

<b>ZONING CALCULATIONS</b>		
40 COLONIAL AVENUE DOBBS FERRY NY		
TAX LOT 12, BLOCK 52, SECTION 3.90		
ZONING DISTRICT	OF-5	
LOT AREA	9,713 SF SF	
EXISTING OCCUPANCY	SINGLE FAMILY	
PROPOSED OCCUPANCY	SINGLE FAMILY	
REQUIRED MINIMUM SIDEYARD SETBACKS	10.0 FT ONE	25.0 FT TWO
EXISTING SIDE YARD SETBACKS	12.28 FT FT ONE	36.13 FT TWO
REQUIRED FRONT YARD SETBACK	25.0 FT	
EXISTING FRONT YARD SETBACKS	27.10 FT	
REQUIRED REAR YARD SETBACK	25.0 FT	
EXISTING REAR YARD SETBACK	31.7 FT FT	
MAXIMUM BUILDING HEIGHT PERMITTED	30.0 FT	2.5 STORIES
EXISTING BUILDING HEIGHT	21.90 FT	1.5 STORIES
PROPOSED BUILDING HEIGHT	NO CHANGE	
EXISTING BUILDING COVERAGE	1,436 SQ.FT. OR 14.7 %	
MAXIMUM BLDG COVERAGE PERMITTED	27% OR 2,428 SQ.FT.	
EXISTING TOTAL LOT COVERAGE	1,888 SQ.FT.	
PROPOSED TOTAL LOT COVERAGE	1,888 SQ.FT. + 612 SQ.FT = 2,500 OR 25.8%	
MAXIMUM TOTAL LOT COVERAGE PERMITTED	44% OR 4,274 SQ.FT.	

S100	SITE PLAN
SP100	SPECIFICATIONS
SP101	SPECIFICATIONS
SP200	PRODUCT SCHEDULES
D100	DEMOLITION PLANS
A100	CONSTRUCTION PLANS
ME100	MECHANICAL/ELECTRICAL PLANS
ST100	STRUCTURAL PLANS
A200	EXTERIOR ELEVATIONS
A300	BUILDING SECTION/INTERIOR ELEVATIONS
A301	BUILDING SECTION/INTERIOR ELEVATIONS
A302	INTERIOR ELEVATIONS/DETAILS



Mansfield Atleration  
40 Colonial Ave  
Dobbs Ferry, NY

date: JANUARY 04, 2020

date: JANUARY 04, 2020

drawn by

scale:  
 $\frac{1}{8}'' = 1'-0''$

title:

# SITE PLAN ZONING CALCULATIONS

number

S100



GENERAL NOTES

01. PROJECT SCOPE: PERFORM ALL WORK REQUIRED BY THE CONTRACT DOCUMENTS FOR THE ALTERATION AND RENOVATION OF THE DESIGNATED PREMISES, INCLUDING ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION, SCAFFOLDING AND OTHER FACILITIES AND SERVICES NECESSARY FOR THE PROPER AND COMPLETE EXECUTION OF THE WORK. THESE GENERAL CONDITIONS SHALL APPLY TO ALL WORK AND ALL DRAWINGS IN THIS SET AND SHALL EXTEND TO ANY CHANGES, EXTRAS OR ADDITIONS AS AGREED TO DURING THE COURSE OF THE WORK.

02. PRE-BID SITE VISIT: DUE TO THE INACCESSIBILITY OF PARTS OF THE PREMISES OR STRUCTURE, DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS ARE PRESUMED TO BE REASONABLY CORRECT. VERIFY ALL EXISTING CONDITIONS IN THE FIELD COVERING OR AFFECTING THE WORK PRIOR TO SUBMITTING A BID.

03. EXCLUSIONS: BIDDERS SHALL MAKE KNOWN TO ARCHITECT ANY LIMITATIONS, EXCLUSIONS, OR MODIFICATIONS TO THE PROJECT DURING THE PRICING PHASE OF THE PROJECT. UNLESS NOTED THEY WILL BE PRESUMED INCLUDED BY ARCHITECT.

04. COMPLIMENTARY DOCUMENTS: THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND CONSTRUCTION NOTES ARE COMPLIMENTARY AND WHAT IS CALLED FOR BY ONE SHALL BE BINDING AS IF CALLED FOR BY ALL.

05. INCONSISTENCIES: WHERE DIFFERENCES BETWEEN THE DRAWINGS, NOTES AND SPECIFICATION OCCUR, THE DECISION OF THE ARCHITECT SHALL GOVERN AS TO WHICH TAKES PRECEDENCE. THE ARCHITECT SHALL PROMPTLY RESOLVE ANY SUCH DISCREPANCIES BROUGHT TO HIS ATTENTION BY THE CONTRACTOR.

06. MISSING INFORMATION: STUDY THE DRAWINGS, NOTES, SPECIFICATIONS AND OTHER INSTRUCTIONS. NOTIFY THE ARCHITECT OF INCONSISTENCIES OR MISSING INFORMATION REQUIRED FOR FABRICATION OR INSTALLATION OF THE WORK.

07. DOUBTFUL CONDITIONS/ FIELD CONDITIONS: VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AFFECTING THE WORK AT THE SITE. NOTIFY THE ARCHITECT OF ANY CONDITIONS OR MATERIALS THAT ARE FOUND CONTRARY TO THOSE INDICATED ON THE DRAWINGS, OR OF ANY DOUBTFUL CONDITIONS THAT MIGHT AFFECT THE QUALITY OF OR INTERFERE WITH THE PROPER COMPLETION OF THE PROJECT PRIOR TO COMMENCING WORK. COMMENCEMENT OF WORK INDICATES ACCEPTANCE OF EXISTING CONDITIONS.

08. CONTACT LIST: GENERAL CONTRACTOR SHALL SUPPLY, PRIOR TO COMMENCING WORK, A LIST OF ALL SUBCONTRACTORS TO ARCHITECT. THE NAME OF THE PRINIPAL CONTACT, THE ADDRESS, AND PHONE NUMBER OF EACH SUBCONTRACTOR SHALL BE INCLUDED IN THIS LIST.

09. DISTRIBUTION OF DRAWINGS: GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER THEIR JURISDICTION.

10. PERMITS AND APPROVALS: OBTAIN ALL REQUIRED PERMITS AND PAY FEES FOR PERMITS, LICENSES, INSPECTIONS, FILINGS AND APPROVALS REQUIRED BY LOCAL LAWS, ORDINANCES AND REGULATIONS FOR COMPLETION OF THE PROJECT.

11. INSPECTIONS: SCHEDULE REQUIRED INSPECTIONS IN A TIMELY FASHION SO AS NOT TO INTERRUPT PROGRESS OF THE WORK.

12. NOTIFICATIONS: NOTIFY ADJACENT PROPERTY OWNERS AND THE BUILDING MANAGEMENT IN ACCORDANCE WITH THE PROVISIONS OF LAW AND AS REQUIRED BY THE BUILDING ALTERATION AGREEMENT.

13. WORK PERMIT: A VALID WORK PERMIT SHALL BE PROMINENTLY DISPLAYED AT THE JOB SITE FOR THE ENTIRE DURATION OF THE WORK.

14. INSURANCE: PROVIDE PROOF OF WORKER'S COMPENSATION INSURANCE AND DISABILITY INSURANCE COVERAGE AS REQUIRED BY NEW YORK STATE LAW, PRIOR TO THE COMMENCEMENT OF WORK. PROOF OF LIABILITY, PROPERTY DAMAGE AND OTHER INSURANCE MUST BE PROVIDED IN THE AMOUNTS STATED IN THE CONTRACT BETWEEN THE OWNER AND CONTRACTOR. ALL CONTRACTORS INVOLVED IN THIS WORK SHALL CARRY PROPERTY DAMAGE AND PUBLIC LIABILITY INSURANCE AS REQUIRED BY GOVERNMENTAL AGENCIES HAVING JURISDICTION AND COMPLY WITH STATUTORY REQUIREMENTS FOR DISABILITY AND WORKMENS COMPENSATION. THEY WILL COMPLY WITH ALL RULES AND REGULATIONS DICTATED BY THE LANDLORD, THE TENANT, THE ARCHITECT AND OTHER GROUP(S) TO BE NAMED FROM LIABILITY DUE TO CONTRACTORS NEGLIGENCE.

15. COMPLIANCE WITH CODES: WORK IS TO BE PERFORMED IN ACCORDANCE WITH RULES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL CONSTRUCTION, SAFETY, AND SANITARY LAWS, CODES, STATUTES, AND ORDINANCES. WHERE REQUIREMENTS OF THESE CODES ARE CONTRADICTORY OR MUTUALLY EXCLUSIVE, THE MORE STRINGENT RULE SHALL APPLY. ANY DISCREPANCIES, VARIATIONS, OR OMISSIONS IN THE CONTRACT DOCUMENTS SHALL BE REPORTED PROMPTLY TO ARCHITECT.

16. MEANS AND METHODS: THE CONTRACTOR SHALL SUPERVISE THE WORK USING HIS BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR, AND SHALL HAVE CONTROL OVER, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES.

17. SAFETY: THE CONTRACTOR IS SOLELY RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK. GIVE NOTICES AND COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS AND ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE SAFETY OF PERSONS AND PROPERTY, AND THEIR PROTECTION FROM DAMAGE, INJURY AND LOSS. INSURE THAT THE JOB SITE IS MAINTAINED AT ALL TIMES IN SUCH A WAY AS TO PREVENT INJURY OR DAMAGE TO ALL PERSONS WORKING ON OR VISITING THE PREMISES, AND TO PERSONAL PROPERTY.

18. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT ALL PARTIES FROM POTENTIAL HAZARDS PRODUCED BY THE REMOVAL OF OR DAMAGE TO LEAD-BASED PAINTS AND COATINGS, OR OTHER MATERIALS REPRESENTING SIMILAR HAZARDS, EXISTING ON OR ABOUT THE PROPERTY, IN ACCORDANCE WITH LOCAL LAWS AND REGULATIONS.

19. SCHEDULE: PROVIDE A CONSTRUCTION SCHEDULE TO THE ARCHITECT AND OWNER WITHIN ONE (1) WEEK OF BEING AWARDED CONTRACT. THE SCHEDULE SHALL INDICATE THE CHRONOLOGICAL PHASES OF THE CONTRACTOR'S WORK THROUGH THE COMPLETION OF THE PROJECT. THE SCHEDULE SHALL INDICATE ALL ORDERING LEAD TIME, LENGTH OF TIME FOR EACH PHASE AND START AND COMPLETION DATES FOR EACH TRADE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING THE APPROVED SCHEDULE.

20. SEQUENCE AND COORDINATION: COORDINATE THE WORK OF ALL TRADES AND SUBCONTRACTORS FOR ALL PORTIONS OF THE WORK, AND COOPERATE IN THE SEQUENCING OF INSTALLATION REQUIRED FOR ITEMS THAT WILL BE FURNISHED BY THE OWNER.

21. APPROVED MATERIALS: THERE SHALL BE NO SUBSTITUTION OF MATERIALS USED, A MANUFACTURER IS SPECIFIED. WHERE THE TERM "OR APPROVED EQUAL" IS USED, THE ARCHITECT ALONE SHALL DETERMINE EQUALITY BASED UPON INFORMATION SUBMITTED BY THE CONTRACTOR. ALL MATERIALS SHALL BE NEW, UNUSED, AND OF HIGHEST QUALITY IN EVERY RESPECT UNLESS OTHERWISE NOTED MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS UNLESS OTHERWISE NOTED.

22. LICENSED TRADESPEOPLE: PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY CONTRACTORS LICENSED IN THEIR TRADE, WHO SHALL ARRANGE FOR AND OBTAIN ALL REQUIRED PERMITS, INSPECTIONS AND SIGN-OFFS.

23. CURRENT DRAWINGS: MAINTAIN A COMPLETE AND CURRENT SET OF CONTRACT DOCUMENTS ON SITE DURING ALL PHASES OF CONSTRUCTION FOR THE USE OF ALL TRADES. A REPRESENTATIVE OF THE GENERAL CONTRACTOR AUTHORIZED TO DISCUSS THE WORK AND RECEIVE INSTRUCTIONS FROM THE ARCHITECT SHALL BE AT THE JOB SITE AT ALL TIMES THAT WORK IS IN PROGRESS.

24. LAYOUT OF WORK: LAY OUT THE WORK FROM THE DIMENSIONS AND ALIGNMENTS SHOWN ON THE DRAWINGS AND BE RESPONSIBLE FOR ALL MEASUREMENTS IN CONNECTION THEREWITH. THE CONTRACTOR SHALL IMMEDIATELY REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS, TO THE ARCHITECT. DO NOT SCALE DRAWINGS: DIMENSIONS SHALL GOVERN. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS, LARGE SCALE DETAILS SHALL GOVERN OVER SMALL SCALE DETAILS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT, IN ADVANCE, OF ANY DISCREPANCIES OR QUESTIONS. NO EXTRA CHARGE OF COMPENSATION WILL BE ALLOWED ON ACCOUNT OF ANY DIFFERENCE BETWEEN ACTUAL DIMENSIONS AND THE MEASUREMENTS WHICH MAY BE FOUND AS INDICATED ON THE DRAWINGS. THE GENERAL CONTRACTOR SHALL ASSUME FULL AND UNDIVIDED RESPONSIBILITY FOR THE ACURACY, FIT & STABILITY OF ALL PARTS OF THE WORK.

25. SHOP DRAWINGS & SAMPLES: THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, PRODUCT SAMPLES, AND MANUFACTURER'S TECHNICAL INFORMATION FOR THE ARCHITECT'S REVIEW, PRIOR TO THE COMMENCEMENT OF FABRICATION. SUBMISSIONS SHALL BE IN THE FORM REQUIRED BY THE SPECIFICATIONS OR AS REQUESTED BY THE ARCHITECT.

A) PROVIDE ACCURATELY PREPARED, LARGE SCALE AND DETAILED SHOP DRAWINGS PREPARED SPECIFICALLY FOR THIS PROJECT ON REPRODUCABLE SHEETS. SHOW ADJACENT CONDITIONS AND RELATED WORK. SHOW ACCURATE FIELD AND CLEARLY NOTE FIELD CONDITIONS. IDENTIFY MATERIALS AND PRODUCTS IN THE WORK SHOWN. NOTE SPECIAL COORDINATION REQUIRED. HIGHLIGHT OR INDICATE DEVIATIONS FROM THE CONTRACT DOCUMENTS. REPRODUCTION OF CONTRACT DOCUMENTS OR STANDARD INFORMATION AS THE BASIS OF SHOP DRAWINGS WILL NOT BE ACCEPTED.

B) PROVIDE SAMPLES IDENTICAL WITH FINAL MATERIALS AND PRODUCTS TO BE INSTALLED IN THE WORK. WHERE INDICATED, PREPARE SAMPLES TO MATCH THE ARCHITECTANS'S SAMPLES. LABEL EACH SAMPLE WITH DESCRIPTION, SOURCE, VARIETAL NAME OR MANUFACTURER'S NAME AND MODEL NUMBER. ARCHITECT WILL REVIEW SAMPLES FOR CONFIRMATION OF VISUAL DESIGN INTENT, COLOR, PATTERN, TEXTURE AND TYPE ONLY.

26. APPROVALS: THE ARCHITECT'S APPROVAL OF SHOP DRAWINGS IS FOR CONFORMANCE WITH THE DESIGN CONCEPT ONLY. APPROVAL OF A SPECIFIC ITEM DOES NOT INDICATE APPROVAL OF AN ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR QUANTITIES, DIMENSIONS, COMPLIANCE WITH THE DESIGN INTENT OF THE CONTRACT DOCUMENTS, AND COORDINATION OF THE WITH OTHER TRADES. THE CONTRACTOR IS NOT RELIEVED OF RESPONSIBILITY FOR ANY VIOLATION OF REQUIREMENTS OF THE CONTRACT DOCUMENTS, NOR BY ERRORS OR OMISSIONS IN THE SHOP DRAWINGS BY THE ARCHITECT'S REVIEW OF THESE DRAWINGS.

27. QUALITY ASSURANCES:

A) ALL WORK SHALL BE PERFORMED AND SUPERVISED BY WORKMEN THOROUGHLY FAMILIAR WITH THE MATERIALS AND METHODS SPECIFIED.

B) WORK SHALL BE INSTALLED PLUMB AND LEVEL. SHOULD EXISTING ADJACENT WORK NOT BE PLUMB AND LEVEL, NEW WORK SHALL BE INSTALLED AS NECESSARY TO MEET THE EXISTING WORK, WITHOUT APPEARING TO EMPHASIZE THE VARIANCE. THE CONTRACTOR SHALL CONSULT WITH THE ARCHITECT TO DETERMINE HOW BEST TO DEEMPHASIZE THE VARIANCE PRIOR TO COMMENCING THE WORK.

28. CHANGE ORDERS: CONTRACTOR SHALL NOT PROCEED WITH ANY ADDITIONALWORK OR CHANGES FOR WHICH THEY EXPECT ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT. FAILURE TO OBTAIN SUCH AUTHORIZATION SHALL INVALIDATE ANY CLAIM FOR EXTRA COMPENSATION.

29. PROTECTION DURING CONSTRUCTION: PROVIDE AND MAINTAIN COVERINGS AND PROTECTION TO PREVENT DAMAGE, DISCOLORATION OR SOILING OF EXISTING AND NEW CONSTRUCTION, FINISHES, FURNISHINGS, FABRICS AND THE OWNERS POSSESSIONS. MAINTAIN PROTECTION UNTIL OWNER'S FINAL ACCEPTANCE. UPON OWNER'S ACCEPTANCE, REMOVE PROTECTION AND CLEAN ALL EXPOSED SURFACES IN THE ENTIRE SPACE. ANY DAMAGES DUE TO THIS WORK OR ACCIDENTS SHALL BE REPAIRED, REPLACED OR PATCHED AT THE DISCRETION OF THE ARCHITECT. CONTRACTOR SHALL BEAR FINANCIAL RESPONSIBILITY FOR SUCH DAMAGE AND ANY WORK UNDERTAKEN TO CORRECT IT.

30. TEMPORARY UTILITIES: THE OWNER SHALL PROVIDE TEMPORARY ELECTRIC POWER AND WATER FOR REASONABLE USE BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISTRIBUTION OF TEMPORARY UTILITIES FROM THE POINT OF ORIGIN PROVIDED BY THE OWNER.

31. DELIVERIES: EACH CONTRACTOR SHALL MAKE ALL REQUIRED ARRANGEMENTS FOR DELIVERY AND TRANSFER OF EQUIPMENT AND MATERIALS TO THE JOB SITE.

32. CUTTING AND PATCHING: PERFORM ALL CUTTING AND PATCHING REQUIRED BY THE INSTALLATION OF NEW STRUCTURAL STEEL FRAMING, STEEL OR MASONRY LINTELS, STRUCTURAL DECKING OR SLABS, STAIRS, PLUMBING, PLUMBING FIXTURES AND CONNECTIONS, WIRING, ELECTRICAL AND TELEPHONE OUTLETS, SWITCHES, HEATING AND VENTILATION ELEMENTS AND DEVICES TO PROVIDE A FINISHED PROJECT.

A) MATERIALS USED IN CUTTING AND PATCHING SHALL BE IDENTICAL TO ORIGINAL MATERIALS, UNLESS OTHERWISE NOTED. IF IDENTICAL MATERIALS ARE NOT AVAILABLE, PROVIDE FINISHED WORK THAT WILL RESULT IN EQUAL OR BETTER THAN EXISTING PERFORMANCE CHARACTERISTICS.

B) USE CUTTING METHODS LEAST LIKELY TO DAMAGE ELEMENTS RETAINED OR ADJOINING WORK. USE TOOLS TO ENSURE NEAT, ACCURATELY FORMED HOLES AND EDGES AT ADJACENT WORK.

C) LOCATE UTILITIES BEFORE CUTTING. CAP VALVE, SEAL AND PLUG ABANDONED UTILITIES TO PREVENT ENTRY OF MOISTURE OR OTHER FOREIGN MATTER.

D) PATCHING SHALL BE PERFORMED SO AS TO PROVIDE SOUND, TRUE AND ALIGNED SUBSTRATA FOR THE INSTALLATION OF FINISH MATERIALS.

