



ISSUED FOR: BATHROOM RENOVATION - WINDOW PACKAGE

ISSUE DATE: MARCH 16 2022

GENERAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LATEST AND PERTINENT APPLICABLE CODES AND ZONING REGULATIONS . SHOULD ANYTHING CONTAINED IN THE CONTRACT DOCUMENTS BE IN CONFLICT WITH SAID CODES, CONTRACTORS SHALL IMMEDIATELY INFORM THE ARCHITECT.
2. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS IN THESE DOCUMENTS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS OF THE WORK AND THE ARCHITECT SHALL BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THE DRAWINGS.
3. WITH THE EXCEPTION OF THOSE NOTED AS "OWNER SUPPLIED" ITEMS, CONTRACTORS SHALL PROVIDE ALL ITEMS AND LABOR NECESSARY FOR THE COMPLETION OF THE WORK SHOWN ON THE CONTRACT DOCUMENTS WHETHER THOSE ITEMS ARE EXPRESSLY SPECIFIED OR NOT, INCLUDING, BUT NOT LIMITED TO TAX, PURCHASE, DELIVERY ARRANGEMENTS AND STORAGE.
4. GC SHALL OBTAIN ALL NECESSARY SUBMITTALS AND SHOP DRAWINGS. GC SHALL REVIEW THEM FOR COMPLIANCE WITH CONSTRUCTION DOCUMENTS AND SITE CONDITIONS. GC SHALL THEN FORWARD THE SUBMITTALS AND SHOP DRAWINGS TO THE ARCHITECT FOR PROPER DISTRIBUTION AMONG THE DESIGN TEAM FOR THEIR COMMENTS AND/OR APPROVAL FOR COMPLIANCE WITH DESIGN INTENT. GC MUST ALLOW ADEQUATE TIME FOR DISTRIBUTION, REVIEW AND RETURN OF THESE ITEMS.
5. GC SHALL BE RESPONSIBLE FOR COORDINATING THE SCHEDULE FOR SUBMITTAL OF SAMPLES, SHOP DRAWINGS, MANUFACTURERS' LITERATURE, AND OTHER REQUIRED INFORMATION. THEY SHALL BE SUBMITTED IN SUFFICIENT TIME TO ALLOW PROPER CONSIDERATION AND ACTION BEFORE ANY MATERIALS ARE PURCHASED AND WORK IS EXECUTED.
6. GC SHALL PROVIDE PROPER COORDINATION AND SUPERVISION TO COMPLETE THE WORK.
7. GC SHALL COORDINATE ALL LABOR AND MATERIALS INVOLVED IN THE PROJECT AND BE RESPONSIBLE FOR SCHEDULING OF TRADES INVOLVED.
8. ALL CONTRACTORS SHALL BE LICENSED AND INSURED FOR GENERAL LIABILITY, WORKERS COMP, AND PROPERTY DAMAGE AS REQUIRED BY LAW AND SHALL SUBMIT SUCH PROOF TO THE OWNER AND ARCHITECT TO AVOID ANY CLAIMS AND/OR LIENS ON THE WORK BE ASSOCIATED WITH THE OWNER AND ARCHITECT.
9. ALL CONTRACTORS SHALL CARRY INSURANCE OF 100% OF THE VALUE OF HIS/HER WORK IN PLACE AND SHALL COMPLY WITH ANY AND ALL ADDITIONAL SUCH REQUIREMENTS.
10. CERTIFICATION OF INSURANCE FOR PROPERTY DAMAGE, WORKMAN'S COMPENSATION, DISABILITY, & LIABILITY TO BE FILED WITH THE BUILDING OWNER AND ARCHITECT LISTING EACH AS CO-INSURED.
11. NO EXTRA WORK SHALL BE PERFORMED NOR ADDITIONAL CHARGES BE MADE UNLESS AUTHORIZATION IS OBTAINED IN WRITING FROM THE OWNER AND ARCHITECT PRIOR TO SUCH WORK.
12. GC SHALL MAINTAIN CONTINUOUS AND ADEQUATE PROTECTION OF ALL EXISTING CONDITIONS AND NEW CONSTRUCTION, AND SHALL REPAIR OR REPLACE ANY WORK, NEW OR EXISTING, WHICH IS DAMAGED.
13. GC SHALL KEEP JOB SITE FREE OF DEBRIS AND HAZARDOUS CONDITIONS AND BE RESPONSIBLE FOR THE LEGAL REMOVAL OF ALL EQUIPMENT AND DEBRIS ON DAILY BASIS AND PRIOR TO RECEIPT OF PAYMENT. NO DEBRIS IS TO BE LEFT IN THE BUILDING, UNSECURED OUTDOORS, OR ON THE STREET. ALL WORK PROCEDURES AND METHODS SHALL COMPLY WITH OSHA AND OTHER APPLICABLE REGULATIONS.
