## **GENERAL NOTES - CONSTRUCTION**

- A. ALL NEW WORK SHALL COMPLY WITH MATERIALS AND METHODS REQUIREMENTS THAT SPECIFY MATERIAL A. CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON THE STANDARDS, DETAIL OF INSTALLATION AND CONNECTION, JOINTS, PENETRATIONS, AND CONTINUITY OF ANY ELEMENT, COMPONENT OF ANY ELEMENT, COMPONENT OR SYSTEM IN THE BUILDING.
- B. CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE LICENSED IN THE COUNTY OF WORK TO PERFORM THE WORK REQUIRED
- C. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, INSPECTIONS AND CERTIFICATES.
- D. CONTRACTOR TO PROVIDE INSURANCE AS REQUIRED BY LOCAL AUTHORITIES
- E. THE CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIM/HERSELF WITH EXISTING SITE CONDITIONS PRIOR TO SUBMITTING A BID. HE SHALL CHECK AND VERIFY ALL CONDITIONS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE OWNER AND ARCHITECT.
- CONTRACTOR SHALL PROVIDE FOR THE LEGAL REMOVAL AND DISPOSITION OF RUBBISH AND DEBRIS AND FOR GENERAL CLEANING FOR THE DURATION OF THE PROJECT. UPON COMPLETION, THE CONTRACTOR SHALL LEAVE THE PREMISES FREE AND CLEAR OF ALL RUBBISH AND DEBRIS AND IN A BROOM SWEPT CONDITION.
- G. REFER TO ADDITIONAL NOTES ON PLANS FOR ADDITIONAL INFORMATION.
- H. CONTRACTOR SHALL SHORE, BRACE AND MAKE SAFE ALL FLOORS, ROOFS, WALLS AND ADJACENT PROPERTY AS JOB CONDITIONS REQUIRE

## **LEAD -BASED PAINT**

A. IN ADDITION TO REQUIREMENTS OF THIS CODE, 4() CFR 745 (TITLED "LEAD-BASED PAINT POISONING PREVENTION IN CERTAIN RESIDENTIAL STRUCTURES"), A REGULATION ISSUED AND ENFORCED BY THE FEDERAL ENVIRONMENTAL PROTECTION AGENCY, APPLIES TO CERTAIN ACTIVITIES IN BUILDINGS THAT MAY CONTAIN LEAD-BASED PAINT, INCLUDING RENOVATIONS PERFORMED FOR COMPENSATION IN "TARGET HOUSING" AND "CHILD-OCCUPIED FACILITIES," "ABATEMENT" OF LEAD-BASED PAINT HAZARDS AND OTHER "LEAD-BASED PAINT ACTIVITIES"

## INSULATION AND FENESTRATION REQUIREMENTS - CLIMATE ZONE 4A

COMPONENT	<b>REQUIREMEN</b> T
FENESTRATION U-FACTO	R 0.35
SKYLIGHT U-FACTOR	0.55
SHGC	0.4
CEILING R-VALUE	49
WOOD WALL R-VALUE	20 OR 13+5
MASS WALL R-VALUE	8/13
FLOOR R-VALUE	19
BASEMENT R-VALUE	10/13
SLAB R-VALUE & DEPTH	10, 2FT.
CRAWL SPACE R-VALUE	10/13

## USE/LIVE LOAD PSF

UNINHABITABLE ATTICS WITHOUT STORAGE /10

UNINHABITABLE ATTICS WITH LIMITED STORAGE/20

HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS/30

BALCONIES (EXTERIOR) AND DECKS/40

FIRE ESCAPES/40

**GUARDS AND HANDRAILS/200** 

**GUARD IN-TILL COMPONENTS/50** 

PASSENGER VEHICLE GARAGES/50

ROOMS OTHER THAN SLEEPING ROOMS/ 40

ABOVE FINISHED FLOOR

SLEEPING ROOMS/30

STAIRS/40

## **DEMO NOTES**

- DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY IN A SYSTEMATIC MANNER.
- B. ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS REQUIRED
- WITHOUT ADDITIONAL COST TO OWNER. C. CONTRACTOR TO PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIER AND GUARDS AND ALL
- TEMPORARY SHORING AND BRACING AS REQUIRED BY DEPT OF BUILDINGS RULES AND REGULATIONS. D. CAREFULLY REMOVE EXISTING APPLIANCES, LIGHT FIXTURES AND PLUMBING FIXTURES. CAP OFF ALL UTILITY CONNECTIONS AS REQUIRED. CUT, CAP AND FLUSH ALL ABANDONED STUBS AND PROVIDE REQUIRED PATCHING. PROVIDE BLANK COVERS FOR ABANDONED OUTLETS.
- E. SALVAGED WOOD TO BE DE-NAILED. WOOD TO BE FREE OF PAINT OR OTHER FINISHES.

INCREASED LOADS, SUCH PORTIONS SHALL BE MADE TO COMPLY WITH THE CODE

F. CONTRACTOR TO DISPOSE OF FLUORESCENT LAMPS AS REQUIRED.

## **HVAC, ELECTRICAL AND PLUMBING NOTES**

- A. ALL ELECTRICAL EQUIPMENT, MATERIALS, COMPONENTS, DEVICES, FIXTURES SHALL BE LISTED FOR APPLICATION AND HAVE LABEL OF APPROVED AGENCY AND BE INSTALLED PER MANUFACTURERS
- B. ELECTRICAL CONTRACTOR TO EXAMINE PROPOSED LAYOUT WITH RESPECT TO EXISTING FIELD CONDITIONS AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES
- C. ANY ALTERATION TO AN EXISTING ELECTRICAL SYSTEM RELATING TO WORK DONE IN ANY WORK AREA SHALL
- BE MADE IN CONFORMITY WITH THE CODE. D. INCREASED LOADS. WHERE ALTERATIONS SUBJECT PORTIONS OF EXISTING ELECTRICAL SYSTEMS TO
- E. SERVICE TO DWELLING UNITS SHALL BE A MINIMUM OF 100 AMPERE, THREE-WIRE CAPACITY, AND SERVICE EQUIPMENT SHALL BE DEAD FRONT HAVING NO LIVE PARTS EXPOSED WHEREBY ACCIDENTAL CONTACT COULD BE MADE. TYPE "S" FUSES SHALL BE INSTALLED WHEN FUSED EQUIPMENT IS USE
- F. CLEARANCE. CLEARANCE FOR ELECTRICAL SERVICE EQUIPMENT SHALL BE PROVIDED IN ACCORDANCE WITH
- G. GROUND-FAULT AND ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION. GROUND-FAULT AND ARCFAULT CIRCUIT-INTERRUPTER PROTECTION SHALL BE PROVIDED ON NEWLY INSTALLED RECEPTACLE OUTLETS AS REQUIRED BY THE CODE.
- H. ADDITIONAL ELECTRICAL REQUIREMENTS. WHEN THE WORK AREA INCLUDES ANY OF THE FOLLOWING AREAS WITHIN A DWELLING UNIT. THE REQUIREMENTS SHALL APPLY.
- I. ENCLOSED AREAS. ALL ENCLOSED AREAS OTHER THAN CLOSETS, KITCHENS, BASEMENTS, GARAGES, HALLWAYS, LAUNDRY AREAS AND BATHROOMS SHALL HAVE A MINIMUM OF TWO DUPLEX RECEPTACLE OUTLETS, OR ONE DUPLEX RECEPTACLE OUTLET AND ONE CEILING OR WALL TYPE LIGHTING OUTLET. J. KITCHEN AND LAUNDRY AREAS. KITCHEN AREAS SHALL HAVE A MINIMUM OF TWO DUPLEX RECEPTACLE OUTLETS. LAUNDRY AREAS SHALL HAVE A MINIMUM OF ONE DUPLEX RECEPTACLE OUTLET LOCATED NEAR
- THE LAUNDRY EQUIPMENT AND INSTALLED ON AN INDEPENDENT CIRCUIT. K. BATHROOMS, HALLWAYS, STAIRWAYS, ATTACHED AND DETACHED GARAGES. AT LEAST ONE LIGHTING OUTLET SHALL BE PROVIDED IN EVERY BATHROOM, HALLWAY, STAIRWAY, ATTACHED GARAGE AND DETACHED GARAGE WITH ELECTRIC POWER TO ILLUMINATE OUTDOOR ENTRANCES AND EXITS

## **CODE NOTES- EXISTING BUILDINGS**

## AJ301 WORK AREA

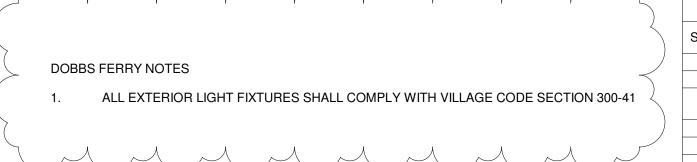
A. PORTION(S) OF A BUILDING AFFECTED BY ANY RENOVATION, ALTERATION OR RECONSTRUCTION WORK AS INITIALLY INTENDED BY THE OWNER AND INDICATED AS SUCH IN THE PERMIT. WORK AREA EXCLUDES OTHER PORTIONS OF THE BUILDING WHERE INCIDENTAL WORK ENTAILED BY THE INTENDED WORK MUST BE PERFORMED, AND PORTIONS OF THE BUILDING WHERE WORK NOT INITIALLY INTENDED BY THE OWNER IS SPECIFICALLY REQUIRED BY THIS APPENDIX

## REPAIRS TO EXISTING BUILDINGS

- A. EXCEPT AS OTHERWISE REQUIRED HEREIN, WORK SHALL BE DONE USING MATERIALS PERMITTED BY THE APPLICABLE CODE FOR NEW CONSTRUCTION OR USING LIKE MATERIALS SUCH THAT NO HAZARD TO LIFE, HEALTH OR PROPERTY IS CREATED.
- B. EXISTING ELECTRICAL WIRING AND EQUIPMENT UNDERGOING REPAIR SHALL BE ALLOWED TO BE REPAIRED
- OR REPLACED WITH LIKE MATERIAL C. DAMAGED BUILDINGS SHALL BE REPAIRED IN ACCORDANCE WITH THIS SECTION.
- D. NEW STRUCTURAL FRAME MEMBERS USED IN THE REPAIR OF DAMAGED BUILDINGS, INCLUDING ANCHORAGE AND CONNECTIONS, SHALL COMPLY WITH THIS CODE.



# **LOCATION**



## PROPERTY INFORMATION

MUNICIPALITY: VILLAGE OF DOBBS FERRY

ADDRESS 54 MAGNOLIA DR SBL 3.160-144-12

CHARLES AND LISA BETROS OWNER ZONING

## PROJECT DESCRIPTION

EXISTING ONE-STORY SINGLE FAMILY HOUSE

# BUILDING, PLUMBING MECHANICAL, FUEL GAS, AND ELECTRICAL CODES

• EXTERIOR REPAIRS TO FRONT PORCH AND SIDE STAIR

2020 NYS RESIDENTIAL CODE

## REQUIRED INSPECTIONS

## R109.1.1 FOUNDATION INSPECTION.

A. INSPECTION REQUIRED AFTER POLES OR PIERS ARE SET OR TRENCHES OR BASEMENT AREAS ARE EXCAVATED AND ANY REQUIRED FORMS ERECTED AND ANY REQUIRED REINFORCING STEEL IS IN PLACE AND SUPPORTED PRIOR TO THE PLACING OF CONCRETE. THE FOUNDATION INSPECTION SHALL INCLUDE EXCAVATIONS TOR THICKENED SLABS INTENDED TOR THE SUPPORT OF BEARING WALLS, PARTITIONS STRUCTURAL SUPPORTS, OR EQUIPMENT AND SPECIAL REQUIREMENTS TOR WOOD FOUNDATIONS.