E) PATCHING SHALL SEAMLESSLY JOIN THE IMMEDIATE EXISTING ADJACENT CONSTRUCTION IN MATERIAL, FINISH AND COLOR, UNLESS OTHERWISE NOTED. JOINTS SHALL BE DURABLE AND INVISIBLE. CREATE TRUE, EVEN PLANES WITH UNIFORM CONTINUOUS APPEARANCE. MATERIALS USED SHALL BE IDENTICAL TO MATERIALS CUT AND PATCHED.

F) REPAINT ENTIRE ASSEMBLIES, NOT JUST PATCHED AREAS.

33. REMOVALS: MAINTAIN A CLEAN AND NEAT WORK SITE AT ALL TIMES. CLEAN UP AND REMOVE FROM THE PREMISES ALL WASTE MATERIALS, RUBBISH, WRAPPINGS, CONTAINERS AND SALVAGES AS GENERATED BY THE CONSTRUCTION, DEMOLITION, AND BY THE DELIVERY AND INSTALLATION OF WOODWORK, FURNITURE AND APPLIANCES, WHETHER PROVIDED UNDER THIS CONTRACT OR NOT.

34. FINAL CLEANUP: LEAVE ALL SPACES VACUUM CLEAN AND ORDERLY, READY FOR OWNER OCCUPANCY. ALL SURFACES, INCLUDING COUNTERS, CABINET SHELVES AND TOPS, MANTLES, MOLDINGS, DOOR AND WINDOW HEADS, PLUMBING AND LIGHTING FIXTURES, APPLIANCES, HEATING AND AIR-CONDITIONING EQUIPMENT (INCLUDING RADIATORS, FIN-TUBE AND CONVECTORS) AND FLOORS SHALL BE THOROUGHLY DUSTED WITH A FINESTLY RINSED DAMP CLOTH. AFTER DUSTING ALL SURFACES, FLOORS SHALL BE VACUUMED USING ATTACHMENTS APPROPRIATE FOR THE FINISH. WINDOWS SHALL BE SCRAPPED CLEAN WITH A RAZOR AND WASHED WITH VINEGAR AND NEWSPRINT.

35. PROJECT CLOSEOUT: UPON COMPLETION OF THE JOB, SUBMIT ALL CERTIFICATES OF INSPECTION AND A CERTIFICATE OF SUBSTANTIAL COMPLETION (AIA DOCUMENT G-704) TO THE ARCHITECT. UPON OWNER'S ACCEPTANCE, THE CONTRACTOR SHALL PERFORM A FINAL CLEANING.

36. WARRANTY & GUARANTEE:

A) THE CONTRACTOR GUARANTEES THAT WORK COMPLETED UNDER THIS CONTRACT IS FREE FROM FAULTY MATERIALS AND WORKMANSHIP, INCLUDING IMPROPER INSTALLATION. THIS GUARANTEE SHALL COVER A MINIMUM PERIOD OF ONE (1) YEAR FOLLOWING THE DATE OF ACCEPTANCE OF THE WORK BY THE OWNER AND SHALL BIND THE CONTRACTOR TO REPAIR OR REPLACE, PROMPTLY AND EFFICIENTLY, ANY AND ALL WORK AND MATERIALS FOUND TO BE DEFECTIVE DURING THIS PERIOD, INCLUDING OTHER WORK NOT PERFORMED UNDER THIS CONTRACT, THAT IS DAMAGED BY SUCH DEFICIENCY.

B) NEITHER THE FINAL CERTIFICATE NOR THE FINAL PAYMENT, NOR ANY OTHER PROVISION IN THE CONTRACT, SHALL RELIEVE THE CONTRACTOR OF RESPONSIBILITY DESCRIBED IN THIS SECTION.

C) THIS WARRANTY IS IN ADDITION TO MANUFACTURER'S STANDARD WARRANTIES ON SPECIFIC PRODUCTS, MATERIALS AND ASSEMBLIES.

D) IN THE EVENT THAT ADDITIONAL PROFESSIONAL SERVICES ARE REQUIRED TO VERIFY AND DIRECT REPAIRS OR REPLACEMENT OF WORK AS A DIRECT CONSEQUENCE OF THE FAILURE OF MATERIALS OR WORKMANSHIP GUARANTEED BY THE CONTRACTOR, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PAYMENT OF FEES FOR SUCH PROFESSIONAL SERVICES, AND ANY OTHER FEES NECESSARY TO CORRECT THE WORK.

GENERAL INTERIOR FINISH NOTES

01. THE GENERAL CONTRACTOR SHALL DO ALL CUTTING, FITTING AND PATCHING REQUIRED TO MAKE ALL PARTS COME TOGETHER PROPERLY, TO RECEIVE THE WORK OF OTHER TRADES AND TO PROVIDE A FIRST CLASS FINISHED INSTALLATION.

02. EXISTING PARTITIONS AND WALLS TO REMAIN, ALL AREAS AFFECTED BY THE DEMOLITION WORK AND ALL NEW CONSTRUCTION INDICATED ON THE DRAWING SHALL BE SEAMLESSLY PATCHED AS REQUIRED TO MATCH THE IMMEDIATE EXISTING ADJACENT CONSTRUCTION IN MATERIAL, FINISH AND COLOR, UNLESS OTHERWISE NOTED.

03. THE GENERAL CONTRACTOR SHALL INSPECT ALL EXISTING GYPSUM BOARD AND FINISHED SURFACES AND WHERE AS A RESULT OF DEMOLITION, FINISHED SURFACES DO NOT ALIGN, THE EXISTING SURFACES SHALL BE CUT AWAY, NEW CORNER BEADS AND STOPS INSTALLED AND THE SURFACE REPLASTERED TO A SMOOTH, FLUSH AND ALIGNED SURFACE.

04. NEW GYPSUM BOARD PARTITIONS SHALL CONSIST OF A SINGLE LAYER OF 1/2" GYPSUM BOARD SCREWED TO 3 5/8" WOOD STUDS SPACED 16" O.C. GYPSUM BOARD JOINTS SHALL BE LOCATED SO THAT PANEL EDGES FALL ON ALTERNATE STUDS. JOINTS SHALL BE TAPED (PAPER TAPE ONLY; FIBERGLASS MESH TAPE IS NOT PERMITTED), COMPOUNDED AND FINISHED SMOOTH WITH A WET SPONGE TO RECEIVE THE FINISHED WALL TREATMENT.

05. CORNER BEADS SHALL BE USED AT ALL WALLBOARD CORNERS AND ENDS.

DEMOLITION NOTES

01. FURNISH ALL LABOR, MATERIALS, EQUIPMENT, SERVICES AND PERMITS REQUIRED TO DEMOLISH AND REMOVE EXISTING CONSTRUCTION INDICATED FOR DEMOLITION ON THE PLANS AND IN THESE SPECIFICATIONS, AND FOR ALL FIRE-RELATED DEBRIS ON ALL FLOORS OF THE PREMISES.

02. ALL DEMOLITIONS WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE BUILDING RULES AND REGULATIONS.

03. BUILDING STANDARD LIGHT FIXTURES, DOORS, DOOR BUCKS, HARDWARE, PLUMBING FIXTURES, SWITCHES AND OTHER ITEMS WHICH ARE NOT TO BE REUSED BY THE TENANT IN NEW CONSTRUCTION AND ARE SALVAGEABLE SHALL BE RETURNED TO THE BUILDING OWNER UPON REQUEST. ALL ITEMS NOT BEING REUSED OR RETURNED TO THE BUILDING OWNER SHALL BE REMOVED FROM THE PREMISES.

04. THE CONTRACTOR SHALL AT ALL TIMES PROTECT THE PROPERTY OF THE TENANT AND THE BUILDING OWNER, INCLUDING BUT NOT LIMITED TO WINDOWS, FLOOR, FINISHES, CEILINGS, PUBLIC RESTROOMS, ELEVATORS, DOORS, DOOR BUCKS, ELECTRICAL AND HVAC EQUIPMENT AND CONVECTOR ENCLOSURES.

05. THE CONTRACTOR SHALL TAKE SPECIAL CARE TO AVOID DAMAGE TO DECORATIVE PLASTERWORK AND MOLDINGS AND DECORATIVE MILLWORK, INCLUDING COLUMNS, BASE, MANTLES, WAINSCOTTING, ENTRY DOORS AND BUILT-IN CABINETS AND FURNITURE.

06. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER THE SHUT-OFF OF BUILDING SERVICES AS REQUIRED BY THE DEMOLITION WORK. PREMISES WILL BE VACANT DURING DEMOLITION WORK.

07. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY LIGHTING THROUGHOUT THE SPACE UNDER CONSTRUCTION, IF REQUIRED.

08. THE CONTRACTOR SHALL REMOVE ALL ABANDONED CONDUIT, ELECTRICAL AND TELEPHONE WIRING AND EQUIPMENT LEFT AFTER WALL DEMOLITION.

09. THE CONTRACTOR SHALL REMOVE ALL ABANDONED GAS PIPING LEFT AFTER WALL DEMOLITION. THE CONTRACTOR SHALL TEST AND BE RESPONSIBLE FOR THE REMOVAL OF ALL GAS PIPING IS CLEAR OF RESIDUAL GAS AND IS NOT IN ACTIVE SERVICE PRIOR TO THE COMMENCEMENT OF REMOVAL.

10. ALL PIPING, WIRING AND CONDUIT WHICH IS BEING ABANDONED SHALL BE CAPPED AND REMOVED TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISHED WALLS, FLOORS AND CEILINGS TO A POINT THAT WILL ALLOW INSTALLATION OF NEW FINISHES.

11. DEMOLITION OF BEARING WALLS. THE CONTRACTOR IS TO CONFIRM ALL BEARING WALL CONDITIONS PRIOR TO DEMOLITION. ADEQUATE TEMPORY BRACING IS TO BE INSTALLED TO SUPPORT ALL CONSTRUCTION SUPPORTED BY BEARING WALLS PRIOR TO DEMOLITION.

12. WHERE EXISTING OUTLETS ARE INDICATED TO BE REMOVED OR CAPPED, ALL ELECTRICAL AND TELEPHONE WIRING SHALL BE REMOVED TO PERMIT THE INSTALLATION OF NEW OUTLETS.

13. THE CONTRACTOR SHALL CAP BEHIND FINISHED SURFACES ALL PROJECTING PLUMBING, FLOOR ELECTRICAL AND TELEPHONE OUTLETS, AND ALL OTHER PROJECTING ITEMS WHICH ARE BEING ABANDONED.

14. REMOVE ALL WALL COVERINGS AND SCRAPE LOOSE PAINT FROM SOUND PLASTER WALLS AND CEILING.

15. REMOVE OBVIOUSLY LOOSE AND SAGGING FLAT PLASTER FROM WALLS AND CEILING IN AREAS INDICATED ON THE DRAWING AND CUT BACK TO SOUND MATERIAL THAT IS WELL ANCHORED TO THE EXISTING LATH. DO NOT REMOVE DECORATIVE MOLDINGS, ROSES, OR TRIM UNLESS SPECIFICALLY INSTRUCTED TO DO SO BY THE OWNER. NOTIFY THE OWNER OF ALL DECORATIVE WORK THAT IS NOT SOUND AND SECURE AND AWAIT INSTRUCTIONS.

16. IN ALL AREAS WHERE DEMOLITION RESULTS IN UNEVENNESS IN THE SUBFLOOR CONSTRUCTION, THE CONTRACTOR SHALL PATCH THE AREA WITH MATCHING MATERIAL TO PROVIDE LEVEL AND SOUND UNDERLAYMENT TO RECEIVE NEW FINISHED FLOORING.

17. REMOVED MATERIAL SHALL BE TRANSMITTED TO THE GROUND BY MEANS OF AN APPROVED CHUTE OR ENCLOSED CONTAINERS. MATERIALS SHALL NOT BE THROWN DIRECTLY TO THE GROUND OR INTO REUSE CONTAINERS UNDER ANY CIRCUMSTANCES.

18. REMOVED MATERIALS NOT TO BE REUSED SHALL BE PLACED IN APPROVED CONTAINERS TO BE REMOVED OR EMPTIED WHEN FULL OR AS NECESSARY TO MAINTAIN A CLEAN AND SAFE WORK SITE. CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE SITE INCLUDING PLANTINGS AND ALL SUCH DAMAGE SHALL BE REPAIRED TO THE UNDAMAGED CONDITION.

HVAC NOTES

01. THE VENTILATING SYSTEM SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE CODE AND WITH THE APPLICABLE REQUIREMENTS OF REFERENCE STANDARD 13 (RS-13).

02. HEATING SYSTEM IS TO BE PROVIDED AND CAPABLE OF MAINTAINING 70 DEGREES F INSIDE AT 0 DEGREES OUTSIDE. COOLING SYSTEM SHALL BE CAPABLE OF MAINTAINING 70 DEGREES F AT 95 DEGREES OUTSIDE.

03. THE HVAC SYSTEM SHALL BE PROVIDED WITH ZONE CONTROLS, PIPING DUCTWORK, GRILLS, DIFFUSERS, REGISTERS AND ACCESSORIES SO AS TO INSURE COMPLETE PERFORMANCE OF THE SYSTEM.

04. PROVIDE BATHROOM NOT HAVING NATURAL VENTILATION WITH MECHANICAL VENTILATION CAPABLE OF FIVE (5) AIR CHANGES PER HOUR. VENT FANS TO EXTERIOR.

05. INTERIOR DUCTWORK SHALL BE MINIMUM 24 GAUGE GALVANIZED METAL AND SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CODE AND THE LATEST SMACNA STANDARDS.

06. NEW GRILLES, REGISTERS AND THERMOSTATS SHALL BE LOCATED IN WALLS AND CEILINGS PER THE ARCHITECT'S DRAWINGS AND FIELD DIRECTION.

07. UPON COMPLETION OF THE VENTILATION SYSTEM, A TEST SHALL BE CONDUCTED IN THE PRESENCE AND UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER QUALIFIED TO CONDUCT SUCH TESTS, OR OTHER PERSON HAVING NOT LESS THAN FIVE (5) YEARS EXPERIENCE SUPERVISING THE INSTALLATION OF VENTILATING SYSTEMS AND QUALIFIED TO CONDUCT SUCH TESTS. THE TEST SHALL DEMONSTRATE COMPLIANCE WITH THE CODE REQUIREMENTS FOR VENTILATION AND PROPER FUNCTIONING OF ALL OPERATING DEVICES BEFORE THE SYSTEM IS APPROVED.

08. THE TESTER SHALL FILE A CERTIFICATE INDICATING WHETHER THE TEST SHOWS THE RATE OF AIR SUPPLY AND EXHAUST MEETS THE REQUIREMENTS OF THE CODE.

09. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL BALANCE ALL SYSTEMS TO THE SATISFACTION OF THE OWNER.

PLUMBING NOTES

01. ALL PLUMBING WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CODE AND SHALL BE INSTALLED BY A LICENSED PLUMBER.

02. THE PLUMBING CONTRACTOR SHALL PROVIDE AND INSTALL ALL PLUMBING ROUGHING, PIPING, FIXTURES AND ACCESSORIES REQUIRED FOR A COMPLETE INSTALLATION.

03. THE PLUMBING CONTRACTOR SHALL COORDINATE HIS WORK WITH THE MECHANICAL CONTRACTOR AND WITH THE FIXTURE AND APPLIANCE MANUFACTURER'S ROUGHING DIAGRAMS.

04. ALL PIPE HANGERS AND SUPPORTS SHALL BE CONNECTED TO THE BUILDING STRUCTURE IN A MANNER APPROVED BY THE CODE. NO CHAIN STRAPS, PERFORATED BARS, WIRE HANGERS OR EXPANSION SHIELDS ARE PERMITTED. PLUMBING WORK MAY NOT BE SUSPENDED FROM THE WORK OF ANY OTHER TRADE.

05. PIPES PASSING THROUGH WALLS, PARTITIONS AND FLOORS SHALL BE SLEEVED.

06. ALL FIXTURES INSTALLED SHALL HAVE A LOCAL SHUT-OFF VALVE, OR WHERE FIXTURES ARE GROUPED, A BRANCH SHUT-OFF VALVE AT THE RISER, SO THAT ANY FIXTURE(S), LINE OR PIECE OF APPARATUS MAY BE CUT OFF FOR REPAIR WITHOUT INTERRUPTION OF THE SERVICE TO OTHER FIXTURES OR BRANCHES.

07. VALVES SHALL BE DESIGNED FOR REPACKING WHEN WIDE OPEN UNDER PRESSURE.

08. ALL PIPING SHALL BE TESTED AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION, PRIOR TO BEING COVERED-UP.

TELEPHONE & ELECTRIC NOTES

01. ALL TELEPHONE WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CODE AND SHALL BE INSTALLED BY A LICENSED ELECTRICIAN. ALL MATERIALS AND WORKMANSHIP SHALL BE AS RECOMMENDED AND REQUIRED BY THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE, UNDERWRITERS LABORATORIES, NATIONAL FIRE PROTECTION ASSOCIATION AND THE APPLICABLE CODES AND REFERENCE STANDARDS OF THE LOCAL MUNICIPALITY AND NEW YORK STATE. WHERE THESE REQUIREMENTS CONFLICT, THE MORE STRINGENT AND RESTRICTIVE REQUIREMENT SHALL ALWAYS APPLY.

02. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND LOCAL BUILDING INSPECTION APPROVALS AND SHALL PAY ALL ASSOCIATED FEES.

03. THE CONTRACTOR SHALL MODIFY AND REDESIGN ELECTRICAL DISTRIBUTION SYSTEM FOR THE PROJECT. PROVIDE MAXIMUM OF EIGHT RECEPTICALES PER CIRCUIT UNLESS OTHERWISE REQUIRED BY THE CODES. PROVIDE DEDICATED CIRCUITS AS REQUIRED BY THE EQUIPMENT. LIGHTING CIRCUITS SHALL NOT BE LOADED BEYOND 60% OF ITS CAPACITY. THE EQUIPMENT AND INSTALLATION SHALL MEET ALL APPLICABLE CODES.

04. CONTRACTOR SHALL INCLUDE ELECTRICAL DEMOLITION AND RECONFIGURING OF EXISTING POWER AND LIGHTING REQUIRED AS A RESULT OF DEMOLITION WORK.

05. GROUND FAULT CIRCUIT-INTERRUPTER PROTECTION SHALL BE PROVIDED FOR ALL RECEPTICAL OUTLETS IN GARAGE, BATHROOM, AND OUTDOOR NOT MORE THAN 6 1/2' ABOVE GRADE.

06. RECEPTICALES PROVIDED OUTDOORS, SHALL BE IN WEATHERPROOF ENCLOSURE.

07. CONTRACTOR SHALL SUPPLY ALL NECESSARY POWER, CABLE TV AND AUDIO SPEAKER WIRING AND CONDUIT, ALL RECEPTACLES, DEVICES AND COVER PLATES, POWER PANELS, DISCONNECT SWITCHES, OVERCURRENT PROTECTION AND SEPARATE APPLIANCE CIRCUITS AS REQUIRED FOR A COMPLETE INSTALLATION.

08. PROVIDE NEW ELECTRICAL HOUSE SERVICE AS REQUIRED FOR NEW AND EXISTING ELECATRICAL DEVICES, LIGHTING, APPLIANCES AND CENTRAL AIR CONDITIONING.

09. THE HEIGHT AND ORIENTATION (VERTICAL OR HORIZONTAL) OF SWITCHES AND OUTLETS, AND SPEAKER, CABLE TV AND TELEPHONE JACKS SHOULD MATCH THE HEIGHTS AND ORIENTATIONS OF THE EXISTING DEVICES IN A GIVEN ROOM, UNLESS OTHERWISE SPECIFICALLY NOTED.

10. WHERE MORE THAN ONE SWITCH OCCURS IN A SINGLE LOCATION, THE SWITCHES SHALL BE GANGED UNDER A SINGLE COVER PLATE.

11. ALL WALL-MOUNTED PAIRED OR MULTIPLE RECEPTACLES AND TELEPHONE, CABLE TV AND AUDIO SPEAKER JACKS SHALL BE SET 6", CENTER TO CENTER, UNLESS OTHERWISE NOTED.

12. IF EXISTING OR ENCOUNTERED CONDITIONS PROHIBIT THE INSTALLATION OF DEVICES IN THE SPECIFIED LOCATIONS OR MANNER DESCRIBED ABOVE, NOTIFY THE ARCHITECT TO DETERMINE ALTERNATE LOCATIONS. DO NOT SELECT ALTERNATE LOCATIONS WITHOUT THE ARCHITECT'S APPROVAL.

