

PROJECT DESCRIPTION

1. REMOVE THE EXISTING CIRCULAR STAIRS AND EXISTING WIRE FENCING AT THE BACK OF THE HOUSE. EXTEND THE EXISTING DECK TO CREATE A BARBECUE AREA OF APPROXIMATELY 3'-7" BY 8'-0" WITH AN AREA OF 27 SQUARE FEET; ADD A NEW EXTERIOR STAIRCASE WITH AN AREA OF 68 SQUARE FEET FROM THE EXISTING DECK ON TOP OF THE GARAGE TO THE PATIO AT GRADE; EXPAND THE EXISTING PATIO BY APPROXIMATELY 410 SQUARE FEET; AND INSTALL A NEW FENCE ALONG THE PROPERTY LINE NOT TO EXCEED 8'-0" IN HEIGHT.

GENERAL NOTES

2. THESE NOTES PERTAIN TO THE ATTACHED DRAWINGS.
3. THESE DRAWINGS, TOGETHER WITH THE SPECIFICATIONS AND CONTRACT FOR CONSTRUCTION, COMPRISE THE CONTRACT DOCUMENTS FOR THIS PROJECT.
4. THE DRAWINGS AND SPECIFICATIONS ARE TO BE CONSIDERED AS COMPLEMENTARY. ALL LABOR, MATERIALS, EQUIPMENT, AND APPURTENANCES NECESSARY FOR THE EXECUTION OF THE WORK, IF SHOWN ON THE DRAWINGS BUT NOT DESCRIBED IN THE SPECIFICATIONS, OR IF DESCRIBED IN THE SPECIFICATIONS BUT NOT SHOWN ON THE DRAWINGS, AND ANY WORK WHICH IS NECESSARY TO COMPLETE THE WORK WITHIN THE LIMITS ESTABLISHED BY THE DRAWINGS AND SPECIFICATIONS, IS TO BE EXECUTED IN THE SAME MANNER AS THE OTHER PORTIONS OF THE CONTRACT. FOR VERIFICATION CONTACT GOTHAM DESIGN.
5. ALL CONSTRUCTION WORK MUST BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE LAWS, REGULATIONS, ORDINANCES, BUILDING CODES, AND REQUIREMENTS OF THE VILLAGE OF DOBBS FERRY, THE COUNTY OF WESTCHESTER, THE STATE OF NEW YORK, THE FEDERAL GOVERNMENT, AND ALL OTHER AUTHORITIES HAVING JURISDICTION OVER THE WORK TO BE PERFORMED.
6. ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE 2015 INTERNATIONAL CODES AND 2016 NEW YORK STATE SUPPLEMENT.
7. EACH CONTRACTOR PERFORMING WORK ON THIS PROJECT IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR THEIR WORK, FOR COORDINATING AND SCHEDULING ALL REQUIRED INSPECTIONS OF THEIR WORK, AND OBTAINING ALL REQUIRED APPROVALS OF THEIR WORK FROM ALL AUTHORITIES HAVING JURISDICTION.

BUILDING CODE CRITERIA

8. CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA - DOBBS FERRY NY

9. CONSTRUCTION TYPE: TYPE 5B - COMBUSTIBLE

10. OCCUPANCY: GROUP R-3: SINGLE-FAMILY DETACHED RESIDENCE

11. FIRE RATINGS: EXTERIOR BEARING WALLS 3/4 HOUR (MODIFIED UL No. U326)
INTERIOR BEARING WALLS 3/4 HOUR (UL No. U317)
FLOOR CONSTRUCTION 1 HOUR (UL No. L537)
ROOF CONSTRUCTION 3/4 HOUR

THE REQUIREMENTS FOR FIRE RATINGS OF THESE COMPONENTS IN TYPE 5B CONSTRUCTION IS 0 HOURS. THE FIRE RATINGS NOTED ABOVE EXCEED THE REQUIREMENTS.

ALL INTERIOR AND EXTERIOR BEARING WALL, FLOOR, AND ROOF ASSEMBLIES SHALL BE FIRE BLOCKED AS REQUIRED BY CODE.

12. DESIGN LOADS. ROOF DL = 10 PSF LL = 45 PSF
FLOOR DL = 25 PSF LL = 40 PSF

13. TAPE AND COMPOUND ALL INSIDE GYPSUM BOARD CORNERS; CORNER BEAD AND COMPOUND ALL OUTSIDE GYPSUM BOARD CORNERS; J-BEAD AND COMPOUND ALL TERMINATION EDGES OF GYPSUM BOARD WHERE EXPOSED. ALL GYPSUM BOARD WORK IS TO BE IN ACCORDANCE WITH GYPSUM CONSTRUCTION HANDBOOK, UNITED STATES GYPSUM, LATEST EDITION.