## R109.1.2 PLUMBING, MECHANICAL, GAS AND ELECTRICAL SYSTEMS INSPECTION.

A. ROUGH INSPECTION OF PLUMBING, MECHANICAL, GAS AND ELECTRICAL SYSTEMS REQUIRED PRIOR TO COVERING OR CONCEALMENT, BEFORE FIXTURES OR APPLIANCES ARE SET OR INSTALLED AND PRIOR TO FRAMING INSPECTION

## R109.1.4 FRAME AND MASONRY INSPECTION.

A. INSPECTION OF FRAMING AND MASONRY CONSTRUCTION SHALL BE MADE AFTER THE ROOF, MASONRY, FRAMING, FIRE STOPPING, DRAFT STOPPING AND BRACING ARE IN PLACE AND AFTER THE PLUMBING, MECHANICAL AND ELECTRICAL ROUGH INSPECTIONS ARE APPROVED.

## R109.1.S FINAL INSPECTION.

A. FINAL INSPECTION SHALL BE MADE AFTER THE PERMITTED WORK IS COMPLETE AND PRIOR TO OCCUPANCY

## REQUIRED PERMITS

- BUILDING PERMIT
- 2. ELECTRICAL PERMIT

		Sheet List	
Sheet Number	Sheet Name	Current Revision Description	Current Revision Date
A-000	Cover	AHRB	2/22/21
A-001	Specifications	AHRB	2/22/21
A-002	Aerial Photo, Survey and Parking	AHRB	2/22/21
A-105	Plans	AHRB	2/22/21
A-110	Elevations	AHRB	2/22/21
A-111	Pricing Information	AHRB	2/22/21
A-210	Sections & Details	AHRB	2/22/21
S-100	Structural Details	FOR PERMIT	11/29/20

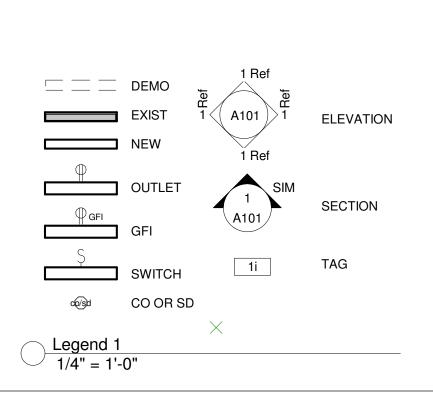
ABBREVIATIONS

APPL. BB. BD. BET BLDG BLKG BM.	APPLIANCE BASE BOARD BOARD BETWEEN BUILDING BLOCKING BEAM	HM HW ICE INFO MAX MBATH	HOLLOW METAL HOT WATER ICEMAKER INFORMATION MAXIMUM MASTER BATHROOM
B.O. BR CABT. C.J. CLG CLO., CLOS.	BY OTHERS BRICK CABINET CONTROL JOINT CEILING CLOSET CONCRETE MASONRY UNIT	MBR MIN MTD MTL MW N.T.S. 0.C. OP'NG	MASTER BEDROOM MINIMUM MOUNTED METAL MICROWAVE NOT TO SCALE ON CENTER OPENING
C.O. COL CONC C.T. CW DTLS DR.	CLEAN OUT COLUMN CONCRETE CERAMIC TILE COLD WATER DETAILS DOOR	OPP. P-LAM PLYWD P.T. PTD RCP REF	OPPOSITE PLASTIC LAMINATE PLYWOOD PRESSURE TREATED PAINTED REFLECTED CEILING PLAN REFRIGERATOR
DWGS DWR DW ELEV ENCL EXIST., EX'G F.B.O. FDN	DRAWINGS DRAWER DISHWASHER ELEVATOR ENCLOSURE EXISTING FURNISHED BY OWNER FOUNDATION FIBERGLASS	REQ'D RM. SECT SHT MTL SIM SPECS STL S.S. TR	REQUIRED ROOM SECTION SHEET METAL SIMILAR SPECIFICATIONS STEEL STAINLESS STEEL TRASH RECEPTACLE
FL., FLR. FTG. GALV GC GL	FLOOR FOOTING GALVANIZED GENERAL CONTRACTOR GLASS	TYP. U.O.N. VCT V.I.F. WD	TYPICAL UNLESS OTHERWISE NOTED VINYL COMPOSITION TILE VERIFY IN FIELD WOOD

GWB, GYP BD GYPSUM WALL BOARD

# **CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA- CLIMATE ZONE 4A**

GROUND		WIND DESI	GN		SEISMIC DESIGN CATEGORY	SUBJECT F	FROM DAMAGE F	ROM	CLIMATE	ICE BARRIER	FLOOD	AIR	MEAN
SNOW LOAD	SPEED MPH	TOPO EFFECTS	WIND REGION	WINDBORNE DEBRIS		WEATHERING	FROST LINE DEPTH	TERMITE	ZONE	UNDERLAYME NT REQUIRED			ANNUAL TEMP
30 PSF	SPEECH WIND REGION	NO	YES	NO	С	SEVERE	42	SEVERE TO HEAVY	4A	YES	NA	2000	51.6



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0 Renovati Porch Cover

> As indicated 11/4/20

# **CODE NOTES: FIREBLOCKING**

- R302.11FIREBLOCKING LOCATIONS IN WOOD-FRAMED CONSTRUCTION: A. IN CONCEALED SPACES OF STUD WALLS & PARTITIONS, INCLUDING FURRED SPACES & PARALLEL ROWS OF STUDS OR STAGGERED
- STUDS a. VERTICALLY AT THE CEILING AND FLOOR LEVELS.
- HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
- IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7
- D. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN /APPROVED/ MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF
- FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE **SECTION R1003.19.**
- FIREBLOCKING OF CORNICES OF A TWO-FAMILY /DWELLING/ IS REQUIRED AT THE LINE OF /DWELLING UNIT/ SEPARATION

## <u>FIRESTOPPING</u>

## SHMMARY A. PROVIDE FIRESTOPPING

- B. QUALITY ASSURANCE
- a. COMPLY WITH GOVERNING CODES AND REGULATIONS. PROVIDE PRODUCTS OF ACCEPTABLE MANUFACTURERS, WHICH HAVE BEEN IN SATISFACTORY USE IN SIMILAR SERVICE FOR THREE YEARS. USE EXPERIENCED INSTALLERS. DELIVER, HANDLE, AND STORE MATERIALS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- b. FIRE PERFORMANCE: UL 2079, ASTM E 814, AND LOCAL REGULATIONS.

- A. FIRESTOPPING SYSTEMS:
- a. MANUFACTURERS:3M FIRE PROTECTION PRODUCTS;BACKER ROD MFG. INC.;HOLDRITE
- APPLICATIONS AS APPLICABLE TO ASSEMBLY: THROUGH-PENETRATIONS, FIRE-RESISTIVE JOINTS, PERIMETER FIRE CONTAINMENT, SMOKE SEALS.
- TYPES AS APPLICABLE TO ASSEMBLY: ENDOTHERMIC AND INTUMESCENT SEALANTS, PILLOWS, PUTTY AND WRAP STRIPS.
- INSTALLATION
- a. REVIEW EXTENT OF WORK WITH AUTHORITIES HAVING JURISDICTION AND OBTAIN APPROVAL OF INSTALLATION THICKNESSES AND METHODS.
- b. SEQUENCE WORK TO AVOID NEED FOR REMOVAL OF FIRESTOPPING BY WORK OF OTHER TRADES.
- COMPLY WITH MANUFACTURERS' INSTRUCTIONS AND RECOMMENDATIONS. SECURELY ANCHOR INSULATION WITH SAFING CLIPS. INSTALL FIRESTOPPING WITHOUT GAPS OR
- d. PROTECT, INSPECT AND REPAIR WORK UNTIL FINAL **ACCEPTANCE**

## SECTION 04 01 00 MAINTENANCE OF MASONRY

- PROVIDE MASONRY RESTORATION AND CLEANING. QUALITY ASSURANCE
- PERFORM TEST CLEANING TO DEMONSTRATE/SELECT APPROPRIATE CLEANING MATERIALS, MIXES, AND METHODS.
- COMPLY WITH GOVERNING CODES AND REGULATIONS. PROVIDE PRODUCTS OF ACCEPTABLE MANUFACTURERS, WHICH HAVE BEEN IN SATISFACTORY USE IN SIMILAR SERVICE FOR THREE YEARS. USE EXPERIENCED INSTALLERS. DELIVER, HANDLE, AND STORE MATERIALS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- MOCK-UPS: PROVIDE MOCK-UP AS REQUIRED TO DEMONSTRATE QUALITY OF WORKMANSHIP FOR EACH TYPE OF REPOINTING AND

# PROJECT CONDITIONS

 PROTECT PERSONS AND PROPERTY FROM INJURY AND DAMAGE FROM CLEANING OPERATIONS. DO NO WORK WHEN WINDS PREVENT CONTROL OF SAND, CLEANERS OR RINSE WATER. DISPOSE OF RUN-OFF IN A LEGAL MANNER. FOR CHEMICAL CLEANING. CLEAN ONLY WHEN AMBIENT 40 DEGREES F TEMPERATURE AND ABOVE WILL BE MAINTAINED DURING CLEANING AND SEVEN DAYS AFTER. PRODUCTS

## MATERIALS

- 2. MASONRY RESTORATION: 3. MANUFACTURERS: LATICRETE
- 4. APPLICATION: REPOINTING MORTAR JOINTS.
- 5. APPLICATION: REPAIR OF DAMAGED STONE MASONRY.
- . MATERIALS: MASONRY REPAIR ANCHORS AND STONE **CONSOLIDATION TREATMENT**
- MATERIALS: REPOINTING MORTAR 8. STRENGTH: SUITABLE FOR PROJECT CONDITIONS.
- APPEARANCE: MATCH EXISTING.
- 10. PORTLAND CEMENT: ASTM C 150, TYPE I. 11. HYDRATED LIME: ASTM C 207, TYPE S.
- 12. AGGREGATE FOR MORTAR: ASTM C 144.
- 13. AGGREGATE FOR GROUT: ASTM C 404. EXECUTION

## INSTALLATION CHEMICAL CLEANING:

- 2. COMPLY WITH CLEANING CHEMICAL MANUFACTURER'S
- INSTRUCTIONS, RECOMMENDATIONS, AND PRECAUTIONS. PROTECT ADJACENT SURFACES WITH MASKING AGENT OR OTHER EFFECTIVE MEANS.
- CLEAN SURFACES IN STRICT CONFORMANCE WITH APPROVED FIELD TESTS AND MATCH MOCK-UP PANELS.
- PROVIDE UNIFORM FINAL APPEARANCE.
- 6. REPOINTING: OBTAIN MATERIALS FROM ONE SOURCE TO MAINTAIN
- COLOR/TEXTURE/QUALITY CONSISTENCY. WORK ONLY WHEN AMBIENT 40 DEGREES F TO 80 DEGREES F
- TEMPERATURE WILL BE MAINTAINED UNTIL 72 HOURS AFTER COMPLETION. REMOVE OLD MORTAR BY HAND CHISEL AND MALLET. 10. RAKE-OUT OLD MORTAR TO DEPTH EQUAL TO 2-1/2 TIMES JOINT
- WIDTH AND IN NO CASE LESS THAN 1/2' OR DEPTH REQUIRED TO EXPOSE SOUND MORTAR. 11. DO NOT DAMAGE STONE.
- 12. RINSE JOINTS AND INSTALL POINTING MORTAR IN 1/2' DEEP LAYERS.
- THAN 72 HOURS 14. AFTER POINTING, CLEAN MASONRY USING TAMPICO FIBER BRUSHES

