

# EXISTING DECK ALTERATION

## 153-155 ASHFORD AVENUE

### DOBBS FERRY, NY. 10522

#### GENERAL NOTES

1. SCOPE OF WORK: REMOVAL OF EXISTING WOOD DECK STEPS AND CONCRETE WALKS AND INSTALLATION OF NEW WOOD DECK STAIRS INCLUSIVE OF NEW STAIRS, DECKING, RAILINGS AND NEW CONCRETE PADS.

2. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2020 NEW YORK STATE RESIDENTIAL BUILDING CODE, AND LOCAL MUNICIPAL BUILDING CODE, FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES.

3. BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING MUNICIPAL AGENCIES.

4. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT.

5. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.

6. THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES, BUILDING MANAGEMENT, OR BOARD OF DIRECTORS.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.

8. THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES: PLUMBING, ELECTRICAL, ETC.

9. PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.

10. THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.

11. ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED.

12. THE ARCHITECT HAS NOT BEEN RETAINED TO PROVIDE SUPERVISION.

13. ALL PAINTS, COATINGS AND PRIMERS APPLIED OT HE INTERIOR SURFACES SHALL NOT EXCEED THE FOLLOWING VOC CONTENT LIMITS (AS ESTABLISHED BY GREEN SEAL STANDARD GC-11, PAINTS, EDITION 3.1, JULY 2013, AS AMENDED):  
FLAT PAINT 50G/L FLAT  
NON-FLAT PAINT 150G/L NON-FLAT.

14. CLEAR WOOD FINISHES, FLOOR COATINGS, STAINS, SEALERS, AND SHELLACS, APPLIED TO INTERIOR SURFACES, SHALL NOT EXCEED THE FOLLOWING VOC CONTENT LIMITS (AS ESTABLISHED BY SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1113, ARCHITECTURAL COATINGS, JUNE 3, 2011, AS AMENDED):

VARNISH: 275 G/L  
LAQUER: 275 G/L  
SHELLAC: 730 G/L CLEAR, 550 G/L PIGMENTED  
SEALERS: 100 G/L WATERPROOFINGS, 275 G/L SANDING, 100G/L ALL OTHERS.

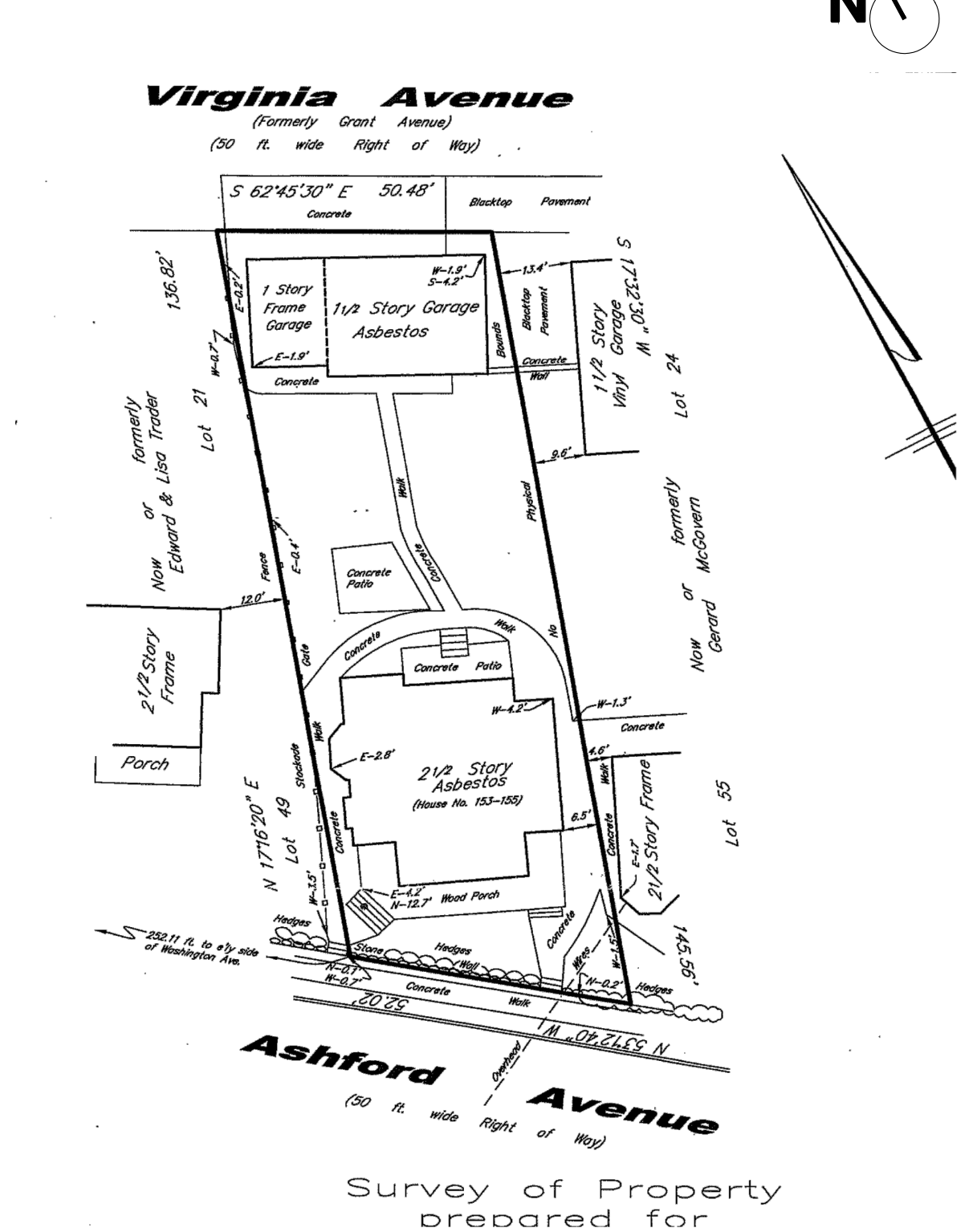
15. NO MATERIALS SHALL CONTAIN ADDED UREA FORMALDEHYDE.

16. A MINIMUM OF 25% OF CONSTRUCTION WASTE BY WIGHT SHALL BE RECYCLED, REPURPOSED AND OR / REUSED AND NOT SENT TO LANDFILL OR INCINERATOR.

17. FOUNDATIONS ARE TO BE SIGNED OFF BY ARCHITECT OR ENGINEER PRIOR TO ANY RECONSTRUCTION

#### EXISTING SURVEY

ZONE: R-20  
NOT TO SCALE



#### SYMBOLS AND MATERIALS LEGEND

	EXISTING WALLS TO REMAIN		WINDOW KEY
	CONCRETE		DOOR KEY
	EARTH		ROOM KEY
	WOOD BLOCKING CONTINUOUS		DRAWING NAME
	WOOD BLOCKING INTERMEDIATE (SHIMS)		DETAIL KEY
	BRICK		
	STEEL		
	FINISH WOOD		

#### TABLE OF CONTENTS

##### ARCHITECTURAL

T-100.00	TITLE SHEET
SP-100.00	SITE PLAN
A-100.00	DEMOLITION, CONSTRUCTION & FRAMING PLANS, DETAILS AND NOTES
A-200.00	ELEVATIONS, SECTIONS AND DETAILS
A-700.00	PROPOSED MATERIALS

#### ZONING

ADDRESS	SBL	ZONE	USE
155 ASHFORD AVENUE	3.90-55-17	MDR-1	2 FAMILY DWELLING

#### TABLE 1: BUILDING DIMENSIONS

	EXISTING	PROPOSED	MAXIMUM ALLOWABLE
LOT AREA (SF)	6,954 SF.	6,954 SF. NO CHANGE	5,000 SF.
LOT WIDTH (FT)	50.48'	50.48' NO CHANGE	50'-0"
LOT DEPTH (FT)	145.56'	145.56' NO CHANGE	100'-0"
COVERAGE BY BUILDING (SF)	2,217 SF.	2,217 SF. NO CHANGE	
COVERAGE BY BUILDING (%)	32%	32% NO CHANGE	27%
COVERAGE BY IMPERVIOUS SURFACES (SF)	4,410 SF.	3,976 SF.	
COVERAGE BY IMPERVIOUS SURFACES (%)	63%	57% (REDUCED EXISTING NON-CONFORMANCE)	54%
FRONT YARD SET BACK (FT)	16.38'	16.38' NO CHANGE	20'-0"
REAR YARD SET BACK (FT)	81.38'	81.38' NO CHANGE	25'-0"
SIDE YARD SET BACK, EACH (FT)	2.8' 4.2'	2.8' NO CHANGE 4.2' NO CHANGE	10'-0"
SIDE YARD SET BACK, BOTH (FT)	7.0'	7.0' NO CHANGE	20'-0"