13. NEW SWITCHES, RECEPTACLES AND JACKS (TELEPHONE, CABLE TV AND AUDIO SPEAKER) ARE INDICATED ON THE POWER PLAN. ALL DEVICES SHALL BE CIRCUITED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW YORK CITY BUILDING CODE AND THE APPLICABLE REFERENCE STANDARDS.

14. NEW OUTLETS AND JACKS (TELEPHONE, CABLE TV AND AUDIO SPEAKER) LOCATED IN EXISTING WALLS SHALL BE CHOPPED IN AND COVERPLATES MOUNTED FLUSH WITH THE SURFACE OF THE WALL. RECEPTACLES IN WALLS WITH SPECIAL APPLIED FINISHES SHALL HAVE THE FACE OF THE ROUGHING BOX SET FLUSH WITH THE FACE OF THE APPLIED FINISH.

15. ALL EXISTING POWER OUTLETS AND SWITCHES TO REMAIN ARE TO RECEIVE NEW INVARDS AND COVERPLATES IN A COLOR/STYLE SPECIFIED BY THE ARCHITECT, AND SHALL BE INDISTINGUISHABLE FROM NEW OUTLETS AND SWITCHES.

TELEPHONE & ELECTRIC NOTES (cont.)

16. EXISTING DEVICES TO BE ABANDONED SHALL HAVE COVERPLATES REMOVED, SHALL BE PROPERLY BLOCKED AND SHALL BE SET BACK SO THAT THEY WILL BE COMPLETELY COVERED BY NEW WALL FINISHES OR SHALL BE PATCHED SO THAT THEY DO NOT "TELEGRAPH" THEIR LOCATION.

17. ALL WIRING SHALL BE RUN IN RIGID OR FLEXIBLE CONDUIT RUNS CONCEALED IN WALLS AND CEILINGS AS PERMITTED BY CODE. SURFACE MOUNTED CONDUIT IS STRICTLY PROHIBITED, UNLESS SPECIFICALLY NOTED ON THE DRAWINGS.

18. ELECTRICAL CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL MECHANICAL WORK, CABINET WORK AND PARTITION WORK. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL POWER WIRING REQUIRED FOR THE VENTILATION AND AIR CONDITIONING SYSTEMS. CONTROL WIRING TO BE BY HVAC CONTRACTOR.

19. WHERE OUTLETS, JUNCTION BOXES AND OTHER DEVICES ARE LOCATED BEHIND CABINETS, THE CABINET CONTRACTOR SHALL PROVIDE FOR ACCESS TO THESE BOXES IF DESIGN APPEARANCE, STRUCTURE OR FUNCTION OF THE CABINET IS NOT IMPAIRED.

20. THE CONTRACTOR SHALL CHECK CEILING CONDITIONS FOR STRUCTURAL AND MECHANICAL INTERFERENCE PRIOR TO THE INSTALLATION OF ANY RECESSED LIGHTING. AREAS OF CONFLICT WITH THE FIXTURE LOCATIONS INDICATED ON THE DRAWINGS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. OBTAIN THE ARCHITECT'S APPROVAL PRIOR TO SELECTING ALTERNATE LOCATIONS OR SPACING OF LIGHTING FIXTURES.

21. ALL ELECTRICAL, TELEPHONE AND CABLE TV CONDUIT SHALL BE SUPPORTED BY STAND-OFFS AND SHALL BE SECURED TO BUILDING STRUCTURE SEPARATELY FROM OUTLETS, DEVICES AND FIXTURES, WHICH ARE SECURED TO THE BUILDING. OUTLET BOXES SHALL BE INDEPENDENTLY SUPPORTED FROM THE BUILDING STRUCTURE AND SHALL NOT BE SUPPORTED BY CONDUIT.

22. THE CONTRACTOR SHALL CLEAN AND RELAMP ALL EXISTING LIGHT FIXTURES TO REMAIN OR TO BE RELOCATED.

23. ALL CABLE TV AND TELEPHONE WORK SHALL BE COORDINATED BY THE GENERAL CONTRACTOR WITH THE OWNER'S TELEPHONE AND CABLE TV REPRESENTATIVES AND THE ELECTRICAL CONTRACTOR. THE CONTRACTOR SHALL LOCATE NEW TELEPHONE AND CABLE TV JACKS WHERE INDICATED ON THE DRAWINGS AND SHALL PROVIDE ALL NECESSARY CONDUIT RUNS TO TELEPHONE EQUIPMENT, PANELS AND STRIP PANELS AND TO THE INCOMING CABLE TV SERVICE. ALL TELEPHONE AND CABLE TV WIRING SHALL BE RUN IN A FULLY CONCEALED CONDUIT. CONDUIT SIZES ARE TO BE DETERMINED BY THE TELEPHONE COMPANY AND CABLE TV COMPANY ENGINEERS.

24. INSTALL LIGHTING FIXTURES PROVIDED BY THE OWNER IN THE LOCATIONS SHOWN ON THE DRAWINGS AND IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE AND SECURE SUBSTRATE FOR LIGHTING FIXTURE INSTALLATIONS.

25. CLEAN ALL DIFFUSERS, LAMPS, GLASSWARE, LUMINAIRES, TRIM AND REFLECTORS, AND REPLACE BURNED-OUT LAMPS IMMEDIATELY BEFORE FINAL ACCEPTANCE. ALL FIXTURES ARE TO BE FULLY LAMPED AND OPERATIONAL AT FINAL ACCEPTANCE.

26. ALL SWITCHES SHALL BE BUILDING STANDARD, SET 12" FROM DOOR BUCK TO CENTERLINE OF FIRST SWITCH PLATE, UNLESS OTHERWISE INDICATED ON THE ELECTRICAL AND TELEPHONE PLAN OR DETAIL DRAWINGS.

27. ALL WALL OUTLETS AND TELEPHONE JACKS SHALL BE MOUNTED VERTICALLY UNLESS OTHERWISE NOTED. HEIGHT FROM THE FINISHED FLOOR TO THE CENTERLINE OF THE PLATE SHALL BE 12" U.O.N.

28. ALL OUTLETS ON COLUMNS SHALL BE CENTERED ON THE COLUMN FACE UNLESS OTHERWISE NOTED.

29. ELECTRICAL CONTRACTOR SHALL PROVIDE STUB-UPS AND DRAGLINES IN WALLS TO RECEIVE TELEPHONE AND COMPUTER WIRING. STUB-UPS ARE TO END 6" ABOVE THE HUNG CEILING AND ARE TO BE BENT 90 DEGREES IN A SMOOTH RADUIS.

30. CONTRACTOR SHALL SUPPLY AND INSTALL ALL POWER PANELS, DISCONNECT SWITCHES AND SEPARATE CIRCUITS AS REQUIRED FOR COMPLETE CODE COMPLIANT INSTALLATION.

31. ALARM SYSTEM: THE ALARM SYSTEM IS TO BE PROVIDED AND INSTALLED BY OWNER. THE CONTRACTOR IS TO INFORM THE OWNER OF THE OPTIMUM TIME/ DATE FOR THE THE SECURITY SYSTEM TO BE INSTALLED.