13. TOOL JOINTS TO MATCH EXISTING AND CURE MORTAR FOR NOT LESS

- AND RUNNING WATER. 15. SCHEDULE: [REFER TO DRAWINGS FOR EXTENT.] [FOLLOWING ARE
- EXAMPLES ONLY.] 16. REPAIR OF DAMAGED STONE MASONRY: [CRACKED OR SPALLED STONE.1

## SECTION 06 20 13 EXTERIOR FINISH CARPENTRY

## SUMMARY-PROVIDE EXTERIOR FINISH CARPENTRY. SEE SCHEDULE OF MATERIALS BELOW

## MATERIALS

- EXTERIOR STANDING AND BUNNING TRIM AND BAILS:
- A. WOOD FOR REPAIR OF RAILINGS & COLUMN WRAPS- CEDAR **B. EXTERIOR PLASTIC FABRICATIONS:**
- a. MANUFACTURERS: AZEK BUILDING PRODUCTS, INC.; VERSATEX.. COMPLY WITH GOVERNING CODES AND REGULATIONS. PROVIDE 2. TYPE: COLUMN WRAP AT SIDE STAIR
  - 3. TYPE: MOULDINGS AND TRIM.
  - 4. TYPE: CUSTOM FABRICATIONS 5. FINISH: UNFINISHED TO RECEIVE FIELD FINISH.
- **EXTERIOR FASTENERS:**
- MANUFACTURERS:LIQUID NAILS BRAND. NAILS: STAINLESS STEEL, ALUMINUM OR HOT-DIP GALVANIZED SIDING NAILS.
- C. SCREWS AND ANCHORS: NONCORROSIVE, TYPE REQUIRED FOR SECURE ANCHORAGE
- REINSTALLATION OF RAILING- USE RAIL SUPPORT BY AMERICAN PORCH, LLC. 310 6TH STREET, TOWNSEND, MT TOLL FREE: (888) 459-9965 WWW.AMERICANPORCH.COM;

## INSTALLATION

- A. PROVIDE WORK TO SIZES, SHAPES, AND PROFILES INDICATED. INSTALL WORK TO COMPLY WITH QUALITY STANDARDS REFERENCED. BACK PRIME WORK AND INSTALL PLUMB, LEVEL AND
- STRAIGHT WITH TIGHT JOINTS; SCRIBE WORK TO FIT. INSTALL MATERIALS AND SYSTEMS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND APPROVED SUBMITTALS. INSTALL MATERIALS AND SYSTEMS IN PROPER RELATION WITH ADJACENT CONSTRUCTION. USE NON-CORROSIVE FASTENERS FOR EXTERIOR WORK. COORDINATE WITH WORK OF OTHER SECTIONS.
- C. COMPLY WITH MANUFACTURER'S REQUIREMENTS FOR CUTTING, HANDLING, FASTENING AND WORKING TREATED MATERIALS.
- D. REPAIR MINOR DAMAGE, CLEAN AND PROTECT.

## PORCH FLOORING

## MATERIALS

AERATIS PORCH FLOORING- SEE MATERIAL CHART TRIM CHAMFERED EDGE PLYWOOD

MEMBRANE-GRACE ICE AND WATER SHIELD AND GRACE ICE AND WATER SHIELD HT

## INSTALLATION

- FOLLOW MANUFACTURER'S INSTRUCTIONS FOR WATERPROOF INSTALLATION
- USE OF THE PROPER FASTENING SYSTEM AND CREATING PROPER SLOPE ARE CRITICAL TO CREATING A SUCCESSFUL WATERPROOF
- INSTALLATION. BUTT JOINTS SHOULD NEVER BE USED IN A WATERPROOF APPLICATION.
- 4. BOARD DIRECTION BOARDS PERPENDICULAR TO THE STRUCTURE IN A WATERPROOF INSTALLATION.
- SLOPE TO MAINTAIN A 1/4" PER FOOT CONTINUOUS SLOPE IN THE DIRECTION WATER FLOWS. JOISTS CROWNS SHOULD ALL BE TURNED UP.
- PLYWOOD REQUIRE THE USE OF 7/16" OR THICKER PRESSURE TREATED PLYWOOD.
- FOR BEST RESULTS USE A DRYER 7/16"- 5/8" TREATED PLYWOOD. THE MAIN PURPOSE OF THE PLYWOOD IS TO SUPPORT THE WATERPROOFING MEMBRANE
- FASTENERS MUST PENETRATE THE JOISTS SYSTEM AFTER PASSING THROUGH THE MEMBRANE AND PLYWOOD. WARRANTY WILL BE VOIDED IF AERATIS IS FASTENED TO THE PLYWOOD. ON TOP OF THE CONTINUOUSLY SLOPED JOISTS SYSTEM, INSTALL
- THE PLYWOOD USING SCREWS OR STAPLE AND CONSTRUCTION ADHESIVE. 11. DOUBLE CHECK THAT THERE ARE NO HIGH OR LOW SPOTS IN THE
- PLYWOOD PRIOR TO INSTALLATION OF THE WATERPROOF 12. ON TOP OF THE PLYWOOD, USE A SELF-HEALING WATERPROOFING
- MEMBRANE 13. INSTALL THE MEMBRANE FROM THE OUTER EDGE OF THE PORCH TO
- THE STRUCTURAL WALL 14. OVERLAP EVERY 16" (WHERE SLEEPERS OR FASTENERS WILL PENETRATE THE SELF-HEALING MEMBRANE). THIS PROVIDES A DOUBLE LAYER OF MEMBRANE WHERE THE PENETRATIONS WILL
- OCCUR. 15. IF POSSIBLE, TURN THE MEMBRANE UP THE WALL 1' TO STOP WINDBLOWN RAIN FROM GETTING BETWEEN WHERE THE BOARDS
- MEET THE VERTICAL WALL 16. MAKE SURE THERE ARE NO CREASES OR TEARS ANYWHERE IN THE
- MEMBRANE 17. INSTALL AERATIS DIRECTLY TO THE MEMBRANE
- 18. FASTEN AERATIS TO THE JOISTS WITH 3" SCREWS. SINK THE SCREW AT LEAST 3/4" DEEP INTO THE JOISTS. EACH FASTENER MUST PENETRATE THE JOISTS. DO NOT FASTEN AERATIS TO THE PLYWOOD ALONE. PLYWOOD IS NOT AN ACCEPTABLE FASTENING SUBSTRATE NO MATTER THE THICKNESS OR THE TYPE OF
- PLYWOOD OR EXTERIOR SHEATHING. 19. CANNOT USE A PNEUMATIC FLOORING NAILER IF YOU ARE
- INSTALLING AERATIS DIRECTLY ON TOP OF THE MEMBRANE 20. ATTACH TRIM PIECES USING AERATIS APPROVED PVC GLUE AND A
- TRIM HEAD SCREW EVERY TWO FEET. 21. IT IS ALWAYS BEST PRACTICE TO ALLOW TRIM PIECES AND UNIVERSAL PORCH PLANK (UPP), IF USED, TO BE IN DIRECT SUNLIGHT, UNCOVERED AND UN-STACKED AND IN DIRECT SUN FOR
- 24 TO 48 HOURS PRIOR TO CUTTING AND INSTALLING. 22. TRIM PIECES SHOULD BE INSTALLED WITH 2" #7 TRIM HEAD SCREWS AND PVC GLUE.

BOARDS. AERATIS TRIM PIECES SHOULD NOT BE INSTALLED USING A

23. MAKE SURE NOT TO GET ANY GLUE ON THE SURFACE OF THE TRIM

TRIM NAIL OR FINISH NAIL

## **SECTION 07 21 00 THERMAL INSULATION**

## SUMMARY PROVIDE THERMAL INSULATION.

PRODUCT DATA: SUBMIT MANUFACTURER'S PRODUCT DATA AND INSTALLATION INSTRUCTIONS FOR EACH MATERIAL AND PRODUCT

## QUALITY ASSURANCE

PRODUCTS OF ACCEPTABLE MANUFACTURERS, WHICH HAVE BEEN IN SATISFACTORY USE IN SIMILAR SERVICE FOR THREE YEARS. USE EXPERIENCED INSTALLERS. DELIVER, HANDLE, AND STORE MATERIALS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. PRODUCTS

- MATERIALS A. BATT INSULATION:
- a. MANUFACTURER: ROKWOOL. b. APPLICATION: EXTERIOR WALLS.
- INSTALLATION A. INSTALL MATERIALS AND SYSTEMS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND APPROVED SUBMITTALS. INSTALL MATERIALS AND SYSTEMS IN PROPER RELATION WITH ADJACENT CONSTRUCTION. COORDINATE WITH WORK OF OTHER

SECTIONS. PROVIDE FULL THICKNESS IN ONE LAYER OVER ENTIRE

- AREA, TIGHTLY FITTING AROUND PENETRATIONS. POUR LOOSE INSULATION INTO CAVITIES INDICATED; PROVIDE
- UNIFORM COVERAGE AT CORRECT DENSITY AND THICKNESS. PROTECT INSTALLED INSULATION.

## **SECTION 07 62 00-SHEET METAL FLASHING AND TRIM**

A. PROVIDE FLASHING AND SHEET METAL.

## **QUALITY ASSURANCE**

A. COMPLY WITH GOVERNING CODES AND REGULATIONS. PROVIDE PRODUCTS OF ACCEPTABLE MANUFACTURERS, WHICH HAVE BEEN IN SATISFACTORY USE IN SIMILAR SERVICE FOR THREE YEARS. USE EXPERIENCED INSTALLERS. DELIVER, HANDLE, AND STORE MATERIALS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS

## MATERIALS

- A. FLASHING AND SHEET METAL:
- MANUFACTURERS:ARCHITECTURAL METAL SPECIALTIES INC.;PETERSEN ALUMINUM CORP.;TYPAR.
- B. APPLICATION: a. METAL COUNTERFLASHING AND BASE FLASHING.
- EXTERIOR WALL FLASHING AND EXPANSION JOINTS.
- **GUTTERS AND DOWNSPOUTS.**
- EXPOSED METAL TRIM AND FASCIA UNITS.
- ELASTIC FLASHING.
- ELASTIC ROOF AND WALL EXPANSION JOINT SYSTEMS RIDGE AND SOFFIT VENTS.
- METAL:
- a. SHEET ALUMINUM. STANDARD: ASTM B 209, ALLOY 3003, PREFINISHED 2-COAT 70% FLUOROPOLYMER, 20 GAUGE (.0359 INCH).
- EXTRUDED ALUMINUM. STANDARD: 6063-T52, PREFINISHED 2-COAT 70% FLUOROPOLYMER, 0.080 INCHES FOR PRIMARY LEGS OF
- EXTRUSION. c. FLEXIBLE SHEET MEMBRANE FLASHING: NONREINFORCED FLEXIBLE BLACK ELASTIC SHEET, 50 TO 65 MILS THICK, SYNTHETIC RUBBER.
- LAMINATED COMPOSITION SHEET FLASHING: 5 OUNCE COPPER SHEET LAMINATED BETWEEN 2 LAYERS OF BITUMINOUS IMPREGNATED KRAFT PAPER OR SATURATED FABRIC.
- e. ELASTIC EXPANSION JOINTS: FACTORY-FABRICATED METAL-FLANGED EDGES TO FIT CURBS AND CURB SUBSTRATE. SOFFIT VENTS: CONTINUOUS ALUMINUM STRIP SOFFIT VENTS
- RIDGE VENTS: BAFFLED RIDGE VENT SUITABLE FOR DIRECT APPLICATION OF SHINGLES.
- F. AUXILIARY MATERIALS: a. SOLDER COMPATIBLE WITH METAL. BITUMINOUS ISOLATION COATING.
- MASTIC AND ELASTOMERIC SEALANTS. EPOXY SEAM SEALER ROSIN-SIZED BUILDING PAPER SLIP SHEET
- POLYETHYLENE UNDERLAYMENT. REGLETS AND METAL ACCESSORIES.