#### TABLE 2: HEIGHT

PRINCIPAL STRUCTURE	EXISTING	PROPOSED	MAXIMUM ALLOWABLE
NUMBER OF STORIES	2.5	NO CHANGE	2.5
GRADE TO RIDGE (OF+MDR-1)	EXISTING	NO CHANGE	35'-0"
GRADE TO EAVE (OF+MDR-1)	EXISTING	NO CHANGE	28'-0"

ACCESSORY STRUCTURE (NOT IN SCOPE)	EXISTING	PROPOSED	MAXIMUM ALLOWABLE
NUMBER OF STORIES	1.5	NOT IN SCOPE	1.5
GRADE TO RIDGE (OF+MDR-1)	EXISTING	NOT IN SCOPE	20'-0"
GRADE TO EAVE (OF+MDR-1)	EXISTING	NOT IN SCOPE	

#### DESIGN LOADS ARE AS FOLLOWS PER SQUARE FOOT:

LOCATION	LIVE	DEAD	DEFLECTION LIMIT
ROOMS OTHER THAN SLEEPING	40lb.	10lb.	L/360
SLEEPING	30lb.	10lb.	L/360
ATTIC (NON STORAGE)	10lb.	5lb.	L/240
ATTIC (STORAGE)	20lb.	10lb.	L/240
ROOF (WITH FIN. CLG.)	20lb.(SNOW)	15lb.	L/240
ROOF (NO FIN. CLG.)	20lb.(SNOW)	7lb.	L/240

#### ENERGY CODE COMPLIANCE

WESTCHESTER: CLIMATE ZONE 4

COMPONENT:	REQUIREMENT	PROPOSED DESIGN	DRAWING
FENESTRATION U FACTOR:	0.43	N/A	
SKYLIGHT U FACTOR:	0.48	N/A	
CEILING R-VALUE	49	N/A	
FRAME WALL R-VALUE	20	N/A	
MASS WALL R-VALUE	8/13c	N/A	
FLOOR R- VALUE	19	N/A	
BASEMENT WALL R-VALUE	10/ 13 c	N/A	
SLAB R VALUE	10, 2FTd	N/A	
CRAWL SPACE WALL R- VALUE	10/13c	N/A	

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#### CONSULTANTS

#### REVISIONS

NO.	DATE	ISSUED
1	3-14-2022	DOB COMMENTS
2	3-17-2022	AHRB SUBMISSION

#### KEY PLAN

#### SEAL & SIGNATURE



#### PROJECT:

EXISTING DECK ALTERATION  
153-155 ASHFORD AVENUE  
DOBBS FERRY, NY. 10522

#### DRAWING TITLE:

#### TITLE SHEET

DATE: 1/11/ 2022

DWG NO:

DRAWN BY: KM

CHECKED BY: MVC

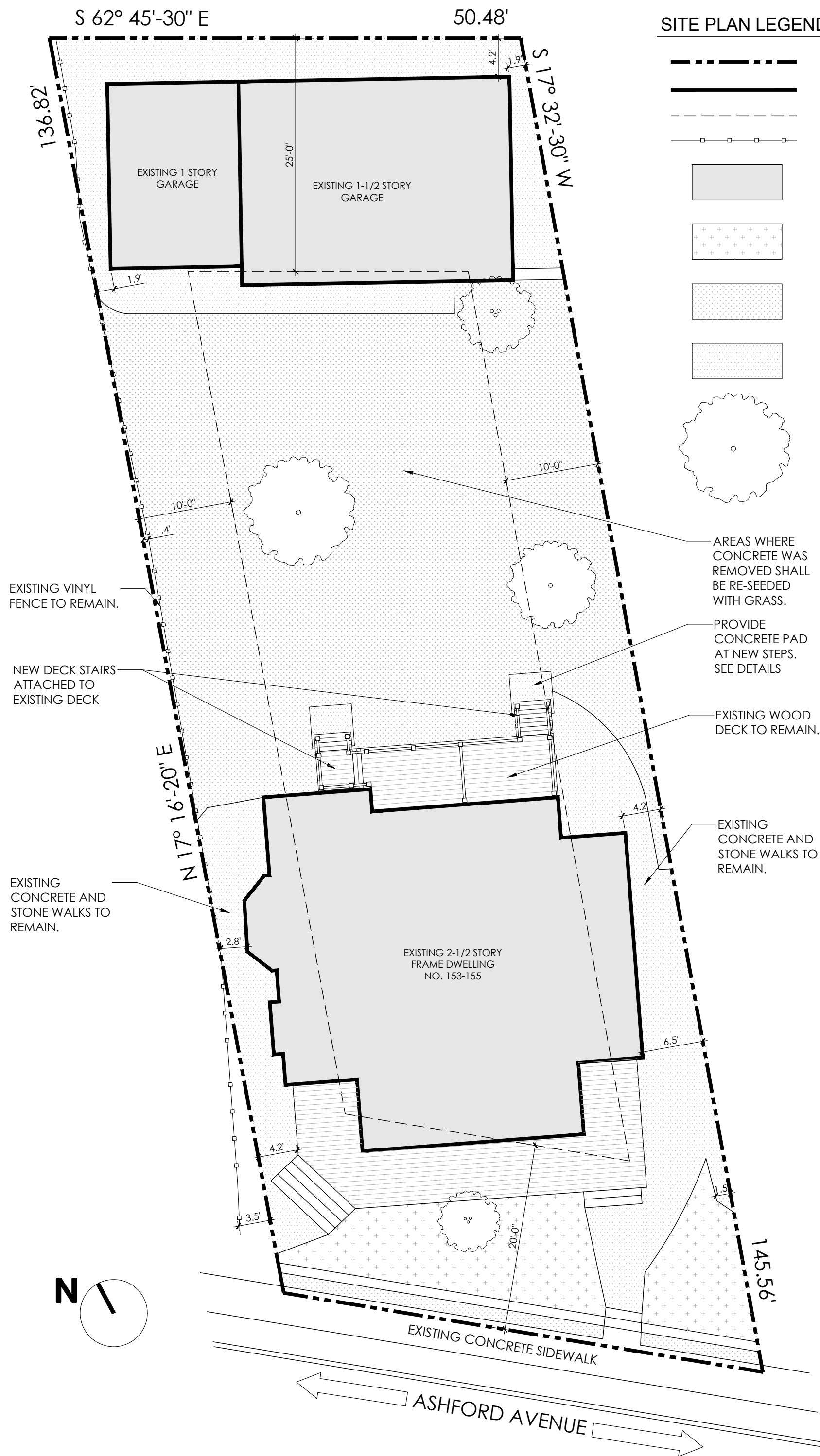
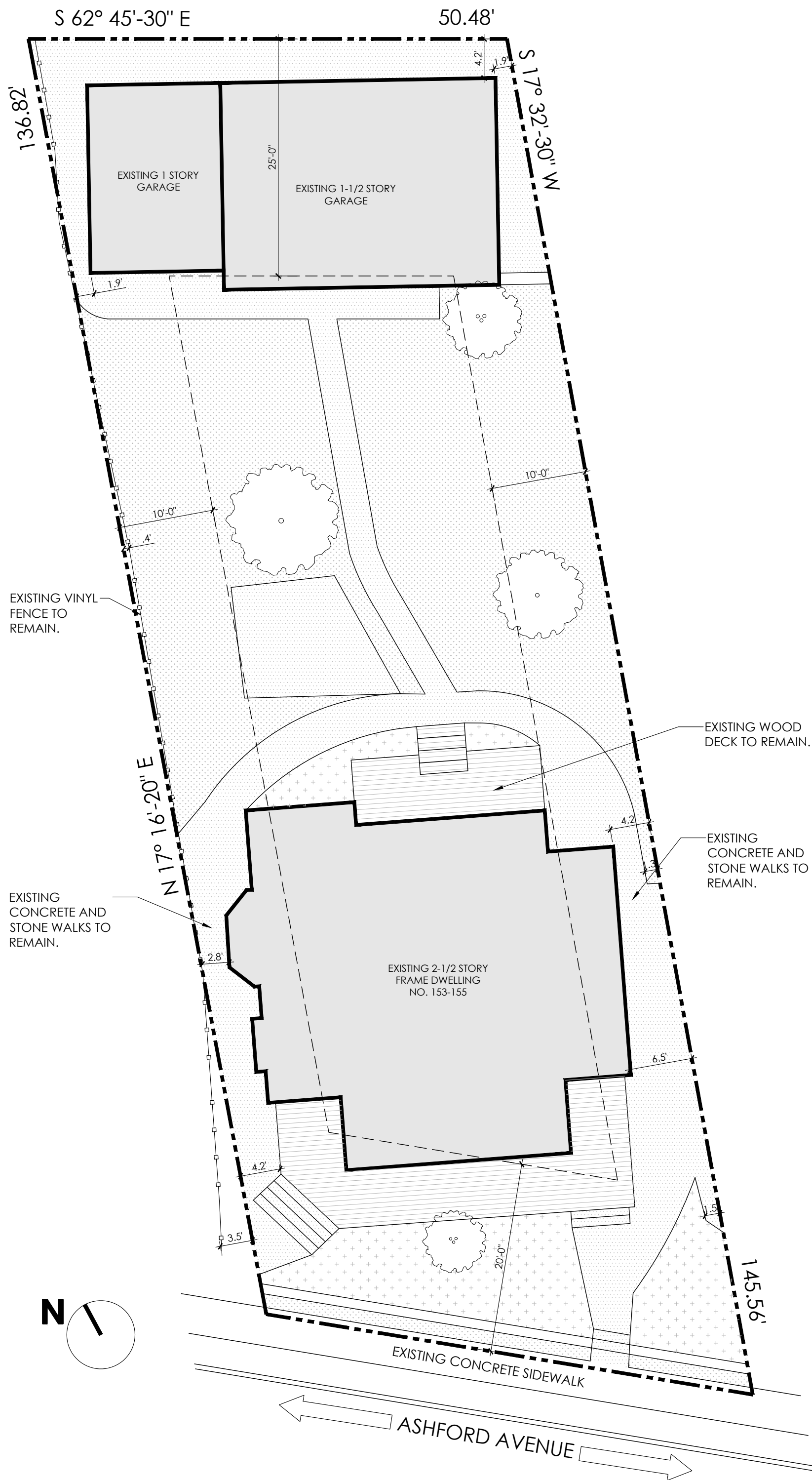
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TABLE R301.2(1) CLIMATE AND GEOGRAPHIC DESIGN CRITERIA