32. FIRE ALARM AND SMOKE DETECTOR TO BE PROVIDED AS PER CODE.



<div>PAINTING NOTES</div> <div><p>01. PROVIDE THE FOLLOWING PAINT FINISHES OR APPROVED EQUAL, COLORS TO BE DETERMINED:</p><p>A) INTERIOR GYPSUM BOARD WALLS: (PRIMER) ONE COAT BENJAMINE MOORE 100% ACRYLIC PRIMER #023 (FINISH) TWO COATS BENJAMINE MOORE REGAL FLAT FINISH WALL SITIN #215</p><p>B) INTERIOR WOOD TRIM, WOOD WINDOWS AND DOORS AND PAINT GRADE MILLWORK: (PRIMER) ONE COAT BENJAMINE MOORE 100% ACRYLIC PRIMER #023 (FINISH) TWO COATS BENJAMINE MOORE REGAL SEMIGLOSS ENAMEL #224</p><p>C) INTERIOR CEILING: (PRIMER) ONE COAT BENJAMINE MOORE 100% ACRYLIC PRIMER #023 (FINISH) ONE COAT BENJAMINE MOORE CEILING WHITE #258</p><p>D) EXTERIOR WOOD TRIM: (PRIMER) MOORECRAFT SUPERSPEC ALKYD PRIMER #176 (FINISH) BENJAMINE MOORE ACRYLIC SEMI GLOSS #M29</p><p>02. WALLS SHALL INCLUDE ALL SURFACES FROM FLOOR TO CEILING, INCLUDING FASCIAS, PILASTERS, COLUMN FACES, JAMBS, BUCKS, REVEALS, AND RETURNS.</p><p>03. THE WORK IS TO INCLUDE ALL "TOUCH-UP" AND REPAIR WORK REQUIRED AFTER THE COMPLETION OF WORK BY OTHER TRADES OR IDENTIFIED AS NECESSARY ON THE ARCHITECT'S "PUNCH-LIST" FOR A COMPLETE AND FAULTLESS INSTALLATION.</p><p>04. ALL MATERIALS USED FOR COATING SYSTEMS FOR EACH TYPE OF SURFACE SHALL BE THE PRODUCT OF A SINGLE MANUFACTURER, BENJAMIN MOORE &amp; CO.. PAINT TYPES AND GLOSS TO BE PER SCHEDULE AND DRAWINGS. SPECIAL PURPOSE PAINTS SHALL BE NOTED BY TYPE AND MANUFACTURER ON THE DRAWINGS. COLORS TO BE PER DRAWINGS. PRIMERS SHALL BE TINTED TO APPROXIMATE THE COLOR OF THE FINISH COATS.</p><p>05. DELIVER MATERIALS IN THE MANUFACTURER'S ORIGINAL CARTONS OR PACKAGES WITH LABELS CLEARLY DEFINING THE TYPE AND NAME OF THE MATERIAL.</p><p>06. REMOVE ALL EXISTING WALL COVERINGS AND PREPARE ALL SURFACES IN STRICT ACCORDANCE WITH THE NEW COATING MANUFACTURER'S RECOMMENDED PRACTICES FOR THE PARTICULAR SUBSTRATE PRIOR TO APPLICATION OF THE FINISH. REMOVE ALL LOOSE AND PEELING PAINT. ALL SURFACES SHALL BE SOUND, CLEAN AND DRY PRIOR TO THE APPLICATION OF NEW COATINGS.</p><p>07. THE PAINTING CONTRACTOR SHALL REMOVE AND PATCH HOLES FROM ALL MISCELLANEOUS NAILS, HOOKS, STAPLES, WIRES AND OTHER SURFACE ITEMS THAT ARE NOT REQUIRED PARTS OF EXISTING OR NEW INSTALLATIONS PRIOR TO PERFORMING ANY GENERAL SURFACE PREPARATION.</p><p>08. THE PAINTING CONTRACTOR SHALL REMOVE ALL HARDWARE, HARDWARE ACCESSORIES, MACHINED SURFACES, PLATES, LIGHTING FIXTURES AND SIMILAR ITEMS IN PLACE AND NOT TO BE FINISH PAINTED PRIOR TO GENERAL SURFACE PREPARATION. REMOVE AS REQUIRED STORM WINDOWS, SHUTTERS, SIGNS AND ALL OTHER OBSTRUCTIONS IN ORDER TO COMPLETELY PAINT EACH INDICATED SURFACE OR ITEM. FOLLOWING THE COMPLETION OF PAINTING OF EACH SPACE OR AREA, REINSTALL OR REPLACE THE REMOVED ITEM.</p><p>09. ALL DOORS, WINDOWS AND MOVABLE FEATURES SHALL REMAIN OPERABLE AND SHALL NOT BE PAINTED SHUT OR BOUND AS A RESULT OF THE PAINTING WORK. WHERE NECESSARY TO ALLOW OPERATION, REMOVE PREVIOUS PAINT LAYERS RATHER THAN CUT OR SAND WOODEN ELEMENTS. REFINISH AS REQUIRED.</p><p>10. COMPLY WITH ALL MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS REGARDING ENVIRONMENTAL CONDITIONS UNDER WHICH THE COATING CAN BE APPLIED, THE THINNING OF COATING MATERIALS, AND THE REQUIRED DRYING TIMES BETWEEN SUCCESSIVE COATS. APPLY ONE COAT OF PRIMER AND TWO COATS OF PAINT.</p><p>11. APPLY ADDITIONAL COATS WHEN UNDERCOATS, STAIN, OR OTHER CONDITIONS SHOW THROUGH FINAL COAT OF PAINT, UNTIL PAINT FILM IS OF UNIFORM FINISH, COLOR AND APPEARANCE. INSURE THAT SURFACES, INCLUDING EDGES, CORNERS, CREVICES, WELDS AND EXPOSED FASTENERS RECEIVE A DRY FILM THICKNESS EQUIVALENT TO THAT OF FLAT SURFACES.</p><p>12. UPON COMPLETION OF THE PAINTING WORK, CLEAN AND TIDORIM ALL WINDOW GLASS WITH A RAZOR BLADE AND CLEAN OTHER PAINT SPLATTERED SURFACES (INCLUDING LIGHT FIXTURES) USING DILIGENT CARE NOT TO SCRATCH OR OTHERWISE DAMAGE FINISHED SURFACES. REMOVE TEMPORARY PROTECTIVE WRAPPINGS PROVIDED BY OTHERS FOR PROTECTION OF THEIR WORK, AFTER THE COMPLETION OF THE PAINTING OPERATION.</p><p>13. THE ARCHITECT SHALL REVIEW AND APPROVE THE FINAL PAINT APPLICATION, INCLUDING THE ADEQUACY OF COVERAGE AND THE VISUAL APPEARANCE OF THE END PRODUCT BEFORE FINAL PAYMENT IS AUTHORIZED.</p><p>14. THE CONTRACTOR SHALL INSTALL WALL COVERING PROVIDED BY THE OWNER, WHERE DESIGNATED ON THE DRAWINGS. ALL WALLCOVERINGS SHALL BE SMOOTH, FREE FROM WRINKLES, BUBBLES AND LOOSE EDGES. ALL PASTE AND BRUSH MARKS SHALL BE COMPLETELY REMOVED.</p></div>	<div>INTERIOR FINISH WOOD TRIM AND MOLDINGS</div> <div><p>01. ALL FINISH WOOD TRIM, BASE, DOOR AND WINDOW CASINGS TO BE FREE OF KNOTS AND IMPERFECTIONS. SEE SP200 FOR MOLDING SPECIFICATIONS</p><p>02. ALL WOOD TRIM TO BE PAINTED PER PAINTING SPECIFICATION SECTION.</p><p>03. ALL MOLDINGS TO BE FASTENED w/ FINISH NAILS. ALL NAIL HOLES TO BE FILLED PRIOR TO PAINTING AND SANDED.</p></div> <div>CABINET NOTES</div> <div><p>01. PROVIDE ALL ITEMS OF CABINET WORK INDICATED ON THE DRAWINGS AND AS HEREIN SPECIFIED, INCLUDING ALL TOPS, SIDES, BACKS, BOTTOMS, DIVIDERS, SHELVES, FRONTS, DOORS AND DRAWER FRONTS. ALL ITEMS SHALL BE CONSTRUCTED OF PLYWOOD CORE WITH THE SPECIFIED HARD WOOD OR VENEER AS INDICATED ON DRAWINGS. INTERIORS TO BE BIRCH PLYWOOD WITH CLEAR SATIN FINISH. FINISH CABINETRY TO BE BIRCH OR MAPLE. FINISH TO BE WHITE ACRYLIC LACQUER-SATIN SHOP SPRAY APPLICATION.</p><p>02. ALL CLOSETS TO BE PROVIDED WITH A WOOD HAT SHELF ON CONCEALED CLEATS AT X" A.F.F. AND A METAL HANG ROD AT X" A.F.F. PROVIDE CONCEALED BLOCKING FOR RODS AND SHELVES IN CLOSET WALLS. PROVIDE SUPPORTS AND RODS FOR [ROOM NAME] AS SHOWN IN ELEVATIONS.</p><p>03. MATERIALS AND WORKMANSHIP FOR ALL CABINETS AND ARCHITECTURAL WOODWORK SHALL BE GOVERNED BY THE REQUIREMENTS OF THE ARCHITECTURAL WOODWORK INSTITUTE (AWI) QUALITY STANDARDS, LATEST EDITION. ALL WORK FOR THIS PROJECT SHALL CONFORM TO "PREMIUM GRADE" AS DEFINED BY THE AWI QUALITY STANDARDS, UNLESS OTHERWISE NOTED IN THE CONTRACT DOCUMENTS.</p><p>04. SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW PRIOR TO FABRICATION OF ANY ITEM. SHOP DRAWINGS SHALL INCLUDE PLANS AND ELEVATIONS AT 3/4"=1'-0" AND TYPICAL CONSTRUCTION DETAILS AT 3"=1'-0". SHOP DRAWINGS SHALL INDICATE ALL MATERIALS, THICKNESSES AND FINISHES AND SHOW ALL FINISH HARDWARE, ANCHORS, FASTENINGS AND ACCESSORIES.</p><p>05. SHOP DRAWINGS SHALL SHOW ALL JOINTING, JOINT TREATMENT AND BUTT JOINTING IN PLASTIC LAMINATE, WOOD VENEERS AND STAINLESS STEEL, AND SHALL INDICATE THE DIRECTION OF THE GRAIN AND PATTERN (E.G. "BOOKMATCHED") FOR EACH CABINET PIECE.</p><p>06. ALL SHOP DRAWINGS SHALL CLEARLY NOTE ALL WORK ADJACENT TO OR ABUTTING THE WORK OF THIS SECTION. INCLUDE ALL PREPARATIONS FOR MECHANICAL, ELECTRICAL, TELEPHONE AND PLUMBING WORK REQUIRED.</p><p>07. VERIFY ALL DIMENSIONS AFFECTING THE WORK AT THE JOB SITE PRIOR TO FABRICATION. BRING FIELD DIMENSIONS WHICH ARE AT VARIANCE WITH THE CONTRACT DOCUMENTS TO THE ATTENTION OF THE ARCHITECT FOR DETERMINATION OF CORRECTIVE MEASURES. PERFORM ALL FABRICATION FROM FIELD MEASUREMENTS WITH PROVISIONS FOR SCRIBING AS REQUIRED TO MEET BUILD-IN CONDITIONS.</p><p>08. THE CONTRACTOR SHALL SUBMIT SAMPLES OF THE FOLLOWING ITEMS TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATIONS:</p><p>A) STONE COUNTERTOP AS SPECIFIED - (3) 12" x 12" SAMPLES</p><p>B) WOOD VENEER FINISH AS SPECIFIED - (2) 12' x 12' FOR EACH SPECIES, FINISHED ON ONE SIDE, AND LABELED AS TO SPECIES AND FINISH.</p><p>C) CABINET HARDWARE - (1) EACH ACTUAL PIECE (TO BE RETURNED)</p><p>D) GLASS - (3) 6" x 6" EACH TYPE</p><p>09. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF MAXIMUM DELIVERABLE SIZE OF ALL UNITS AND SUB-UNITS ONTO THE PROJECT PREMISES AND TO POINT OF INSTALLATION.</p><p>10. ALL WORK SHALL BE SHOP ASSEMBLED. WORK THAT IS TOO LARGE FOR ENTRANCE INTO THE USE AREA SHALL BE FABRICATED IN DETACHABLE SECTIONS WITH PROVISIONS FOR RECONNECTING THE SECTIONS IN THEIR FINAL POSITION THAT WILL NOT BE VISIBLE UPON COMPLETION OF THE INSTALLATION.</p><p>11. CONTRACTOR SHALL PROTECT FINISHED CABINET WORK FULLY FROM THE WEATHER WHILE IN TRANSIT FROM POINT OF ORIGIN OR FABRICATION TO THE SITE. AT THE SITE, THE CONTRACTOR IS RESPONSIBLE FOR PLACING ALL DELIVERED MATERIALS IMMEDIATELY UNDER COVER AND FOR ADEQUATELY PROTECTING ALL UNITS FROM WORK SITE DAMAGE. STORE AND HANDLE IN SUCH A MANNER AS TO KEEP CLEAN AND AVOID BLEMISHING OR DAMAGING THE CABINETWORK.</p><p>12. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR DELIVER FINISHED CABINETWORK TO ANY PART OF THE BUILDING UNTIL ALL SPACKLE, CEMENT, PLASTER AND OTHER "WET" WORK HAVE BEEN COMPLETED AND THOROUGHLY CURED AND DRIED.</p><p>13. COORDINATE THE WORK OF THIS SECTION WITH THE WORK OF OTHER TRADES.</p><p>14. VENEERS SHALL BE SELECTED FROM FLITCHES OF SPECIFIED QUALITY CONTAINING PROPER QUANTITIES TO ALLOW CONSISTENT GRAIN, COLOR AND TONE THROUGHOUT THE ENTIRE JOB. GRAIN PATTERN AND DIRECTION SHALL BE VERTICAL AND AS INDICATED ON THE APPROVED SHOP DRAWINGS. ARCHITECT TO APPROVE FLITCH SELECTIONS.</p><p>15. SURFACES OF SHELVING, DRAWER SIDES, SUB-FRONTS AND OTHER INTERIORS EXCEPT DRAWER BOTTOMS, SHALL BE SOLID STOCK BIRCH OR BIRCH VENEERED PLYWOOD, THICKNESS AS REQUIRED OR AS SHOWN ON THE DRAWINGS. SOLID STOCK WHITE MAPLE OR MAPLE VENEER PLYWOOD MAY BE SUBSTITUTED FOR BIRCH UPON APPROVAL OF SUBMITTED SAMPLES. ALL EXPOSED EDGES OF DOORS, SHELVES, ETC., SHALL BE Banded WITH SOLID WOOD BY METHOD INDICATED ON THE APPROVED SHOP DRAWINGS.</p><p>16. REINFORCING IS NOT ORDINARILY SHOWN ON THE DRAWINGS. IT IS THE RESPONSIBILITY OF THIS CONTRACTOR TO PROVIDE ANY AND ALL REINFORCING REQUIRED TO ENSURE A RIGID AND SUBSTANTIAL ASSEMBLY. THE FABRICATOR IS RESPONSIBLE FOR ADEQUATE RIGIDITY AND STRUCTURAL STABILITY.</p><p>17. ALL SURFACES SHALL BE FREE FROM DENTS, TOOL MARKS, WARPAGE, BUCKLES, GLUE, OPEN JOINTS OR OTHER DEFECTS AFFECTING SERVICEABILITY OR APPEARANCE AS DETERMINED BY THE ARCHITECT.</p><p>18. MAKE ALL JOINTS HAIRLINE TIGHT, FITTED ACCURATELY AND JOINED WITH HARDWOOD SPLINES OR DOWELS, GLUED TOGETHER, OR BY OTHER MEANS THAT HAVE BEEN INDICATED ON THE SHOP DRAWINGS AND REVIEWED AND APPROVED BY THE ARCHITECT.</p><p>19. COMPLY WITH AWI SECTION 1500, PREMIUM GRADE FOR SANDING, PLUGGING AND FILLING COUNTERSUNK FASTENERS, BACK PRIMING AND SIMILAR PREPARATIONS FOR THE FINISHING OF ARCHITECTURAL WOODWORK AND CABINETRY, AS APPLICABLE TO EACH UNIT.</p></div>	<div>CABINET NOTES (cont.)</div> <div><p>20. PROVIDE PROPER AND ADEQUATE FRAMING AND SUPPORT FOR ALL STONE AND SOLID PLASTIC COUNTERTOPS. SHOP DRAWINGS SHALL BE PROVIDED TO THE SUPPLIER FOR VERIFICATION OF ATTACHMENT AND OVERALL SUPPORT OF COUNTERTOPS.</p><p>21. PROVIDE ALL WOOD GROUNDS, BLOCKING, NAILERS, AND FURRING FOR WORK OF THIS SECTION, WHERE SHOWN AND WHERE REQUIRED, DRESSED TO SIZE AS INDICATED OR REQUIRED TO SUIT THE SPECIFIC CONDITIONS. INSTALL GROUNDS, BLOCKING, NAILERS AND FURRING RIGIDLY, IN PROPER ALIGNMENT, TRUED WITH A LONG STRAIGHT EDGE OR SPIRIT LEVEL. ANCHOR WOODWORK TO ANCHORS OR BLOCKING, BUILT-IN OR DIRECTLY ATTACHED TO SUBSTRATA. SECURE TO GROUNDS, STRIPPING AND BLOCKING WITH COUNTERSUNK, CONCEALED FASTENERS AND BLIND NAILING AS REQUIRED FOR A COMPLETE INSTALLATION.</p><p>22. PROVIDE ALL ROUGH HARDWARE INCLUDING NAILS, SCREWS, BOLTS, ANCHORS, HANGERS, CLIPS AND SIMILAR ITEMS. HARDWARE SHALL BE OF THE APPROPRIATE SIZE AND KIND TO ADEQUATELY SECURE THE WORK IN PLACE IN A RIGID AND SUBSTANTIAL MANNER. USE GALVANIZED OR STAINLESS STEEL HARDWARE AT EXTERIOR WALLS AND AT OTHER LOCATIONS WHERE MOISTURE WILL BE PRESENT (SUCH AS BATHROOMS AND KITCHENS).</p><p>23. USE ONLY CONCEALED FASTENERS FOR JOINING AND ASSEMBLING THE WORK. WHERE THIS IS IMPOSSIBLE, THE MEANS OF SECURING THE CABINETWORK SHALL BE PLACED IN INCONSPICUOUS AREAS AND METHODS OF JOINING AND ASSEMBLING MUST BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL.</p><p>24. CONNECTIONS AND FASTENINGS SHALL BE MADE IN SUCH A MANNER AS TO COMPENSATE FOR SWELLING AND SHRINKING AND AS WILL PERMIT THE WORK TO REMAIN PERMANENTLY IN PLACE WITHOUT ANY SPLITTING OR OPENING OF JOINTS. COVER ALL SURFACES FASTENINGS WITH MATCHING WOOD PLUGS OR WOODPUTTY.</p><p>25. INSTALL WORK TRUE TO LINES, LEVELS AND DIMENSIONS, SQUARE, ALIGNED AND PLUMB, SECURELY AND RIGIDLY FASTENED IN PLACE WITH NO DISTORTIONS OR RACKING. SHIMS AS REQUIRED USING CONCEALED SHIMS. INSTALL TO A TOLERANCE OF 1/8" IN 10'-0" FOR PLUMB AND LEVEL (INCLUDING COUNTERTOPS), WITH 1/16" MAXIMUM OFFSET IN FLUSH ADJOINING SURFACES, AND 1/8" MAXIMUM OFFSETS IN REVEALED ADJOINING SURFACES.</p><p>26. ALL ITEMS OF FINISH HARDWARE FURNISHED UNDER THIS SECTION SHALL BE CAREFULLY FITTED AND SECURED IN PLACE AS PART OF THE WORK OF THIS SECTION. LOCATIONS AND POSITIONING OF THE HARDWARE SHALL BE SUBJECT TO THE ARCHITECT'S APPROVAL AND MUST BE INDICATED ON THE SHOP DRAWINGS. CARE SHALL BE TAKEN NOT TO MAR OR DAMAGE THE HARDWARE, OR OTHER WORK, DURING INSTALLATION OF THE HARDWARE. INSTALL DOORS PLUMB AND TRUE. HARDWARE SHALL BE FITTED TO ASSURE OPERATION WITHOUT FORCING.</p><p>27. UPON COMPLETION OF THE WORK, BEFORE FINAL ACCEPTANCE OF THE BUILDING BY THE OWNER, THIS CONTRACTOR SHALL, IN THE PRESENCE OF THE ARCHITECT, DEMONSTRATE THAT ALL THE HARDWARE IS IN SATISFACTORY WORKING ORDER; FIT ALL KEYS IN THEIR RESPECTIVE LOCKS AND UPON ACCEPTANCE OF THE WORK, SHALL TAG AND DELIVER ALL KEYS TO THE OWNER.</p><p>28. WHERE DIRECTED BY THE OWNER, AT ANY TIME DURING THE FIRST YEAR AFTER THE COMPLETION OF THE CONTRACT, THIS CONTRACTOR SHALL RETURN TO THE BUILDING AND ADJUST AND REFIT THE WORK AND HARDWARE, AND PUT ALL ITEMS IN SATISFACTORY WORKING ORDER.</p></div> <div>FLOOR COVERING NOTES</div> <div><p>01. THE GENERAL CONTRACTOR SHALL PREPARE THE EXISTING FINISHED FLOOR TO RECEIVE THE INSTALLATION OF ALL FLOOR COVERING. THIS WORK SHALL INCLUDE THE ELIMINATION OF RISERS AND PROJECTIONS, AND THE FILLING OF ALL DIPS AND UNEVEN AREAS WHICH MAY BE DETRIMENTAL TO THE INSTALLATION OF THE FLOOR COVERING. INSTALL 3/4" PLYWOOD SUB FLOOR. COMMENCEMENT OF FLOOR COVERING INSTALLATION INDICATES ACCEPTANCE OF THE SUBSTRATE CONDITIONS.</p><p>02. ALL CLOSETS SHALL HAVE THE IDENTICAL FLOOR COVERING AS ADJACENT AREAS.</p><p>03. FLOOR COVERING SHALL BE NEATLY AND ACCURATELY CUT TO FIT INTO ALL BREAKS, RECESSES AND REVEALS, AND TO FIT TIGHTLY AGAINST BASES, PERMANENT CABINETS OR FURNITURE AND EQUIPMENT.</p><p>04. WOOD FLOOR: PROVIDE THE FOLLOWING:</p><p>A) SPECIES: OAK B) GRADE: SELECT C) CUT: PLAIN SAWN</p><p>COMPLY WITH NATIONAL OAK FLOORING MANUFACTURERS ASSOCIATION (NOFMA) GRADING RULES FOR ABOVE SPECIES, GRADE AND CUT. PROVIDE FLOORING CARRYING NOFMA GRADE STAMP ON EACH BUNDLE OR PIECE.</p><p>D) MATCHING: TONGUE-AND-GROOVED AND END MATCHED</p><p>E) THICKNESS: 3/4"</p><p>F) FACE WIDTH: 2 1/4"</p><p>G) LENGTHS: PROVIDE STANDARD RANDOM LENGTH STRIPS, COMPLYING WITH APPLICABLE GRADING RULES</p><p>H) SEASONING: MANUFACTURE SOLID WOOD FLOORING FROM KILN DRIED LUMBER</p><p>I) FINISH: STAIN WITH PENETRATING, NON-FADING WOOD STAIN OF COLOR CHOSEN BY ARCHITECT. SEAL WITH WATER-BASED POLYURETHANE COMPLYING WITH ENVIRONMENTAL AND FLAMMABILITY RESTRICTIONS, SPECIALLY COMPOUNDED FOR MULTIPLE COAT APPLICATION ON WOOD FLOORS</p><p>J) WOOD TRIM</p><p>K) ALL EXISTING OAK FLOORS ARE TO SANDED &amp; REFINISHED</p><p>05. WOOD FLOOR INSTALLATION: COMPLY WITH FLOORING MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS, BUT NOT LESS THAN THAT RECOMMENDED IN NOFMA "HARDWOOD FLOORING INSTALLATION." FOLLOW DIRECTION INDICATED ON FLOOR PLAN. BLIND NAIL FLOORING PER NOFMA RECOMMENDATIONS, PROVIDE MIN. 3/4" EXPANSION SPACE TO BE FULLY CONCEALED BY TRIM AND NAIL BASEBOARD TO WALL AND SHOE MOULDING TO BASEBOARD.</p><p>06. WOOD FLOOR FINISH: SCHEDULE FLOOR FINISHING TO BE COMPLETED JUST BEFORE FINAL INSPECTION. MACHINE SAND TO REMOVE NON-LEVEL CONDITIONS AND MARKS. USE THREE GRADES OF SANDPAPER, ENDING WITH 00 GRADE VACUUM AND TACK CLEAN AND IMMEDIATELY APPLY FINISH. APPLY STAIN, WOOD FILLER, TWO COATS OF SEALER AND FLOOR FINISH ACCORDING TO MANUFACTURER'S INSTRUCTIONS. APPLY FINISH AS NEED TO BUILD A DRY FILM THICKNESS OF AT LEAST 3.0 MILS. ALLOW TO CURE 6 TO 7 DAYS, THEN APPLY HEAVY KRAFT PAPER TYPE PROTECTION.</p><p>07. CERAMIC TILE INSTALLATION: COMPLY WITH THE MOST CURRENT HANDBOOK FOR CERAMIC TILE INSTALLATION AS PUBLISHED BY THE TILE COUNCIL OF AMERICA, INC. AND AMERICAN NATIONAL STANDARDS SPECIFICATIONS FOR CERAMIC TILE (ANSI A137.1-1988). INSTALL CERAMIC TILE FLOORS, WALLS AND BASES USING THE THIN-SET METHOD. COMPLYING WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. LAYOUT TILEWORK ACCURATELY AS SHOWN ON DRAWINGS AND PROVIDE TRIM SUCH AS CAPS, ANGLE TIES, COVES AND OTHER SHAPES AS REQUIRED TO COMPLETE WORK SEAMLESSLY. ALLOW TILE TO SET FOR A MINIMUM OF 48 HOURS BEFORE GROUTING AND SPREAD GROUT UNIFORMLY AND FILL JOINTS SOLIDLY. CLEAN TILES COMPLETELY AND PROTECT TILE FROM DAMAGE DURING CONSTRUCTION.</p><p>08. ALL CARPET IS TO BE PROVIDED AND INSTALLED BY OWNER.</p><p>09. TILE SHALL BE LAID IN A SQUARE PATTERN WITH COURSES PARALLEL TO WALLS, UNLESS OTHERWISE INDICATED ON THE DRAWINGS. TILE SHALL BE SECURELY CEMENTED AND SHALL BE LAID WITH JOINTS BUTTED TIGHTLY. THE ADHESIVE SHALL BE AS RECOMMENDED BY THE TILE MANUFACTURER AND APPLIED PER THE ADHESIVE MANUFACTURER'S RECOMMENDATIONS.</p></div>	<div>WINDOWS AND EXTERIOR GLASS DOORS</div> <div><p>01. EXTERIOR WINDOWS TO BE AS SPECIFIED ON DRAWING SP200. ALL WINDOWS TO HAVE INSULATING GLASS. CONTRACTOR IS TO VERIFY ALL WINDOW AND EXTERIOR DOOR DIMENSIONS. PROVIDE SCHEDULE AND SHOP DRAWINGS OF WINDOW AND DOOR TYPES AND DIMENSIONS TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING. SUBMIT ALL PRODUCT SPECIFICATION DATA TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING.</p><p>02. EXTERIOR WINDOW CASINGS TO BE PAINTED AZEK (PVC). INTERIOR WINDOW CASINGS TO BE PAINTED WOOD. SEE CONSTRUCTION DRAWINGS FOR PROFILES/ DIMENSIONS. ALL WINDOWS AND FRAMES ARE TO BE ANCHORED PER MANUFACTURERS RECOMMENDATION. ALL FASTENERS AND ANCHORS ARE TO BE CONCEALED. ANCHORS/ FASTENERS ARE TO FULLY PENETRATE FRAMING.</p><p>03. ALL INTERIOR WOOD TRIM, BASE TO BE FINISH GRADE FREE OF KNOTS AND IMPERFECTIONS. ALL FACE NAILING TO BE FILLED AND SANDED PRIOR TO PAINTING.</p></div> <div>EXTERIOR TRIM AND MOLDINGS</div> <div><p>01. ALL EXTERIOR TRIM, CASINGS, FASCIAS AND BEAD BOARD AT SOFFITS TO BE PAINTED AZEK (PVC) OR EQUAL. SEE CONSTRUCTION DRAWINGS AND DETAILS FOR DIMENSIONS AND TYPES</p><p>02. ALL TRIM TO BE PAINTED PER PAINTING SPECIFICATION SECTION.</p><p>03. ALL MOLDINGS TO BE FASTENED w/ FINISH NAILS. ALL NAIL HOLES TO BE FILLED PRIOR TO PAINTING AND SANDED.</p></div> <div>GUTTERS LEADERS FLASHING</div> <div><p>1. LEADERS, GUTTERS AND FLASHING TO BE COPPER. GUTTER TO BE 5" HALF ROUND STYLE. TYPE, LEADER TO BE 4" ROUND. CONTRACTOR TO VERIFY SIZE AND CAPACITY FOR ROOF RUN-OFF. ALL LEADERS ARE TO BE TIED INTO THE EXISTING STORM WATER MANAGEMENT SYSTEM</p><p>02. HANGER TO BE #10 CIRCLE FASCIA MOUNTED HANGER</p><p>03. ALL METAL FLASHING TO BE COPPER</p></div> <div>GENERAL FRAMING/ COMPLIANCE NOTES</div> <div><p>01. STRUCTURAL LUMBER SIZES UNLESS OTHERWISE NOTED ARE BASED ON DOUGLAS FIR #2 OR BETTER, WITH A FIBER STRESS OF Fb=1,350 PSI AND AN ELASTICITY E=1,300,000 PSI.</p><p>02. FRAME OPENINGS LARGER THAN 16 INCHES, ERECT DOUBLE HEADERS AND TRIMERS, FOR HEADER SIZES SPAN UP TO 4 FEET OPENING USE 2X12 WITH 1/2" PLYWOOD BETWEEN.</p><p>03. LAMINATED STRUCTURAL LUMBER (MICROLAM LLV) IS TO BE OF FIBER STRESS Fb=2,600 PSI MINIMUM AND (PARALLAM PSL) IS TO BE OF FLEXUTURAL STRESS OF Fb=2,900 PSI.</p><p>04. FOR FRAMING CONNECTION USE TOP FLANGE HANGERS AS MANUFACTURED BY SIMPSON STRONG-TIE OR APPROVED EQUAL. SEE DETAILS.</p><p>05. FOR HEADER SIZES SEE PLAN AND SECTIONS.</p><p>06. DETAILS AND SECTIONS OF THE DRAWINGS ARE SHOWN AT SPECIFIC LOCATIONS AND ARE INTENDED TO INDICATE GENERAL REQUIREMENTS THROUGHOUT. DETAILS NOTED "TYPICAL" IMPLY ALL CONDITIONS TREATED SIMILARLY. MODIFICATIONS TO BE MADE BY THE CONTRACTOR TO ACCOMMODATE MINOR VARIATIONS.</p><p>07. WALL SHEATING TO EXTEND TO THE TOP OF TOP PLATE.</p><p>08. GWB TO COMPLY WITH R702.1, R702.3, TABLE R702.1(2).</p><p>09. DEFLECTION OF ALL MEMBERS IS TO COMPLY WITH CLAUSE R 301.6 NYS RESIDENTIAL CODE.</p><p>10. ALL DETAILS ON THESE PLANS INDICATE PROVISION FOR CONTINUOUS LOAD PATH AS REQUIRED.</p><p>11. CONTRACTOR IS TO ENSURE FIT FOR ALL SIMPSON CONNECTORS, OR APPROVED EQUAL, BEFORE INSTALLATION.</p><p>12. DESIGN PRESSURE RATING OF WINDOWS IS TO BE DP-30 MINIMUM PER TABLE R301.2(2) NYS RESIDENTIAL CODE ALSO REFERENCE R613.2 AND R613.3.</p><p>17. NOTCHES AND HOLES IN STUDS IS TO COMPLY WITH 3.4.1.1.1 WFCM-95.</p><p>18. ALL HEADER SPANS IS TO COMPLY WITH TABLES 3.21A TO 3.22B WFCM-95.</p></div> <div>STATE OF NEW YORK PLAN REQUIREMENTS</div> <div><p>01. STANDARD USED FOR DESIGN OF THE 2020 INTERNATIONAL RESIDENTIAL CODE AND</p><p>02. FOR THE AREA OF THE NEW PROPOSED ADDITION SEE SITE PLAN.</p><p>03. DESIGN LOADING:</p><p>A) DEAD LOAD: ROOFING 5.0 psf, PLYWOOD SHEETING 1.5 psf, JOISTS 3.5 psf, INSULATION 1.0 psf, CEILING 1.0 psf, ELECT. AND MISC. 3.0 psf, TOTAL=15.0 psf</p><p>B) LIVE LOAD: ATTIC WITHOUT STORAGE 10.0 psf, FIRST FLOOR 40.0 psf, DECKS 40.0 psf, GROUND SNOW LOAD (Pg) 45.0 psf, WIND LOAD BASIC WIND SPEED 90 MPH, EXPOSURE B, SEISMIC DESIGN CATEGORY C.</p><p>04. WINTER DESIGN TEMPERATURE=13 DEGREES.</p><p>05. ICE SHIELD UNDERLAYMENT IS REQUIRED WITH MINIMUM 24 INCHES ALONG THE ROOF LINE MEASURED FROM THE INSIDE FACE OF THE EXTERIOR WALL.</p><p>06. THE PROPOSED ADDITION INDICATED MUST MEET THE ENERGY CONSERVATION CONSTRUCTION CODE OF THE 2015 INTERNATIONAL RESIDENTIAL CODE AND 2016 NYS ENERGY CODE SUPPLEMENT.</p><p>07. FOR FASTENER METHOD FOR ALL STRUCTURAL MEMBERS SEE FASTENER SCHEDULE.</p><p>08. CONTRACTOR IS TO INSTALL SMOKE AND CARBON MONOXIDE DETECTORS IN THE VICINITY OF ALL BEDROOMS EXISTING AND PROPOSED ADDITION IN COMPLIANCE WITH THE CURRENT RESIDENTIAL CODE.</p></div> <div>IRC ENERGY CONSERVATION CONSTRUCTION CODE</div> <div><p>01. THE PROPOSED ADDITION INDICATED COMPLIES WITH THE 2020INTERNATIONAL RESIDENTIAL CODE</p><p>02. INSULATION VALUES COMPLY WITH REQUIREMENT FOR CLIMATE ZONE 4</p></div>
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Mansfield Alteration  
40 Colonial Ave  
Dobbs Ferry, NY