SCOPE OF WORK

14. THE CONTRACTOR IS TO FURNISH AND INSTALL ALL MATERIALS, EQUIPMENT, AND LABOR REQUIRED FOR COMPLETION OF THIS PROJECT AS INDICATED ON THE CONTRACT DOCUMENTS EXCEPT AS IDENTIFIED AS EXCLUDED IN THE SPECIFICATIONS OR NOTED AS NIC (NOT IN CONTRACT) ON THE DRAWINGS.
15. THE ONLY ITEMS TO BE EXCLUDED FROM THE BID PRICE FOR THE CONTRACTED SCOPE OF WORK ARE THOSE IDENTIFIED IN THE BID DOCUMENTS AND IN THE SPECIFICATIONS.
16. ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THE QUALITY STANDARDS IDENTIFIED IN THE CORRESPONDING SECTION OF THE SPECIFICATIONS.
17. EACH CONTRACTOR IS TO FURNISH ALL MATERIALS, LABOR, TOOLS, MACHINERY, SCAFFOLDING, EQUIPMENT, APPURTENANCES, AND APPLIANCES NECESSARY FOR THE PROPER HANDLING AND EXECUTION OF THE WORK.
18. EACH CONTRACTOR WILL HANDLE AND STORE THE MATERIALS IN A SECURED AREA, PROTECTED FROM ADVERSE CONDITIONS, IN ACCORDANCE WITH THE MANUFACTURERS' INSTRUCTIONS, SO AS TO MAINTAIN A SAFE AND SECURE WORK SITE, AND SO AS TO PROTECT THE PREMISES AND MATERIALS FROM DAMAGE OR DETERIORATION.

SITE WORK

19. ALL SITE WORK SHALL BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS INCLUDING THE SPECIFIC REQUIREMENTS OF THE VILLAGE OF DOBBS FERRY BUILDING DEPARTMENT.
20. STORM WATER RUNOFF FROM THE PROPOSED ROOF AREAS WILL BE COLLECTED IN ROOF GUTTERS. THESE GUTTERS WILL CONNECT VIA DOWNSPOUTS TO THE EXISTING STORM DRAINAGE SYSTEM.
21. ALL EXCAVATED MATERIAL, EXCEPT THAT WHICH WILL BE REQUIRED FOR BACKFILLING, WILL BE REMOVED FROM THE SITE AS SOON AS PRACTICAL. IF STOCKPILING IS NECESSARY, MATERIAL MAY ONLY BE PLACED WHERE INDICATED BY GOTHAM DESIGN AND MUST BE PROTECTED TO PROHIBIT EROSION OR SEDIMENTATION INTO THE EXISTING STREAM, TO ADJACENT PROPERTIES, PUBLIC STREETS, OR SIDEWALKS, AND MAY NOT BE PLACED UNDER THE CANOPY OF TREES.
22. ALL EXISTING TREES ON THE PROPERTY SHALL BE PROTECTED AT ALL TIMES AND TEMPORARY FENCING WILL BE INSTALLED AROUND TREES ADJACENT TO THE WORK AREA AT THE DRIP LINE.
23. NO MATERIALS OR DEBRIS MAY BE STOCKPILED WITHIN THE DRIP LINE OF ANY TREE AT ANY TIME.
24. IN THE EVENT IT BECOMES NECESSARY TO REMOVE ANY TREES ON THE PROPERTY, ALL REQUIRED REMOVAL PERMITS SHALL BE OBTAINED PRIOR TO ANY TREE BEING JEOPARDIZED.

COORDINATION

25. USE LABELED DIMENSIONS ONLY. DO NOT SCALE DIMENSIONS FROM THE DRAWINGS. FOR CLARIFICATION, CONTACT GOTHAM DESIGN.
26. IN THE EVENT OF DIMENSIONAL DISCREPANCIES, CONFLICTS OR MISSING DIMENSIONS, CONTACT GOTHAM DESIGN FOR VERIFICATION PRIOR TO PROCEEDING WITH THE WORK.
27. IN THE EVENT OF DISCREPANCIES OR CONFLICTS BETWEEN THE EXISTING CONDITIONS, CONSTRUCTION CONDITIONS, AND THE CONTRACT DOCUMENTS, CONTACT GOTHAM DESIGN FOR VERIFICATION PRIOR TO PROCEEDING WITH THE WORK.
28. THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING THE LOCATION OF ALL FRAMING MEMBERS AND SYSTEMS TO BE INSTALLED INCLUDING PLUMBING, HEATING, AIR CONDITIONING, ELECTRICAL, FIXTURES AND OTHER EQUIPMENT TO AVOID CONFLICTS AND UNNECESSARY OR EXCESSIVE NOTCHING, CUTTING, OR OTHER DISTURBANCE OF STRUCTURAL COMPONENTS.
29. DO NOT CLOSE-OFF OR OBSTRUCT DRIVEWAYS, STREETS, WALKS, OR OTHER FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS, AS REQUIRED BY GOVERNING REGULATIONS.
30. CONDUCT DEMOLITION AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES AND TO AVOID DISTURBANCE TO THE EXISTING RESIDENCE.
31. ALL CONTRACTORS FURNISHING WORK MUST COOPERATE WITH THE OWNER AND WITH EACH OTHER TO MAINTAIN AN EFFICIENT AND SAFE JOB SITE.
32. MAINTAIN EXISTING UTILITIES. DO NOT DISRUPT UTILITY SERVICES TO THE EXISTING RESIDENCE WITHOUT APPROPRIATE AUTHORIZATION FROM UTILITY COMPANIES. IF DISRUPTION OF UTILITIES IS NECESSARY, PROVIDE TEMPORARY SERVICE AS REQUIRED. IN THE EVENT UTILITIES MUST BE DISCONNECTED AND SERVICES INTERRUPTED, CONTRACTOR MUST PROVIDE 48 HOUR ADVANCE NOTICE TO THE OWNER AND OTHER CONTRACTORS FURNISHING SERVICES.
33. CONTRACTORS FURNISHING WORK MUST PROTECT ADJACENT EXISTING SURFACES AND NEW WORK AT ALL TIMES. DAMAGES MUST BE CORRECTED IN A TIMELY FASHION AT NO EXPENSE TO THE OWNER OR OTHER CONTRACTORS. EACH CONTRACTOR IS RESPONSIBLE FOR PROTECTING THEIR WORK UNTIL ACCEPTANCE BY THE OWNER.