14. GC SHALL THOROUGHLY EXAMINE ALL CONTRACT DOCUMENTS AND IMMEDIATELY ADVISE THE ARCHITECT OF ANY ERRORS, CONFLICTS, OR DISCREPANCIES IN THE DOCUMENTS IN WRITING. ARCHITECT WILL NOT BE LIABLE FOR ASSUMPTIONS MADE BY THE CONTRACTOR.
15. GC SHALL COORDINATE WITH CLIENT REGARDING STORING MATERIALS AT THE SITE.
16. ALL WORK SHALL BE DONE IN A WORKMAN-LIKE MANNER AND IN ACCORDANCE WITH GOOD BUILDING PRACTICE.
17. GC TO ENSURE ADEQUATE CLEARANCE FOR MOVING ALL MATERIALS, ASSEMBLIES AND EQUIPMENT ONTO AND OFF THE SITE AS REQUIRED.
18. GC SHALL PAY ALL FEES, GIVE ALL NOTICES, FILE ANY NECESSARY DRAWINGS, ARRANGE FOR ALL INSPECTIONS, OBTAIN ALL PERMITS AND CERTIFICATES OF APPROVAL REQUIRED IN CONNECTION WITH ALL WORK UNDER THIS CONTRACT. HE SHALL COMPLY WITH ALL LOCAL LAWS, ORDINANCES, RULES AND REGULATIONS AND WITH THE LATEST PERTINENT CODES AND THE DIRECTION OF THE DESIGNATED BUILDING INSPECTOR.
19. GC SHALL APPROPRIATELY COORDINATE WORK TO BE COMPLETED AND SCHEDULE ARCHITECTS' SITE OBSERVATIONS.
20. GC SHALL COORDINATE AND COMPLY WITH BUILDING OWNER SCHEDULING REQUIREMENTS AND COMMUNICATE WITH BUILDING OWNER.
21. UNLESS OTHERWISE NOTED - ALL NOTES APPLY TO BOTH THE GENERAL CONTRACTOR AND THE SUBCONTRACTORS AS WELL AS ANY WORKERS AND TRADES EMPLOYED BY THE OWNER UNDER OTHER AGREEMENTS.
22. GC TO SCHEDULE ANY NECESSARY INTERRUPTIONS OF UTILITIES WITH OWNER. COMPLETE WORK QUICKLY TO MINIMIZE SERVICE INTERRUPTIONS.
23. ALL MATERIAL STORED ON THE SITE SHALL BE ADEQUATELY PROTECTED AGAINST DAMAGE FROM OTHER WORK IN PROGRESS. REPAIR OF COMPLETED WORK DAMAGED IN THE COURSE OF THE PROJECT WILL BE THE CONTRACTOR'S RESPONSIBILITY AT NO COST TO THE OWNER.
24. ALL PRECAUTIONS TO BE OBSERVED IN THE BUILDING TO MAINTAIN FIRE SAFETY DURING CONSTRUCTION. KEEP HALLWAYS AND OTHER MEANS OF EGRESS CLEAR AT ALL TIMES.
25. THE STRUCTURAL INTEGRITY OF THE BUILDING SHALL BE PROTECTED AT ALL TIMES AND NOT BE DISTURBED.
26. FLOORS SHALL NOT BE OVERLOADED WITH CONSTRUCTION MATERIAL BEYOND THAT PERMITTED.
27. THERE SHALL BE NO ONE OCCUPYING THE AREA OF WORK OR RENOVATION DURING THE COURSE OF CONSTRUCTION.
28. THE WORK SHALL BE PERFORMED DURING PERMITTED WORKING HOURS AS PERSCRIBED BY THE BUILDING DEPARTMENT OF LOCAL JURISDICTION.
29. ALL BUILDING AREAS ARE TO BE BROOM SWEEPED AT THE END OF EACH WORKING DAY BEFORE THE AUTHORIZED CONTRACTORS LEAVE. THE PREMISES ARE TO BE KEPT CLEAN DURING ALL TIMES CONSTRUCTION IS UNDERWAY.
30. PLASTIC, PAPER AND/OR TAPE MUST BE INSTALLED OVER AND AROUND ALL DOORWAYS AND WINDOWS LEADING TO THE FINISHED AREAS OF THE BUILDING. ALL PROTECTIVE MEASURES WILL BE INSPECTED BY THE BUILDING OWNER AND MUST MEET HIS APPROVAL. DUST AND LOOSE DEBRIS MUST BE KEPT TO AN ABSOLUTE MINIMUM IN ALL AREAS.
31. PLUMBING AND ELECTRICAL WORK SHOULD BE PERFORMED BY LICENSED CONTRACTORS. PROVIDE ALL REQUIRED PERMITS, INSURANCE, WORKMANS COMP. AND CERTIFICATIONS.