CONSTRUCTION  
DRAWINGS

Date:  
JANUARY 04, 2020

drawn by:

scale:  
1/4" = 1'-0"

Wn:

SPECIFICATIONS

number:

SP101



MASTER BATHROOM FIXTURE SCHEDULE		
TYPE	MFR./ SPEC.#	FINISH
TOILET	PORCELANOZA NOKEN ARQUITEC N301512843	WHITE
LAVATORY BASIN/COUNTER	WETSTYLE CUBE VCS48 LAV TOP	WHITE
WALL HUNG VANITY CABINET	CUSTOM BY MILLWORKER, 48" WIDE COORD W/ BASIN / COUNTER	WALNUT
LAVATORY FAUCET	NK LOGIC N146500710	CHROME
VALVE/MIXER	NK LOGIC N240550023	CHROME
SHOWER HEAD	DINLED 14" SQUARE RAIN SHOWER S218100021 14" SQUARE	CHROME
SHOWER HEAD ARM	DINLED	CHROME
SHOWER HAND HELD	NK LOGIC N158767182/N158470001	CHROME
(2) WALL MOUNT BODY JET	NK LOGIC N99999920	CHROME
SHOWER CONTROL VALVE/MIXER	NK LOGIC N240550023	CHROME
TOWEL BAR (2)	QUATRO N641051001	CHROME
TOWEL RING (1)	QUATRO N641051201	CHROME
TOILET PAPER HOLDER	QUATRO N641111601	CHROME
SHOWER DRAIN	50" LINEAR INFINITY DRAIN	ST.STL
SHOWER ENCLOSURE	FRAMELESS 3/4" LOW IRON TEMPERED GLASS W/ SQUARE CHROME PATCH FITTINGS	

BATHROOM FIXTURE SUPPLIER TO VERIFY ALL COMPONENTS, VALVES, HDWR REQUIRED FOR FUNCTIONS INDICATED FOR COMPLETE INSTALLATION

HALL BATHROOM FIXTURE SCHEDULE		
TYPE	MFR./ SPEC.#	FINISH
TOILET	PORCELANOZA NOKEN ARQUITEC N301512843	WHITE
LAVATORY BASIN/COUNTER	WETSTYLE CUBE VCS30 LAV TOP	WHITE
WALL HUNG VANITY CABINET	CUSTOM BY MILLWORKER, 30" WIDE COORD W/ BASIN / COUNTER	WALNUT
LAVATORY FAUCET	NK LOGIC N146500710	CHROME
VALVE/MIXER	NK LOGIC N240550023	CHROME
SHOWER HEAD	DINLED 14" SQUARE RAIN SHOWER S218100021 14" SQUARE	CHROME
SHOWER HEAD ARM	DINLED	CHROME
SHOWER HAND HELD	NK LOGIC N158767182/N158470001	CHROME
SHOWER CONTROL VALVE/MIXER	NK LOGIC N240550023	CHROME
TOWEL BAR (2)	QUATRO N641051001	CHROME
TOWEL RING (1)	QUATRO N641051201	CHROME
TOILET PAPER HOLDER	QUATRO N641111601	CHROME
SHOWER DRAIN	42" LINEAR INFINITY DRAIN	ST.STL
SHOWER ENCLOSURE	FRAMELESS 3/4" LOW IRON TEMPERED GLASS W/ SQUARE CHROME PATCH FITTINGS	

BATHROOM FIXTURE SUPPLIER TO VERIFY ALL COMPONENTS, VALVES, HDWR REQUIRED FOR FUNCTIONS INDICATED FOR COMPLETE INSTALLATION

CABINET SCHEDULE				
NO.	QTY.	TYPE	DIMENSIONS:W/D/H	COMMENTS
1	1	BASE CABINET	27/24/34.5"	(3) DRAWERS
2	1	D.W. PANEL	24" W	COORD. WITH DISHWASHER
3	1	SINK BASE CABINET	36/24/34.5	(2) DOOR W/ HAFELE HAILO WASTEBINS
4	1	BASE PULL OUT	18/24/34.5	(2) PULL OUT DOOR W/ HAFELE KESSEBOHMER DOUBLE BINS
5	1	BASE CABINET	30/24/34.5"	(3) DRAWERS
6A 6B	1	CORNER FULL HGT PANTRY	42/24/96	PROVIDE (5) LEMANS II CORNER UNITS (1) 18" X 72" DR + (1) 18" X 24" DR ABV
7A/7B	1	OVEN/MICRO	30/24/96	(1) 24"h BASE DRAWER, (2) 26"h UPPER DOORS COORDINATE WITH WALL OVENS/ MICRO
8	1	REFRIGERATOR PANEL	42" W	COORD. W/ REFRIGERATOR
9A	1	FULL HGT PULL OUT	24/24/72	W/ HAFELE DISPENSA PULL OUT SHELF SYSTEM
9B	1	UPPER PANTRY	24/24/24	(1) DOOR (1) SHELF
10	1	ISLAND BASE CABINET	36/15/34.5	(2) DOORS, (1) SHELF
11	2	ISLAND BASE CABINET	30/12/34.5	(2) DOORS, (1) SHELF
12	1	BASE ISLAND	24/24/34.5	(3) DRAWERS
13	1	ISLAND BASE CABINET	36/24/34.5	(2) POT DRAWERS – COORD W/ COOKTOP
14	1	PULL OUT TRASH	15/24/34.5	W/ HAFELE US CARGO 15
15	1	MICRO BASE ISLAND	24/24/34.5	MICROWAVE DRAWER + (1) DRAWER
BATHROOM CABINETRY				
17	1	WALL HUNG MASTER BATH VANITY	48/21/16	2 DRAWERS W (2) INTERNAL DRAWERS, WALL HUNG COORD W/ LAV TOP
18	1	WALL HUNG BATHRM VANITY	30/21/16	1 DRAWER W 1 INTERNAL DRWR COORD WALL HUNG COORD W/ LAV TOP

KITCHEN CABINETS SUPPLIED BY OWNER INSTALLED BY GC  
CABINET MAKER/ RETAILER TO VERIFY ALL DIMENSIONS AND COORDINATE WITH ALL APPLIANCE SPECIFICATIONS.  
CABINET MAKER TO PROVIDE SHOP DRAWINGS TO ARCHITECT FOR REVIEW.

APPLIANCE/ FIXTURE SCHDULE			
TYPE	MANUFACTURER/ SPEC NUMBER	DIMENSIONS:W/D/H	COMMENTS
REFRIGERATOR	FRENCH DOOR TYPE, PANEL READY T.B.D.	36"W	W/ WATER AND ICE
DISHWASHER	T.B.D., PANEL READY	24"W	
WALL OVEN	T.B.D.	30"W	ELECTRIC
WALL MICROWAVE	T.B.D.	30"W	ELECTRIC W/ 30" ADAPTOR
COOTOP	T.B.D.	36"W	GAS
HOOD	T.B.D.	36"W	CHIMNEY TYPE W/ EXTRA TALL CHIMNEY
GARBAGE DISPOSAL	T.B.D.		
SINK	T.B.D./ST.STL UNDERMOUNT TYPE	33"W	
FAUCET	T.B.D.		

ALL APPLIANCES, FIXTURES AND FITTINGS TO BE SUPPLIED BY OWNER AND INSTALLED BY GENENERAL CONTRACTOR.  
CONTRACTOR IS TO COORDINATE AND PROVIDE ALL ELECTRICAL, PLUMBING AND GAS AS REQUIRED.

ELECTRICAL DEVICE LEGEND	
SYMBOL	DESCRIPTION/ COMMENTS
▼	TELEPHONE/ DATA JACK
Ⓛ	DUPLEX OUTLET
Ⓢ	COUNTER TOP POP-UP OUTLET
Ⓛ GFI	GFI OUTLET
Ⓛ OVEN	APPLIANCE OUTLET – VERIFY ELECTRICAL REQUIREMENT – TO BE REWIRED TO NEW CB PANEL
\$	LIGHT SWITCH
\$D	DIMMER SWITCH
\$3	3WAY LIGHT SWITCH
\$D3	3WAY DIMMER SWITCH
\$J	JAMB SWITCH
—TV	CABLE TV
—Ⓢ	THERMOSTAT

ALL SWITCHES TO BE WIFI CONTROLLED TYPE – CASTETA BY LUTRON

INTERIOR DOOR SCHEDULE						
NO.	QTY.	TYPE	DOOR DIM.	TYPE/FINISH	FRAME TYPE	HARDWARE HINGES
			WIDTH/HEIGHT			
A	2	CLOSET SINGLE DOOR	24 X 80	FLUSH SOLID CORE	PTD WD CASING*	CLOS. PASSAGE SET TO MATCH EXISTING BUTT HINGES TO MATCH EXISTING FINISH
B	2	DOUBLE SLIDING DOORS	48 X 80	FLUSH SOLID CORE	PTD WD CASING*	PULL BY OWNER INSTALLED BY GC PROVIDE MAGNETIC CATCH SLIDING DOOR TRACK
C	2	DOUBLE SLIDING DOORS	60 X 80	FLUSH SOLID CORE	PTD WD CASING*	PULL BY OWNER INSTALLED BY GC PROVIDE MAGNETIC CATCH SLIDING DOOR TRACK
D	3	POCKET DOOR	30 X 80	FLUSH SOLID CORE	PTD WD CASING*	PULL BY OWNER INSTALLED BY GC PROVIDE MAGNETIC CATCH POCKET DOOR KIT
R	3	RELOCATED SINGLE DOOR	30 X 80	EXISTING	PTD WD CASING*	EXISTING

INTERIOR DOORS TO BE 1 3/4" THICK TYP, FLUSH SOLID CORE  
CASING TO BE 1 X 3 PTD FLAT STOCK

WINDOW / EXTERIOR DOOR SCHEDULE					
NO.	QTY.	TYPE	FRAME DIMENSION		REMARKS
			F.S. WIDTH	F.S.. HEIGHT	
1	1	SLIDING/FIXED WINDOW	126"	42"	
2A/2B	2	DIRECT SET CORNER UNIT	30" X 30"	74"	
3A/3B	2	CASEMENT	36"	74"	
4A/4B	2	DIRECT SET TRAPEZOID	26"	8 1/2"/16 1/2"	
5A/5B	6	DIRECT SET TRAPEZOID	44"	18 1/2"/32 1/2"	
6A/6B	2	DIRECT SET TRAPEZOID	44"	30 1/2"/ 48 1/2"	
7A/7B	2	DIRECT SET TRAPEZOID	36"	50 1/2"/ 62 1/2"	
8	1	SLIDING DOOR	96"	80"	
9	1	TRIPLE SLIDING WINDOW	126"	42"	
10	1	SLIDING WINDOW	42"	44"	

NOTE: ALL WINDOWS AND PATIO DOORS TO BE ALUM CLAD EXTERIOR W/ 1X3 CASING/ PRIMED WOOD INTERIOR BY WEATHERSHIELD  
\* WINDOWS AND SLIDING DOOR AT ADDITION TO HAVE JAMBS FOR EXISTING 2X4 FRAME CONSTRUCTION  
DOOR AND WINDOW HARDWARE TO BE SELECTED FROM STANDARD HARDWARE SELECTIONS  
MAXIMUM FENESTRATION U VALUES: FIXED FENESTRATION 0.38, OPERABLE FENESTRATION 0.45, ENTRANCE DOORS 0.77



Mansfield Aleration  
40 Colonial Ave  
Dobbs Ferry, NY

CONSTRUCTION  
DRAWINGS

Date:  
JANUARY 04, 2020

drawn by:

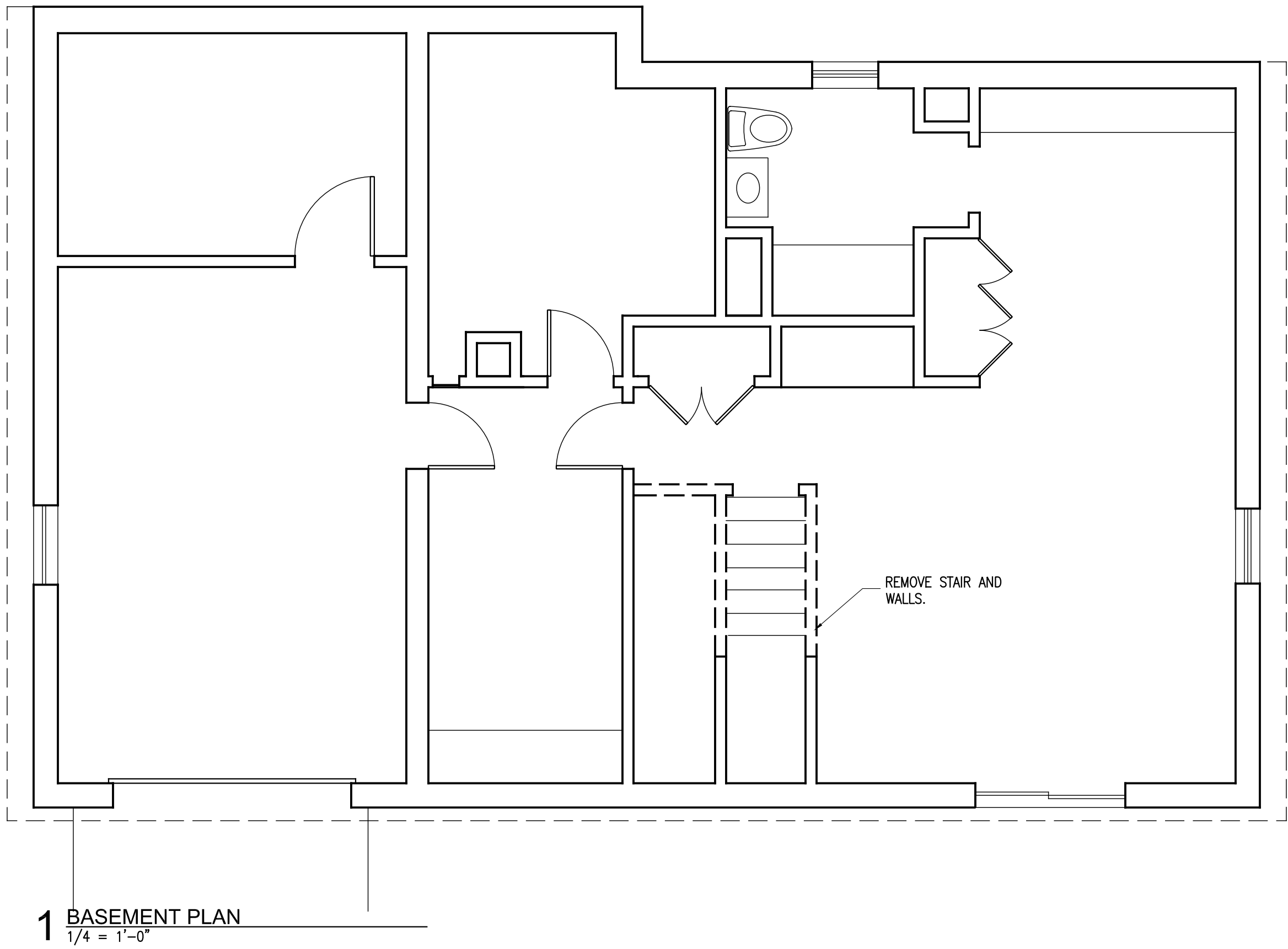
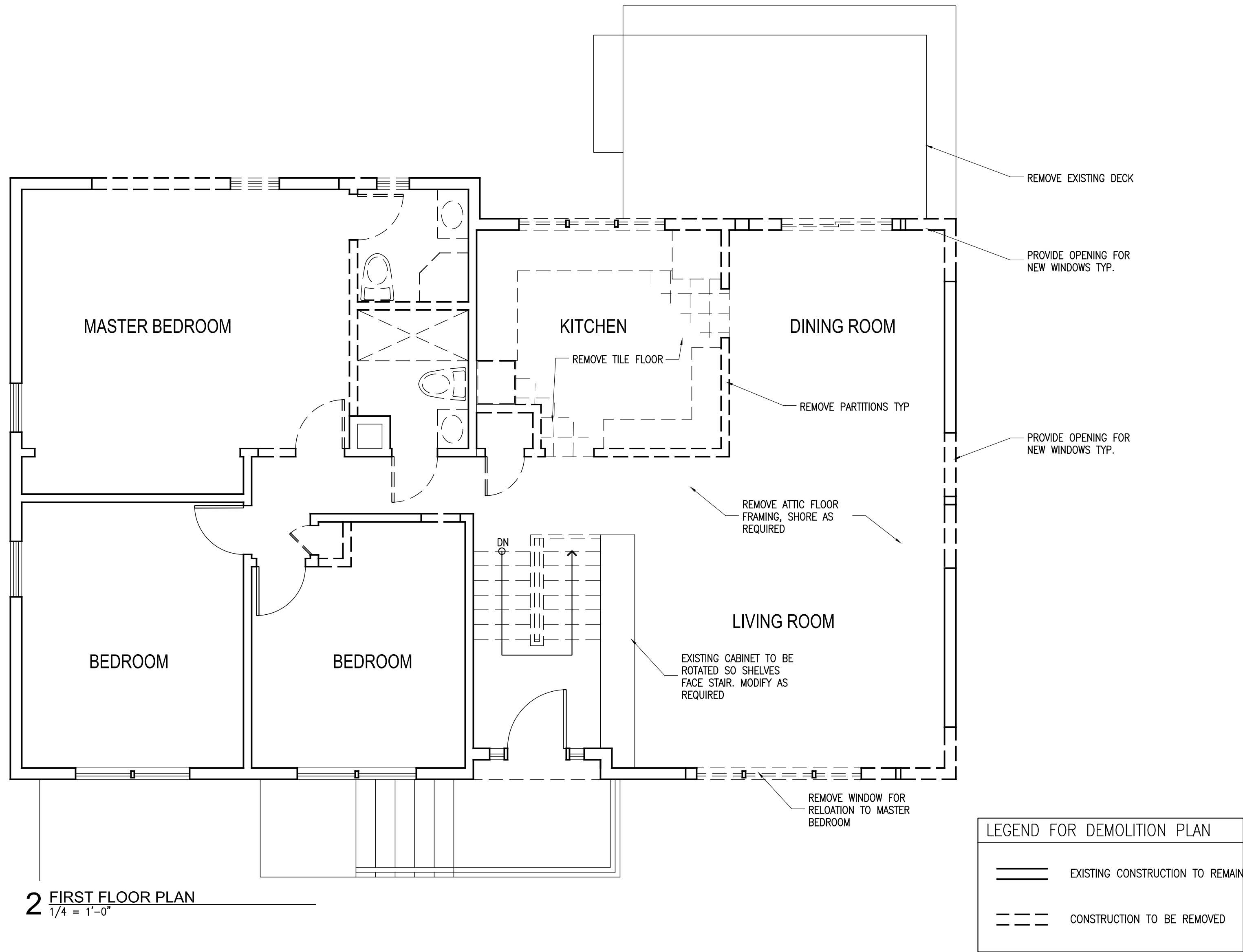
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PRODUCT  
SCHEDULES

number:

SP200



Mansfield Atleration  
40 Colonial Ave  
Dobbs Ferry, NY

CONSTRUCTION  
DRAWINGS

date:  
JANUARY 04, 2020

drawn by:

scale:  
3/4" = 1'-0"