## GUTTER AND CONDUCTOR HEAD GUARDS. ASPHALTIC ROOFING CEMENT

- INSTALLATION FOLLOW RECOMMENDATIONS OF SMACNA SHEET METAL MANUAL. ALLOW FOR EXPANSION. ISOLATE DISSIMILAR MATERIALS.
- INSTALL MATERIALS AND SYSTEMS IN PROPER RELATION WITH ADJACENT CONSTRUCTION AND WITH UNIFORM APPEARANCE. COORDINATE WITH WORK OF OTHER SECTIONS.
- INSTALL MATERIALS AND SYSTEMS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND APPROVED SUBMITTALS.
- RESTORE DAMAGED COMPONENTS AND FINISHES. CLEAN AND PROTECT WORK FROM DAMAGE.

### SECTION 09 30 50 TILE SETTING MATERIALS AND ACCESSORIES **MOCK UPS AND SAMPLES - SEE A-111**

# MOCKUPS FOR OWNER

- VISIBLE MASONRY REPAIRS- SEE A-111
- REVIEW OF ELECTRICAL NOTES- -A-111

- PORCH FLOORING
- FINISH SAMPLE FOR TRANSITION STRIP

- SHOP DRAWINGS REQUIRED GARAGE DOOR- SEE SPECS

# SEE STRUCTURAL

SALVAGE SCHEDULE

# SEE NOTES ON PLANS AND ELEVATIONS

## FOR SALVAGE AND REINSTALL

- EXIST GUARDRAIL
- FLAG POLE HOLDER PORCH SHADES

**ALTERNATIVES & UNIT PRICES** 

Solutions-Dartmouth RS35 railing

COMPOSITE

Millwork Solutions-Dartmouth RS35 railing

6. CONTRACTOR PAINTS GARAGE DOORS

1. FANS AND LIGHT FIXTURES

1. FULL REPLACEMENT OF PORCH GUARDRAIL - WITH WOOD

2. FULL REPLACEMENT OF PORCH GUARDRAIL - Intex Millwork

3. FULL REPLACEMENT OF SIDE STEP GUARDRAIL - Intex

4. FULL REPLACEMENT OF PORCH COLUMN WRAPS – WITH

5. FULL REPLACEMENT OF PORCH COLUMN WRAPS – WITH

7. UNIT PRICES – PARTIAL REPLACEMENT OF TRIM ON HOUSE

OWNER TO PROVIDE AND CONTRACTOR TO INSTALL=

Doors ~ 36"W x 80"H; Windows ~ 12"W x 18"H. Astragal attached to left (active) door

Handles: Acorn RP1BP 10-1/2" x 2-5/8" proj. 1-3/4" Heart

Acorn Butt Hinges TJ5BP 4"x4" or TJ4BP 3-1/2"x3-1/2"

Shaped Rough Iron Door Pull -- Arched door has 9" size. Appropriately Sized Hinges with removeable pins: such as

Appropriately Sized Lock: such as Yale 112 Brass Rim Lock, Heavy-Duty Deadbolt w/ Thumbturn Black Finish on Cylinder Face; Keyed same as Arched Door

Mortised Flush Bolts Top & Bottom: such as

Baldwin Model #9BR7020-001 in Venetian Bronze

## DOOR FIMBEL--ROARING TWENTIES DOUBLE SWING DOOR SLABS 2 SLABS/OPENING<<V-GRILLE WITH ANNEALED GLASS

## VERSATEX VINYL MACHINED FACE AND SMOOTH 3/8" INTERIOR NO FACTORY FINISH \*NATURAL WHITE ONLY>> CUSTOM SLABS ONLY - MOT PREHUNG OR BEVELED

# MATERIAL FINISH AND COLOR SCHEDULE

1. EDGE-PROTECTION AND TRANSITION PROFILES FOR FLOORS.

VERIFICATION SAMPLES: FOR EACH FINISH PRODUCT SPECIFIED,

SCHLUTER SYSTEMS, L.P., 194 PLEASANT RIDGE ROAD, PLATTSBURGH

MAIL:SPECASSIST@SCHLUTER.COM. WEB:WWW.SCHLUTER.COM

EDGE-PROTECTION AND TRANSITION PROFILES FOR FLOORS

BEVELED EXPOSED SURFACE AND 11/32 INCH (9 MM) TALL

CLEAN SURFACES THOROUGHLY PRIOR TO INSTALLATION.

SUBSTRATE UNDER THE PROJECT CONDITIONS.

PROPER SUPPORT OF THE LATERAL CROSSPIECE.

4. FILL THE JOINT WITH ELASTOMERIC SEALANT SUCH AS

PREPARE SURFACES USING THE METHODS RECOMMENDED BY THE

MANUFACTURER FOR ACHIEVING THE BEST RESULT FOR THE

INSTALL IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS:

3. THE JOINT CAVITY MUST BE AT LEAST 3/8" (9 MM) DEEP AND FREE OF

DEBRIS. SUBSTANCES THAT INHIBIT ADHESION MUST BE REMOVED

SCHLUTER®-KERDI-FIX OR SIMILAR. THEN INSERT THE VERTICAL/

LEG OF RENO-T IN THE JOINT SO THAT THE LATERAL CROSSPIECÉ RESTS COMPLETELY ON THE EDGES OF THE SURFACE COVERINGS.

PROTECT INSTALLED PRODUCTS UNTIL COMPLETION OF PROJECT

TOUCH-UP, REPAIR OR REPLACE DAMAGED PRODUCTS BEFORE

REMOVE ANY EXCESS SEALANT WITH A SUITABLE CLEANER.

2. SELECT THE PROFILE ACCORDING TO JOINT WIDTH, TO ENSURE

DESCRIPTION: T-SHAPED PROFILE WITH 1/16 INCH (1 MM) THICK

NY 12901-5841. ASD. TEL: (800) 472-4588. FAX (800) 477-9783. E-

INTEGRATED VERTICAL ANCHORING LEG.

WIDTH AS REQUIRED- 9/16 INCH OR 1 INCH

FROM THE SIDES OF THE JOINT.

SUBSTANTIAL COMPLETION.

**PORCH REPAIR** 

SUBMITTALS

PRODUCTS

TWO SAMPLES

SCHLUTER-RENO-T

≺ MATERIÁL AND FÍNISH:

M- SOLID BRASS

PREPARATION

INSTALLATION

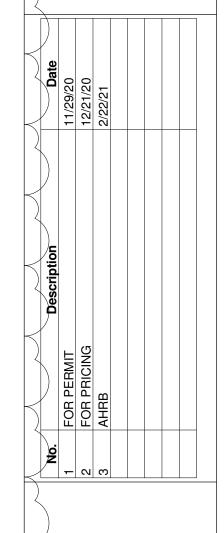
IVIA I ENIAL, FIIVION AND COLON SCHEDULE						
FINISH TYPE	MANUFACTURER	FINISH	COLOR			
PAINT-EXIST FIELD COLOR	вм	AURA EXTERIOR PAINT	CUSTOM COLOR CABOT BEECHWOOD GRAY			
STAIN- EXIST FIELD COLOR	ВМ	ARBOR COAT WATERBORNE EXTERIOR STAIN SOLID	CUSTOM COLOR CABOT BEECHWOOD GRAY			

MODEL/PROFILE

REPLACE EXIST PORCH CEILING	WOOD	MATCH EXISTING BEAD BOARD	SATIN/EGGSHELL	TRIM
NEW CROWN MOLDING-	WOOD	KUIKEN -MODERN CRAFTSMAN SHIPLAP COFFERED CEILING – WALL BEAM ONLY	SEMI GLOSS	TRIM
EXIST PORCH POST WRAPS	REPAIR -EXIST WOOD	MATCH EXISTING	SEMI GLOSS	TRIM
REPLACE EXIST PORCH POST BASES AND TRIM	WOOD	CAP = PVC5168  BASE=1X LENGTH NEEDED	SEMI GLOSS	TRIM
EXIST PORCH RAILING	REPAIR -EXIST WOOD	MATCH EXISTING	SEMI GLOSS	TRIM
NEW PORCH FLOORING	PLASTIC	AERATIS HERITAGE PORCH FLOORING CHAMFERED NOSING	NA	NEW MATERIAL VINTAGE SLATE
NEW FASCIA	COMPOSITE	AZEK 1X LENGTH NEEDED		MATCH TRIM
REPLACE EXIST WALL BASE AT PORCH/ HOUSE	COMPOSITE	AZEK QUARTER ROUND  BASE=1X LENGTH NEEDED		MATCH TRIM
EXIST FLAT FRAME AT SIDES OF PORCH	REPAIR -EXIST WOOD	MATCH EXIST	SEMI GLOSS	TRIM
NEW GARAGE DOOR		SEE DRAWINGS	SEMI GLOSS	COLOR CHANGE- TRIM
NEW TRIM AT GARAGE DOOR	REPLACE COMPOSITE	AZEK SEE DETAIL		MATCH TRIM
NEW GARAGE DOOR OVERHAND SOFFIT	WOOD	MATCH BEADBOARD		TRIM

MAINTENANCE	TYPE	MODEL/PROFILE	FINISH	COLOR
EXIST WINDOW TRIM IN CLAPBOARD/SHAKES		REPAIR W/WOOD TO MATCH, REPLACE WITH COMPOSITE	SEMI GLOSS	TRIM
EXIST SKIRT BOARD ON HOUSE		REPAIR W/WOOD TO MATCH, REPLACE WITH COMPOSITE	SEMI GLOSS	TRIM
EXIST CLAPBOARD SIDING	EXIST TO REMAIN	REPAINT EXIST	STAIN	FIELD
EXIST EAVE SHAKES	EXIST TO REMAIN	NOT RE STAINED	NA	NA
EXIST ARCHED DOOR	EXIST TO REMAIN	REPAINT EXIST	SEMI GLOSS	FIELD
EXIST BASEMENT DOOR	EXIST TO REMAIN	REPAINT EXIST	SEMI GLOSS	FIELD
EXIST SIDE STAIR POST WRAP	REPLACE COMPOSITE	AZEK		MATCH TRIM
EXIST STRINGER COVER	REPLACE COMPOSITE	AZEK		MATCH TRIM
EXIST UNDER SIDE OF STAIR	REPLACE WOOD	MATCH EXIST BEADBOARD		MATCH TRIM
EXIST SIDE STEPS TREADS AND LANDING	WOOD	NEW ONE PIECE STAIR TREAD	STAIN	CEDAR
EXIST FRONT AND SIDE DOORS	EXIST TO REMAIN	DOOR – NOT REFINISHED		