DISPUTES

34. GOTHAM DESIGN HAS THE AUTHORITY TO NEGOTIATE SETTLEMENTS IN DISPUTES CONCERNING THE OBLIGATIONS OR WORK TO BE PERFORMED EITHER BETWEEN THE CONTRACTORS OR BETWEEN THE CONTRACTORS AND THE OWNER.
35. GOTHAM DESIGN HAS THE AUTHORITY TO REJECT WORK WHICH DOES NOT CONFORM WITH THE INTENT OF THE CONTRACT DOCUMENTS. WORK REJECTED BY GOTHAM DESIGN DUE TO FAILURE TO CONFORM WITH THE INTENT OF THE CONTRACT DOCUMENTS MUST BE CORRECTED BY THE CONTRACTOR WITHOUT ADDITIONAL EXPENSE TO THE OWNER.
36. IN MATTERS REGARDING THE QUALITY, QUANTITY, AND AESTHETIC EFFECT OF THE WORK, GOTHAM DESIGN'S DECISIONS WILL BE CONSIDERED FINAL.
- ERRORS AND OMISSIONS**
37. THE CONTRACTOR IS RESPONSIBLE TO THE OWNER FOR ERRORS AND OMISSIONS IN THE WORK AND FOR FAILURE TO PERFORM IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
38. THE CONTRACTORS' SERVICES MUST BE PERFORMED IN A SKILLFUL AND COMPETENT MANNER IN ACCORDANCE WITH ACCEPTED STANDARDS OF THE CONSTRUCTION INDUSTRY AND WITH THE REQUIREMENTS OF THOSE AGENCIES HAVING JURISDICTION OR OTHERWISE IDENTIFIED IN THE SPECIFICATIONS.
39. THE CONTRACTOR WILL PROVIDE ALL WORK DETERMINED BY GOTHAM DESIGN TO BE MISSING OR INCOMPLETE. WORK DETERMINED BY GOTHAM DESIGN TO BE MISSING OR INCOMPLETE MUST BE FURNISHED AND COMPLETED BY THE CONTRACTOR WITHOUT ADDITIONAL EXPENSE TO THE OWNER.
40. THE CONTRACTOR MUST REPLACE ALL WORK DETERMINED BY GOTHAM DESIGN TO BE INSTALLED IMPROPERLY OR SUBSTANDARD WITHOUT ADDITIONAL EXPENSE TO THE OWNER.

CHANGES

41. ANY CHANGES IN THE ACCEPTED CONTRACT DOCUMENTS OR IN THE COMPLETED WORK WHICH WILL EFFECT THE SCOPE OF WORK, QUALITY AND AESTHETIC EFFECT OF THE WORK, OR THE CONTRACT PRICE REQUIRE A CHANGE ORDER APPROVED BY GOTHAM DESIGN. THIS CHANGE ORDER MUST FIRST BE SUBMITTED TO THE OWNER FOR REVIEW AND APPROVAL PRIOR TO BEING EXECUTED BY THE CONTRACTOR.

42. NO CHANGES, ALTERATIONS, OR MODIFICATIONS TO THE DESIGN, THE CONTRACT DOCUMENTS, OR THE PROPOSED OR COMPLETED WORK ARE PERMISSIBLE BY ANY PARTY, INCLUDING THE OWNER AND THE CONTRACTOR, WITHOUT A WRITTEN CHANGE ORDER APPROVED BY GOTHAM DESIGN.

SUBSTITUTIONS

43. SUBSTITUTIONS OF MATERIALS, PRODUCTS, OR METHODS ARE PERMISSIBLE ONLY WITH PRIOR WRITTEN AUTHORIZATION FROM GOTHAM DESIGN.
44. GOTHAM DESIGN WILL CONSIDER REQUESTS FOR SUBSTITUTIONS UP TO FIVE DAYS PRIOR TO INITIATION OF WORK.