GROUND (1) SNOW LOAD	WIND	SEISMIC DESIGN CATEGORY (g)	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP (f)	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARD	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	SPEED (MPH)		WEATHERING	FROST LINE DEPTH (b)	TERMITE(c)	DECAY(d)					
30 LBS	(115) SPECIAL WIND REGION	C	SEVERE	42"	MODERATE TO HEAVY	SLIGHT TO MODERATE	15°	YES	N/A	576	53.0°





#### SITE PLAN LEGEND

- PROPERTY LINE
- EXISTING BUILDING OUTLINE
- REQUIRED YARD SETBACKS
- EXISTING VINYL FENCE
- EXISTING BUILDING
- EXISTING PLANTED AREA
- EXISTING GRASS
- EXISTING CONCRETE, STONE WALKWAY OR STEPS
- EXISTING TREE TO REMAIN

AREAS WHERE CONCRETE WAS REMOVED SHALL BE RE-SEED WITH GRASS.

PROVIDE CONCRETE PAD AT NEW STEPS. SEE DETAILS

EXISTING WOOD DECK TO REMAIN.

EXISTING CONCRETE AND STONE WALKS TO REMAIN.

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#### DRAWING TITLE:

EXISTING AND PROPOSED  
SITE PLAN

DATE: 1/11/ 2022

DWG NO:

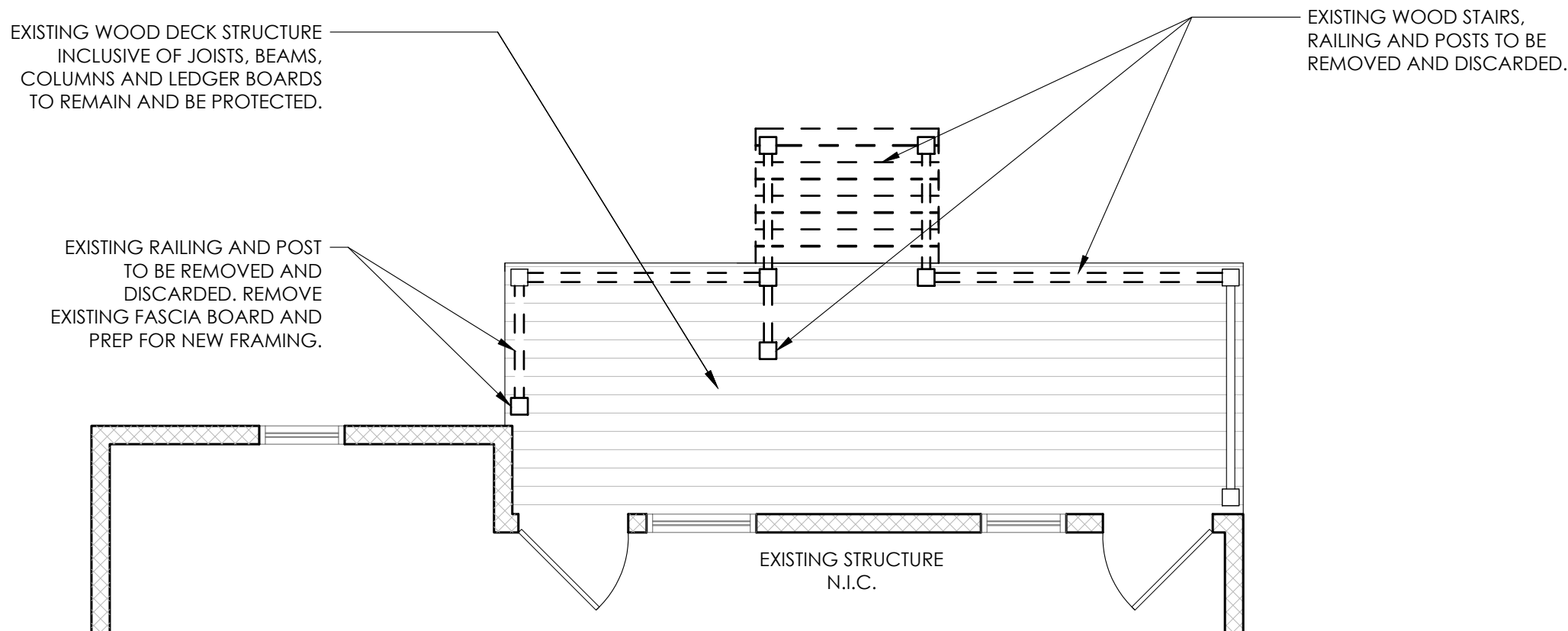
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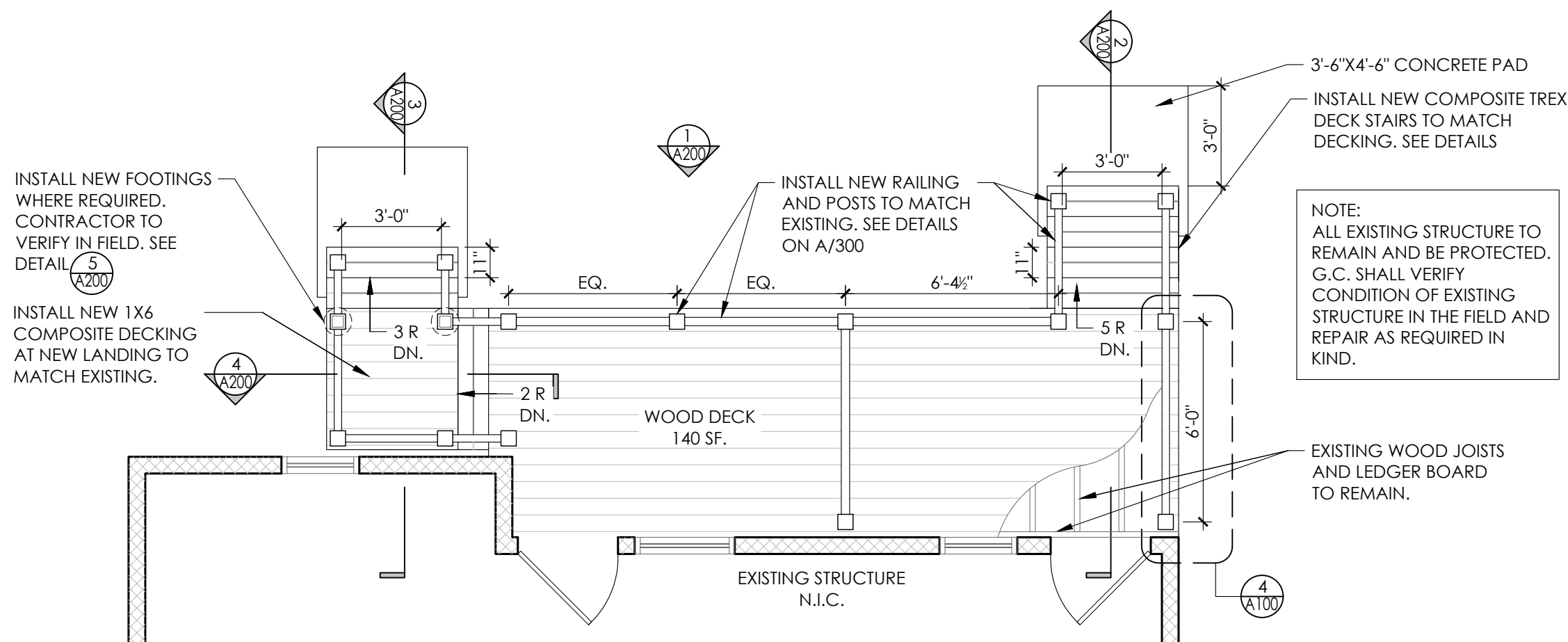
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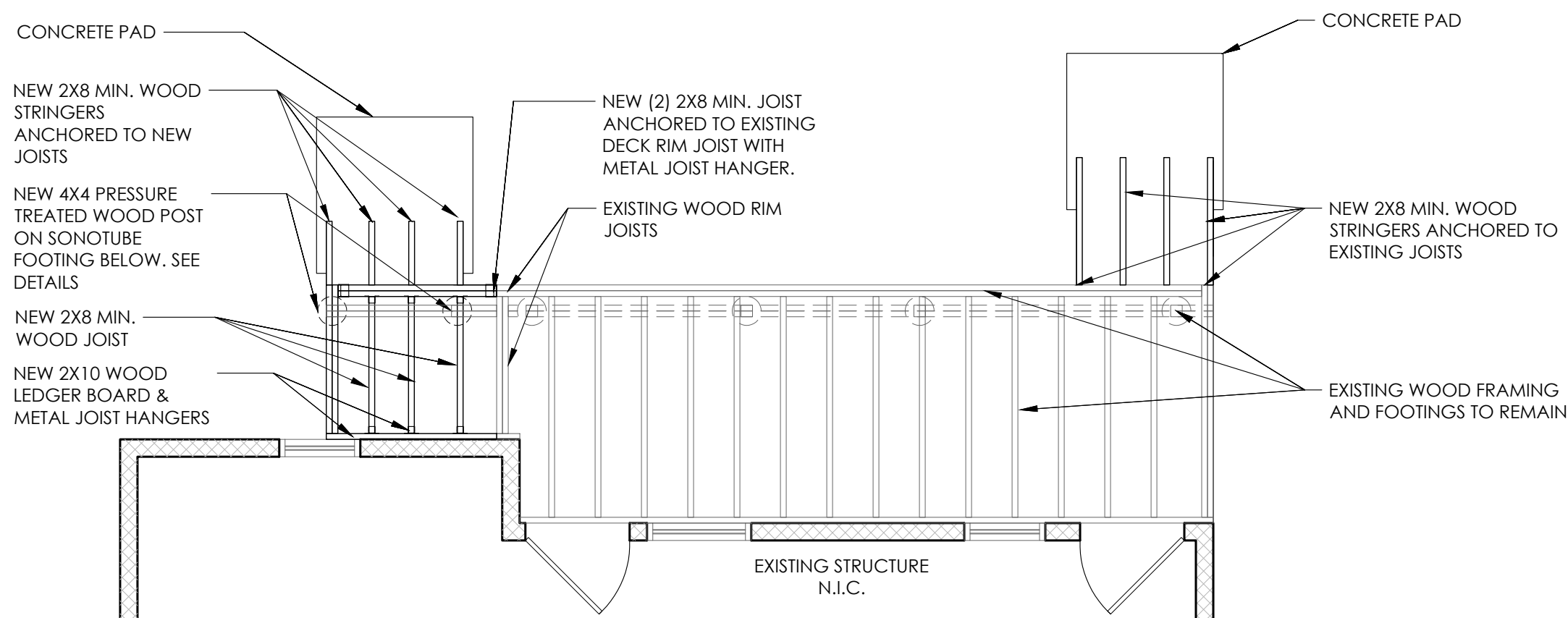
## 1 DEMOLITION PLAN - EXISTING DECK

Scale: 1/4"= 1'-0"



## 2 CONSTRUCTION PLAN - EXISTING DECK

Scale: 1/4"= 1'-0"



## 3 PROPOSED FRAMING PLAN AT NEW DECK STAIRS

Scale: 1/4"= 1'-0"

## DEMOLITION NOTES

1. CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER.
2. ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.
3. NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION.
4. NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLESS PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED BY EITHER TEMPORARY SHORING OR NEW STRUCTURAL ELEMENTS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE.
5. ALL ADJOINING PROPERTY AFFECTED BY ANY OPERATIONS OF DEMOLITION SHALL BE PROTECTED PER THE REQUIREMENTS OF NEW YORK STATE BUILDING CODE.
7. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIER AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY DEPARTMENT OF BUILDING RULES AND REGULATIONS.
8. THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF THE WORK. ALL OPENINGS IN ANY WALL OR ROOF SHALL BE PROTECTED FROM ALL FORMS OF WEATHER OR WATER PENETRATION.
9. THE CONTRACTOR SHALL FILE ALL NECESSARY CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, PAY ALL FEES, OBTAIN ALL PERMITS, AND PROVIDE ANY AND ALL BONDS REQUIRED BY ANY CITY AGENCY IN ORDER TO THE WORK HEREIN DESCRIBED.