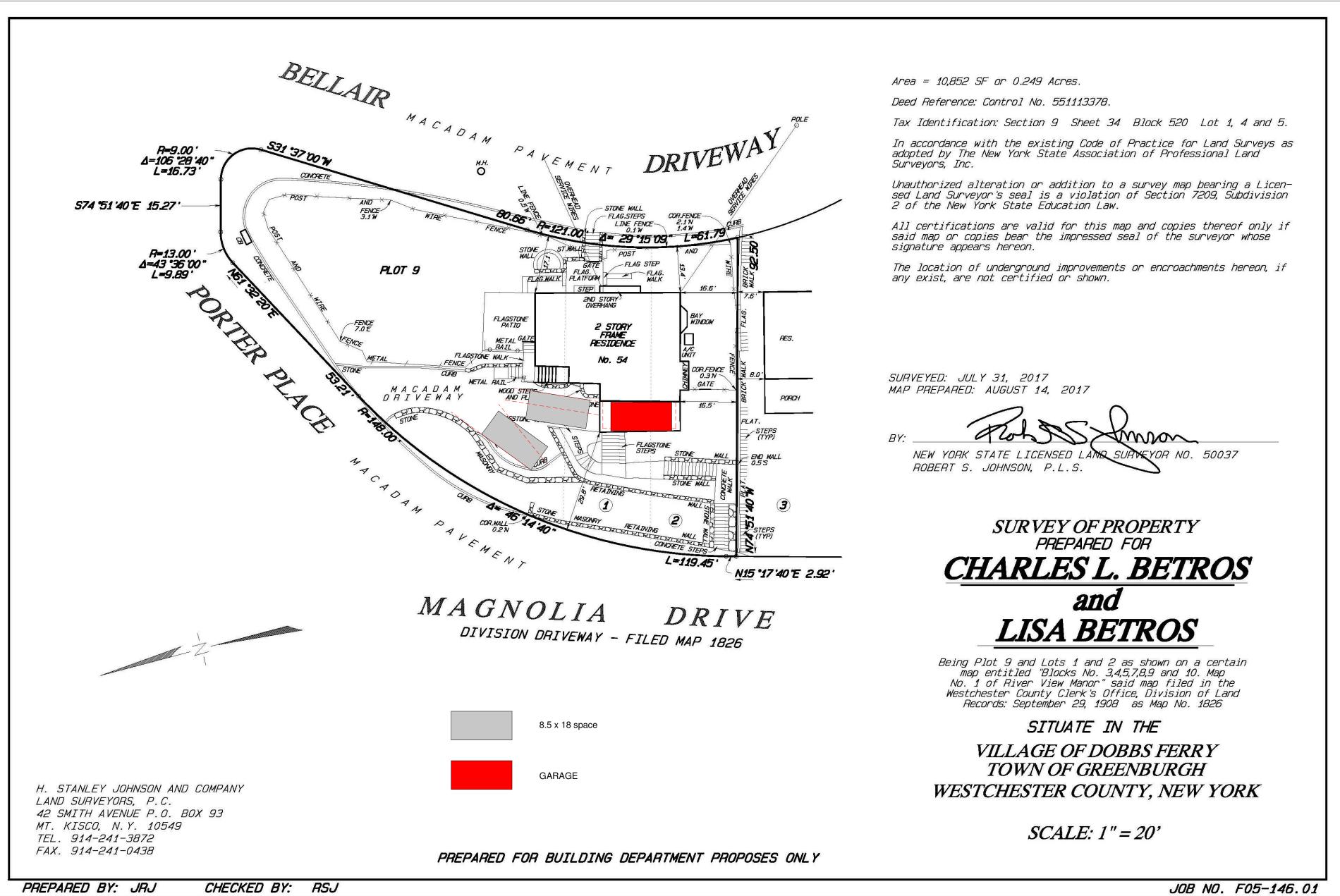
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0 d Renova orch

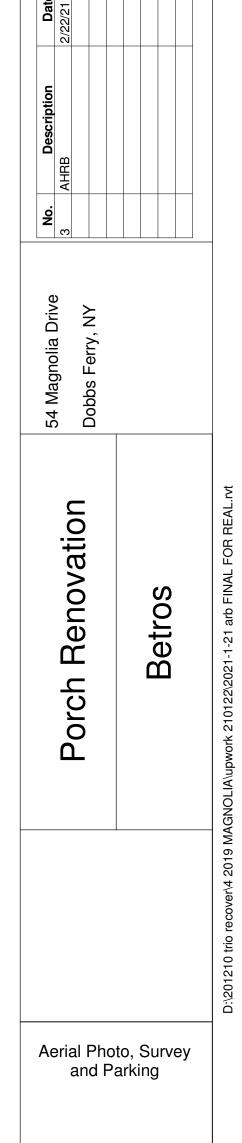
Specifications

12" = 1'-0" 11/4/20





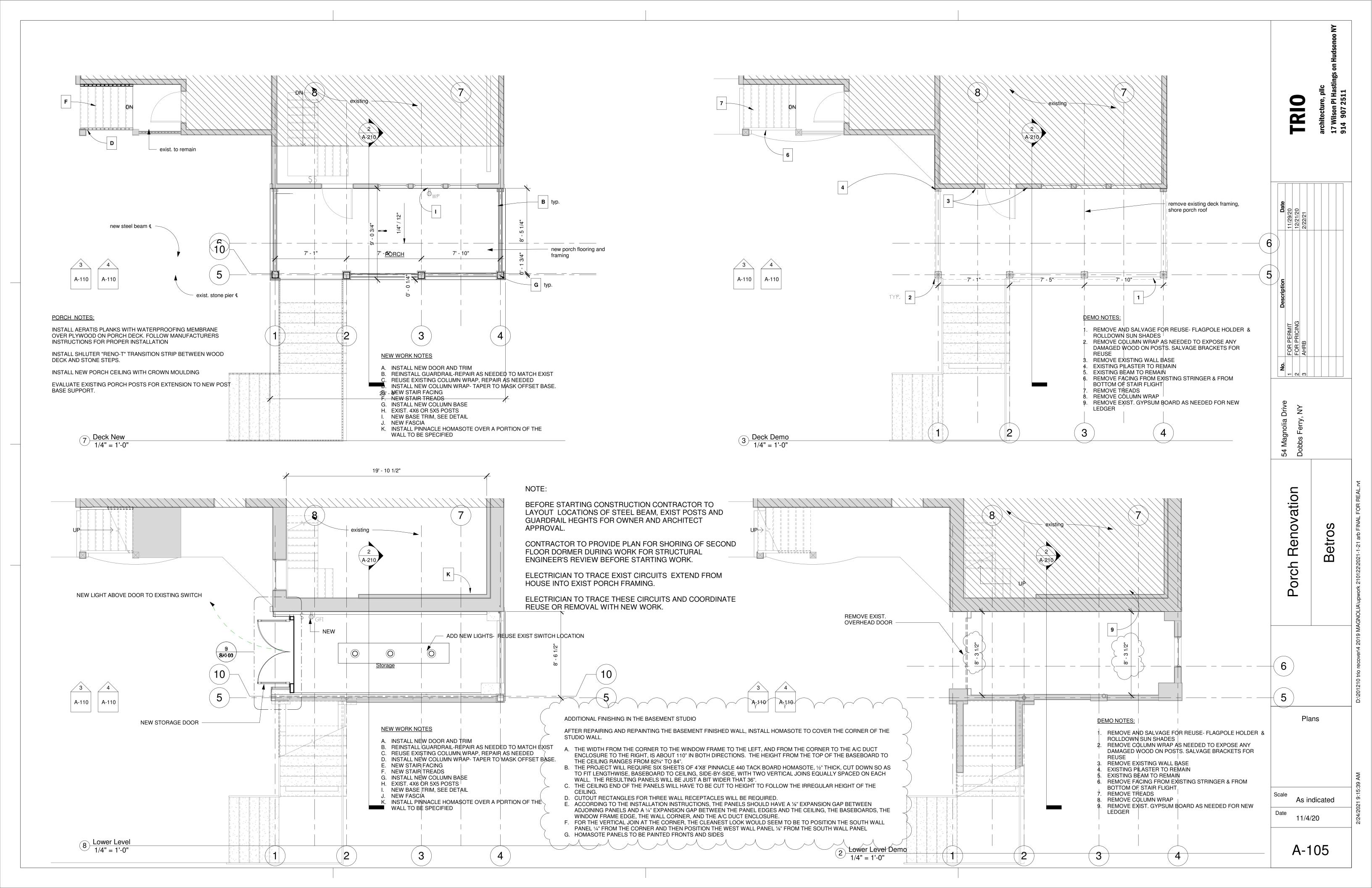
**AERIAL** 

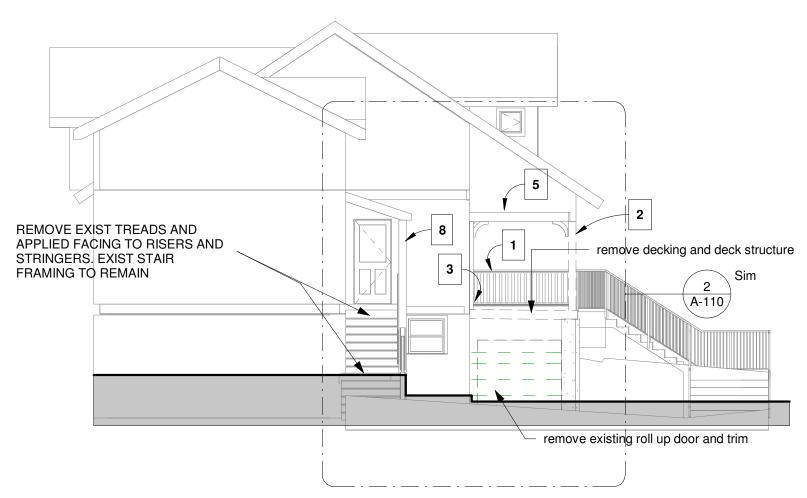


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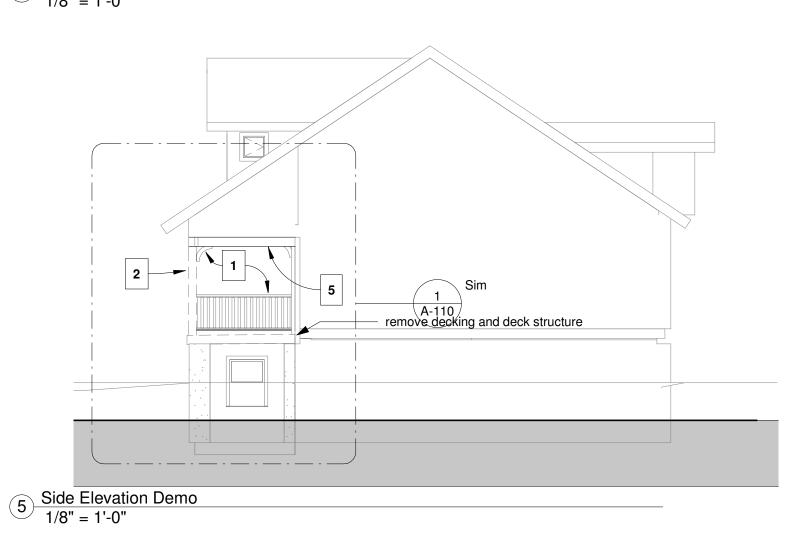
1" = 20'-0"

1" = 20'-0" ate 11/4/20





6 Side Elevation Demo
1/8" = 1'-0"





4 Front Elevation Demo 1/8" = 1'-0"

## NOTE:

BEFORE STARTING CONSTRUCTION CONTRACTOR TO LAYOUT LOCATIONS OF STEEL BEAM, EXIST POSTS AND GUARDRAIL HEIGHTS FOR OWNER AND ARCHITECT APPROVAL.

CONTRACTOR TO PROVIDE PLAN FOR SHORING OF SECOND FLOOR DORMER DURING WORK FOR STRUCTURAL ENGINEER'S REVIEW BEFORE STARTING WORK.

ELECTRICIAN TO TRACE EXIST CIRCUITS EXTEND FROM HOUSE INTO EXIST PORCH FRAMING.