DRAWING LIST

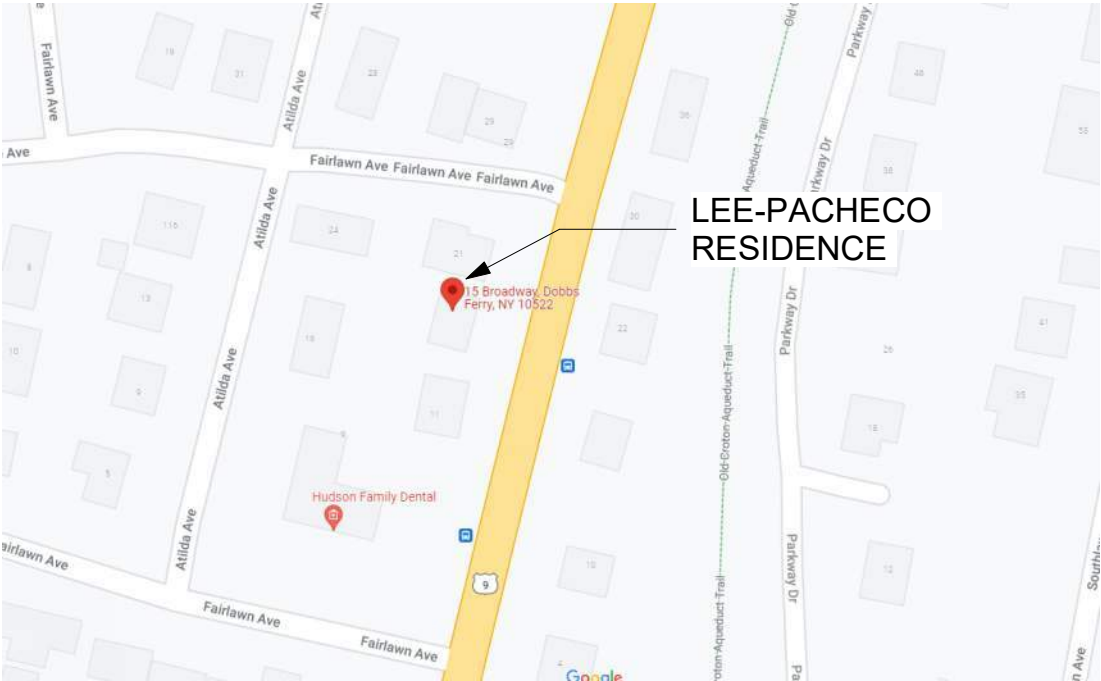
TITLE	GENERAL NOTES & DRAWING LIST
T-001	
ARCHITECTURAL	
EXIST-301	EXISTING WEST ELEVATION
ARCHITECTURAL	
A-101	LOWER FLOOR PLAN
A-102	UPPER FLOOR PLAN
A-301	PROPOSED WEST ELEVATION
A-813	PHOTOS & PROPOSED WINDOW IMAGE
A-814	BATHROOM WINDOW HEAD DETAIL
A-815	BATHROOM WINDOW JAMB DETAIL
A-816	BATHROOM WINDOW SILL DETAIL
A-911	WINDOW SCHEDULE



CODE ANALYSIS

REFERENCED CODE 2020 RESIDENTIAL CODE OF NEW YORK STATE NY STRETCH ENERGY CODE	CLIMATE AND GEOGRAPHIC DESIGN CRITERIA CLIMATE ZONE 4A GROUND SNOW LOAD: 30 PSF WIND SPEED (MPH): 120-130 MPH TOPO EFFECTS: NO SEISMIC DESIGN CATEGORY: B WEATHERING: SEVERE FROST LINE DEPTH: 42" TERMITE: MODERATE TO HEAVY ICE SHIELD UNDERLAYMENT REQUIREMENT: YES FLOOD HAZARDS: N/A AIR FREEZING INDEX: 2000 MEAN ANNUAL TEMP: 51.6
ZONING CODE VILLAGE OF DOBBS FERRY ZONING LAW	
ZONING DISTRICT OF-6: ONE-FAMILY RESIDENTIAL 6	
CONSTRUCTION TYPE TYPE V	

SITE LOCATION MAP



DRAWING LEGEND

SECTION KEY

1

A101

DETAIL NO.

SHEET NO.

EXTERIOR ELEV KEY

1

A101

DETAIL NO.

SHEET NO.

INTERIOR ELEV KEY

1

A101

DETAIL NO.

SHEET NO.

DETAIL KEY

1

A101

DETAIL NO.

SHEET NO.

WALL TAG

-

-

WALL TYPE

FIRE RATING

ROOM DESIGNATION

Room name

101

150 SF

ROOM NO.

