

Code Requirements for Wood Frame Construction:

Sheathing nails: 6" o.c. at edges, 12" o.c. at intermediate supports, 6" o.c. throughout at gable-end wall framing.

1/2" sheathing thickness requires 6d common min. size. 6"o.c. at edges, 12" o.c. in field of panels

5/8" to 3/4" sheathing thickness requires 8d common min. size. 6"o.c. at edges, 12" o.c. in field of panels

Anchor bolts 6' o.c. max., min 1/2" Ø, 7" embedment, min 2 bolts per plate section

Top plate cuts tied w 16ga steel strap

No stud notching in exterior or bearing walls beyond 25%

No drill of same studs beyond 60% of stud width, 5/8" min. from edge

Horizontal fireblocking is required at ceiling and floor levels.

Vertical fireblocking is required in walls every 10' horiz. so stud bays dont communicate, i.e. if walls have gaps behind

Fireblocking is required at all concealed interconnection between hidden spaces, soffits, drop ceilings, etc.

In concealed spaces between stair stringers at top and bottom of the run

Fireblocking material 302.11.1 : 1 1/2" thick wood or 1/2" gypsum board or 1/4" cement board or approved glass/mineral fiber batt materials

Stairways: Exposed, accessible areas under stairs shall have min 1/2" gypsum board installed. If space below stairs is concealed fireblocking shall be installed in stud bays (sloped or stepped with stringers, etc.) and other communicating spaces such as between stringers and floor levels.

Lumber Specifications

LVL Beams: Weyerhaeuser/Trus Joist 2.0E Microllam. See fastening schedule for built-up members

Engineered Joists: Shall be "Weyerhaeuser Truss Joist TJI" brand depth and series as per plan.

Framing Lumber: Douglas Fir #2 & Better, Kiln Dried. Studs to be hand selected for true edges, no warps
Lumber Design values: Doug Fir #2 & Better visually graded
Fb=900 psi, Ft=575 Fv=180 FcL=625 Fc=1,350
E=1,600,000

Code Data and Climatic & Geographic Design Criteria for Dobbs Ferry, New York

Codes in effect:

Village of Dobbs Ferry Town Code
House is in Zone OF-5 One-Family Residential 5

2020 Residential Code of New York State (Based on the 2018 International Residential Code)

2020 Energy Conservation Code of New York State (Based on the 2018 International Energy Conservation Code)

2020 NYStretch Energy Code

2020 Existing Building Code of New York State

2020 Fire Code of New York State

2020 Mechanical Code of New York State

2020 Plumbing Code of New York State

2017 National Electrical Code NFPA 70

Climate Data:

Climate Zone: 4A

Wind Speed: 90-100 MPH

Seismic Design Category:
C-Moderate hazard for soil class E

Ground Snow load: 30 p.s.f.

Frostline depth: 42" Minimum

Weathering: Severe

Termite: Moderate to heavy

Decay: Slight to moderate

Mean annual temperature: 52° F

Winter design temperature: 7° F

Air freezing index: 2,000

Ice sheild underlayment required: Yes

Flood Hazards: FIRM Map # 36119C0244F
243 Palisade Ave listed as Flood Zone X

Design Loads:
Section R301, Table R301.5

Floor live Loads:

Attics w/o Stroage: 10 psf
Attics w/ limted stroage: 20 psf
Walk-up Attics: 30 psf
Balconies and decks 30psf
Rooms other than sleeping room: 40 psf
Sleeping rooms 30 psf

Roof Loads:

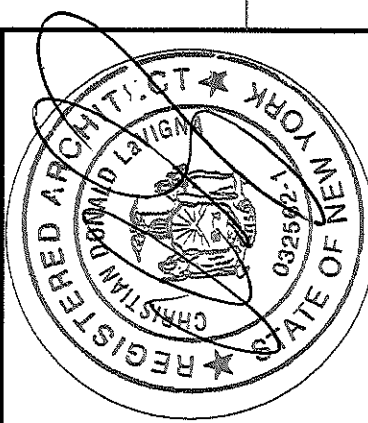
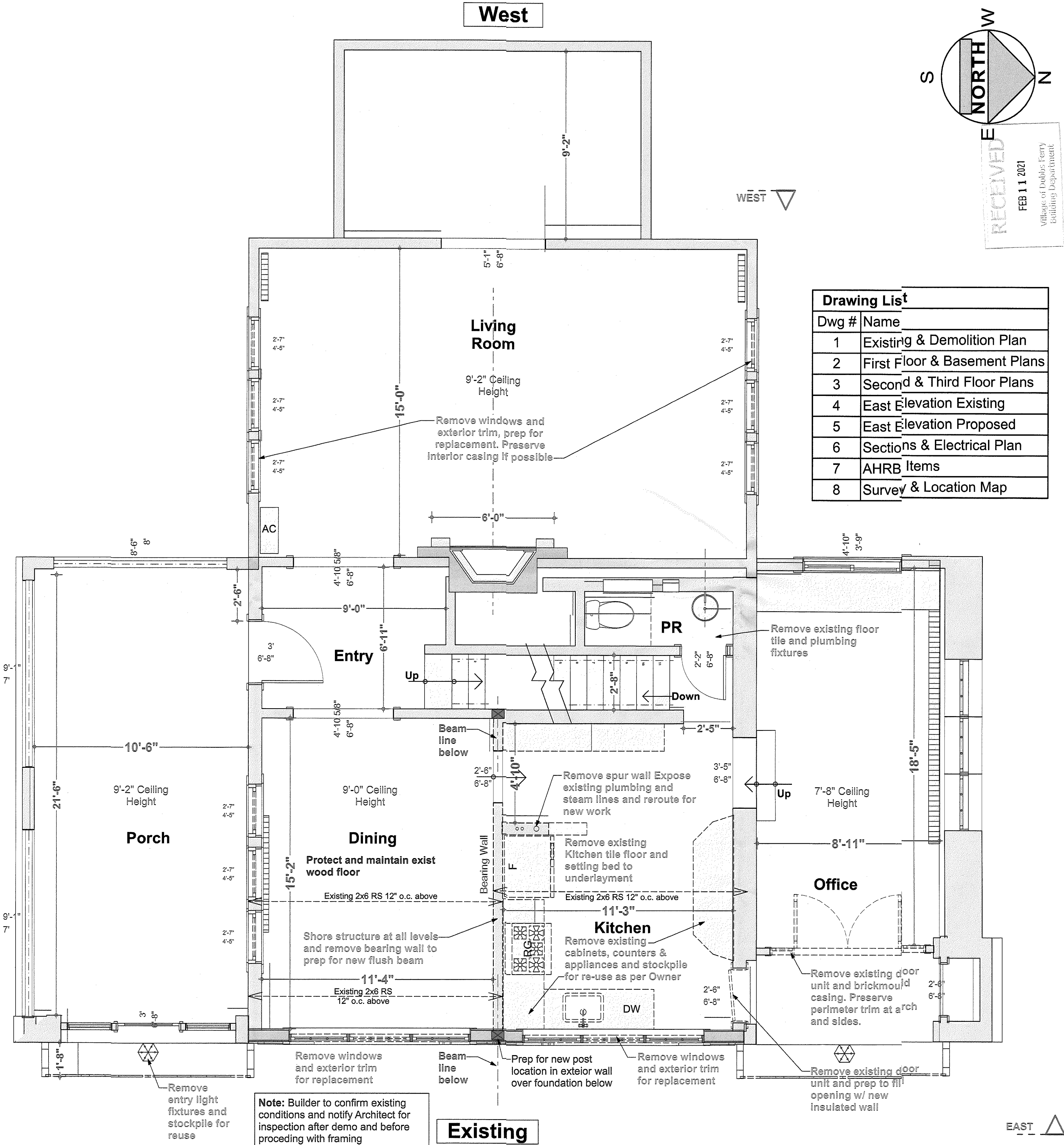
Pitched Roof Live loads: 16 PSF
Ground Snow load: 30 PSF

Wind Loads:

See section R301.2 With local conditions
Roof 45°: 12/-15
Wall: 13.5/-17
Maximum values shown

Allowable Deflection of Structural Members:

Rafters w/ slope greater than 3:12 w/ no finished ceiling attached to rafters: L/180
Interior walls & partitions: H/180
Floors and plastered ceilings: L/360
All other structural members: L/240
Lintels supporting masonry veneers L/600