ELECTRICIAN TO TRACE THESE CIRCUITS AND COORDINATE REUSE OR REMOVAL WITH NEW WORK.

## **PORCH NOTES:**

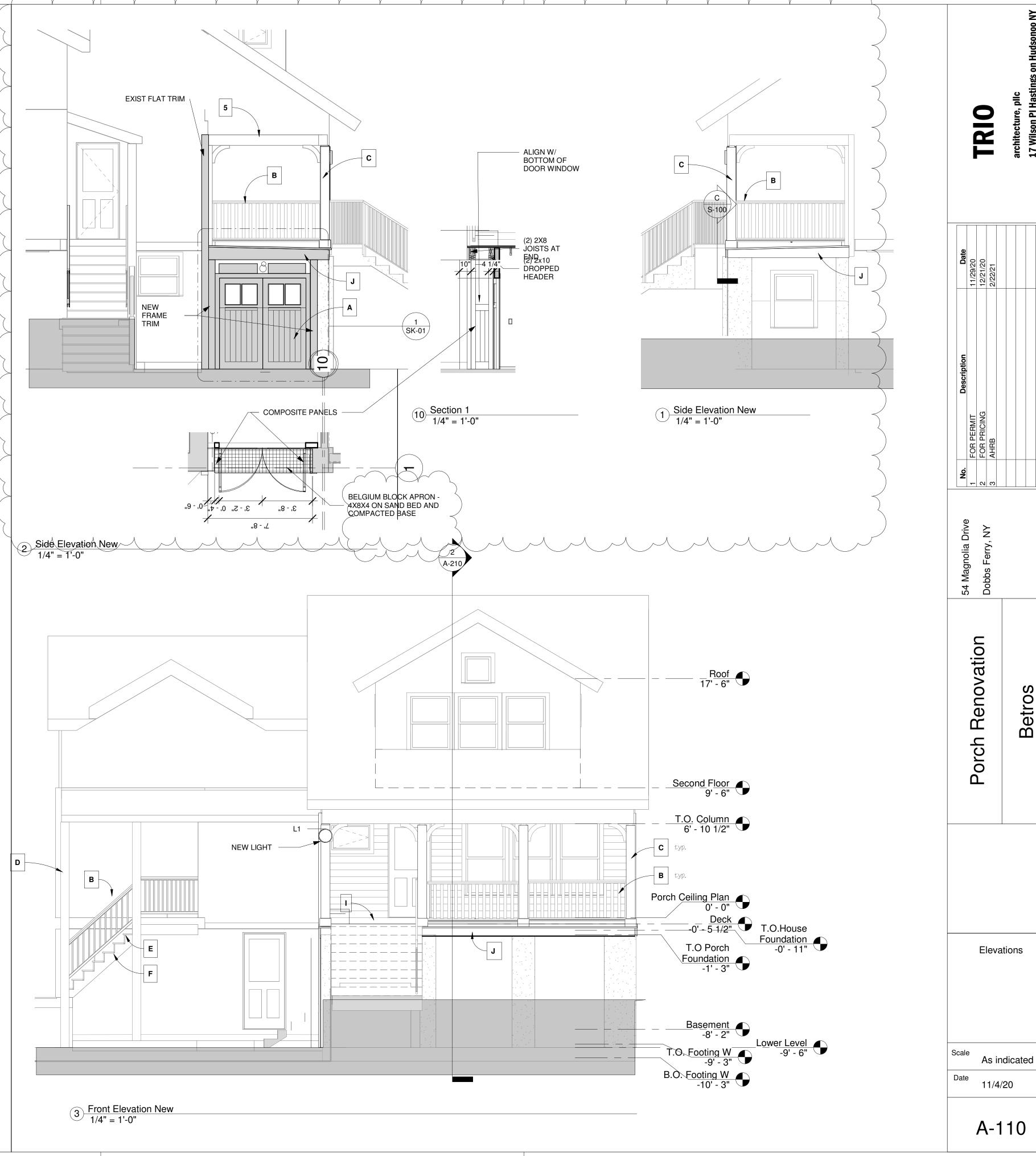
- INSTALL AERATIS PLANKS WITH WATERPROOFING MEMBRANE OVER PLYWOOD ON PORCH DECK. FOLLOW MANUFACTURERS INSTRUCTIONS FOR PROPER INSTALLATION
- INSTALL SHLUTER "RENO-T" TRANSITION STRIP BETWEEN WOOD DECK AND STONE STEPS.
- INSTALL NEW PORCH CEILING WITH CROWN
- EVALUATE EXISTING PORCH POSTS FOR EXTENSION TO NEW POST BASE SUPPORT.

## **DEMO NOTES:**

- REMOVE AND SALVAGE FOR REUSE- FLAGPOLE HOLDER & ROLLDOWN SUN SHADES
- 2. REMOVE COLUMN WRAP AS NEEDED TO EXPOSE ANY DAMAGED WOOD ON POSTS. SALVAGE BRACKETS FOR
- 3. REMOVE EXISTING WALL BASE4. EXISTING PILASTER TO REMAIN
- EXISTING BEAM TO REMAIN REMOVE FACING FROM EXISTING STRINGER & FROM BOTTOM OF STAIR FLIGHT
- REMOVE TREADS
- REMOVE COLUMN WRAP
- 9. REMOVE EXIST. GYPSUM BOARD AS NEEDED FOR NEW

# **NEW WORK NOTES**

- A. INSTALL NEW DOOR AND TRIM
- B. REINSTALL GUARDRAIL-REPAIR AS NEEDED TO MATCH EXIST
- REUSE EXISTING COLUMN WRAP, REPAIR AS NEEDED
- INSTALL NEW COLUMN WRAP- TAPER TO MASK OFFSET BASE. NEW STAIR FACING
- F. NEW STAIR TREADS
- G. INSTALL NEW COLUMN BASE H. EXIST. 4X6 OR 5X5 POSTS
- NEW BASE TRIM, SEE DETAIL
- **NEW FASCIA** K. PINNACLE HOMASOTE INSTALLED OVER A PORTION OF THE WALL TO BE SPECIFIED





**EMOVE EXIST** ACING ON RISERS

**REMOVE TREADS** 

**SEE PHOTO THIS PAGE** 



TRIM TO BE

REPLACED

**GUARDRAIL** 



**ADD TRIM SEE** 



South Exterior Wall Base - Masonry Repair Needed





**REPLACE WITH WRAP THAT IS** 

**UNIT PRICING** 

**PHOTOS** 

# OBSERVED LOCATIONS TO REPLACE ROTTING WOOD TRIM WITH AZEK TRIM

- LONG HORIZONTAL PANEL UNDER SIDE LANDING BY DRIVEWAY
- BASEMENT WINDOW BY GARAGE DOOR
- TRIM AROUND SECOND FLOOR FRONT DORMER WINDOWS OVER PORCH TRIM AROUND SECOND FLOOR FRONT LEFT WINDOWS
- LONG HORIZONTAL PANEL BY SIDE PATIO (WIRE PENETRATING PANEL AT
- LEFT IS NO LONGER NEEDED)
- NORTHEAST CORNER TRIM AT LOWER ROOF LINE TRIM BELOW AND AROUND THE SECOND-FLOOR OVERHANG ON BACK OF
- TRIM AROUND SECOND FLOOR BACK OVERHANG WINDOWS
- TRIM AROUND SECOND FLOOR BACK WINDOW TO LEFT OF OVERHANG
- HORIZONTAL PANEL AROUND BASE OF BAY WINDOW ON SOUTH SIDE OF
- VERTICAL PANELS ON BOTH SIDES OF CHIMNEY ON SOUTH SIDE OF HOUSE NOTE: AFTER REMOVING OLD TRIM, CAULK THE JOINT BETWEEN THE STONE CHIMNEY AND THE WOOD WALL.

# **TASKS**

- REPLACE ROTTING EXTERIOR WOOD TRIM WITH AZEK TRIM ACCORDING TO MANUFACTURER'S SPECIFICATIONS, INCLUDING AMBIENT TEMPERATURE RECAULK AS NEEDED
- PROVIDE A LIST OF ALL TRIM PIECES REPLACED

## **ELECTRICAL NOTES** 54 Magnolia Dr.

## **EXISTING WIRING FOR FRONT PORCH & GARAGE**

## Circuit 11 (15 Amp) [Porch ceiling light, Livingroom outlets, Second floor outlets]

- This circuit emerges from the panel box as a plastic-clad wire. It is unclear what route
- Circuit 11 follows from the panel box to the front of the house. • The porch ceiling light is on this circuit.
- The porch ceiling light is controlled by a light switch inside the house
- by the front door. • The porch ceiling light is powered by a plastic-clad wire running from
- the light switch up through the front wall into the porch attic and over to the light fixture which is surface-mounted on the drop ceiling.
- Two living room outlets on the front wall are on this circuit. • There are eight outlets on this circuit in the second-floor bedroom that extends out over the porch. On the south end of the dormer in the porch attic a plastic-clad wire

connecting two of these outlets hangs down unsecured to any structure.

## Unidentified wire in garage

- There is a metal-clad wire visible in the garage that emerges from under the sill plate midway along the top of the garage wall, turns up and back around into the wall heading up into the center of the front wall of the house.
- This wire may or may not be part of Circuit 11, because of its proximity to the living room outlets at the front of the house.
- Conceivably, the wire is part of Circuit 6 which emerges as a metalclad wire from the panel box, but has no known function.
- Or it could be an abandoned wire.

## Two unidentified wires in porch attic which need to be assessed for function and safety

 Two apparently rubber-clad wires emerge a foot or so apart from the front of the house into the porch attic and are joined together by a red wire nut resting loose on the porch ceiling near the ceiling light, but not connected to it.



## Circuit 33 (20 Amp) [Porch Attic]

- This circuit has no known function, but winds up in the porch attic, so may be useful.
- It emerges from the panel box as a yellow plastic-clad wire and is next visible in the portion of the basement garage wall exposed by a construction probe. It there enters a junction box and emerges as a metal-clad wire. The metal-clad wire penetrates the top of the wall emerging on the other side near the front of the garage. From there, it turns south and re-enters the wall heading up into the front wall of the house. According to a tone wire locater, this wire continues up the front of the house by the front doorframe and turns out into the attic above the porch ceiling. A metal-clad wire is visible in the

## **ELECTRICAL NOTES** 54 Magnolia Dr.

porch attic there coiling on the porch ceiling and then apparently rising up to the north side of the dormer out of sight. It does not provide power to any of the dormer electrical outlets in that area.

# Circuit 10 (15 Amp) [Front step pillar light, Garage exterior light]

- The front porch pillar light fixture and the garage door exterior light fixture are on this
- circuit. Both lights are controlled by a light switch inside the house by the front door. • This circuit emerges from the panel box as a metal-clad wire, but when it next becomes visible, in the portion of the basement garage wall exposed by a construction probe, it is
- a plastic-clad wire. The plastic-clad wire enters a junction box and emerges as two metal-clad wires, one of which runs up the interior of the wall to the light switch by the front door. The other metal-clad wire penetrates the top of the wall emerging on the other side near the front of the garage and winds up connecting to the two light fixtures.
- This same junction box is connected with a plastic-clad ground wire to the junction box above it for Circuit 18. (Perhaps to ensure that Circuit 10 is grounded all of the way back to the panel box via Circuit 18.)