CLEAN UP

45. CONTRACTOR SHALL PROTECT THE EXISTING RESIDENCE FROM DUST INFILTRATION AND DAMAGE FROM DEBRIS WITH TEMPORARY BARRIERS AND PROTECTION BOARDS.
46. EACH CONTRACTOR IS RESPONSIBLE FOR CLEANING THEIR WORK AREAS AND REMOVING ALL DEBRIS ASSOCIATED WITH THEIR WORK FROM THE PREMISES AT THE END OF EACH WORK DAY. ALL DEBRIS MUST BE DISPOSED OF IN ACCORDANCE WITH ALL REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
47. EACH CONTRACTOR IS RESPONSIBLE FOR MAKING SURE THAT THEIR WORK AREA IS LEFT BROOM CLEAN AT THE END OF EACH WORK DAY.

SAFETY REQUIREMENTS

48. EACH CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE SAFETY REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION INCLUDING OSHA.
49. EACH CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF ALL LADDERS, SCAFFOLDS, OR OTHER EQUIPMENT USED UNDER THEIR JURISDICTION AND IN CONNECTION WITH THEIR WORK.

RESPONSIBILITY

50. EACH CONTRACTOR AND SUBCONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR ALL ACCIDENTS RESULTING IN INJURY TO PERSONS OR DAMAGE TO PROPERTY CAUSED BY THE FAULT OR NEGLIGENCE OF THEMSELVES, THEIR AGENTS, EMPLOYEES, OR SUBCONTRACTORS.
51. EACH CONTRACTOR IS RESPONSIBLE FOR ALL PROPERTY INCLUDING MATERIALS, EQUIPMENT, TOOLS, AND APPURTENANCES DELIVERED TO THE JOB SITE UNDER THEIR JURISDICTION AND IN CONNECTION WITH THEIR WORK WHICH IS STOLEN FROM THE PROPERTY OR DAMAGED ON THE PREMISES.
52. EACH CONTRACTOR INDEMNIFIES AND HOLDS THE OWNER AND GOTHAM DESIGN HARMLESS FROM ALL LIABILITIES AND LOSS BECAUSE OF INJURY TO ANY PERSON OR DAMAGE TO ANY PROPERTY THAT MAY OCCUR OR MAY BE ALLEGED TO HAVE OCCURRED DURING THE PERFORMANCE OF THE WORK AS A RESULT, EITHER DIRECTLY OR INDIRECTLY, OF THE CONTRACTOR'S FAULT OR NEGLIGENCE OR THAT OF THEIR AGENTS, EMPLOYEES, OR SUB CONTRACTORS AND WHETHER OR NOT SUCH INJURY OR DAMAGE IS ALSO ATTRIBUTABLE TO THE OWNER'S FAULT OR NEGLIGENCE.
53. GOTHAM DESIGN AND ITS CONSULTANTS HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL, OR DISPOSAL OF OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE JOB SITE INCLUDING, BUT NOT LIMITED TO, ASBESTOS PRODUCTS, POLYCHLORIDE BIPHENYL (PCB), LEAD, OR OTHER TOXIC SUBSTANCES.
54. IN THE EVENT THAT THE CONTRACTOR DISCOVERS HAZARDOUS MATERIALS ON THE SITE, ALL WORK SHALL BE HALTED IMMEDIATELY AND THE REMOVAL OR CONTAINMENT OF THE HAZARDOUS MATERIAL SHALL BE CONDUCTED IN STRICT COMPLIANCE WITH THE REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION.
55. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING PROPER HANDLING METHODS FOR ALL MATERIALS ON THE SITE AND FOR INSTRUCTING ALL WORKERS IN PRECAUTIONS, RISKS, AND REQUIREMENTS FOR THE PROPER HANDLING OF POTENTIALLY HAZARDOUS MATERIALS IN ACCORDANCE WITH ALL AUTHORITIES HAVING JURISDICTION INCLUDING, BUT NOT LIMITED TO, OSHA.