## DEMOLITION LEGEND

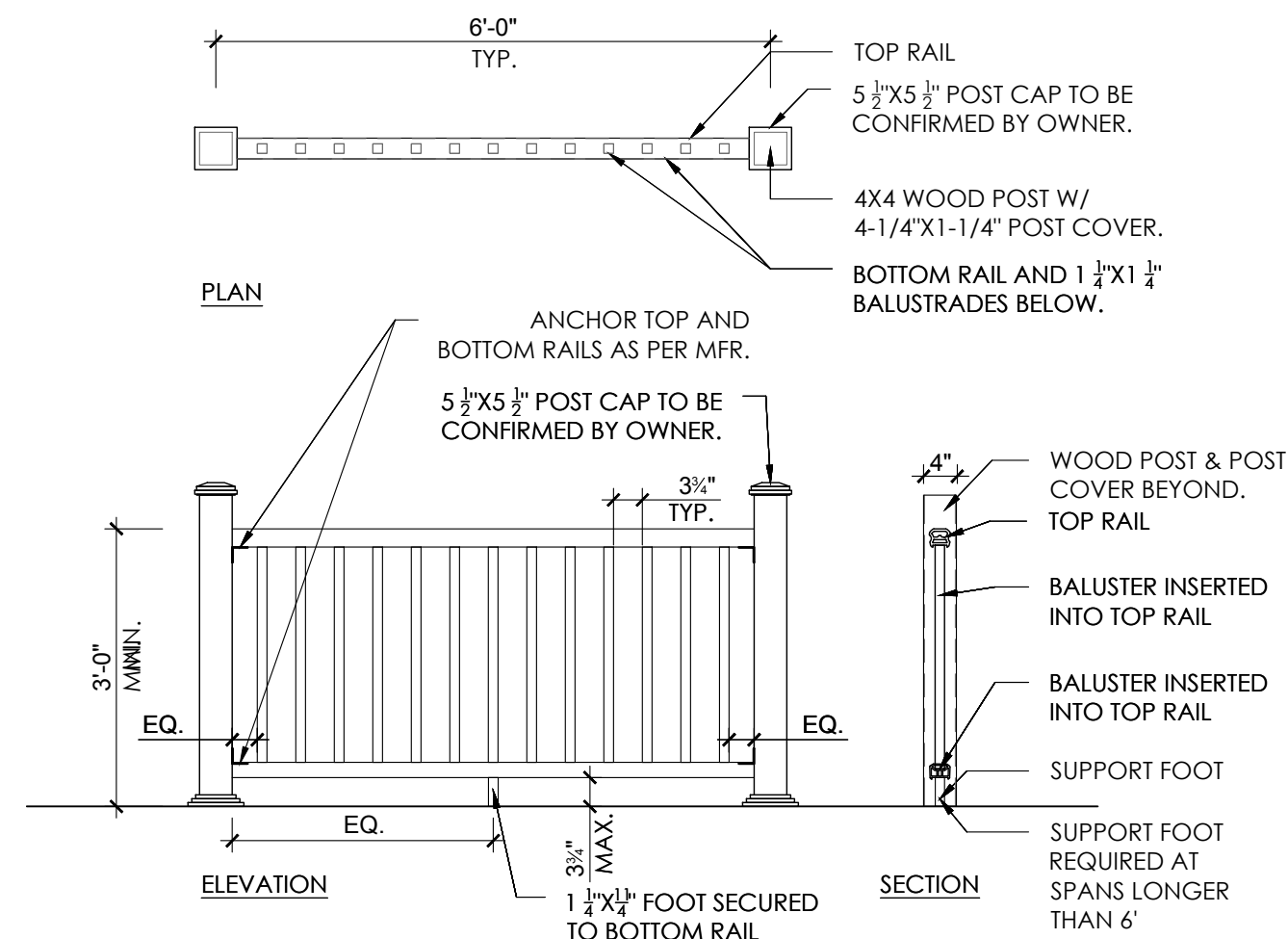


## CONSTRUCTION NOTES

1. CONTRACTOR IS TO IMMEDIATELY NOTIFY ARCHITECT OF DISCREPANCIES THAT MAY PROHIBIT OR AFFECT THE CONSTRUCTION OF ANY PART OF THE INTENDED DESIGN.
2. DIMENSIONS ARE TAKEN FROM FINISH MATERIAL TO FINISH MATERIAL UNLESS NOTED OTHERWISE.
3. UPON COMPLETION OF DEMOLITION, THE CONTRACTOR SHALL WALK THE AREA OF WORK WITH THE ARCHITECT TO CONFIRM LAYOUT.
4. ALL FINISHES ON NEW DECK INCLUDING BUT NOT LIMITED TO POST CAP, SKIRT AND BALUSTER PROFILES TO MATCH EXISTING IN MATERIAL, SIZE, PROFILE AND COLOR.
5. ALL COMPOSITE DECKING, RAILINGS AND POSTS SHALL BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

## FRAMING PLAN NOTES

1. ALL LUMBER SHALL BE PRESSURE TREATED WOOD.



## 4 PROPOSED RAILING DETAILS

Scale: 1/2"= 1'-0"

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PROJECT:

EXISTING DECK ALTERATION  
153-155 ASHFORD AVENUE  
DOBB'S FERRY, NY. 10522

DRAWING TITLE:

DEMOLITION PLAN,  
CONSTRUCTION PLAN,  
FRAMING PLAN, NOTES AND  
DETAILS

DATE: 1/11/ 2022

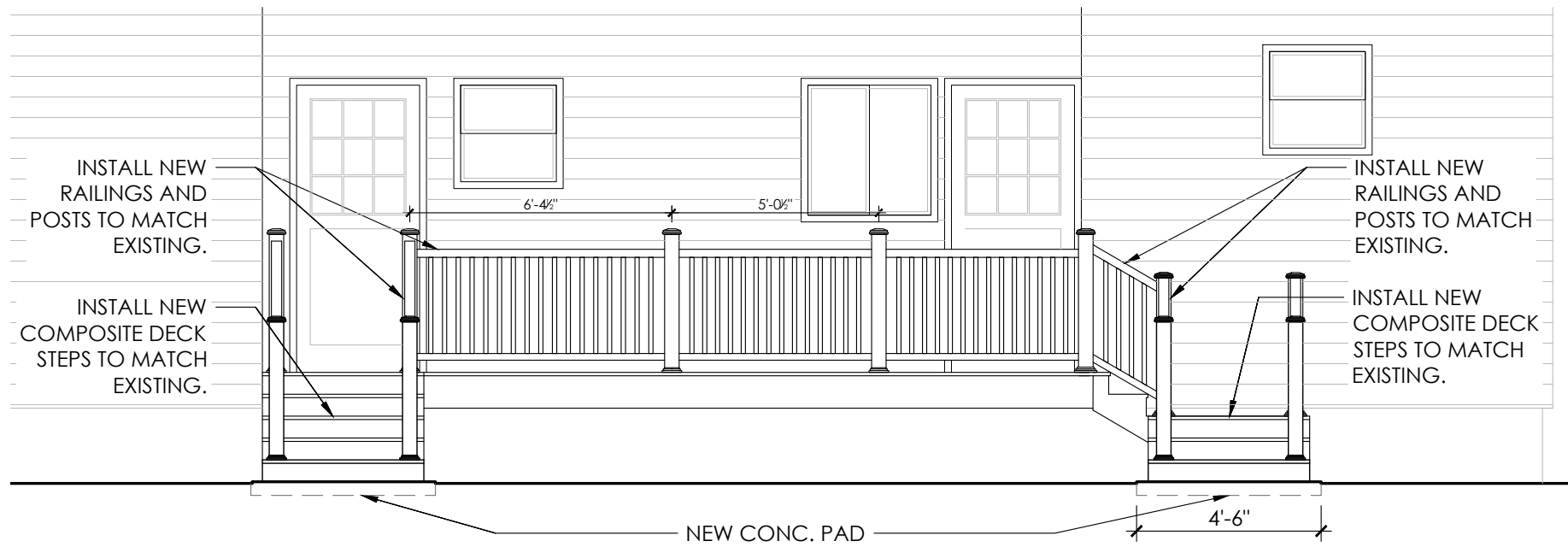
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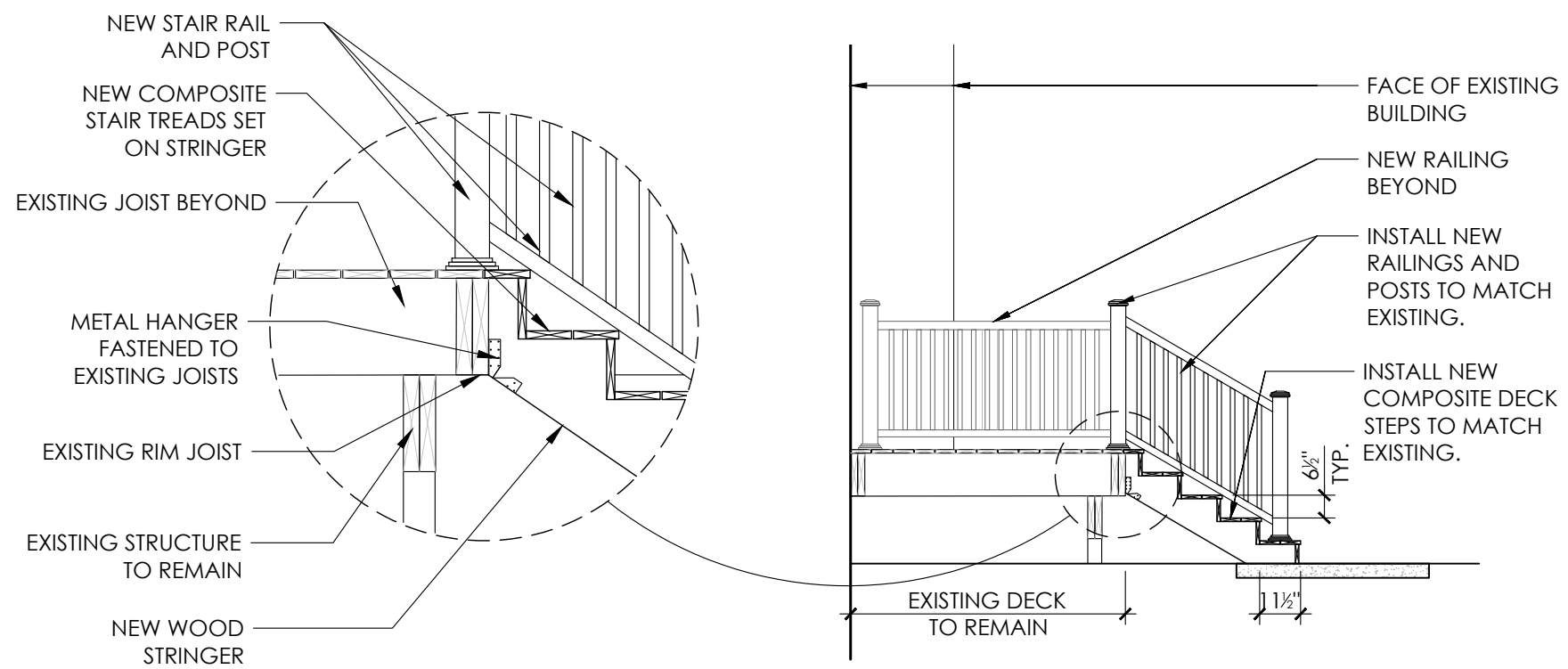
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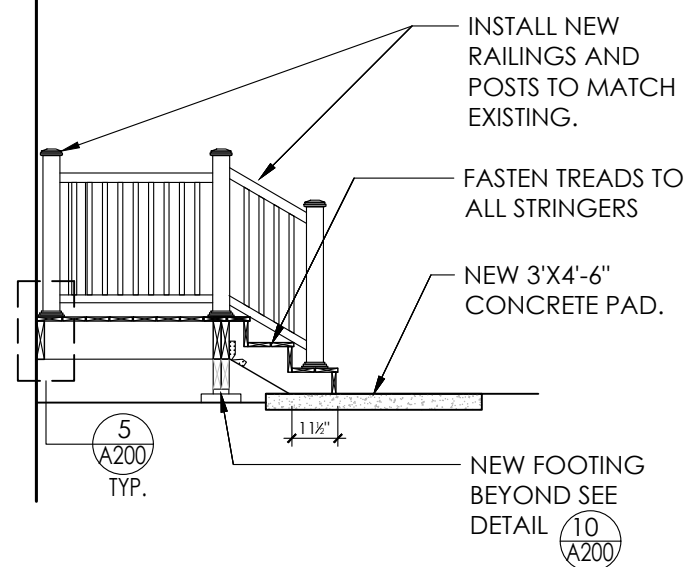