# Circuit 18 (20 Amp) [Garage interior]

- This circuit provides power for the garage interior: the overhead light and switch, the
- garage door opener, and a wall outlet. • This circuit emerges from the panel box as a plastic-clad wire and is next visible in the
- portion of the basement garage wall exposed by a construction probe. It there enters a junction box and emerges as a plastic-clad wire. The plastic-clad wire penetrates the top of the wall emerging on the other side near the front of the garage and winds up connecting to the various garage interior fixtures.
- As previously indicated, this junction box is connected with a plastic-clad ground wire to the nearby junction box for Circuit 10.

## **ELECTRICAL NOTES** 54 Magnolia Dr.

## **NEW CONFIGURATION**

**Note:** Electrician to provide homeowner with a description of new wiring layout and which fixtures wind up on which circuit breakers and any discoveries made regarding existing wiring.

## Porch Ceiling

The existing ceiling will be removed and replaced with a higher ceiling, so during construction the electrician will have full access to the porch attic for new electrical work. Existing Wiring Issues:

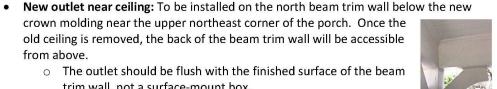
- Assess function and safety of two wires joined by a red wire nut lying on top of drop ceiling and bring them up to code.
- Assess function, usability and safety of the metal-clad wire emerging from vicinity of front door (Circuit 33) whose purpose, if any, has not yet been
- determined.
- Properly secure loose wire on north side of dormer.
- Rectify any other issues discovered after old ceiling is removed. Replace Ceiling Light Fixture: The current central light fixture will be replaced with a
- new one, supplied by the owner, flush with the new ceiling. Install a junction box for the light fixture. Evaluate whether to reuse the existing power wire coming up from the wall switch or run a new one.
- Install the new light fixture when appropriate. • New Ceiling Fans: Two ceiling fans, supplied by the owner, will be added in central
  - locations between the ceiling light and either side of the porch.
  - Install electrical junction boxes suitable for supporting ceiling fans. Assess whether to use
  - power from Circuit 18 in the garage. Ceiling fans to be controlled from new wired control switches by door in living room. See installation instructions wiring diagram

existing service from Circuit 33 or to bring up

- for the fans. (With luck plaster damaged can be minimized by snaking the wiring down the inside of the wall where the wire for the ceiling light comes up.)
- crown molding near the upper northeast corner of the porch. Once the old ceiling is removed, the back of the beam trim wall will be accessible
- trim wall, not a surface-mount box.

Install the new fans when appropriate.

Outlet can be on same circuit as the ceiling fans.



## The outlet should be flush with the finished surface of the beam Include a white low-profile weather cover.

## **ELECTRICAL NOTES** 54 Magnolia Dr.

# Other Porch Electrical Outlet Addition

- New outlet below middle window: To comply with the building code governing porches, install a new exterior outlet under the middle front window flush with the clapboard siding with a dark gray low-profile
- The outlet should be flush with the clapboard siding, not a
- o It may be possible to wire this outlet by bringing a wire up from the garage interior light circuit just below.
- Porch Pillar and Garage Exterior Light Fixtures
- The existing fixtures are to be discarded and
- replaced with new fixtures supplied but the owner and are to be controlled by the interior light switch
- as the existing fixtures are on Circuit 10. The existing wiring and junction boxes will need to

# **Garage Interior Electrical Fixtures [lights, switch, outlet]**

- Existing garage door opener to be discarded and not replaced.
- Light Fixtures: Install three basic overhead light fixtures spaced evenly down the middle of the ceiling to be controlled by a simple on/off.
- **Light switch** to be located near where the current light switch is located on the wall to the left of the garage door. • **Electrical outlet** to be located near where the existing electrical outlet is
- located on the wall to the left of the garage door next to the light switch.

## Hidden junction boxes in basement wall

- A construction probe discovered three junction boxes enclosed in the
- The junction boxes buried in the wall need to be unburied to be up to



# vo Additional Exterior Ceiling Light Fixtures

 An existing exterior ceiling light fixture at the side door and another at the back door will be replaced with new fixtures supplied by the owner. At present it is unknown whether these lights are surface mounted like the current similar porch ceiling light fixture or are mounted to junction boxes. The new light fixtures should be mounted in a code compliant manner.