ROOM AREA

DOOR NUMBER

101.1

WINDOW NUMBER

1

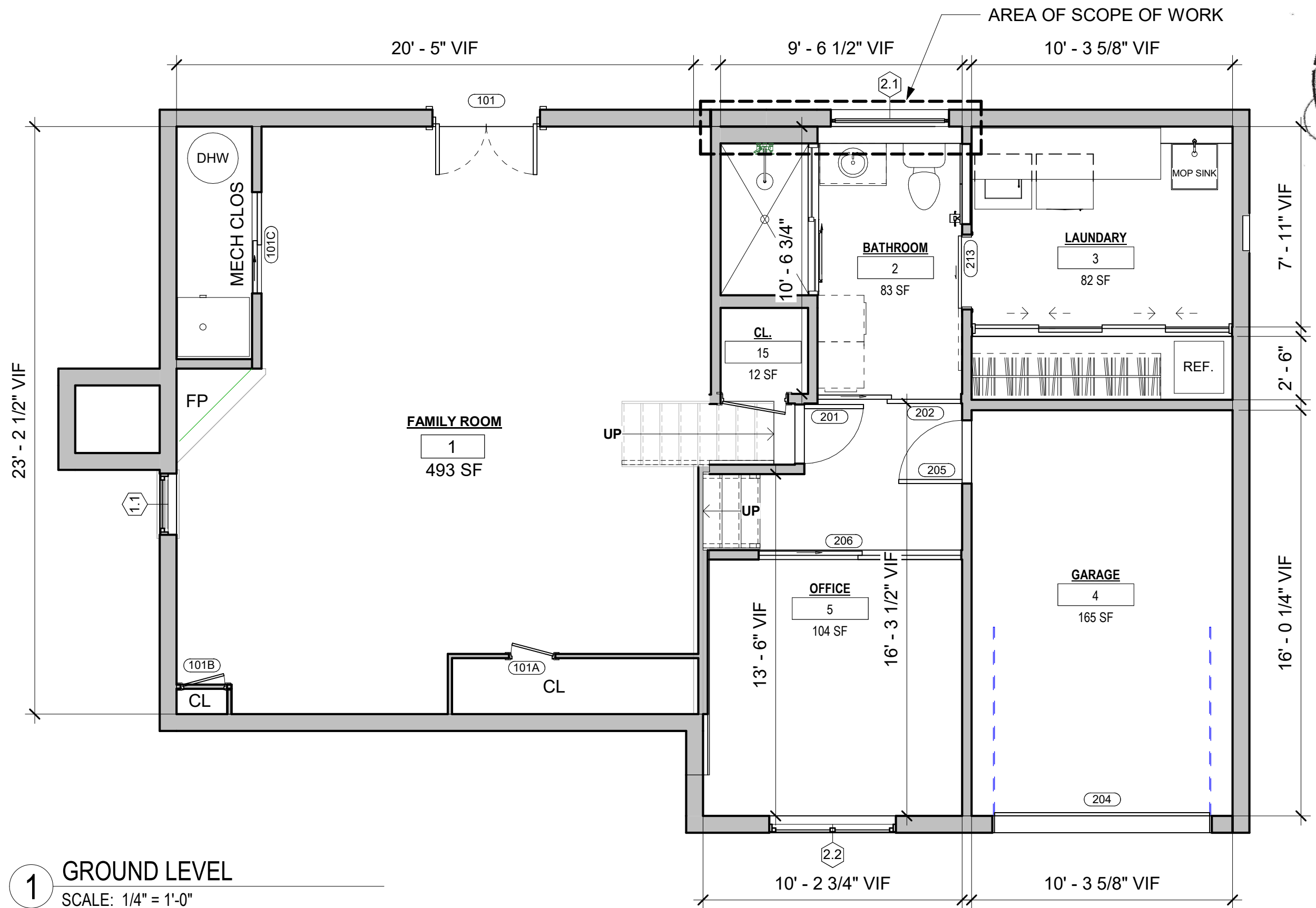
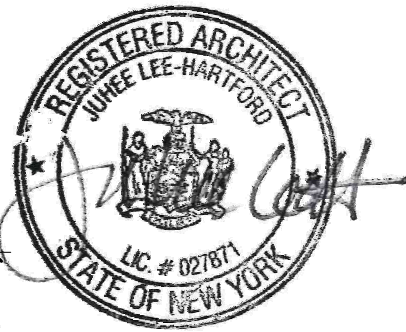
CEILING HEIGHT

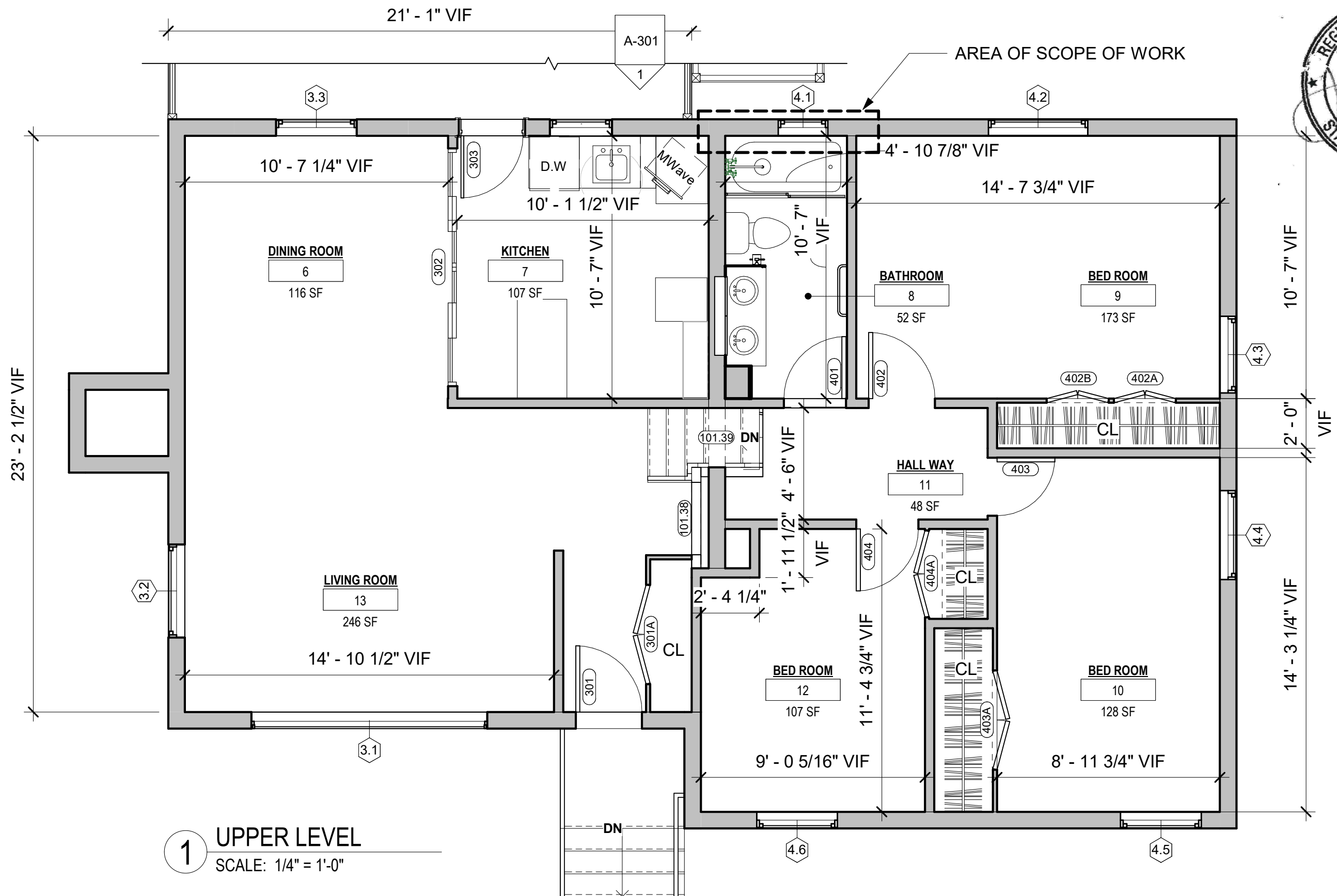
CLG TYPE

CLG HGT AFF:

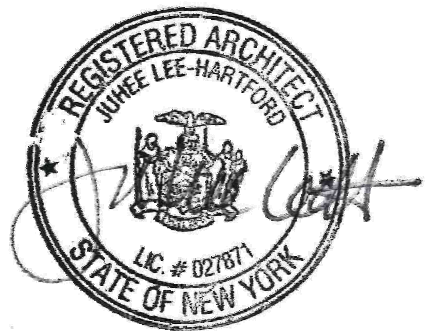
8'-10 5/8"

REVISION NUMBER	1
EXISTING	
NEW	
DEMO	
WEATHER BARRIER	
AIR BARRIER	





1 UPPER LEVEL
SCALE: 1/4" = 1'-0"



EXISTING WINDOWS TO REMAIN

EXISTING ROOFING TO REMAIN



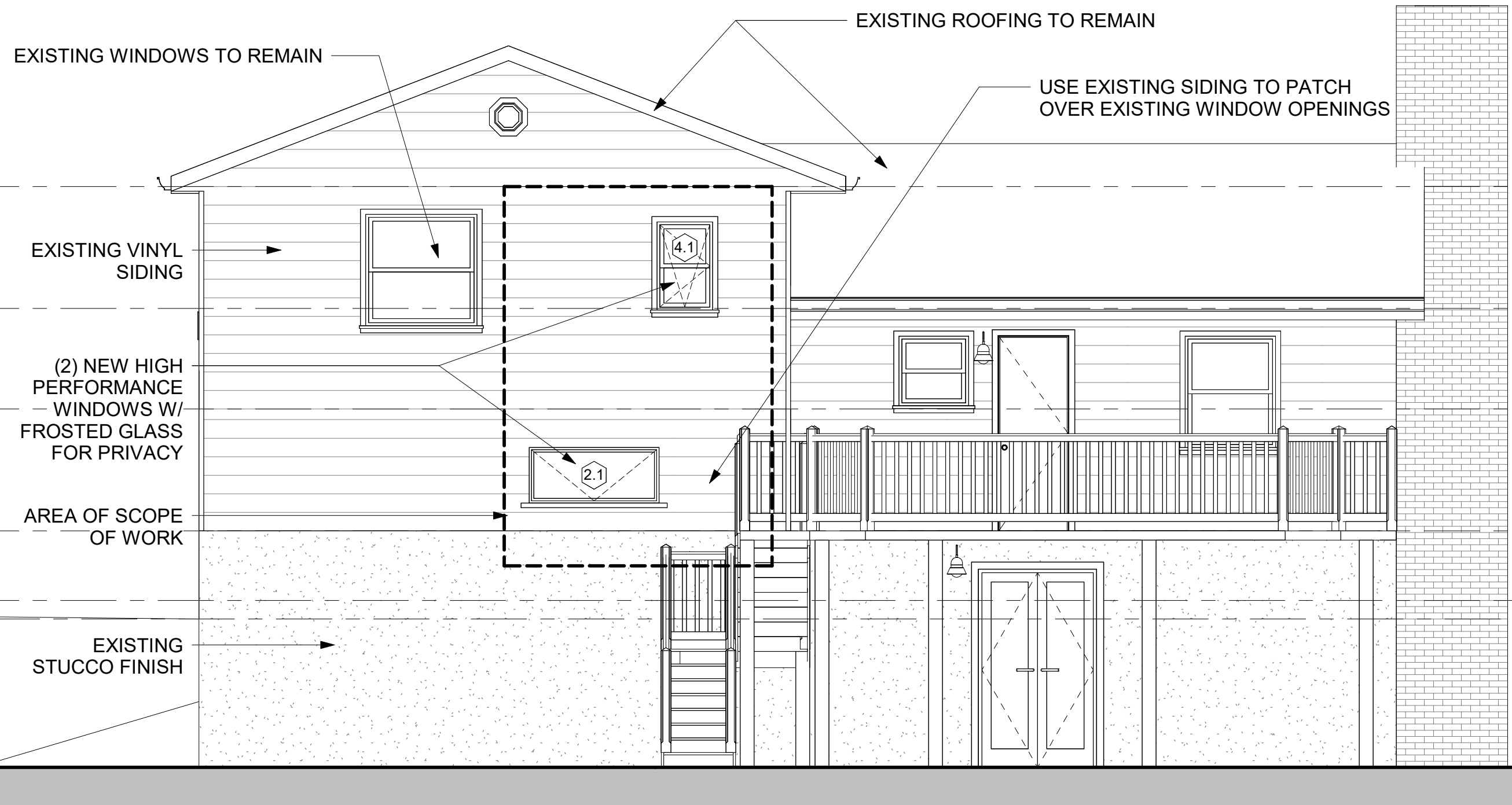
1 EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"



PROJECT:
LEE- PACHECO RESIDENCE
15 BROADWAY
DOBBS FERRY, NY 10522 Section 3.16 Block 137 Lot3

EXISTING WEST ELEVATION

ISSUED DATE:		03/16/2022		DRAWING NUMBER:	
REV.	DES.	DATE		EXIST-301	



ROOF
14' - 10 9/16"