1 PROPOSED ELEVATION  
Scale: 1/4"= 1'-0"



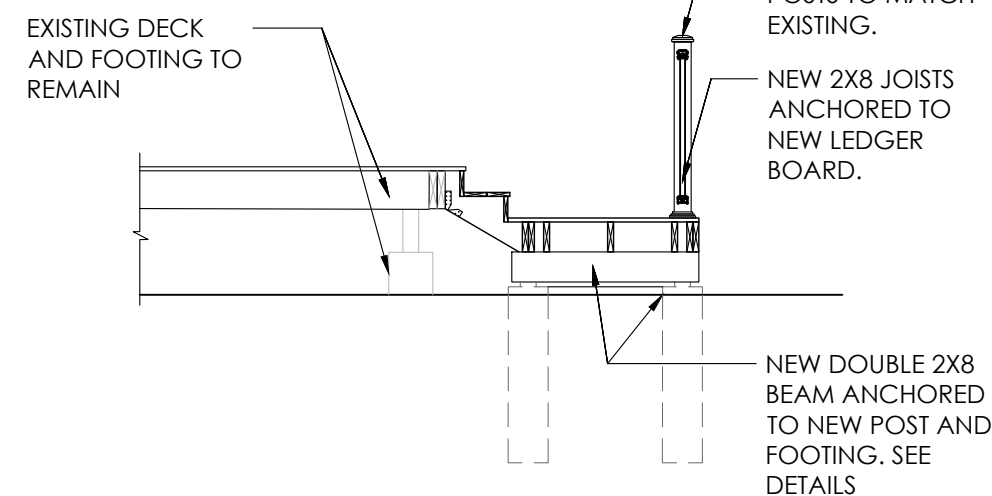
2 SECTION AT NEW DECK STAIR  
Scale: 1/4"= 1'-0"

NOTE:  
PROVIDE GRAVITY CONNECTION TO ACHIEVE SIMPLE BEAM DESIGN AT CONCRETE PAD FOR EXPANSION AND CONTRACTION.