Pricing Information

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Renovati

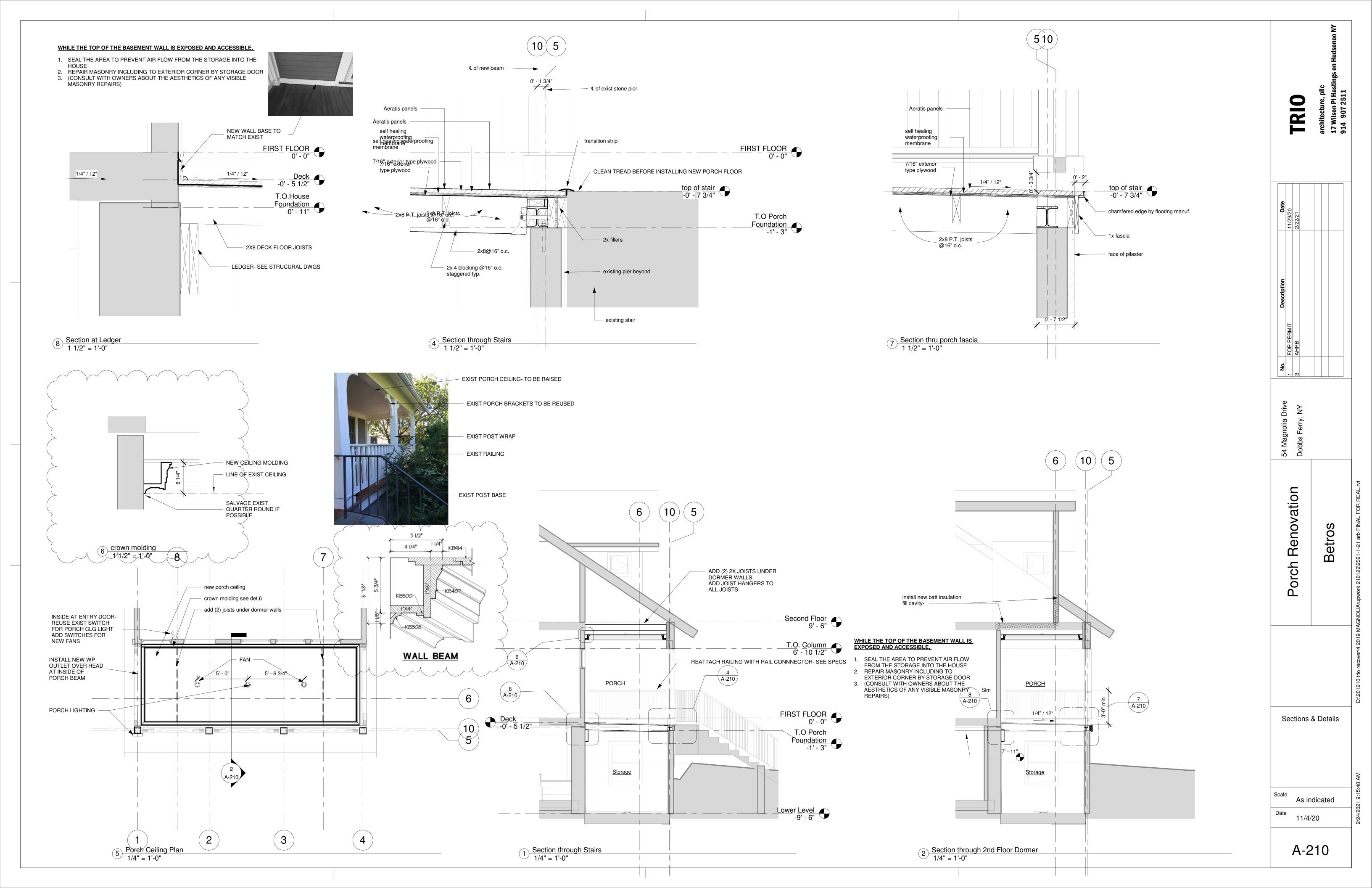
Porch

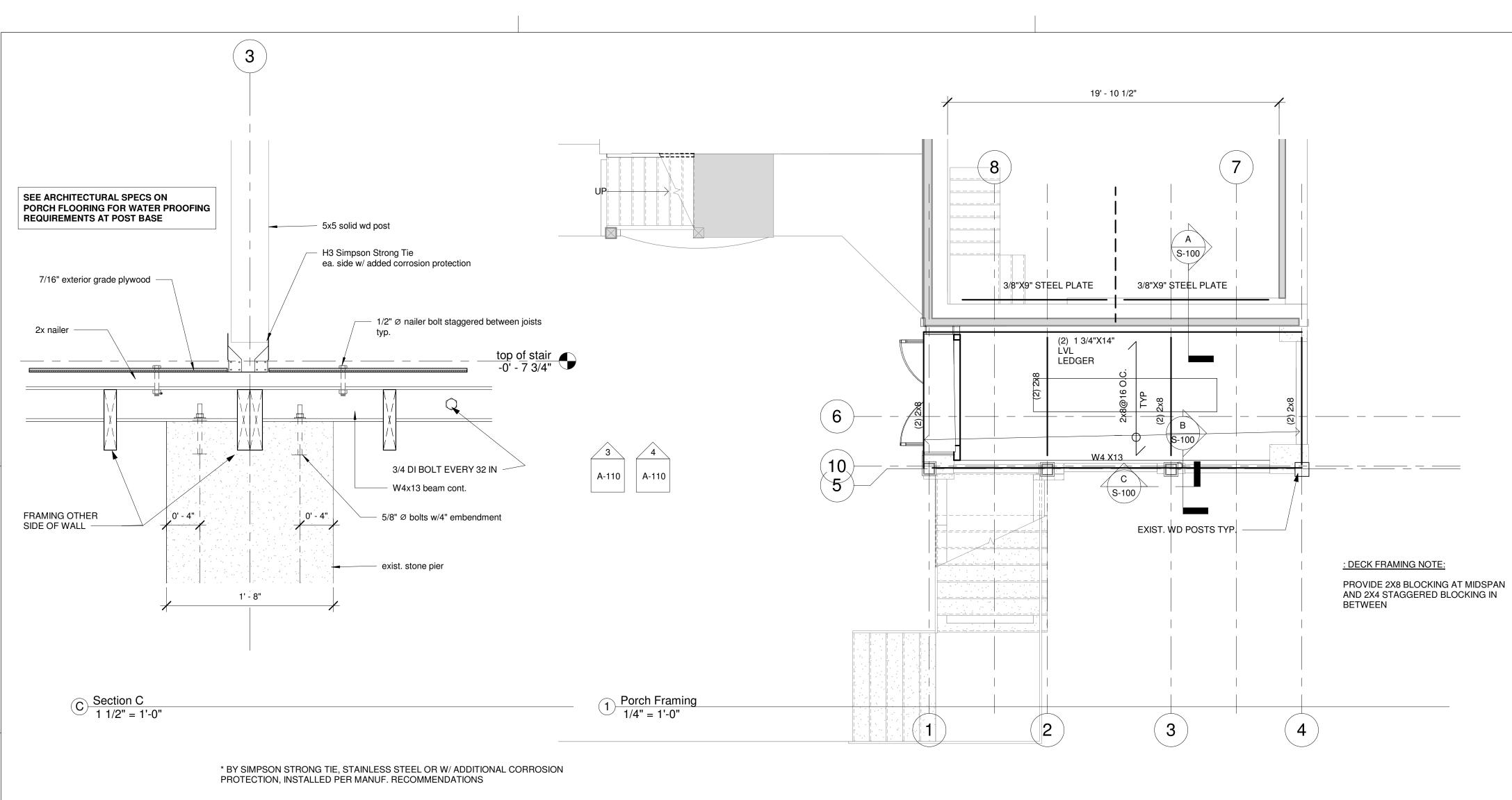
**M** 

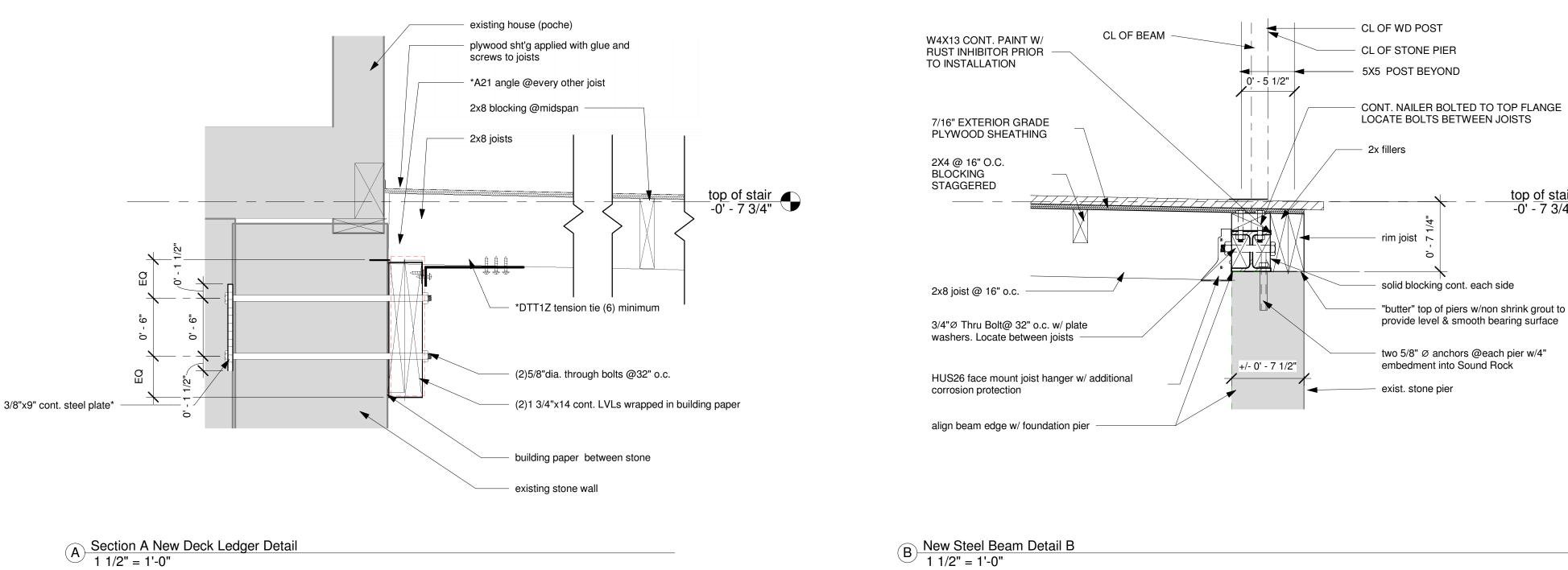
12" = 1'-0"

11/4/20









<sup>1</sup> 1 1/2" = 1'-0"

- VERIFY THE LAYOUT OF THE NEW BEAM OVER THE PIERS AND THE COLUMNS ABOVE.
- BEAM TO REST ON THE PIERS AND POST TO REST ON BEAM.
- STRUCTURAL ENGINEER TO APPROVE BEFORE INSTALLATION

top of stair -0' - 7 3/4"

PROVIDE SHOP DRAWINGS FOR ENGINEERS' REVIEW

## STRUCTURAL NOTES:

1. ALL STRUCTURAL WORK SHALL BE COORDINATED WITH THE ARCHITECTURAL DRAWINGS AND THE SPECIFICATIONS.

PROCEDURE OF CONSTRUCTION SELECTED BY THE CONTRACTOR OR HIS SUBCONTRACTORS.

- 2. CONTRACTOR SHALL PROPERLY SHORE, BRACE AND MAKE SAFE ALL FLOORS, ROOFS, WALLS AND ADJACENT PROPERTY AS JOB CONDITIONS REQUIRE.
- 3. PERIODIC SITE VISITS BY THE ENGINEER SHALL NOT BE CONSTRUED AS SUPERVISION OF ACTUAL CONSTRUCTION OR MAKE HER RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCING, OR
- 4. STRUCTURAL STEEL SHALL CONFORM TO THE LATEST EDITION OF THE AISC STEEL DESIGN MANUAL AND THE SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS.
- 5. UNLESS OTHERWISE NOTED IN THE STRUCTURAL DRAWINGS: ALL WIDE FLANGE SHAPES ARE ASTM A992 ALL SHAPES AND PLATES ARE ASTM A 36.
- 6. ALL FRAMING LUMBER AND DETAILS OF WOOD CONSTRUCTION SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR STRESS-GRADE LUMBER AND ITS FASTENINGS (INCLUDING SUPPLEMENT NO. 1)
- 7. ALL FRAMING LUMBER AND DETAILS OF WOOD CONSTRUCTION SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR STRESS-GRADE LUMBER AND ITS FASTENINGS (INCLUDING SUPPLEMENT NO. 1). ALL NEW FRAMING LUMBER SHALL BE GRADE MARKED AT MILL AND SHALL BE SURFACED DRY. NEW JOISTS SHALL COMPLY WITH PS 20-70 FOR SIZES AND
- SHALL CONFORM TO THE FOLLOWING SPECIE AND GRADE
- RAFTERS AND JOISTS: DOUGLAS FIR, LARCH #2 BEAMS AND HEADERS DOUGLAS FIR, LARCH #1
- STUDS AND PLATES DOUGLAS FIR, LARCH STUD GRADE

GRADE STAMP. ALL PLYWOOD SHALL BE MADE WITH EXTERIOR GLUE.

- 8. ALL FACTORY MANUFACTURED GLUE LAMINATED WOOD FRAMING MEMBERS (LVL, PSL, TJI) SHALL BE TJI JOISTS AND MICROLLAM OR PARALLAM BEAMS AS MANUFACTURED BY TRUS JOIST CORPORATION, OR ARCHITECT APPROVED EQUAL.
- 9. ALL FLUSH FRAMED CONNECTIONS SHALL BE MADE WITH APPROVED GALVANIZED STEEL JOIST OR BEAM HANGERS, AS SHOWN IN THE DETAILS, INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

11. PLYWOOD SHALL BE APA GRADE STAMPED AND SHALL NOT EXCEED THE SPANS INTENDED FOR USE ON THE

- 10. BUILT UP BEAMS SHALL BE SPIKED TOGETHER WITH 2 16D NAILS @ 16" O.C.
- ALL PLYWOOD SHALL BE GLUE NAILED TO FLOOR JOISTS USING AN APA APPROVED ADHESIVE. (B.F. GOODRICH PL400 OR EQUAL).

## STRUCTURAL NOTES

- 1. FOR EXISTING PORTIONS OF THE STRUCTURE- MINIMUM DESIGN CRITERIA ARE LOADS APPLICABLE WHEN BUILDING CONSTRUCTED- PROVIDED THAT NO DANGEROUS CONDITION IS CREATED.
- 2. STRUCTURAL ELEMENTS UNCOVERED DURING THE ALTERATION AND ARE UNSOUND OR DANGEROUS TO
- COMPLY WITH THE APPLICABLE REQUIREMENTS OF THIS CODE 3. INCREASED LOADS. IF INSTALLATION OF ADDITIONAL EQUIPMENT OR RECONFIGURATION CAUSES PORTIONS OF THE BUILDING BECOME SUBJECTED TO HIGHER DEAD OR LIVE LOADS, ALL STRUCTURAL MEMBERS
- AFFECTED BY SUCH INCREASE SHALL MEET THE LOAD REQUIREMENTS OF CODE. A. EXCEPTION: STRUCTURAL ELEMENTS WHOSE STRESS IS NOT INCREASED BY MORE THAN 5 PERCENT.

## REDUCTION OF STRENGTH.

- 1. ALTERATIONS SHALL NOT REDUCE THE STRUCTURAL STRENGTH OR STABILITY OF THE BUILDING, STRUCTURE OR ANY INDIVIDUAL MEMBER THEREOF.
- A. EXCEPTION: SUCH REDUCTION SHALL BE ALLOWED AS LONG AS THE STRENGTH AND THE STABILITY OF THE BUILDING ARE NOT REDUCED TO BELOW THE LEVELS REQUIRED BY THIS CODE.

## NEW STRUCTURAL MEMBERS.

- 1. NEW STRUCTURAL MEMBERS IN ALTERATIONS, INCLUDING CONNECTIONS AND ANCHORAGE, SHALL COMPLY WITH THIS CODE.
- A. EXISTING STRUCTURAL ELEMENTS SUPPORTING ANY ADDITIONAL LOADS AS A RESULT OF ADDITIONS
- SHALL COMPLY WITH THIS CODE. EXCEPTION: STRUCTURAL ELEMENTS WHOSE STRESS IS NOT INCREASED BY MORE THAN 5 PERCENT

## **CLEARANCE TO SOIL**

- 1. GIRDERS MIN 1 2 IN. ABOVE EXPOSED GROUND IF NOT PT OR NATURALLY DURABLE
- 2. JOISTS & SUBFLOOR MIN 18 IN. ABOVE GROUND IF NOT PT OR NATURALLY DURABLE

## TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION, AND/OR TIMBER CONSTRUCTION

1. WHEN TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION, AND/OR TIMBER CONSTRUCTION IS USED. SIGN TO AFFIXED TO THE ELECTRIC BOX AT EXTERIOR OF THE RESIDENTIAL STRUCTURE; OR IN A LOCATION APPROVED BY THE AUTHORITY HAVING JURISDICTION AS A LOCATION LIKELY TO BE SEEN BY FIREFIGHTERS/FIRST RESPONDERS RESPONDING TO A FIRE OR OTHER EMERGENCY

- 1. A CIRCLE SIX INCHES IN DIAMETER, WITH A STROKE WIDTH OF 1/2 INCH. BACKGROUND TO BE REFLECTIVE WHITE IN COLOR, THE CIRCLE AND CONTENTS TO BE REFLECTIVE RED - TO PANTONE (PMS) #187, TO BE OF STURDY, NON-FADING, WEATHER-RESISTANT MATERIAL
- 1. IF THE RESIDENTIAL STRUCTURE IS SUBJECT TO THE PROVISIONS OF THE IRC, THE CONSTRUCTION TYPE DESIGNATION SHALL BE "V": IF THE RESIDENTIAL STRUCTURE IS SUBJECT TO THE PROVISIONS OF THE IBC. THE CONSTRUCTION TYPE DESIGNATION SHALL BE "I", "II", "III", "IV" OR "V"
- 2. TO INDICATE THE LOCATIONS(S) CONTAINING TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND/OR TIMBER CONSTRUCTION STRUCTURAL COMPONENTS, AS FOLLOWS:
- A. F SHALL MEAN FLOOR FRAMING, INCLUDING GIRDERS AND BEAMS;
- B. R SHALL MEAN ROOF FRAMING; AND C. FR SHALL MEAN FLOOR FRAMING AND ROOF FRAMING...



## NOTE:

CONTRACTOR TO PROVIDE PLAN FOR SHORING OF SECOND FLOOR DORMER DURING WORK FOR STRUCTURAL ENGINEER'S REVIEW BEFORE STARTING WORK.

Renovati **Betro**: orch

Structural Details

As indicated

11/4/20

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