WBY:

DEMOLITION  
PLANS

number:

D100





Mansfield Alteration  
40 Colonial Ave  
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DRAWINGS

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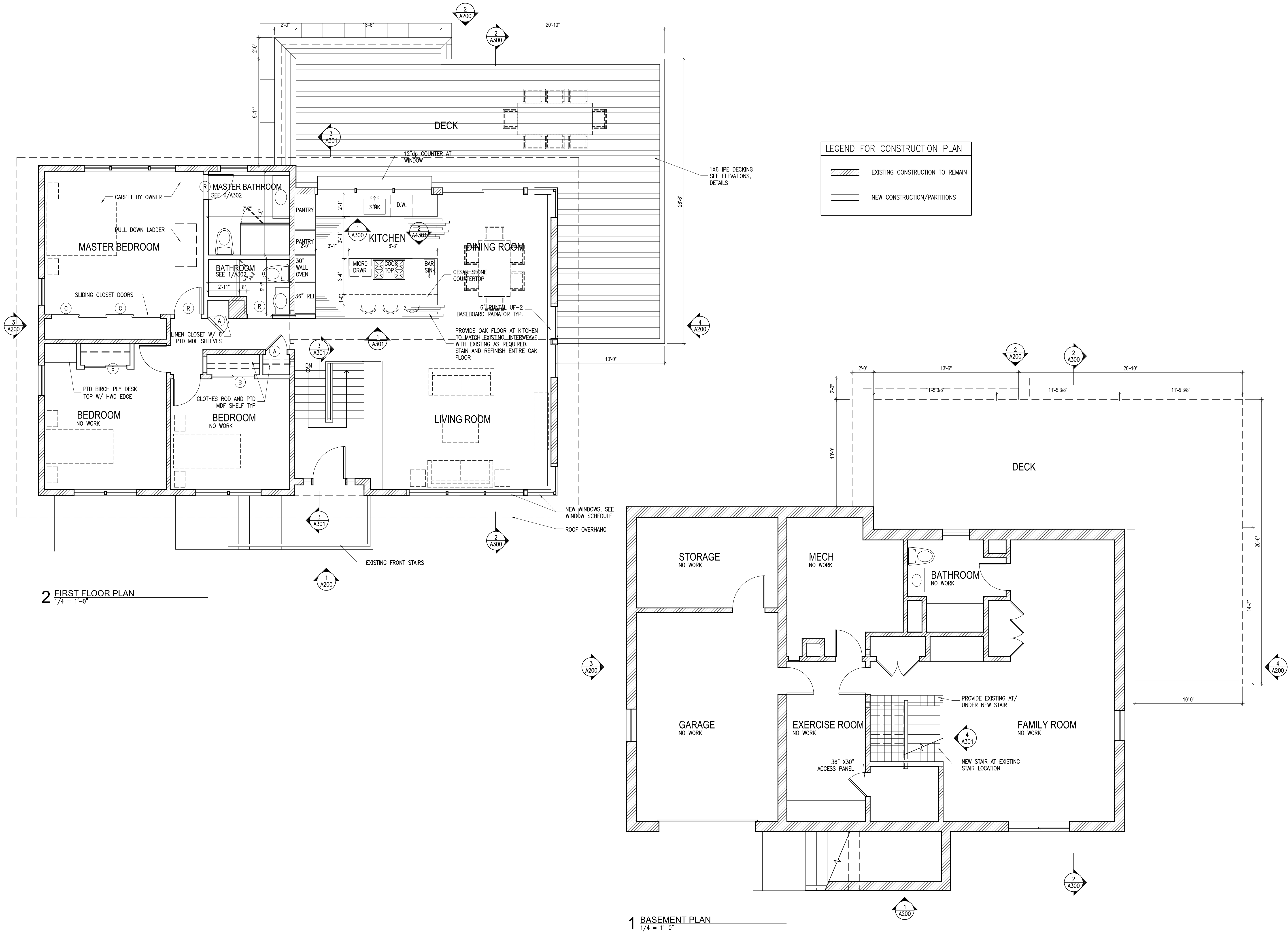
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CONSTRUCTION  
PANS

number:

A100





Mansfield Atleration  
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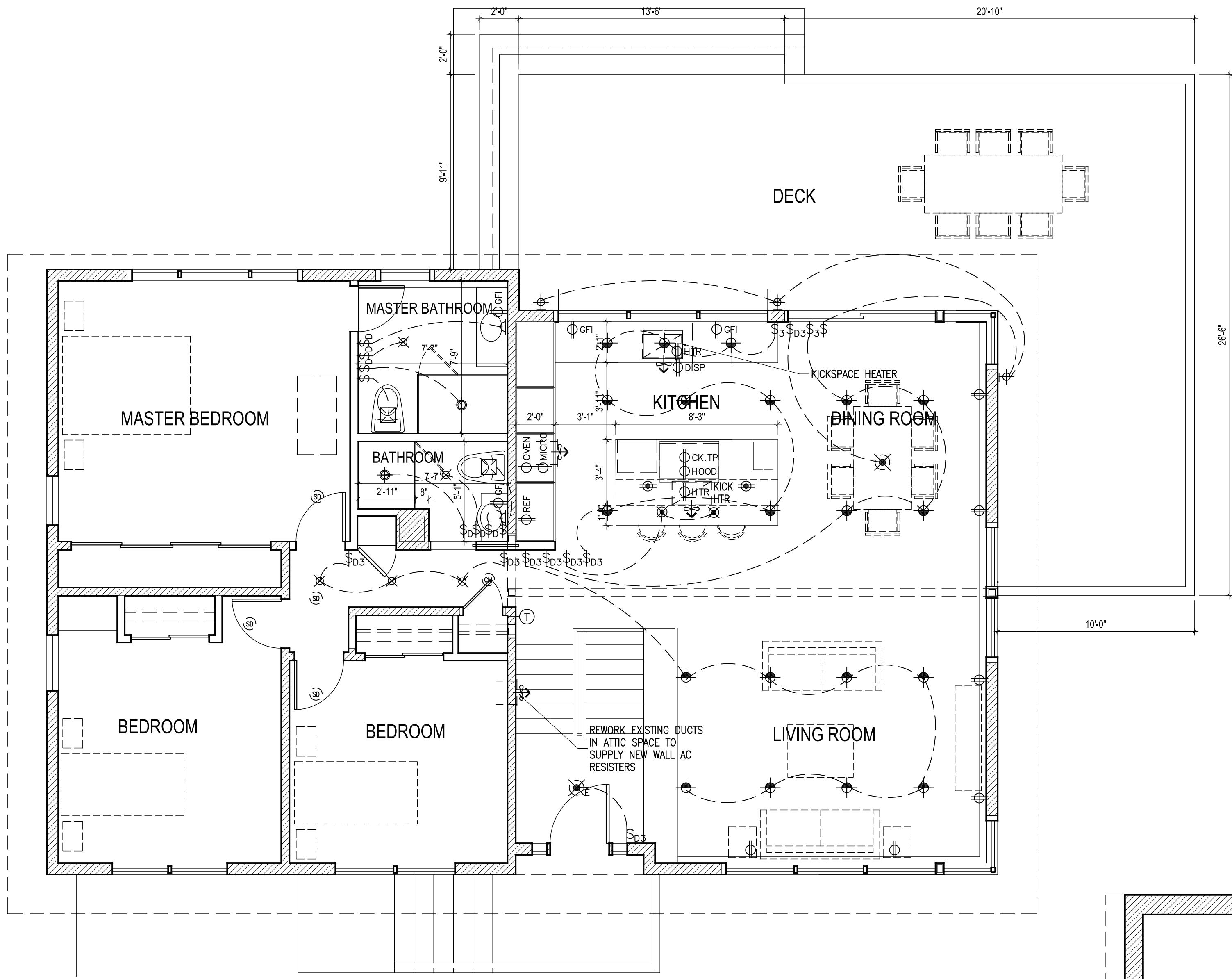
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PLANS

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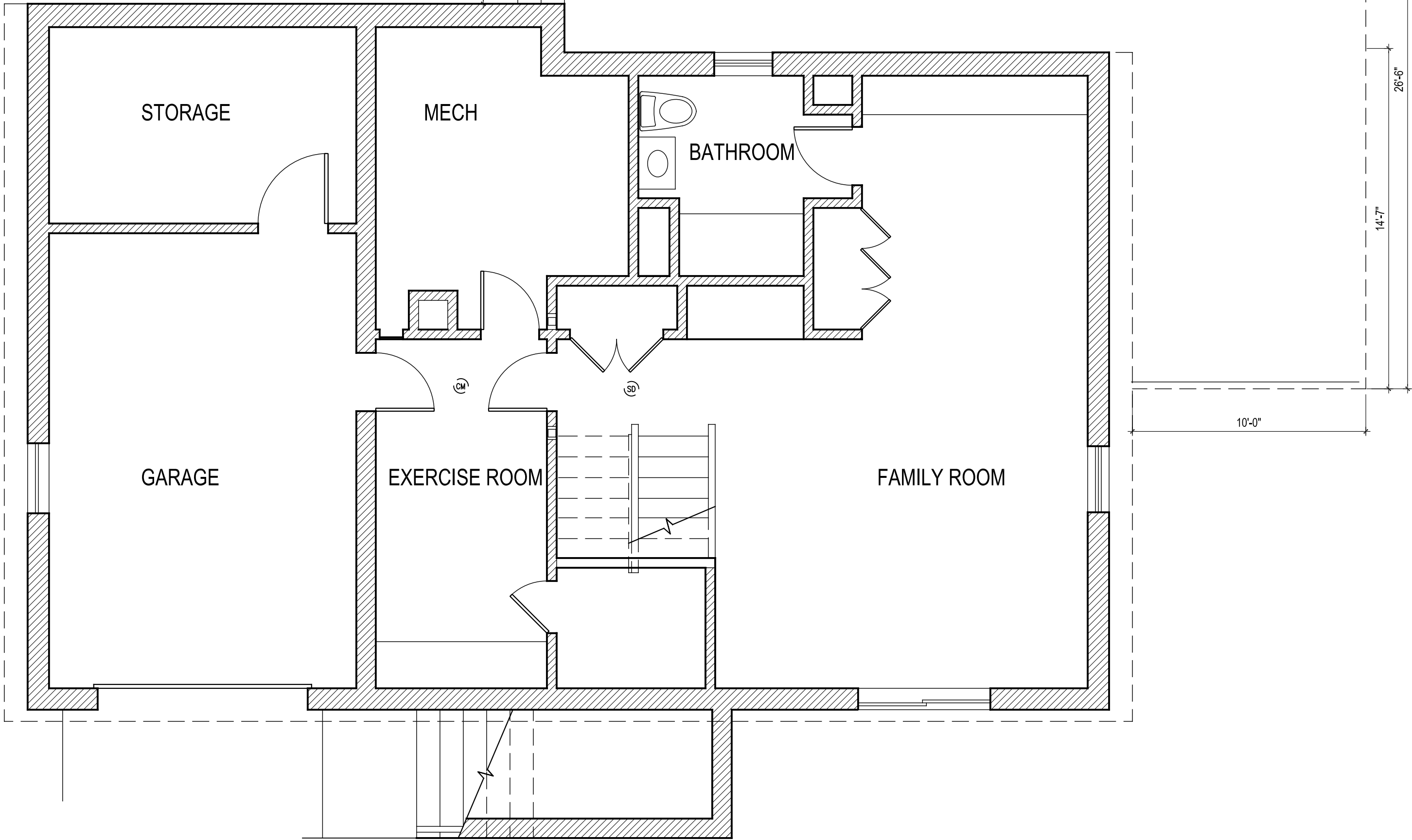
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2 FIRST FLOOR PLAN  
1/4" = 1'-0"

LEGEND FOR CONSTRUCTION PLAN	
	EXISTING CONSTRUCTION TO REMAIN
	NEW CONSTRUCTION/PARTITIONS

EXTERIOR LIGHTING LEVELS TO COMPLY W/ SECTION 300 -41  
OF THE DOBBS FERRY BUILDING CODE.



1 BASEMENT PLAN  
1/4" = 1'-0"



Mansfield Aleration  
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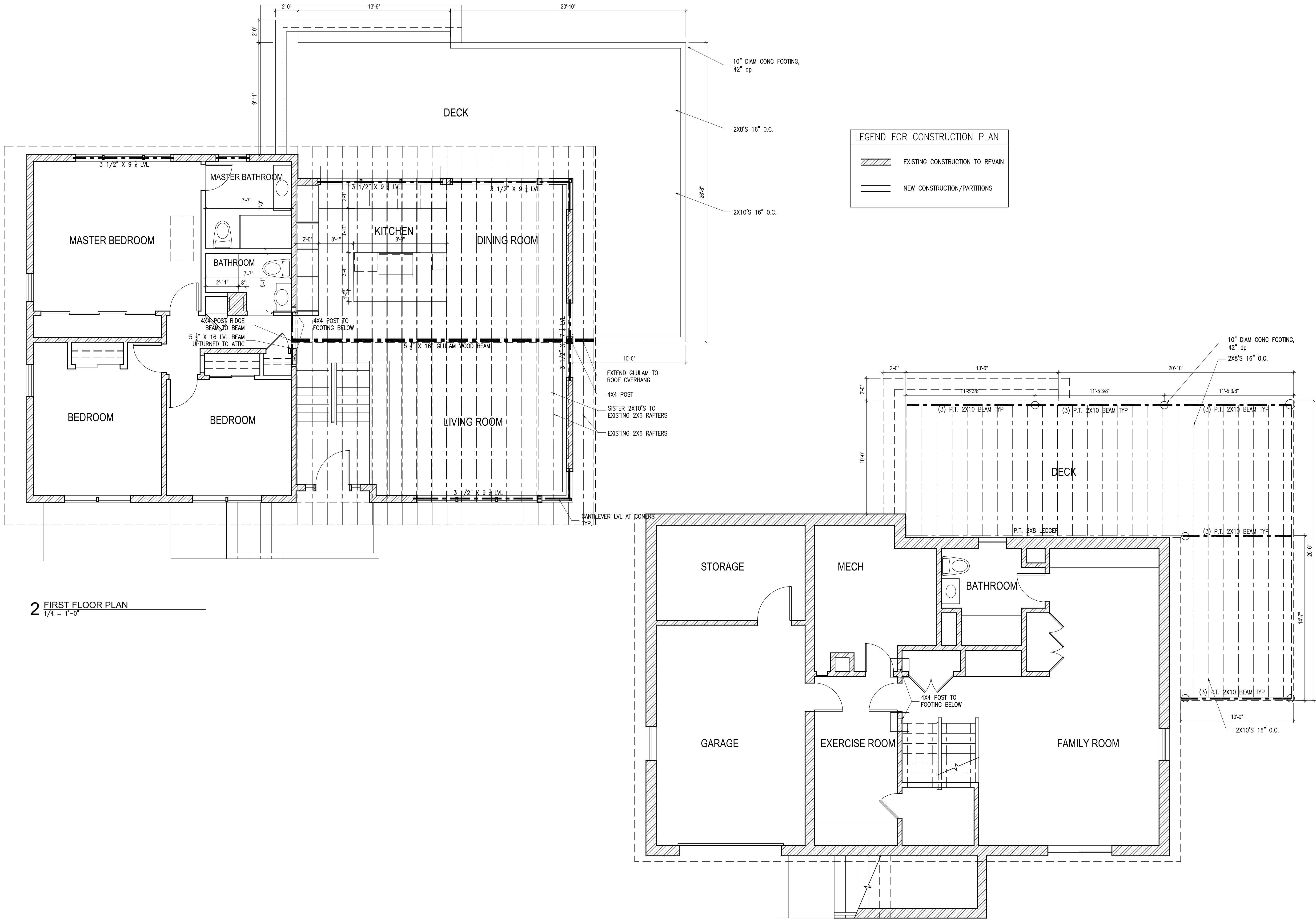
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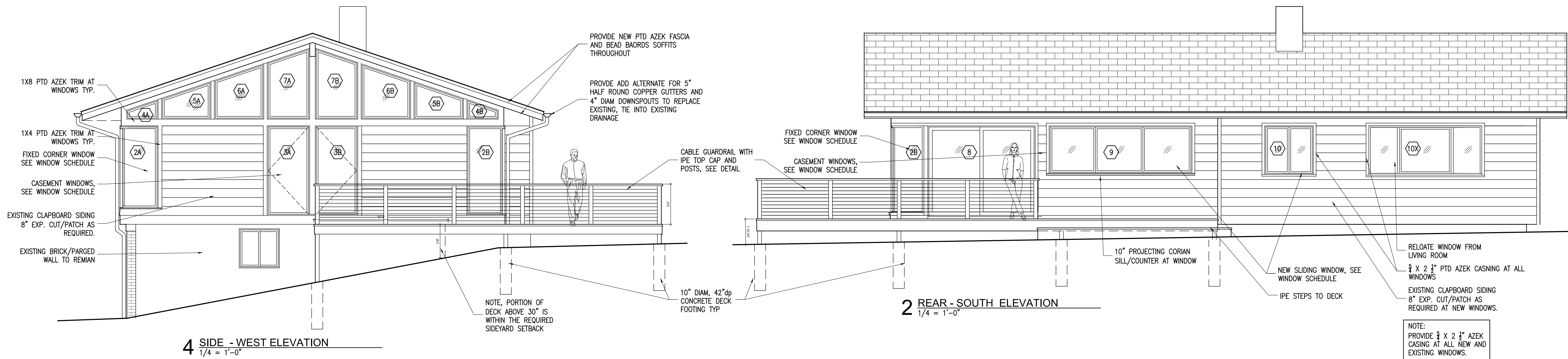
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PANS

number:

ST100







Mansfield Atleration  
40 Colonial Ave  
Dobbs Ferry, NY

CONSTRUCTION  
DRAWINGS

Date:  
JANUARY 04, 2020

drawn by:

scale:  
3/4" = 1'-0"