FIRST FLOOR A ROOF
10' - 6"

UPPER LEVEL
6' - 10 9/16"

LIVING / DINING /
KITCHEN
2' - 6"

GROUND LEVEL
0' - 0"

GARAGE
-0' - 8"

FAMILY ROOM -
BASEMENT
-6' - 0"

1 PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING VINYL WINDOW TRIM TO BE REPLICATED FOR NEW WINDOWS



DARK GREY FOIL FOR EXTERIOR TRIM



PROPOSED NEW VINYL WINDOW PROFILE:
DARK GREY EXTERIOR / WHITE INTERIOR



1 EXISTING CONDITION



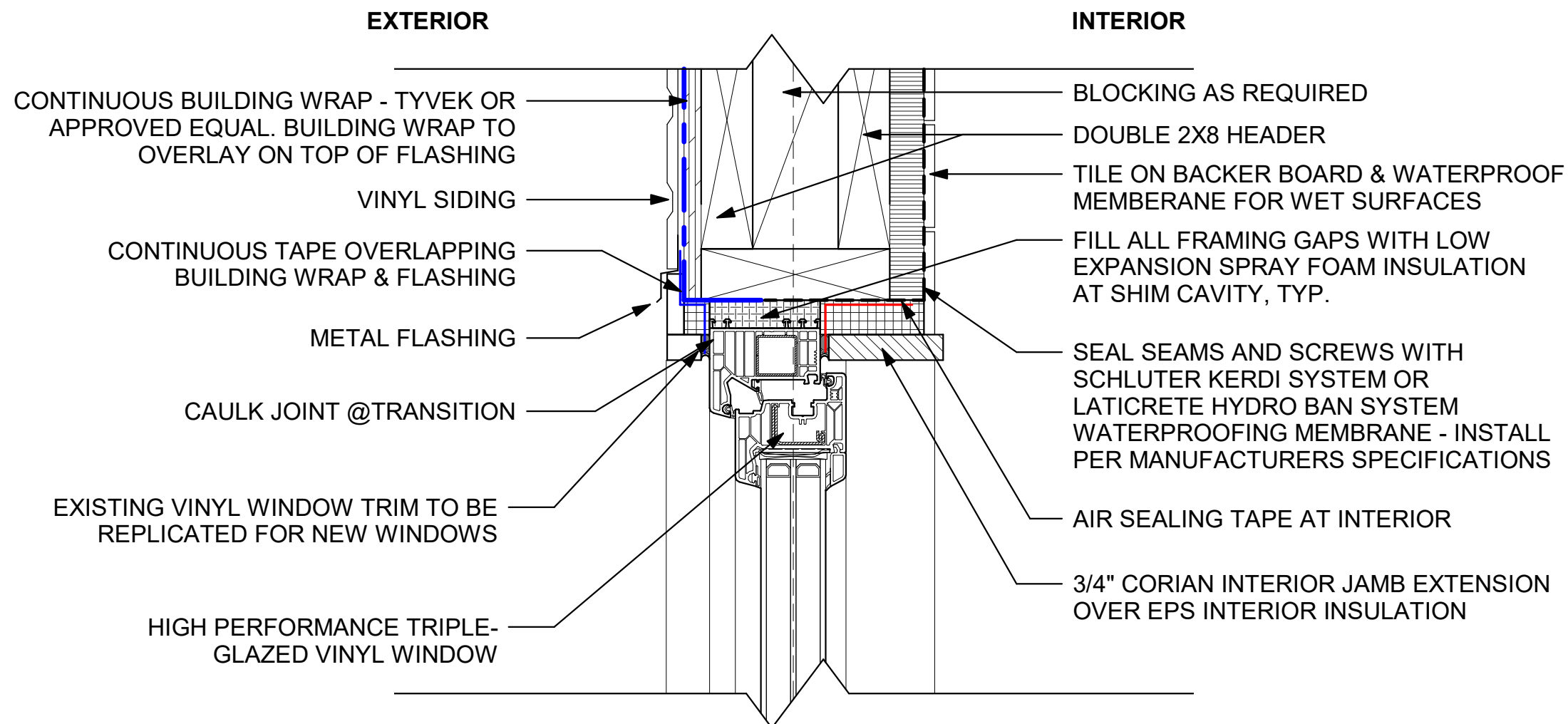
EXISTING WINDOW TO BE REPLACED W/ NEW HIGH PERFORMANCE WINDOW, NO CHANGES TO SIZE OR HEADER