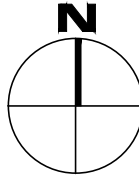
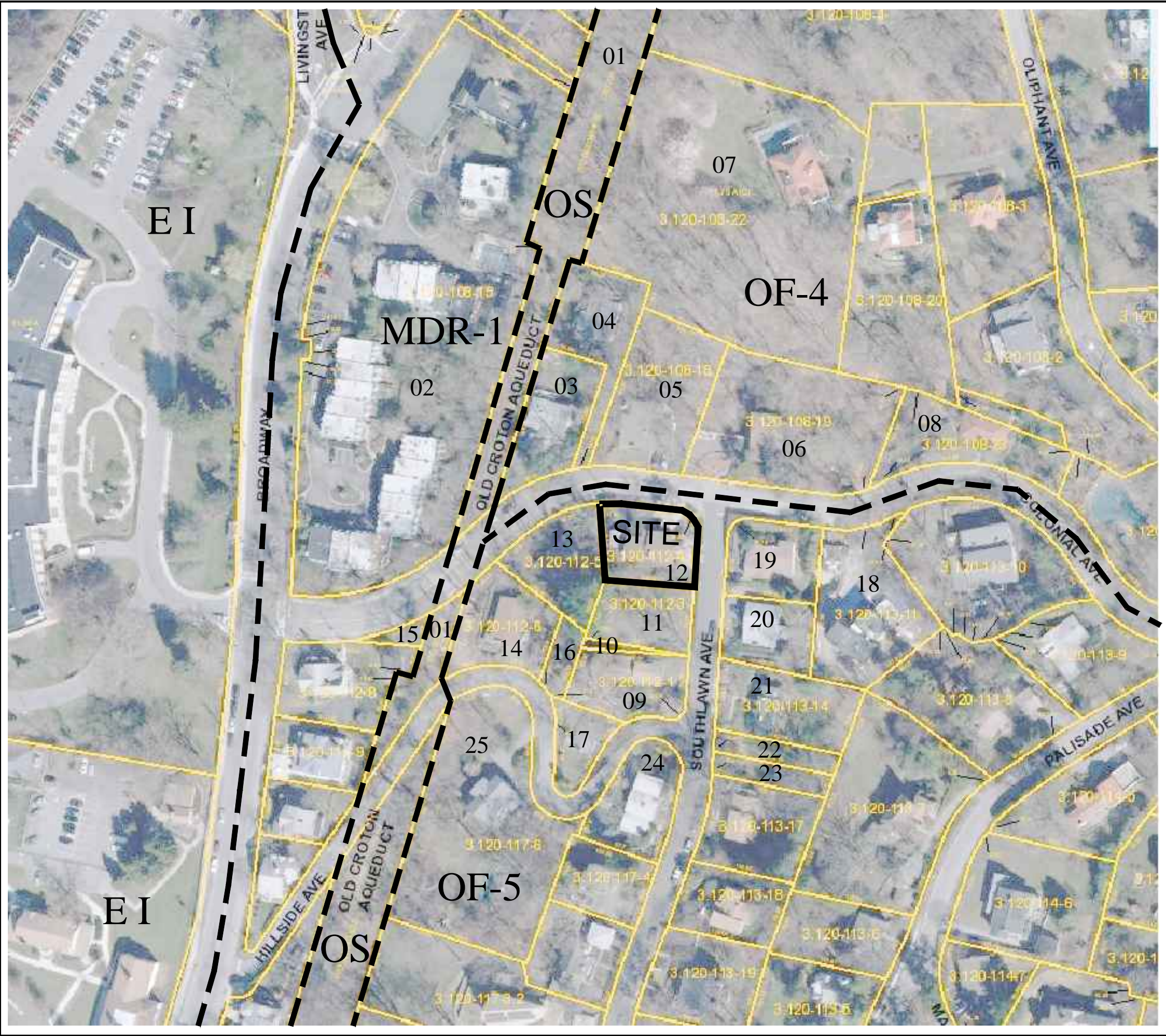
INSURANCE

