AS A LOCATION LIKELY TO BE SEEN BY FIREFIGHTERS/FIRST RESPONDERS RESPONDING TO A FIRE OR OTHER EMERGENCY

THE SIGN OR SYMBOL

1. A CIRCLE SIX INCHES IN DIAMETER, WITH A STROKE WIDTH OF 1/2 INCH - BACKGROUND TO BE REFLECTIVE WHITE IN COLOR. THE CIRCLE AND CONTENTS TO BE REFLECTIVE RED - TO PANTONE (PMS) #187. TO BE OF STURDY, NON-FADING, WEATHER-RESISTANT MATERIAL

1. IF THE RESIDENTIAL STRUCTURE IS SUBJECT TO THE PROVISIONS OF THE IRC, THE CONSTRUCTION TYPE DESIGNATION SHALL BE "V"; IF THE RESIDENTIAL STRUCTURE IS SUBJECT TO THE PROVISIONS OF THE IBC, THE CONSTRUCTION TYPE DESIGNATION SHALL BE "I", "II", "III", "IV" OR "V"

2. TO INDICATE THE LOCATIONS(S) CONTAINING TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND/OR TIMBER CONSTRUCTION STRUCTURAL COMPONENTS, AS FOLLOWS:

- A. F SHALL MEAN FLOOR FRAMING, INCLUDING GIRDERS AND BEAMS;
- B. R SHALL MEAN ROOF FRAMING; AND
- C. FR SHALL MEAN FLOOR FRAMING AND ROOF FRAMING.



NOTE:

CONTRACTOR TO PROVIDE PLAN FOR SHORING OF SECOND FLOOR DORMER DURING WORK FOR STRUCTURAL ENGINEER'S REVIEW BEFORE STARTING WORK.

No.	Description	Date
1	FOR PERMIT	11/29/20

54 Magnolia Drive
Dobbs Ferry, NY

Porch Renovation

Betros

Structural Details

Scale As indicated

Date 11/4/20

S-100