REFER TO SHEET A-814 FOR WINDOW HEADER DETAILS

1 NEW AWNING WINDOWS INSTALLED HERE, PRECISE LOCATION REFER TO PROPOSED FLOOR PLAN & ELEVATIONS

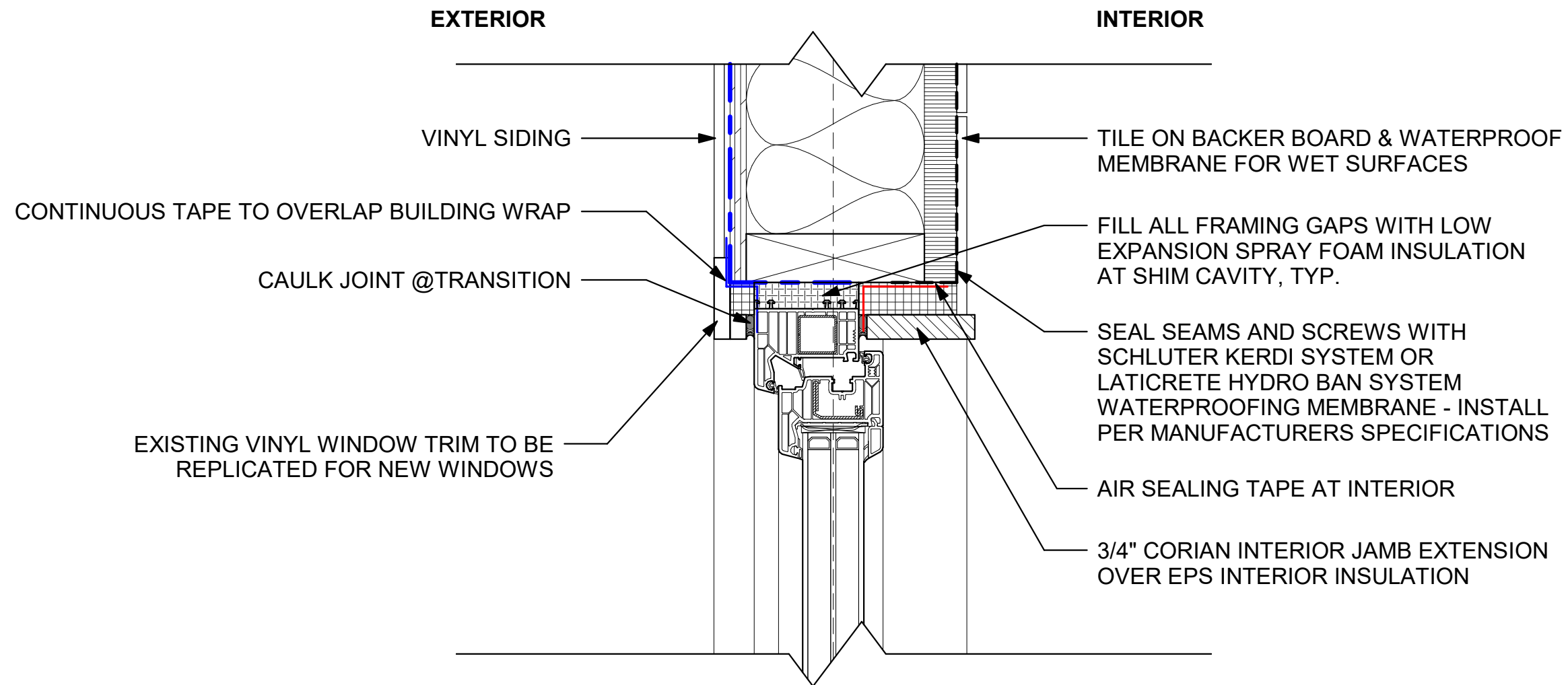
EXIST'G WINDOW TO BE REMOVED & EXT WALL TO BE FILLED AND PATCHED

REUSE EXISTING SIDING TO PATCH OPENING OF REMOVED WINDOW



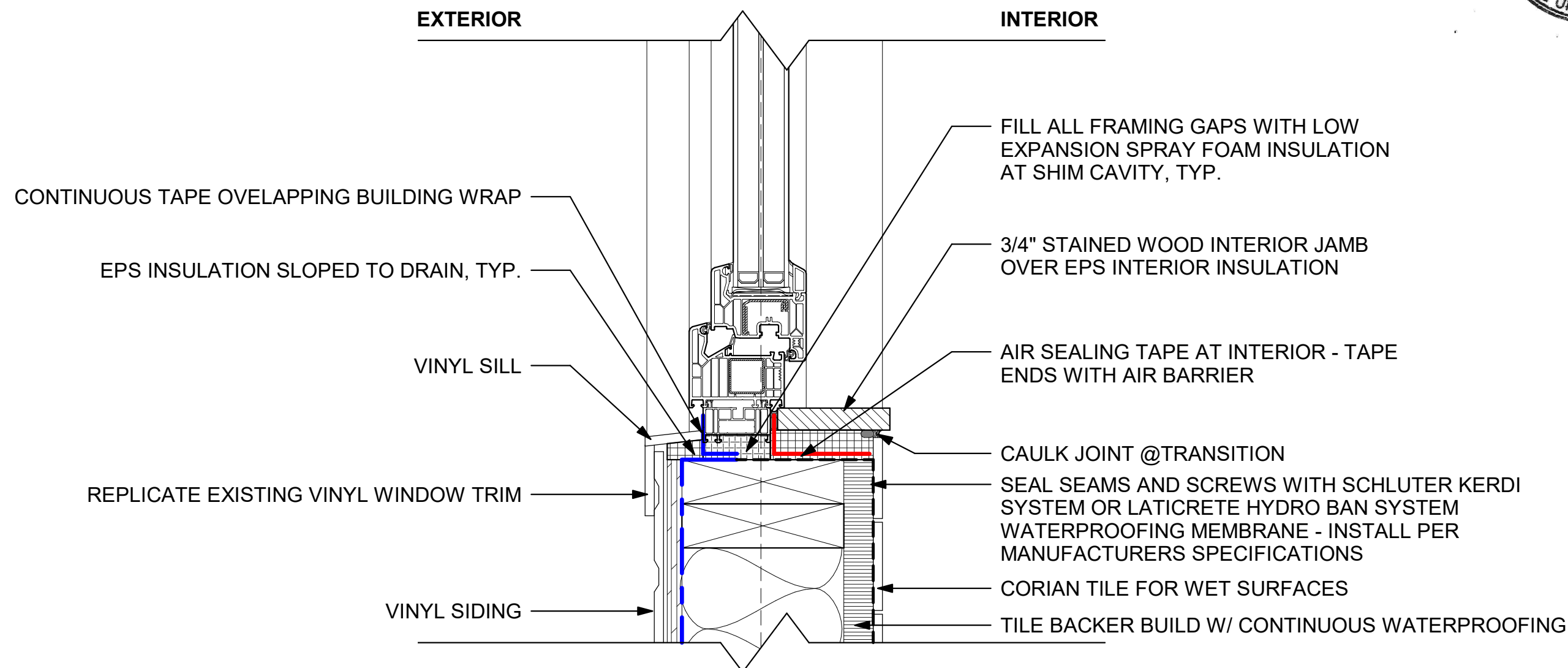
1 BATHROOM WINDOW HEAD
SCALE: 3" = 1'-0"