56. EACH CONTRACTOR AND SUBCONTRACTOR MUST OBTAIN AND MAINTAIN AN ACCIDENT AND PUBLIC LIABILITY INSURANCE POLICY FOR THIS PROJECT COVERING FROM COMMENCEMENT THROUGH COMPLETION OF ALL WORK. EACH CONTRACTOR AND SUBCONTRACTOR MUST FURNISH A BINDER TO THE OWNER FROM THE CONTRACTOR'S INSURANCE AGENT INDICATING THE TYPE AND AMOUNTS OF COVERAGE. THE MUNICIPALITY, THE OWNER, AND GOTHAM DESIGN SHALL BE NAMED AS "ADDITIONAL INSURED" ON THE BINDER.
57. BY ACCEPTING THE CONTRACT TO WORK ON THIS PROPERTY, THE CONTRACTOR AGREES TO DEFEND, INDEMNIFY, KEEP, AND SAVE HARMLESS THE OWNER, THE PROPERTY, AND GOTHAM DESIGN AND THEIR REPRESENTATIVES, AGENTS AND EMPLOYEES IN BOTH INDIVIDUAL AND OFFICIAL CAPACITIES AGAINST ALL SUITS, CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING ATTORNEY'S FEES, CAUSED BY, RELATED TO, OR INCIDENTAL TO THE PERFORMANCE OF THE WORK UNDER THE CONTRACT BY THE CONTRACTOR OR ITS SUBCONTRACTORS UP TO THE FULL EXTENT WHICH WOULD OTHERWISE RENDER THESE PROVISIONS VOID OR UNENFORCEABLE.
58. EACH CONTRACTOR AND SUBCONTRACTOR MUST PROVIDE AND MAINTAIN WORKER'S COMPENSATION INSURANCE IN ACCORDANCE WITH NEW YORK STATE REQUIREMENTS FOR ALL EMPLOYEES FURNISHING LABOR FOR THIS PROJECT. NO ONE MAY WORK ON THIS PROJECT WITHOUT BEING COVERED BY WORKER'S COMPENSATION INSURANCE. THE WORKER'S COMPENSATION POLICY SHALL BE INCLUDED ON THE INSURANCE BINDER.
59. CERTIFICATES OF INSURANCE ACCEPTABLE TO THE OWNER MUST BE FILED WITH THE OWNER PRIOR TO THE COMMENCEMENT OF THE WORK.
60. THE OWNER MUST OBTAIN AND MAINTAIN LIABILITY INSURANCE AS WILL PROTECT HIM FROM HIS CONTINGENT LIABILITY FOR INJURY AND DAMAGES WHICH MAY ARISE DURING THE WORK OF THIS PROJECT AND FROM ANY OTHER LIABILITY FOR WHICH THE CONTRACTORS ARE REQUIRED TO BE INSURED UNDER THE PROVISIONS OF THE CONTRACT.
61. THE OWNER MUST OBTAIN AND MAINTAIN FIRE INSURANCE INCLUDING EXTENDED COVERAGE AND MALICIOUS MISCHIEF COVERAGE ON THE STRUCTURE AND CONTENTS TO 100 PERCENT OF THE INSURABLE VALUE THEREOF. FOR PROTECTING THE OWNER'S INTEREST, THE CONTRACTORS' INTERESTS, AND THE SUBCONTRACTORS' INTERESTS, AS USED HEREIN, INCLUDES EACH PARTY'S PROPERTY AND THE PROPERTY OF OTHERS FOR WHICH THEY ARE RESPONSIBLE, INCLUDING ALL MATERIALS, EQUIPMENT, AND SUPPLIES.
- WAIVER OF LIENS**
62. EACH CONTRACTOR IS RESPONSIBLE FOR PROVIDING A WAIVER OF LIEN TO THE BENEFIT OF THE OWNER IN A FORM ACCEPTABLE TO GOTHAM DESIGN COVERING ALL LABOR, MATERIALS, AND OTHER EXPENSES AT THE TIME COMPENSATION IS RECEIVED FOR SAME.
63. SUBSEQUENT PAYMENTS TO CONTRACTORS WILL NOT BE PAID UNTIL AN ACCEPTABLE WAIVER OF LIENS HAS BEEN RECEIVED FOR PREVIOUS WORK OF THE SAME CONTRACTOR.
64. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING WAIVERS OF LIENS FROM ALL SUPPLIERS AND SUBCONTRACTORS FURNISHING LABOR AND MATERIALS THROUGH THE GENERAL CONTRACTOR.
65. A RELEASE OF ALL LIENS TO THE BENEFIT OF THE OWNER IN A FORM ACCEPTABLE TO GOTHAM DESIGN SHALL BE PROVIDED BY THE CONTRACTOR AT THE TIME OF FINAL PAYMENT.

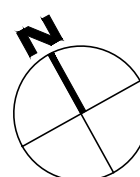
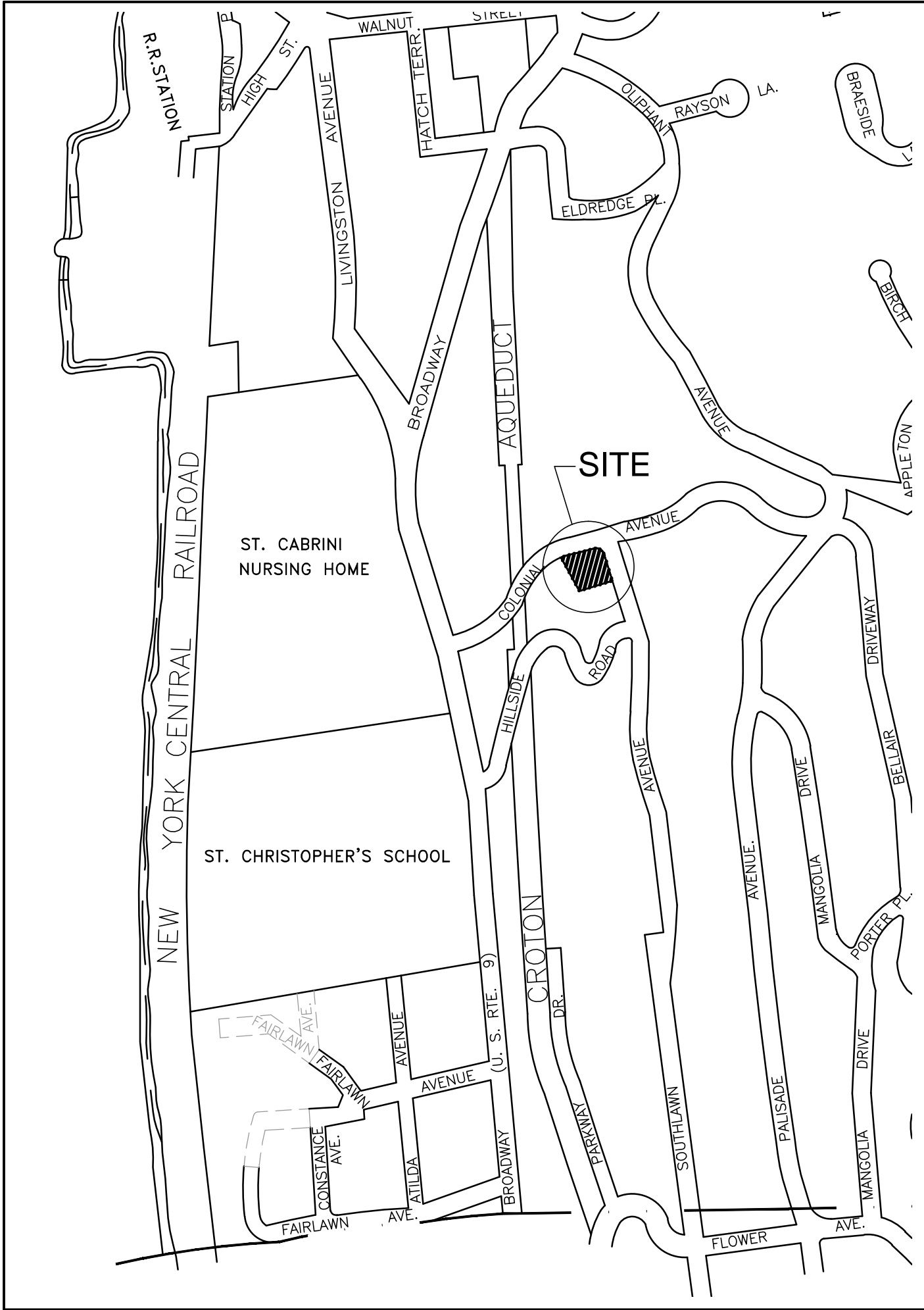
BRAY RESIDENCE