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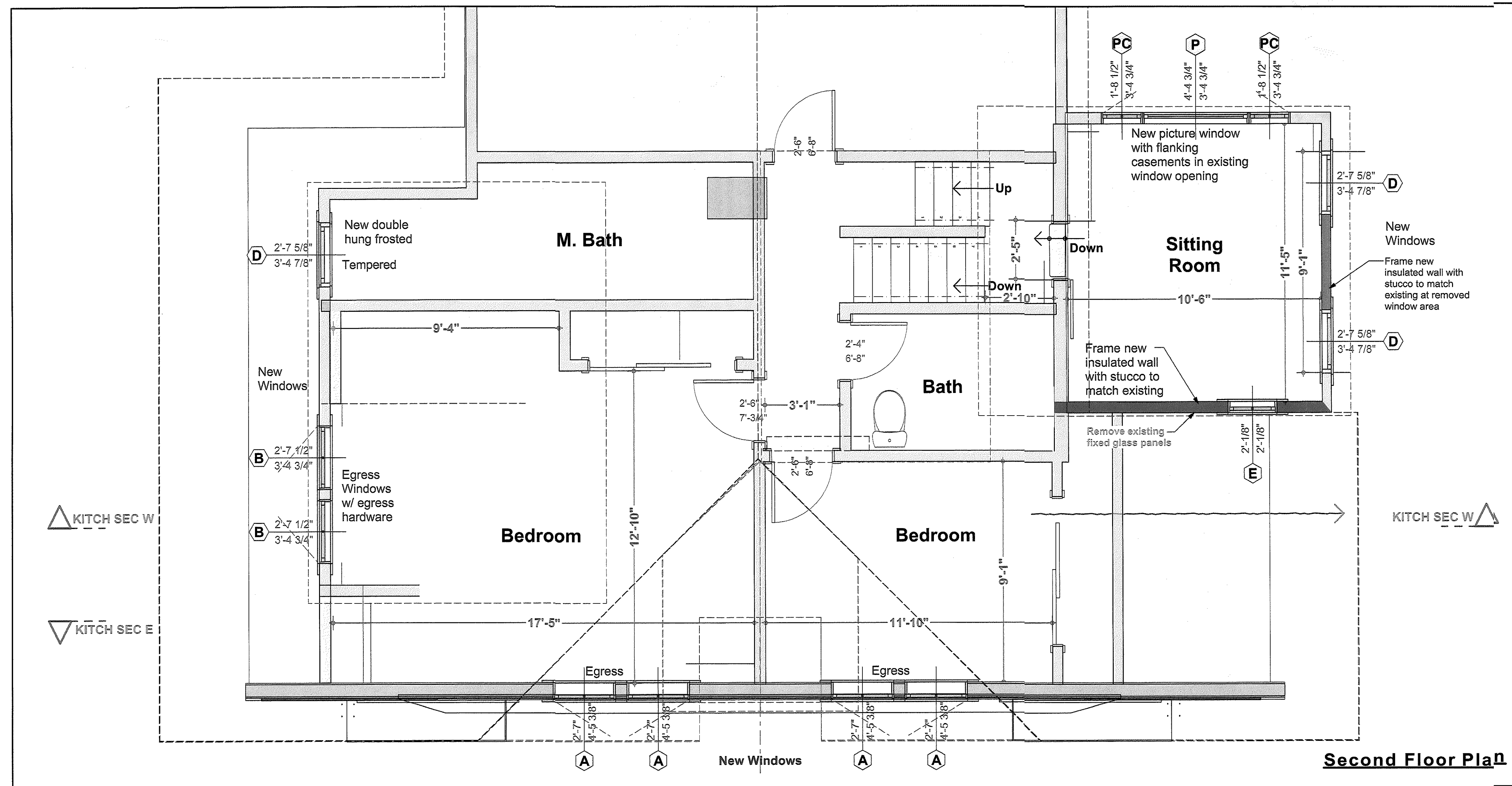
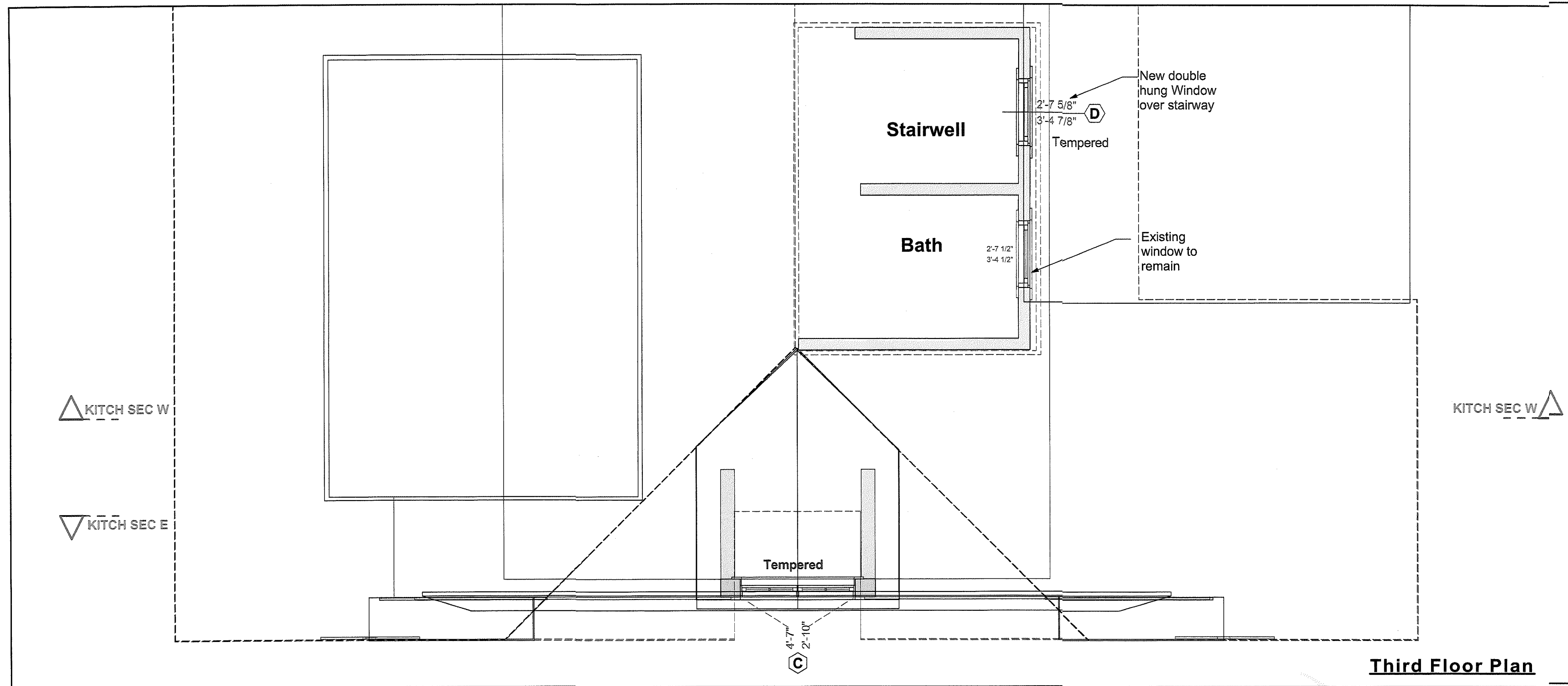
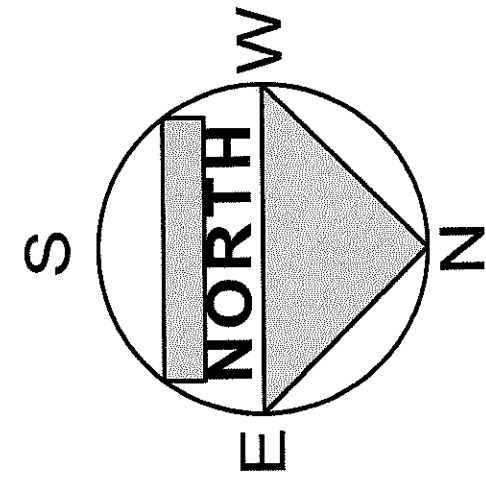
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Kitchen Renovation
Facade Update
Window Replacement
Johnson Residence
243 Palisade Avenue
Dobbs Ferry, New York