* WALL ASSEMBLIES TO BE CONFIRMED IN FIELD



1 BATHROOM WINDOW JAMB
SCALE: 3" = 1'-0"

* WALL ASSEMBLIES TO BE CONFIRMED IN FIELD



1 BATHROOM WINDOW SILL
SCALE: 3" = 1'-0"

* WALL ASSEMBLIES TO BE CONFIRMED IN FIELD

WINDOW SCHEDULE / GC TO COORDINATE ROUGH OPENINGS WITH SHOP DRAWINGS

WINDOW								FRAME			COMMENTS
WIN #	MANUFACTURER	OPERATION	WIDTH	HEIGHT	GLAZING	SILL HEIGHT	HEAD HEIGHT	CORE MATERIAL	EXTERIOR FINISH	INTERIOR FINISH	
2.1	VEKA	TILT	4' - 8"	2' - 0"	TRIPLE PANE	3' - 6"	5' - 6"	VINYL	VINYL	VINYL	EXTERIOR COLOR: DARK GREY
4.1	VEKA	TILT & TURN	2' - 0"	3' - 2"	TRIPLE PANE	3' - 6 3/4"	6' - 8 3/4"	VINYL	VINYL	VINYL	EXTERIOR COLOR: DARK GREY

Inside view

Series: DPQ-82

System: **Veka**
Size (w x h): **56" x 24" (in)**
Fitting supplier: **winkhaus**
Veneer: **outside renolite**
Profile colour: **Dark-grey 7016.05**
Seal colour: **black**
Hinge covers: **white**
Drills: **lack**
Glass: **1-1-1 4ESG.x18x4ESG.Satinato.x18x4ESG Ar U=0.5**
Ciepła Ramka Czarna RAL 9005 EN 673 (1216x404)
Handles: **HANDLE TYPE 1009 T40 WHITE WITHOUT LOGO**
Glass lists: **107.262 glass list SL82 white U:black**
Frame: **101.290 SL82 frame 73/82 md dark green**
6125.05veneer on inside black seal
Wing: **103.341 SL82sash 84/82 no seal dark grey 7016.05**
veneer on outside U:brak
Handle height: **671 mm**
Fitting type 1-1: **U Wh (198) Tilt fittings**

U-value Uw	0.16
Weight (kg/pc)	54,76
U-Factor (1-1-1)	-
SHGC	-
VT	-

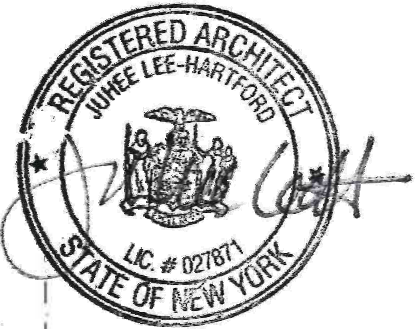
NOTE: THESE ARE EUROPEAN WAY OF SHOWING WINDOW SWING (OPPOSITE OF US METHOD)

Inside view

Series: DPQ-82

System: **Veka**
Size (w x h): **22,5" x 36" (in)**
Fitting supplier: **winkhaus**
Veneer: **outside renolite**
Profile colour: **Dark-grey 7016.05**
Seal colour: **black**
Hinge covers: **white**
Drills: **lack**
Glass: **1-1-1 4ESG.x18x4ESG.Satinato.x18x4ESG Ar U=0.5**
Ciepła Ramka Czarna RAL 9005 EN 673 (366x708)
Handles: **HANDLE TYPE 1009 T40 WHITE WITHOUT LOGO**
Glass lists: **107.262 glass list SL82 white U:black**
Frame: **101.290 SL82 frame 73/82 md dark green**
6125.05veneer on inside black seal
Wing: **103.341 SL82sash 84/82 no seal dark grey 7016.05**
veneer on outside U:brak
Handle height: **417 mm**
Fitting type 1-1: **RU Wh (185) fittings RU with microventilation, 4 steps tilt, blocking the rotation of the handle with the lift from the height of window 827, 1 anti burglary catch, 2 anti burglary catch from window height of 1171**

U-value Uw	0.17
Weight (kg/pc)	26,04
U-Factor (1-1-1)	-
SHGC	-
VT	-



WINDOW SPEC



PROJECT:
LEE- PACHECO RESIDENCE
15 BROADWAY
DOBBS FERRY, NY 10522 Section 3.16 Block 137 Lot3

WINDOW SCHEDULE

ISSUED DATE:		03/16/2022
REV.	DES.	DATE

DRAWING NUMBER:
A-911