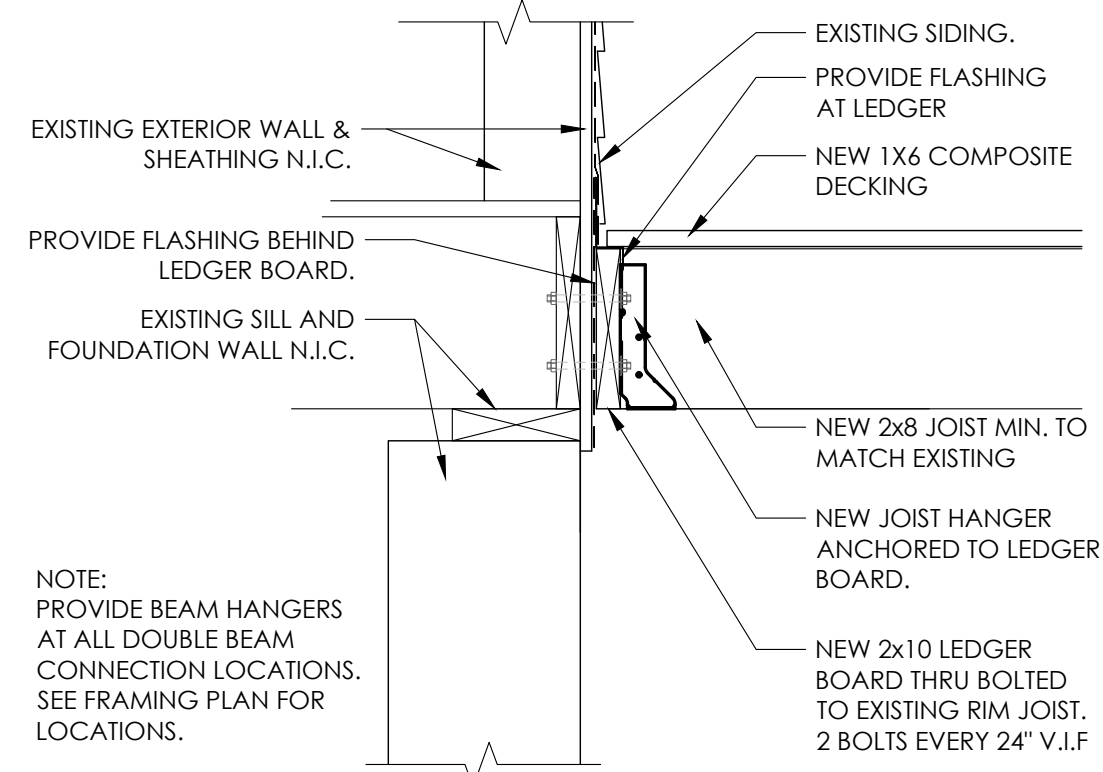


3 SECTION AT NEW DECK STAIR AND LANDING  
Scale: 1/4"= 1'-0"

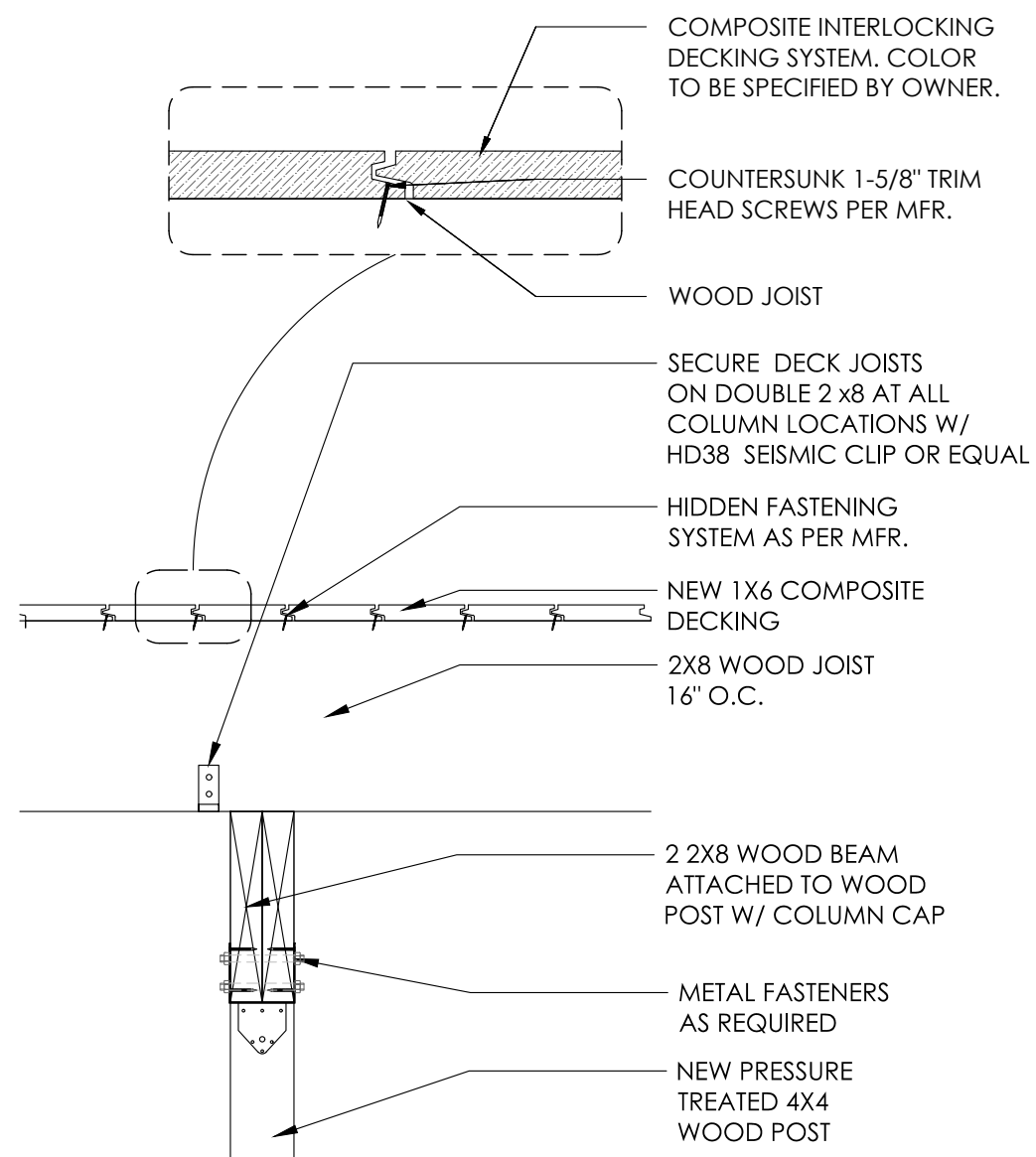
- NOTES:
1. ALL COMPOSITE INTERLOCKING DECKING SYSTEM SHALL BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
  2. ALL DECKING SHALL BE SLOPED 1/8" PER FOOT



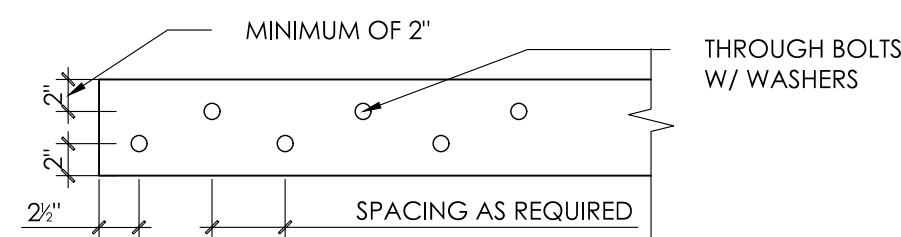
4 SECTION AT NEW DECK STAIR AND LANDING  
Scale: 1/4"= 1'-0"



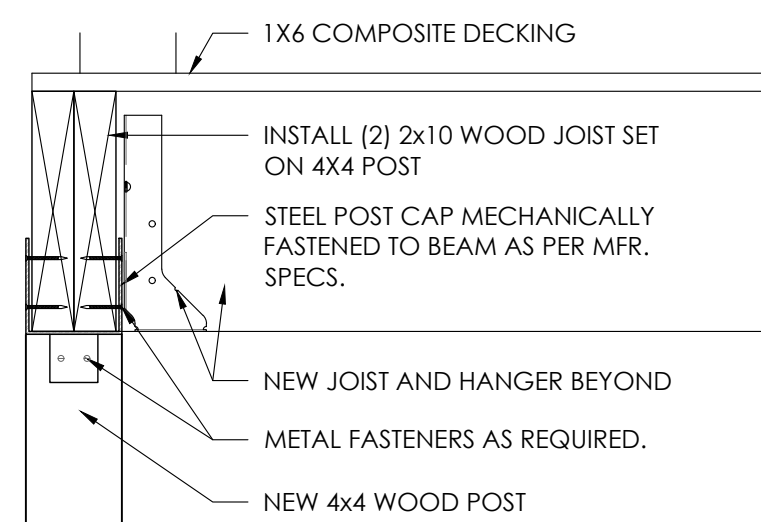
5 DETAIL AT LEDGER BOARD  
Scale: 1"= 1'-0"



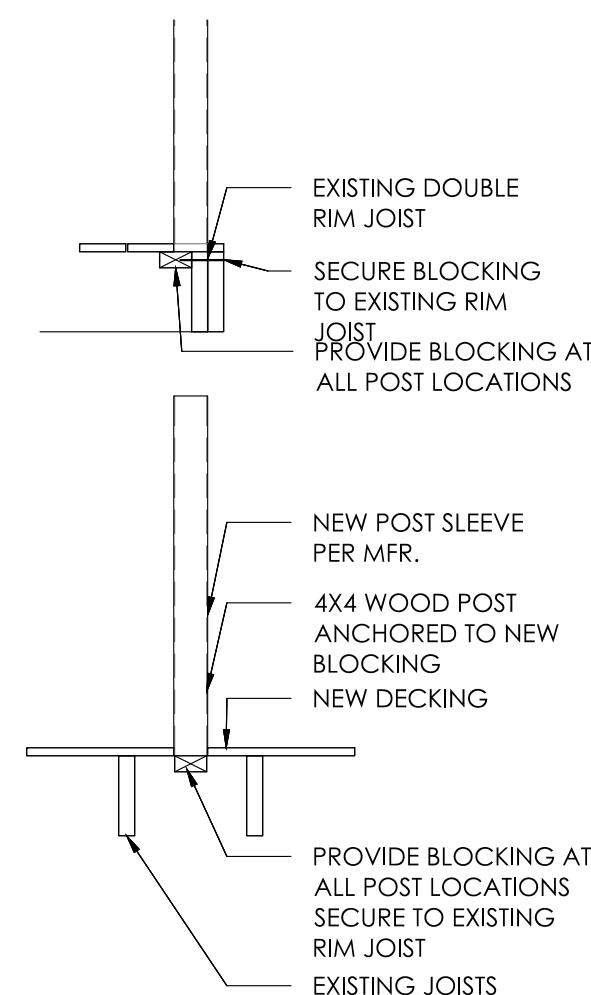
6 BEAM TO POST CONNECTION DETAIL  
Scale: 1"= 1'-0"