Phase:	Permit
Drawing:	Existing & Demolition Plan
Date:	2/10/2021
Scale:	3/8" = 1'-0"

Drawing #:

1



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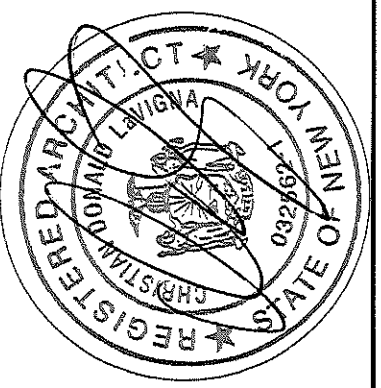
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Facade Update
Window Replacement**
Johnson Residence
243 Palisade Avenue
Dobbs Ferry, New York

Phase:	Permit
Drawing:	
Date:	2/10/2021
Scale:	1/4" = 1' Scale 4'

Drawing #:

3



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**Kitchen Renovation
Facade Update
Window Replacement**

**Johnson Residence
243 Palisade Avenue
Dobbs Ferry, New York**



Phase:	Permit				
Drawing:	East Elevation Existing				
Date:	2/10/2021				
Scale:					

Drawing #:

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PART 3

3 Amendments to 2018 International Energy Conservation Construction Code Residential Provisions

3.1 Amendments to Section 401.2

R401.2 Compliance. Projects shall comply with one of the following:

- 1. The provisions of Sections R401 through R404.
- 2. The provisions of Sections R401 through R404 and the provisions of Section R408 (passive house).
- 3. The provisions of Section R406 (ERI).
- 4. For Group R-2, Group R-3 and Group R-4 buildings, the provisions of Section R405 (simulated performance) and the provisions of Sections R401 through R404 labeled "Mandatory." The building energy cost shall be equal to or less than 80 percent of the standard reference design building.

3.2 Amendments to Table R402.1.2

Insulation and fenestration requirements by component

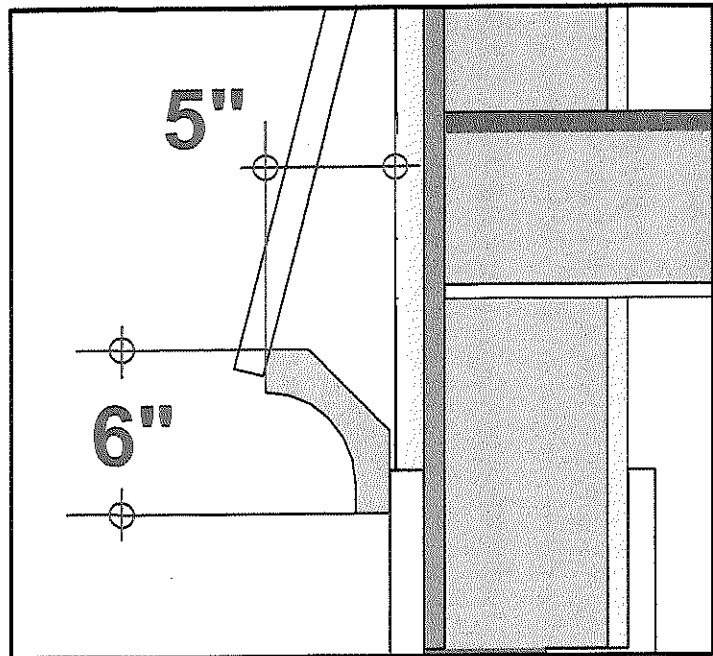
Table R402.1.2
Insulation and Fenestration Requirements by Component*

Climate Zone	Fenestration U-factor ^a	Skylight U-factor ^a	Glazed fenestration SHGC ^a	Ceiling R-Value	Wood Frame Wall ^b R-Value	Mass Wall ^b R-Value	Floor R-Value	Basement Wall ^b R-Value	Slab ^b R-Value and Depth	Crawl Space Wall ^b R-Value
4	0.27	0.50	0.4	49	21 Int. or 20+5 or 13+10	15/20	30 ^c	15/19	10.4 ft	15/19
5	0.27	0.50	NR	49	21 Int. or 20+5 or 13+10	15/20	30 ^c	15/19	10.4 ft	15/19
6	0.27	0.50	NR	49	20+5 or 13+10	15/20	30 ^c	15/19	10.4 ft	15/19