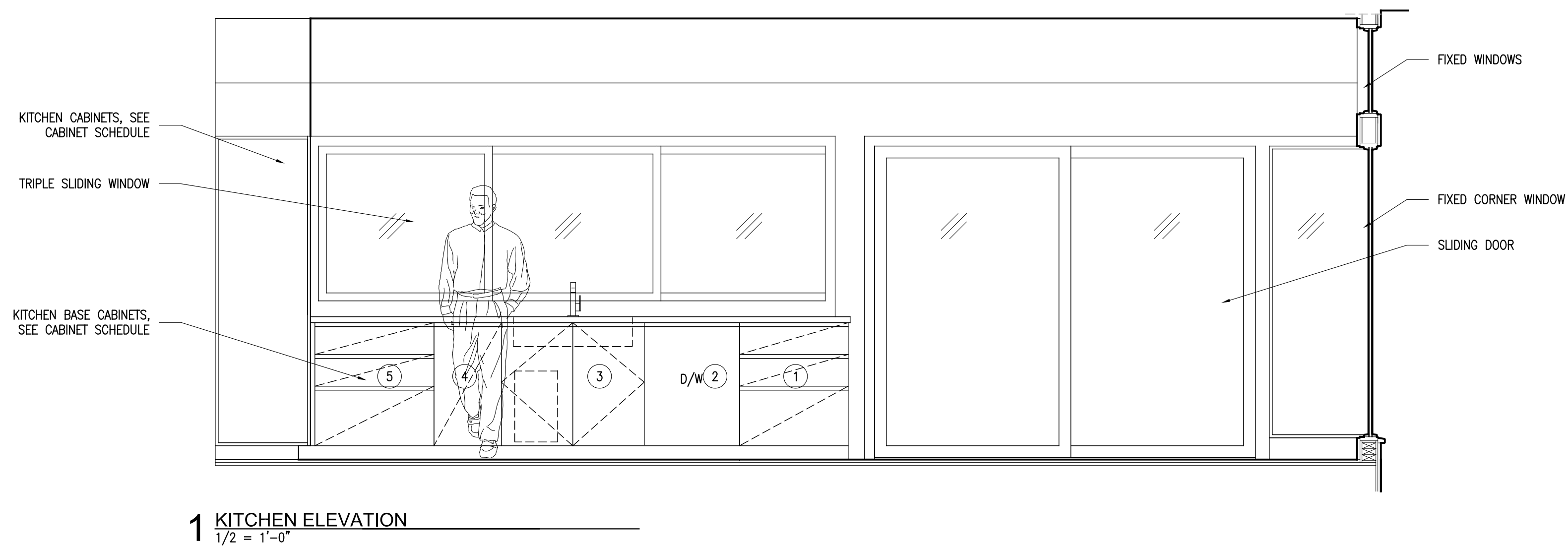
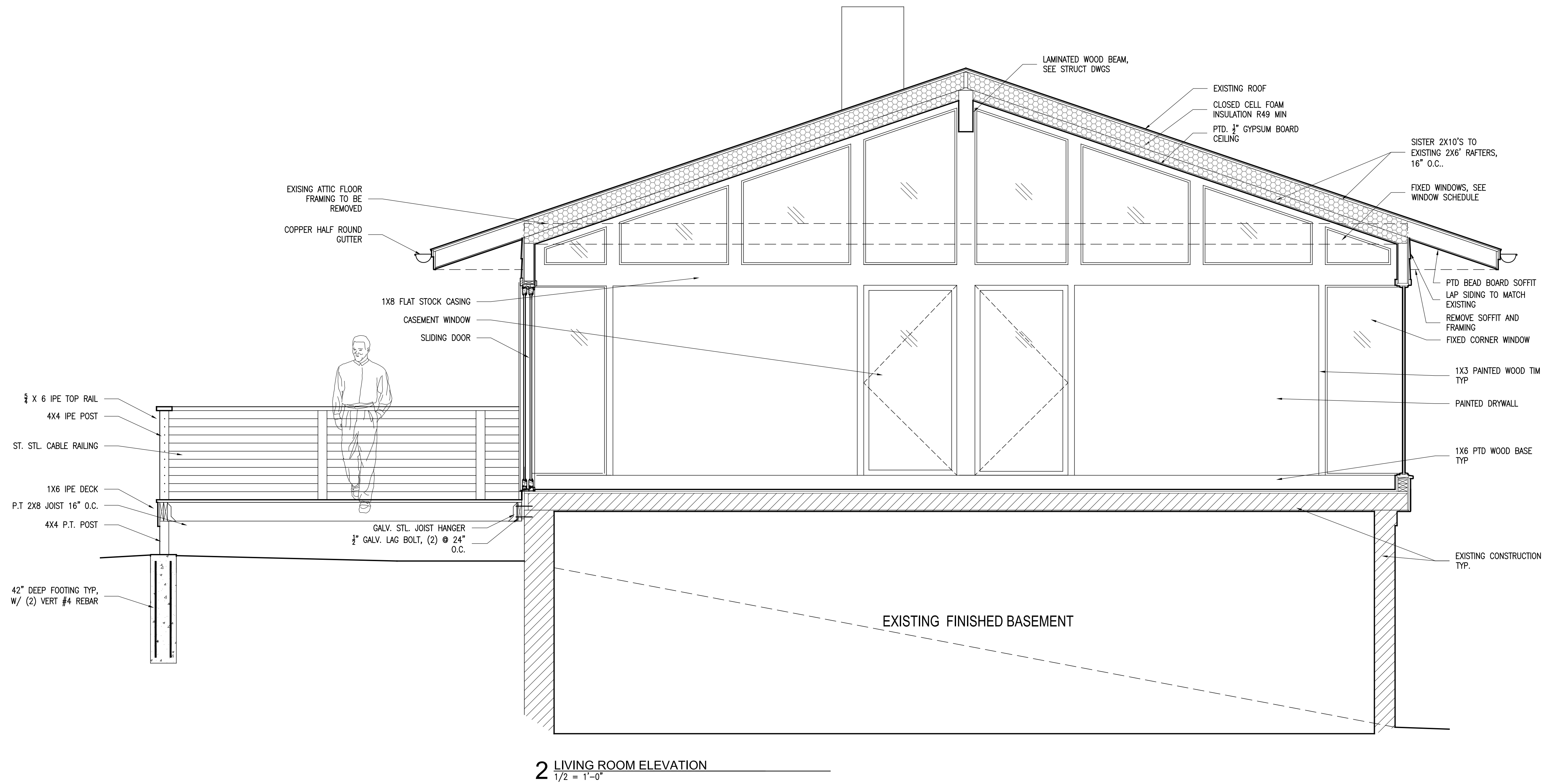
WBY:

EXTERIOR  
ELEVATIONS

number:

A200





Mansfield Alteration  
40 Colonial Ave  
Dobbs Ferry, NY

CONSTRUCTION  
DRAWINGS

Date:  
JANUARY 04, 2020

drawn by:

scale:  
1/2" = 1'-0"

WBY:

INTERIOR  
ELEVATIONS

number:

A300





Mansfield Alteration  
40 Colonial Ave  
Dobbs Ferry, NY

CONSTRUCTION  
DRAWINGS

Date:  
JANUARY 04, 2020

drawn by:

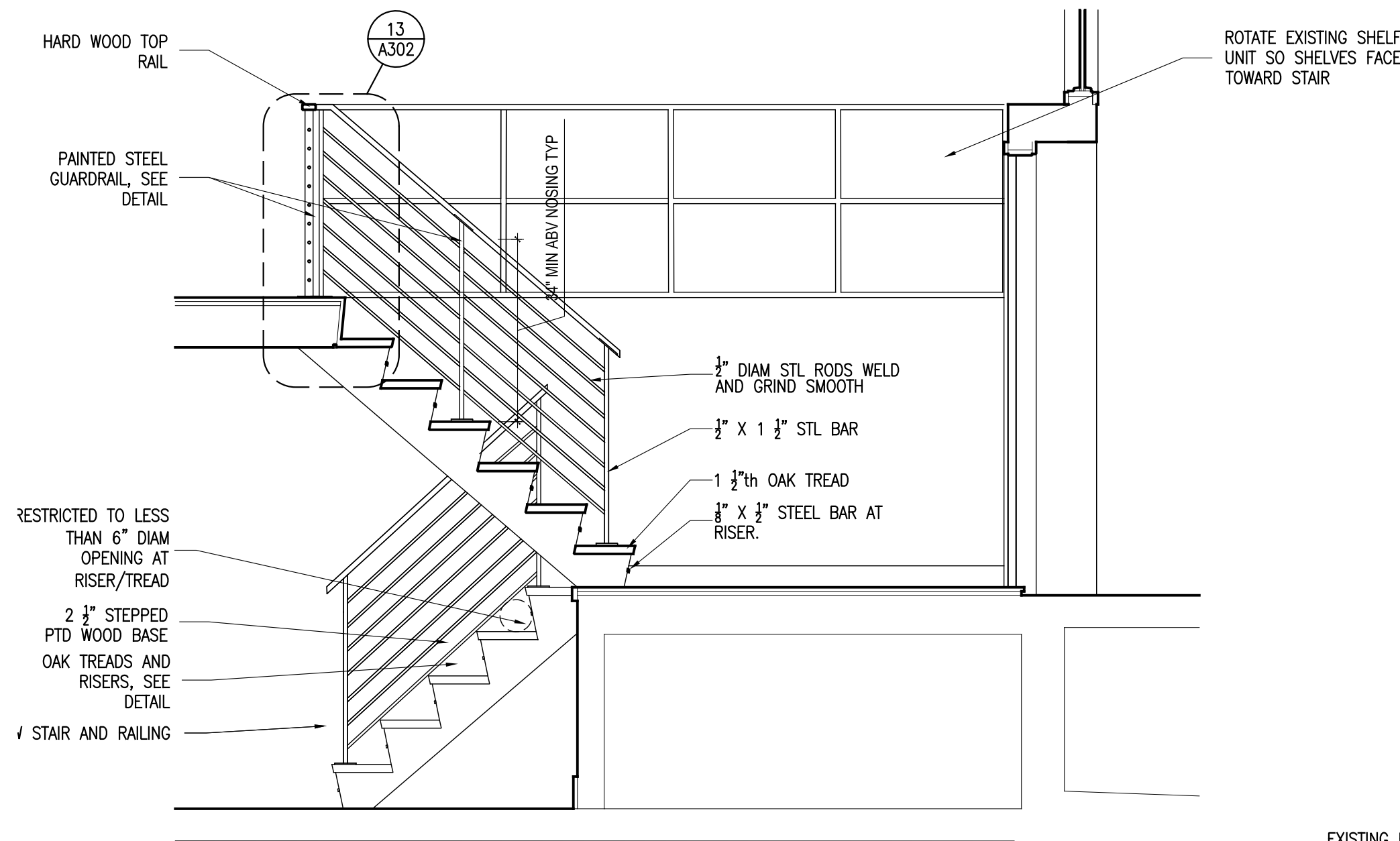
scale:  
1/2" = 1'-0"

WBY:

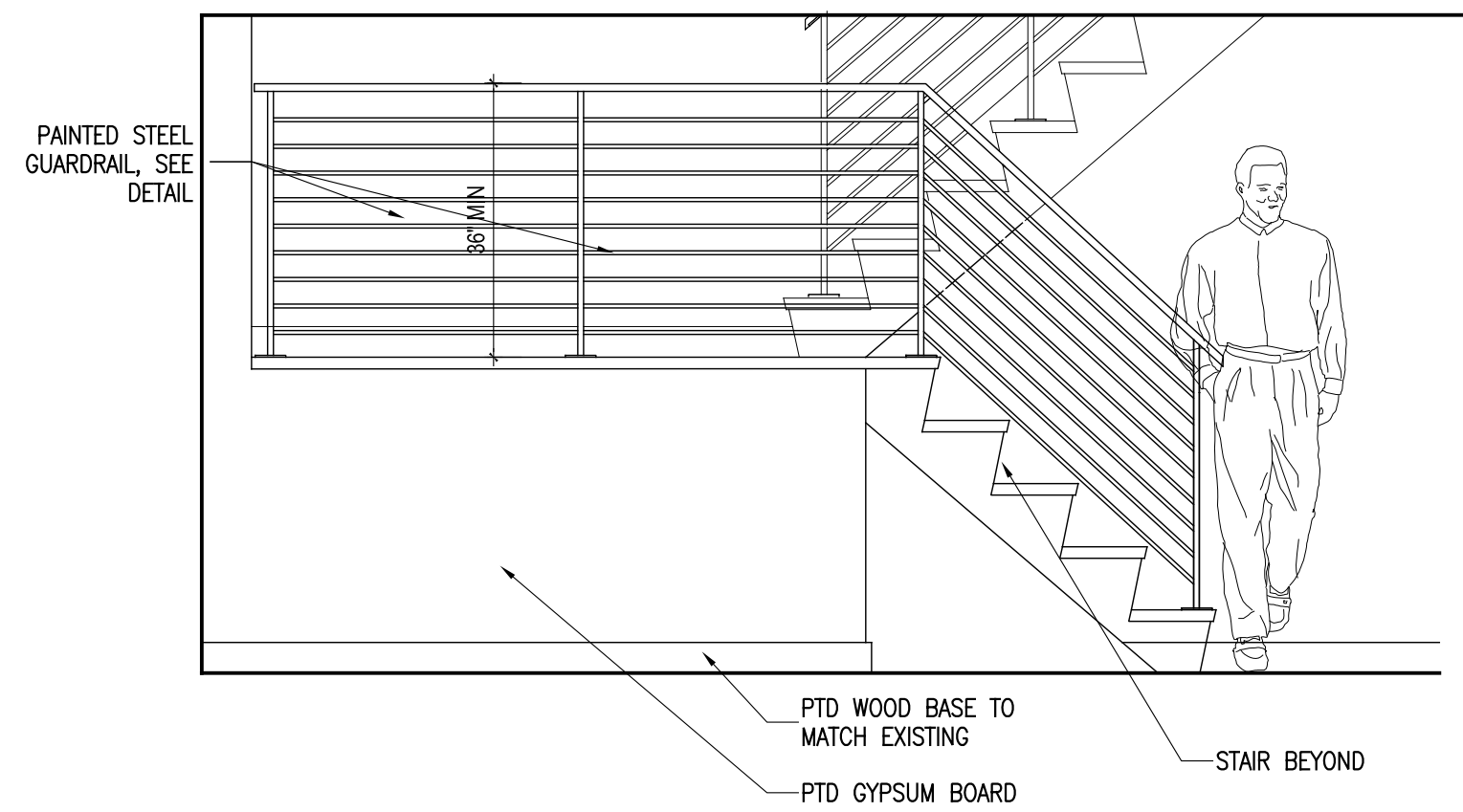
INTERIOR  
ELEVATIONS

number:

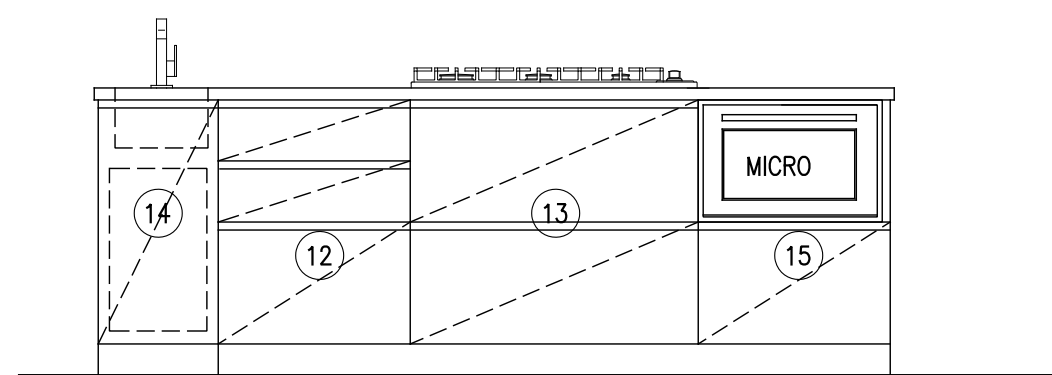
A301



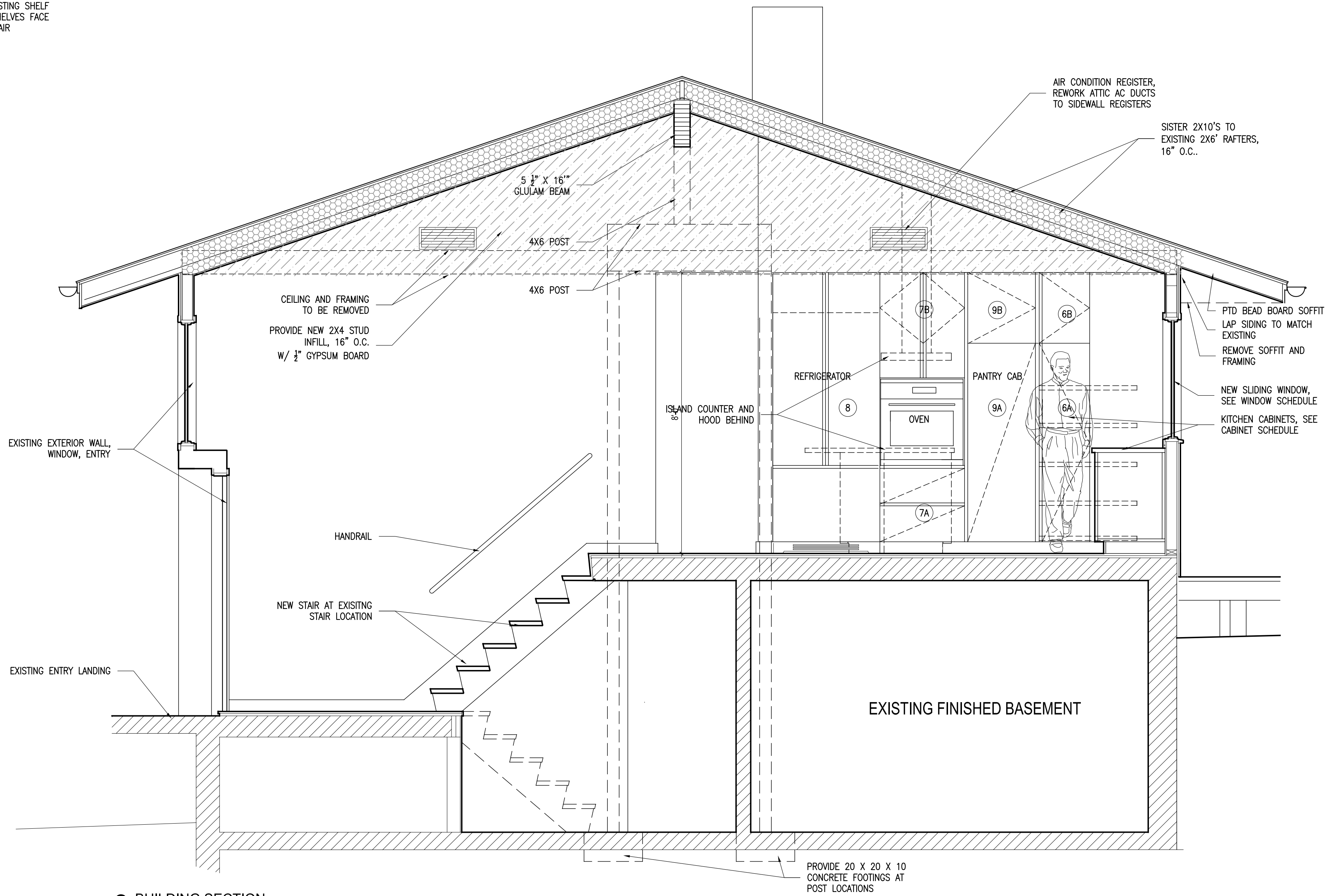
5 STAIR SECTION  
1/2" = 1'-0"



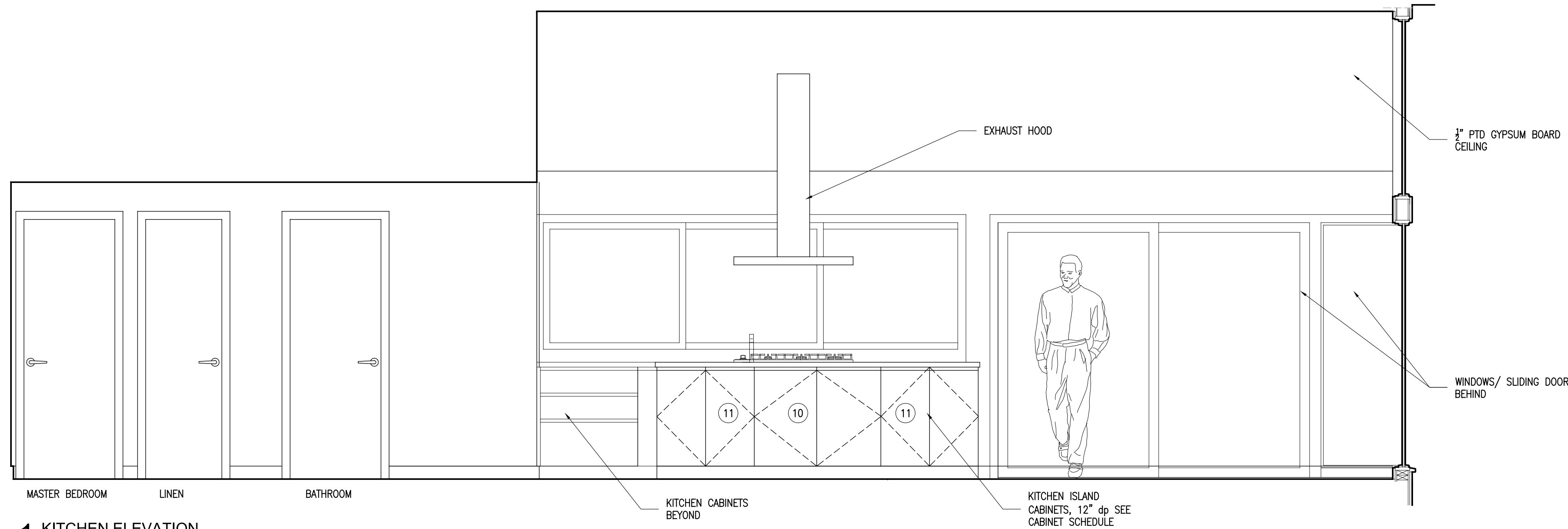
4 STAIR ELEVATION  
1/2" = 1'-0"