58 COLONIAL AVENUE

DOBBS FERRY, N.Y. 10522



AERIAL LOCATION MAP
NOT TO SCALE



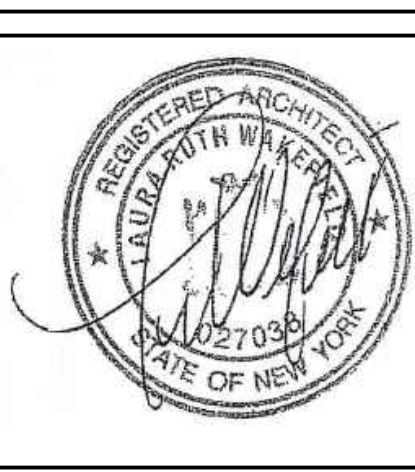
SITE LOCATION MAP
NOT TO SCALE

LIST OF DRAWINGS

		SUBMITTED FOR BLDG PERMIT 10-11-18	RE-SUBMITTED FOR BLDG PERMIT 10-19-18	SUBMITTED TO AHRB 11-15-18	REVISED BLDG PERMIT 02-22-21	REVISED BLDG PERMIT 03-18-21
CS	GENERAL NOTES, LOCATION MAPS, LIST OF PROPERTY OWNERS	●	●	●	●	●
GN	ZONING ,IMPERVIOUS COVERAGE AND FLOOR AREA TABLES				●	●
A-1	SITE PLAN, SITE DETAIL SECTIONS	●	●	●	●	● REV
A-1.1	DRAINAGE PLAN AND DETAILS	●	●	●	●	●
A-2	FLOOR PLANS					
A-3	ELEVATIONS, FENCE DETAIL	●	●	●	●	● REV