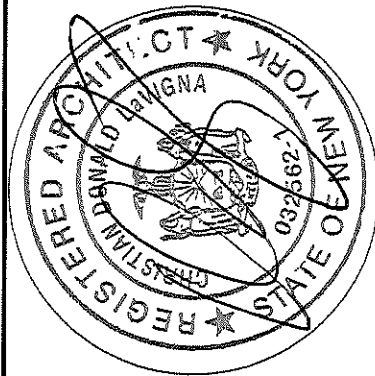
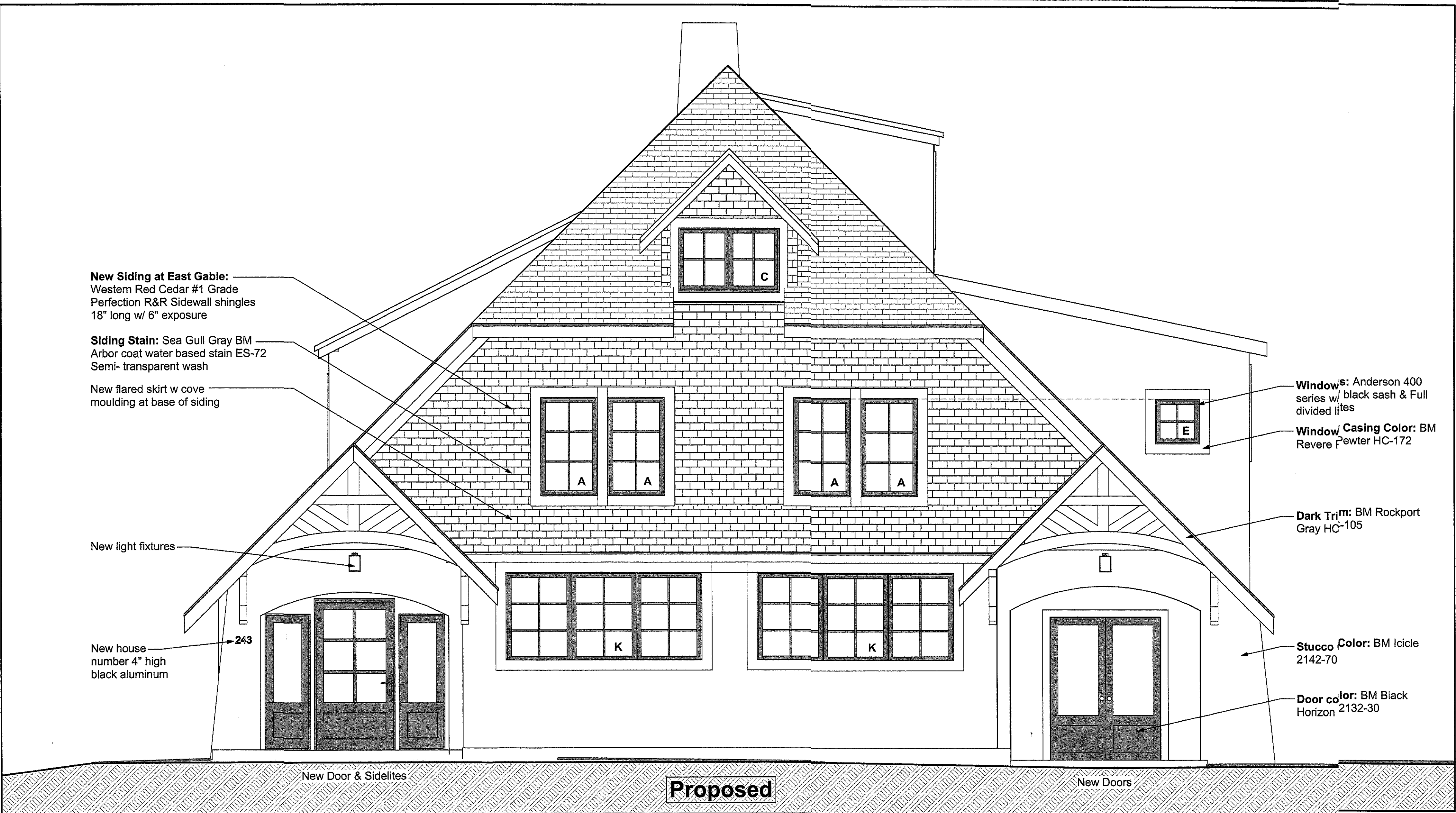
NR = Not Required

For 3/4" = 1 foot = 304.8 mm.

- a. R-values are minimums. U-factors and SHGC are maximums. Where insulation is installed in a cavity that is less than the label or design thickness of the insulation, the installed R-value of the insulation shall be not less than the R-value specified in the table.
- b. Int. (intermediate framings) denotes standard framing 16 inches on center. Headers shall be insulated with a minimum of R-10 insulation.
- c. The first value is cavity insulation, the second value is continuous insulation. Therefore, as an example, "13+10" means R-13 cavity insulation plus R-10 continuous insulation.
- d. Mass walls shall be in accordance with Section R402.2.5. The second R-value applies when more than half the insulation is on the interior of the mass wall.
- e. 15/19 means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall.
- f. R-10 continuous insulation shall be provided under the full slab area of a heated slab in addition to the required slab edge insulation R-value for slabs as indicated in the table. The slab edge insulation for heated slabs shall not be required to extend below the slab.
- g. Alternatively, insulation sufficient to fill the framing cavity and providing not less than an R-value of R-19.
- h. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.