2 KITCHEN ISLAND ELEVATION  
1/2" = 1'-0"

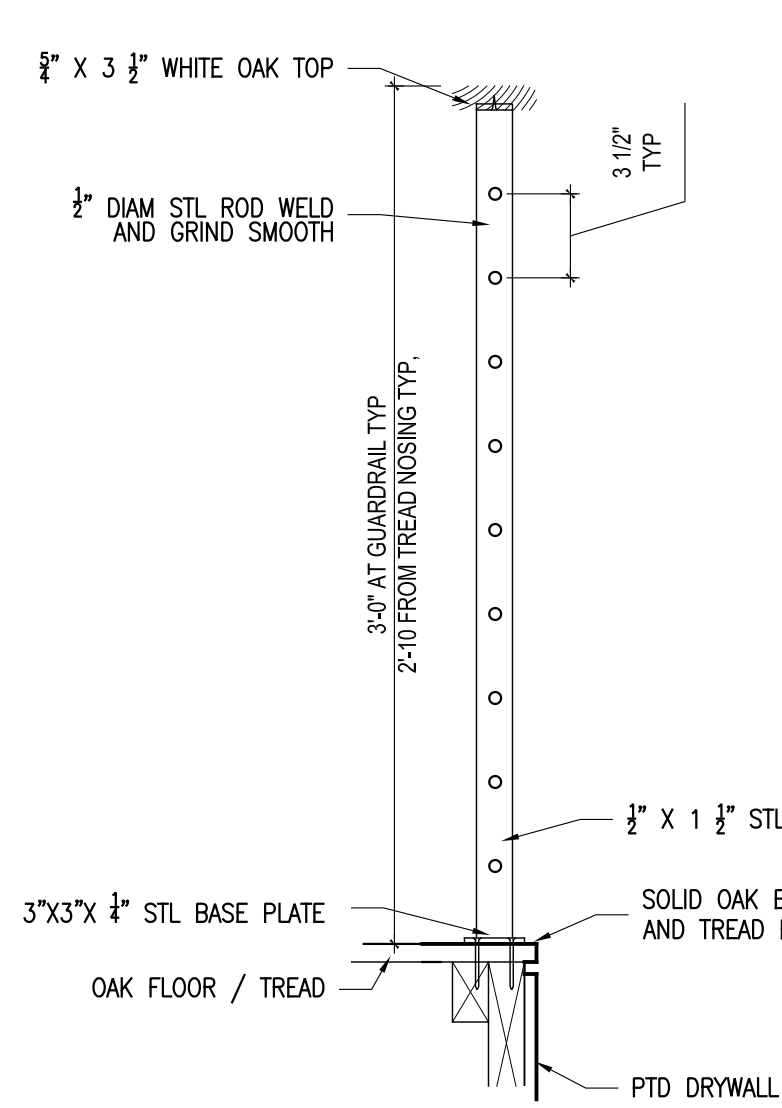


3 BUILDING SECTION  
1/2" = 1'-0"

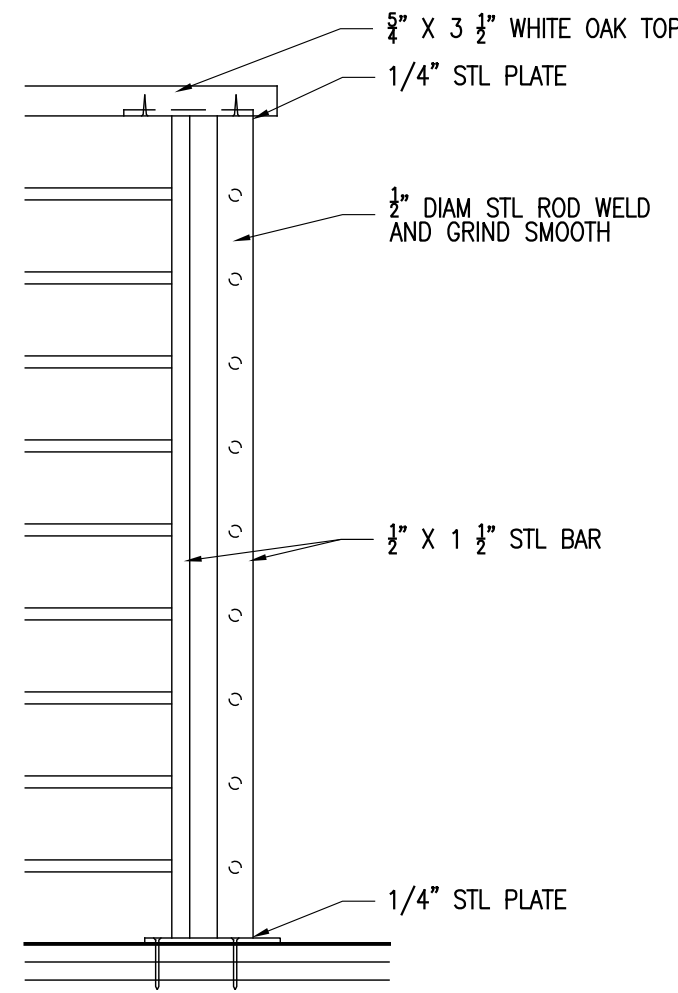


1 KITCHEN ELEVATION  
1/2" = 1'-0"

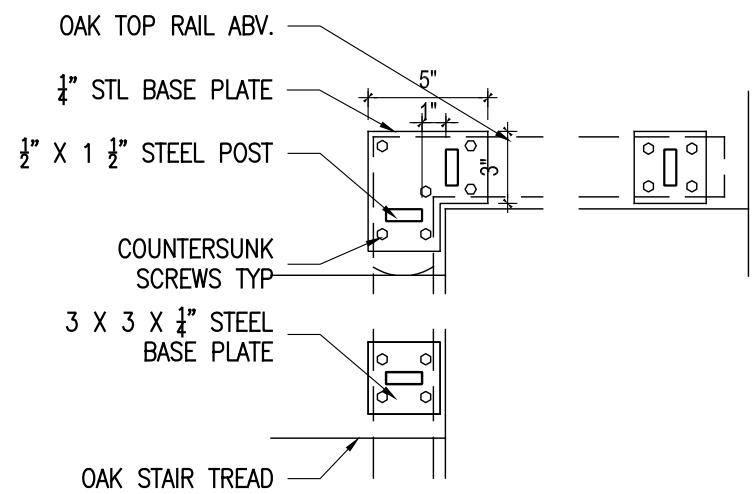




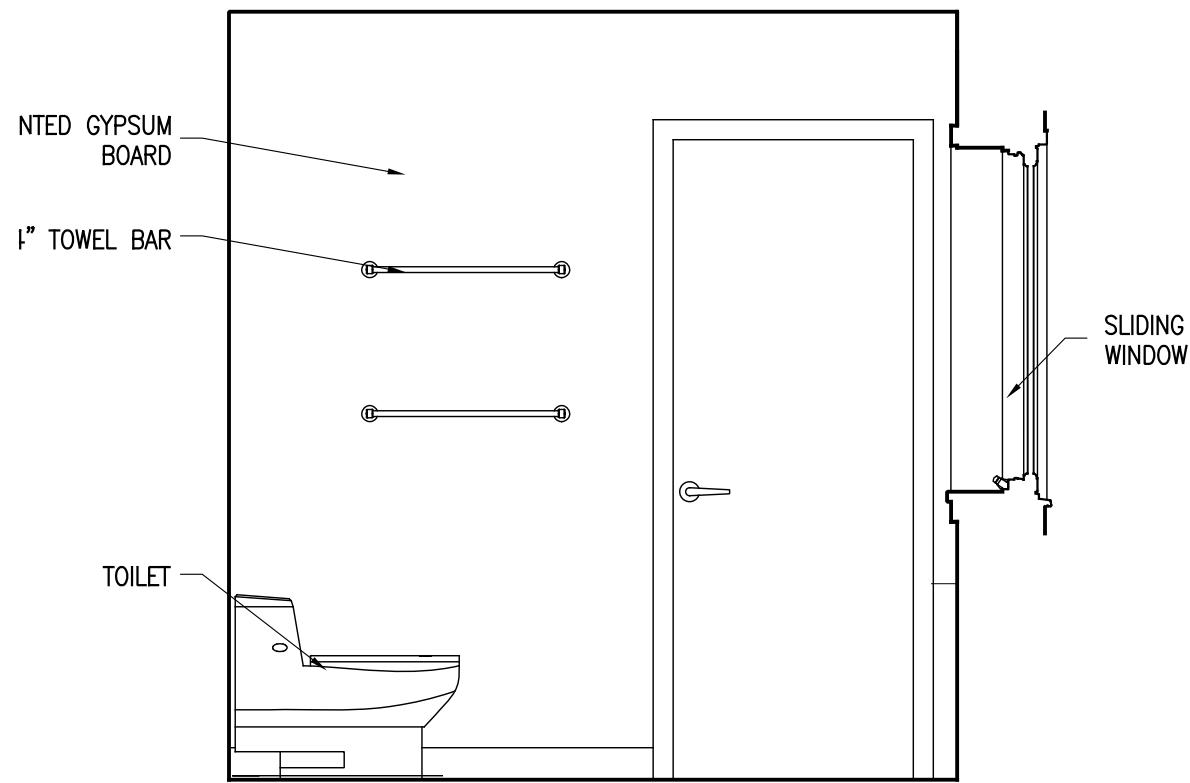
13 STAIR RAILING DETAIL & TREAD DETAIL  
1 1/2" = 1'-0"



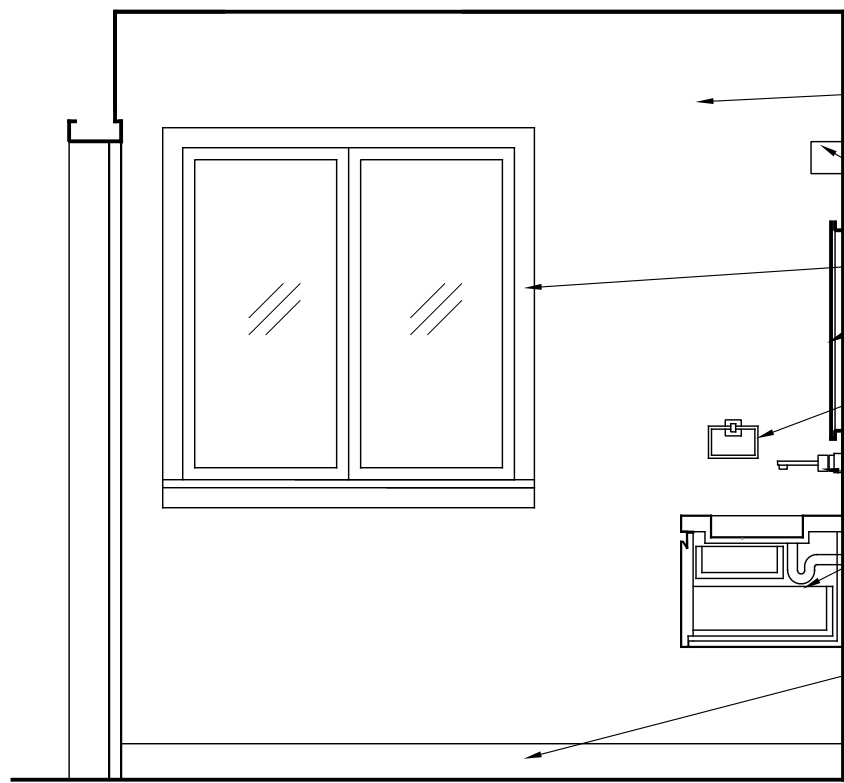
12 SECTION DETAIL AT STAIR RAILING  
1 1/2" = 1'-0"



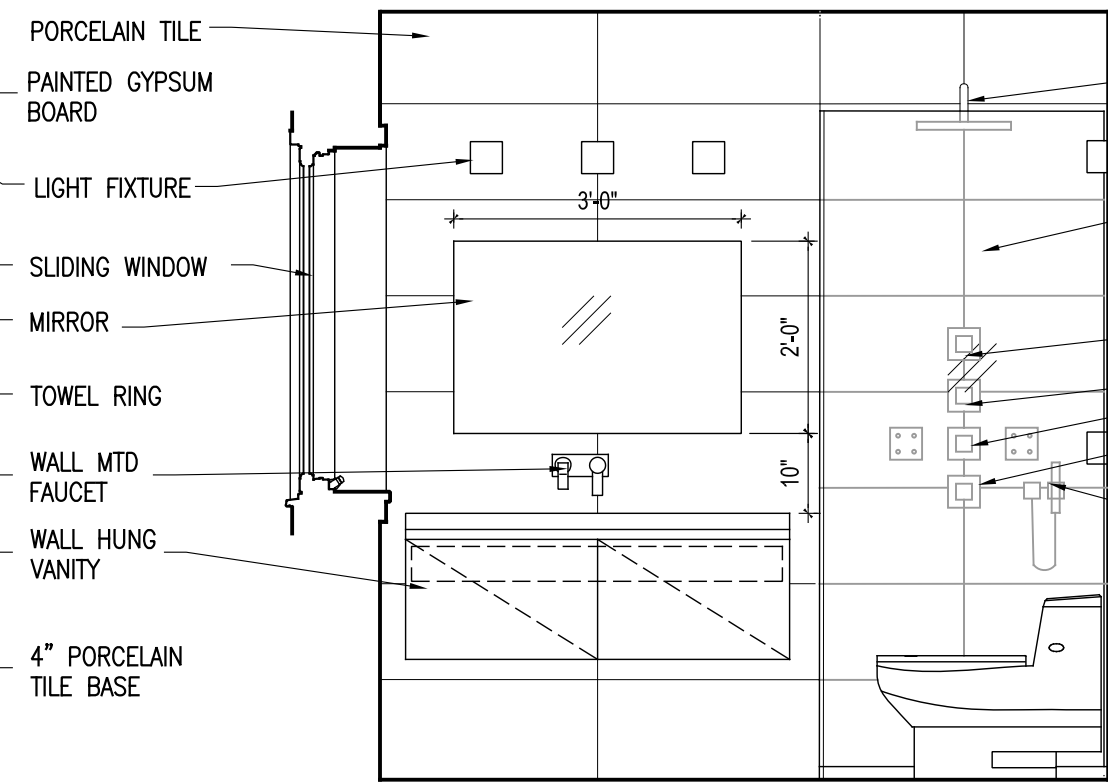
11 SECTION DETAIL AT VANITY  
1 1/2" = 1'-0"



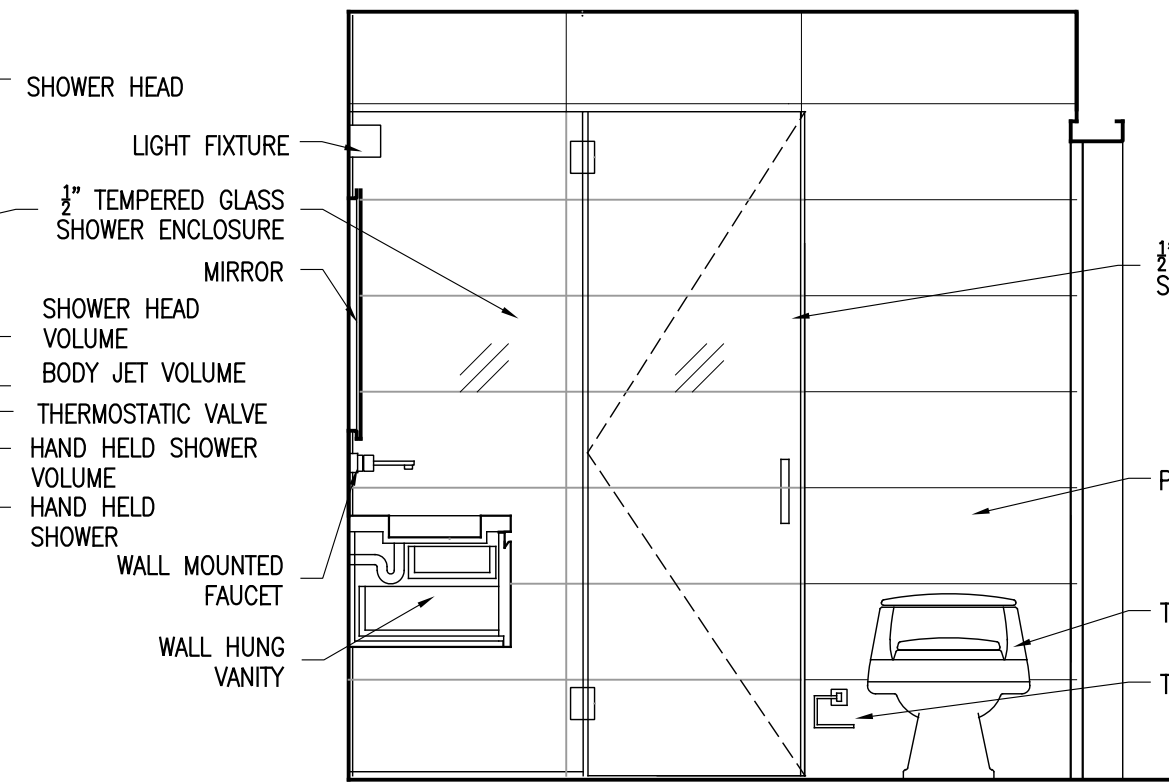
10 MASTER BATHROOM ELEVATION  
1/2" = 1'-0"



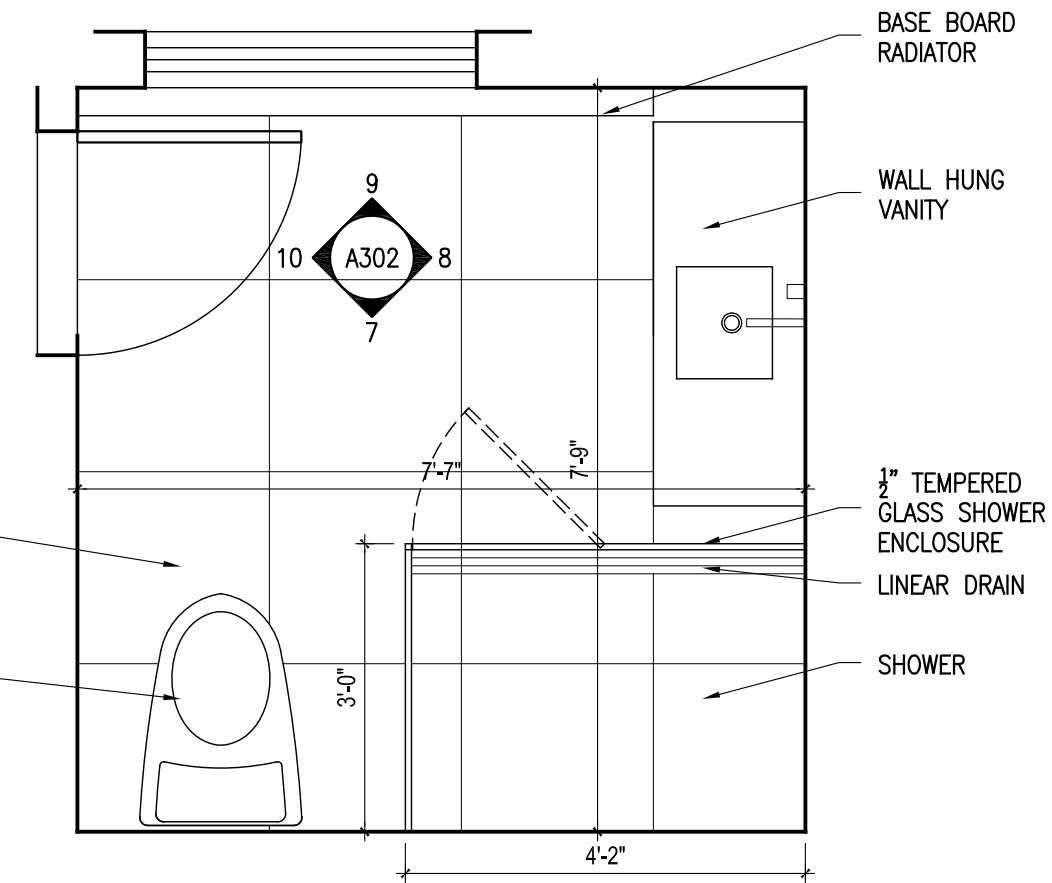
9 MASTER BATHROOM ELEVATION  
1/2" = 1'-0"



8 MASTER BATHROOM ELEVATION  
1/2" = 1'-0"



7 MASTER BATHROOM ELEVATION  
1/2" = 1'-0"



6 MASTER BATHROOM PLAN  
1/2" = 1'-0"



Mansfield Aleration  
40 Colonial Ave  
Dobbs Ferry, NY

CONSTRUCTION  
DRAWINGS

Date:  
JANUARY 04, 2020

drawn by:

scale:  
1/2" = 1'-0"

WIR:

INTERIOR  
ELEVATIONS

number:

A302