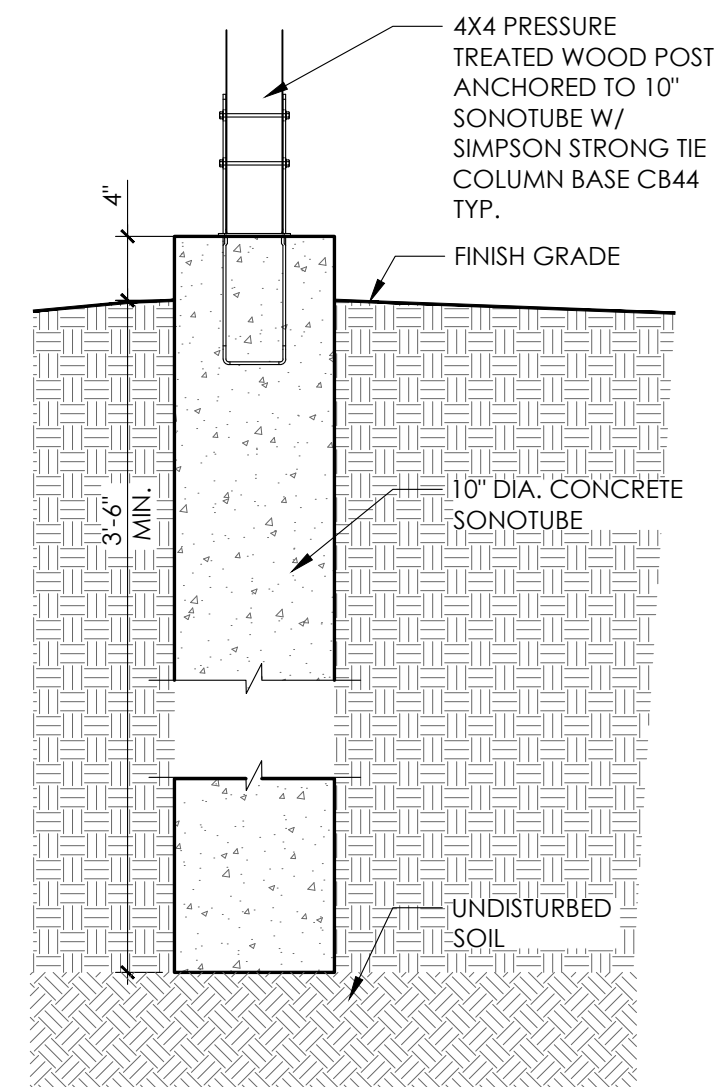
7 LEDGER BOARD BOLTING PATTERN  
Scale: 1"=1'-0"



8 NEW POST TO JOIST DETAIL  
Scale: 1 1/2"=1'-0"



9 POST ATTACHMENT DETAIL  
Scale: 1/2"=1'-0"



10 FOOTING DETAIL  
Scale: 3"= 1'-0"

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DRAWING TITLE:

PROPOSED SECTIONS,  
ELEVATIONS AND DETAILS

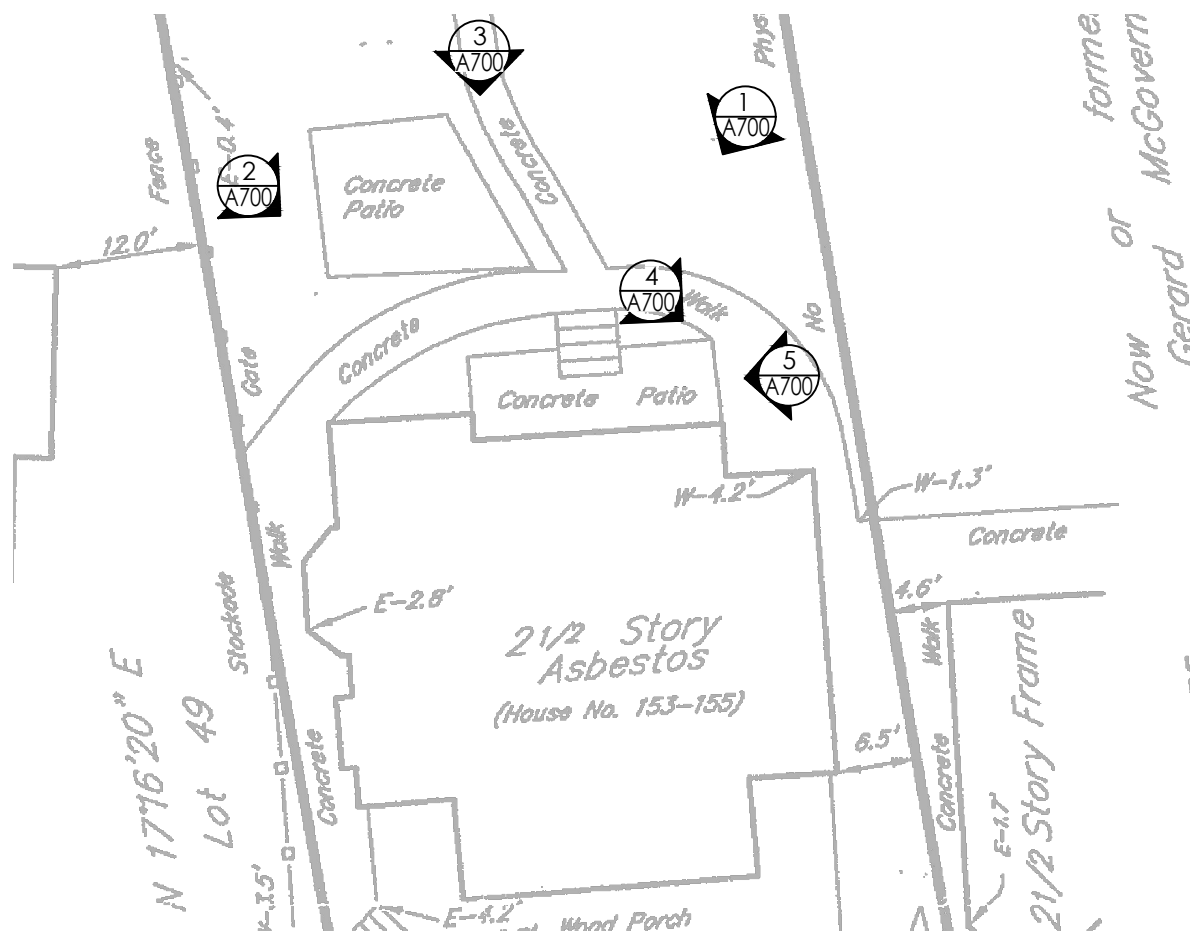
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CHECKED BY: MVC

PROJECT NO: 21062





**A KEY PLAN**  
Scale: N.T.S.



**3 EXISTING DECK - LOOKING SOUTH**  
Scale: N.T.S.



**6 PROPOSED RAILING**  
Scale: N.T.S.

PROPOSED RAILING  
MFR: TIMBERTECH  
MODEL: RADIANCE RAIL  
COLOR: WHITE



**1 EXISTING DECK - LOOKING SOUTHWEST**  
Scale: N.T.S.



**4 EXISTING RAILING AND DECKING MATERIAL**  
Scale: N.T.S.



**7 PROPOSED COMPOSITE DECKING**  
Scale: N.T.S.



**2 EXISTING DECK - LOOKING SOUTHEAST**  
Scale: N.T.S.



**5 EXISTING DECK - LOOKING EAST**  
Scale: N.T.S.

PROPOSED COMPOSITE DECKING  
MFR: TIMBERTECH  
MODEL: AZTEC  
SIZE: 1X6  
COLOR: DARK HICKORY



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DRAWING TITLE:

EXISTING SITE PHOTOS AND  
PROPOSED MATERIALS

DATE: 1/11/ 2022	DWG NO:
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