Detail of Cove Moulding
at Shingle Skirt



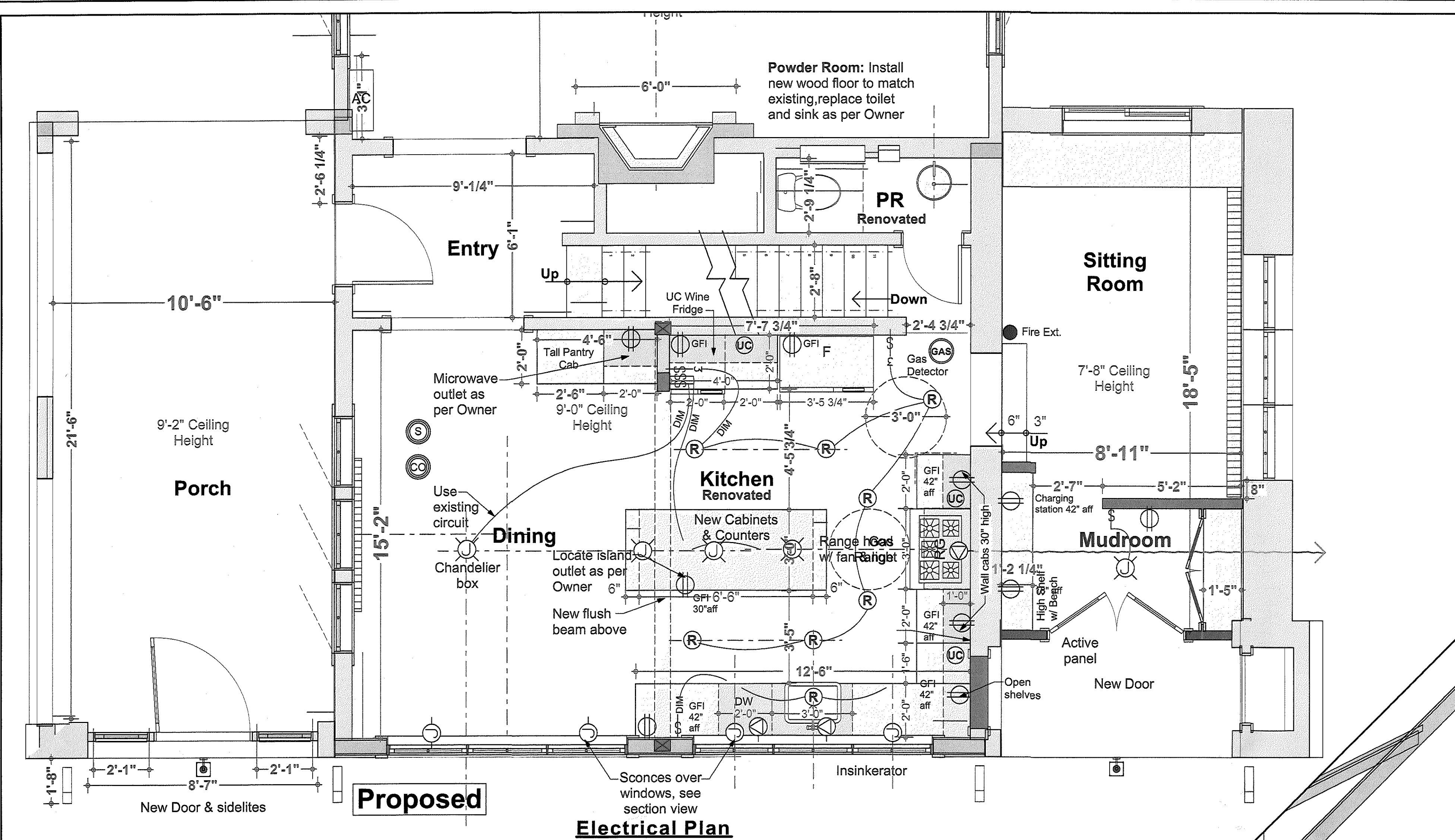
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Kitchen Renovation
Facade Update
Window Replacement
Johnson Residence
243 Fallside Avenue
Dobbs Ferry, New York

Phase:	Permit				
Drawing:	East Elevation Proposed				
Date:	2/10/2021	1/4" Scale			12'
Scale:		8'	4'	10'	12'

Drawing #:
5



ELECTRICAL SYMBOLS

	Smoke Detector		Water-proof GFI outlet		Garage door opener w/light
	Carbon Monoxide Detector		Special purpose connection		Door bell button
	Gas Detector		Junction box- ceiling		Door bell
	Two pole switch		Junction box-wall		Telephone jack
	Three pole switch		Ceiling fixture		Coaxial Cable Jack
	Dimmer		Recessed ceiling fixture		Thermostat
	120 Volt duplex outlet		Recessed wall washer		New electric panel
	120 Volt quadruplex outlet		Undercabinet strip light		Electric meter
	Floor outlet		Vapor proof shower light		
	220 Volt outlet		Exhaust fan		
	Ground Fault Interrupted outlet				

Fire Safety: Install temporary battery powered Smoke & CO alarms on each floor of new addition during construction. **Do not cover existing smoke alarms.** Install fire extinguishers on each floor of new addition during construction

IRC requires smoke alarms in the following locations:

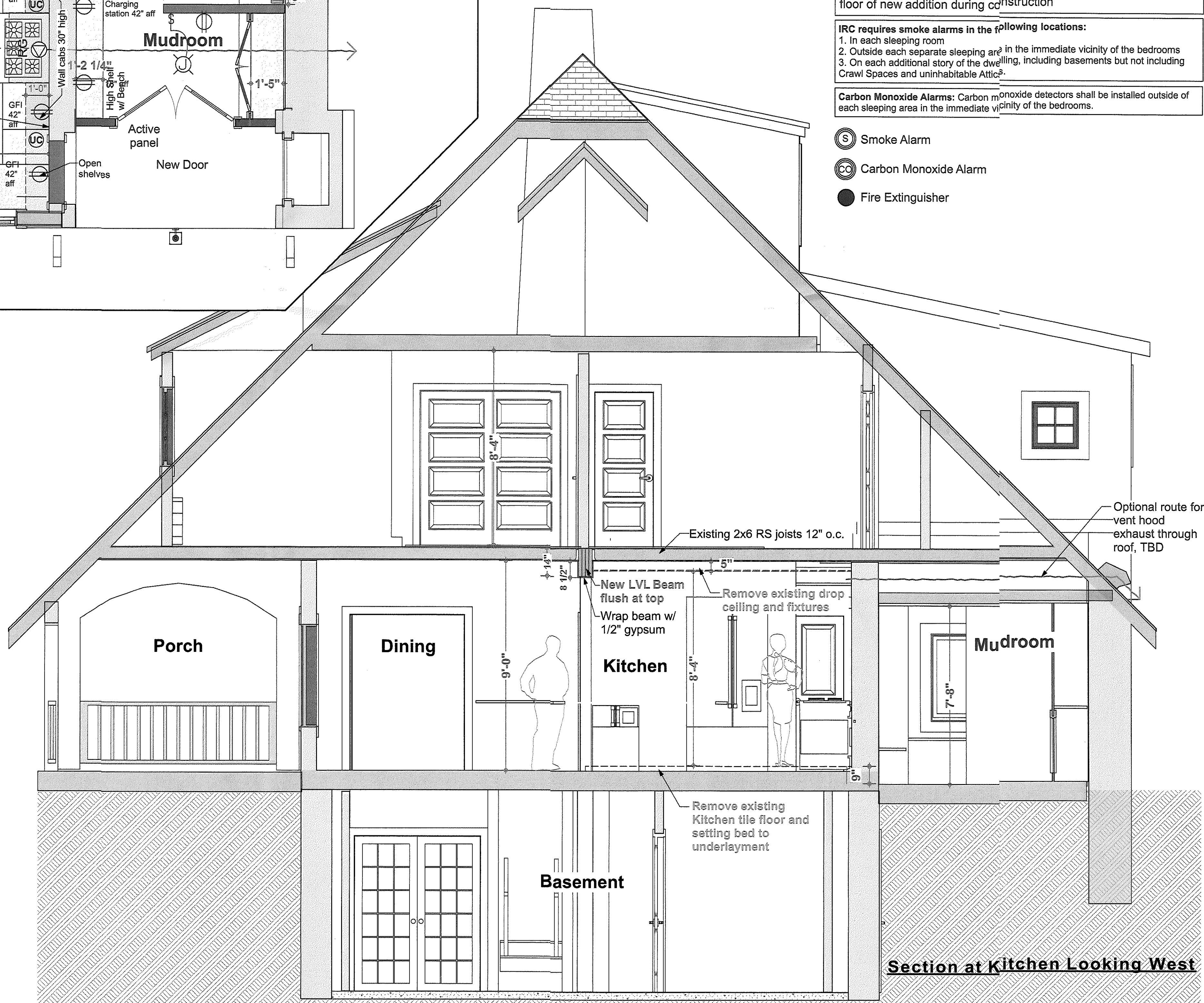
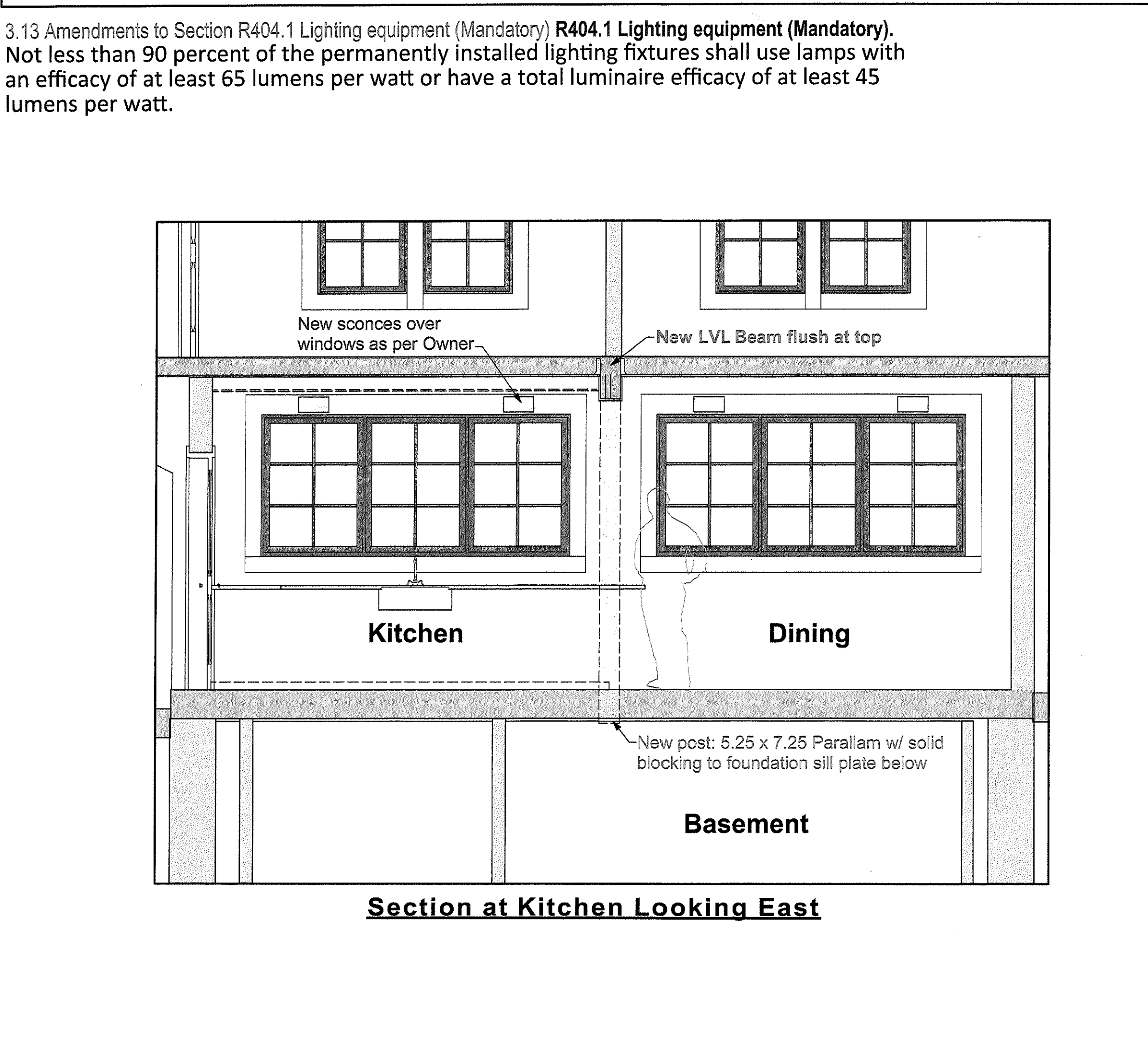
1. In each sleeping room
2. Outside each separate sleeping area in the immediate vicinity of the bedrooms
3. On each additional story of the dwelling, including basements but not including Crawl Spaces and uninhabitable Attics.

Carbon Monoxide Alarms: Carbon monoxide detectors shall be installed outside of each sleeping area in the immediate vicinity of the bedrooms.

Smoke Alarm

Carbon Monoxide Alarm

Fire Extinguisher



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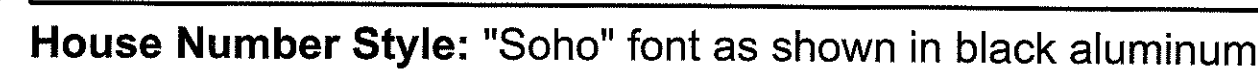
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Kitchen Renovation Facade Update Window Replacement
Johnson Residence
243 Palisade Avenue
Dobbs Ferry, New York

Phase:	Permit
Drawing:	Sections & Electrical Plan
Date:	2/10/2021
Scale:	1/4" Scale 4' 3/8" = 1'-0"

Drawing #:

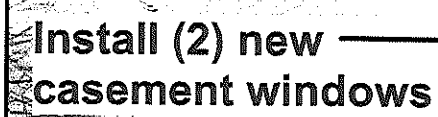
6



Note: Exterior Lighting Shall comply with Section 300-41 of Dobbs Ferry Town Code



Note: Door glass shall be double insulated Low-E coated argon-filled w/ max U-value of $U=.27$



Install new double hung window

New House # —

**Install new entry door & —
sidelites as per Elevations**

Install all new casement windows at east elevation as per Elevation drawings

Remove all existing windows at east elevation



Install new small awning window

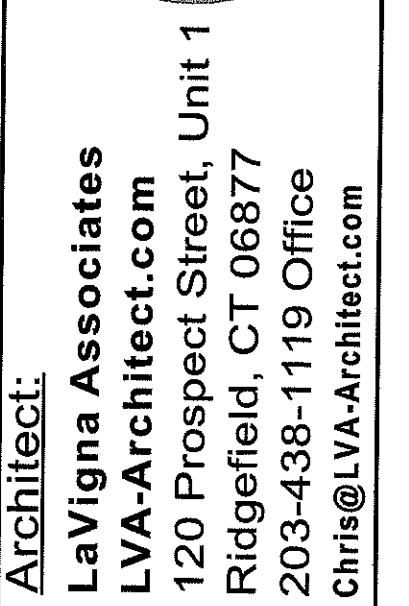
— Install (2) new double-hung windows

- Remove existing glider windows and fixed glass panels

- Frame new insulated walls with stucco to match existing at removed window areas

- Install new double doors as per Elevations

— Remove existing doors



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Window Replacement**

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Phase:	Permit				
Drawing:	AHRB Items				
Date:	2/10/2021	1/4" Scale	4'	8'	10'
Scale:					12'

Drawing #:

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