SUBJECT PROPERTY

TAG	ZONING DISTRICT	LOT INFORMATION PARCELS	OWNER	OWNER ADDRESS	PROPERTY ADDRESS
1	OS	3-40-104-127	TACONIC STATE PARK COMMISSION	OLD CROTON AQUEDUCT DOBBS FERRY, NY 10522	
2	MDR-1	3-120-108-15	WASHINGTON HEADQUARTERS CONDO COMMON AREA 20 UNITS	500 WHITE PLAINS ROAD TARRYTOWN, NY 10591	
3	OF-4	3-120-108-16	JAMES SLOVER	33 COLONIAL AVENUE DOBBS FERRY, NY 10522	
4	OF-4	3-120-108-17	ADAM CROCHIO, ELLEN A. WILKINSON	37 COLONIAL AVENUE DOBBS FERRY, NY 10522	
5	OF-4	3-120-108-18	SMON L. CHU	41 COLONIAL AVENUE DOBBS FERRY, NY 10522	
6	OF-4	3-120-108-19	PHIL SHROFF, DHUN P. SHROFF	49 COLONIAL AVENUE DOBBS FERRY, NY 10522	
7	OF-4	3-120-108-22	DAVID FRANKEL T.J.C, LYNN FREEDMAN T.J.C	74 CLIPMANT AVENUE DOBBS FERRY, NY 10522	
8	OF-5	3-120-108-23	ARWINDER BINGRA, DEEDRE YMA	61 COLONIAL AVENUE DOBBS FERRY, NY 10522	
9	OF-5	3-120-112-1	ALEXANDRA MOSS, JONATHAN HARDIN	55 HILLSIDE ROAD DOBBS FERRY, NY 10522	
10	OF-5	3-120-112-2	ALEXANDRA MOSS, JONATHAN HARDIN	55 HILLSIDE ROAD DOBBS FERRY, NY 10522	SOUTHLAWN AVENUE VACANT LAND
11	OF-5	3-120-112-3	ALEXANDRA MOSS, JONATHAN HARDIN	55 HILLSIDE ROAD DOBBS FERRY, NY 10522	SOUTHLAWN AVENUE VACANT LAND
12	OF-5	3-120-112-4	CHRISTOPHER KENNETH BRAY, CHELSEA GREENE BRAY	58 COLONIAL AVENUE DOBBS FERRY, NY 10522	
13	OF-5	3-120-112-5	DEREK MANSFIELD, ESTER MANSFIELD	40 COLONIAL AVENUE DOBBS FERRY, NY 10522	
14	OF-5	3-120-112-6	RANDALL T. MEYER, TIMOTHY C. NEWPORT	35 HILLSIDE ROAD DOBBS FERRY, NY 10522	
15	MDR-1	3-120-112-7	JOHN PRIESTER, FANNY LIFE PRIESTER	112 BROADWAY DOBBS FERRY, NY 10522	VACANT LAND
16	OF-5	3-120-112-12	ALEXANDRA MOSS, JONATHAN HARDIN	55 HILLSIDE ROAD DOBBS FERRY, NY 10522	COLONIAL AND HILLSIDE ROAD VACANT LAND
17	OF-5	3-120-112-13	ROBERT GOODWIN, KATHRYN SLOCUM GOODWIN	45 COLONIAL AVENUE DOBBS FERRY, NY 10522	
18	OF-5	3-120-113-11	GREGORY SHARP, BRIDGET MORGAN SHARP	68 COLONIAL AVENUE DOBBS FERRY, NY 10522	
19	OF-5	3-120-113-12	HELEN ANBINDER	144 SOUTHLAWN AVENUE DOBBS FERRY, NY 10522	
20	OF-5	3-120-113-13	JONATHAN HERSHBERG, REBECCA SHRAG-HERSHBERG	140 SOUTHLAWN AVENUE DOBBS FERRY, NY 10522	
21	OF-5	3-120-113-14	MAVIS CAN	134 SOUTHLAWN AVENUE DOBBS FERRY, NY 10522	
22	OF-5	3-120-113-15	MAVIS CAN	134 SOUTHLAWN AVENUE DOBBS FERRY, NY 10522	SOUTHLAWN AVENUE VACANT LAND
23	OF-5	3-120-113-16	MAVIS CAN	134 SOUTHLAWN AVENUE DOBBS FERRY, NY 10522	SOUTHLAWN AVENUE VACANT LAND
24	OF-5	3-120-117-5	JASON LAURITS, SAAR CALEY	125 SOUTHLAWN AVENUE DOBBS FERRY, NY 10522	
25	OF-5	3-120-117-6	JAMES CECCOLINI, JEANNE CECCOLINI	38 HILLSIDE ROAD DOBBS FERRY, NY 10522	



LAURA WAKEFIELD
ARCHITECT
329 BROADWAY
DOBBS FERRY, NY 10522
TEL: 914 693 6165
N.Y.S STATE LICENSE
No. 27038

PROJECT TITLE:
CHRIS AND CHELSEA BRAY
58 COLONIAL AVENUE
DOBBS FERRY, NEW YORK 10522
PROJECT NO.: **1804**

GOTHAM DESIGN
AND COMMUNITY DEVELOPMENT LTD.

329 Broadway
Dobbs Ferry, N.Y. 10522
Phone: (914) 693-5093
Fax: (914) 693-5390
email: arch329@gmail.com

ISSUED / REVISIONS

BUILDING PERMIT	10-11-2018
REVISED	10-19-2018
REMOVED PROPOSED SCREEN WALL	
RE-SUBMITTED FOR BUILDING PERMIT	10-19-2018
RE-SUBMITTED FOR BUILDING PERMIT	10-19-2018
AHRB SUBMISSION	11-15-2018
REVISED	02-22-2021
REVISED	03-18-2021

SHEET TITLE:

COVER SHEET
AERIAL LOCATION MAP
LIST OF PROPERTY OWNERS
SITE LOCATION MAP
GENERAL NOTES

DATE: 10-11-18	DRAWN BY: MB
SCALE: AS NOTED	CHECKED BY: PRS

CS

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA													
GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY (RCNY ONLY)	SUBJECT TO DAMAGE FROM			CLIMATE ZONE	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN FREEZING TEMP
	SPECIAL WIND SPEED (MPH)	TOPO EFFECTS	WIND REGION	WINDBORNE DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITE					
30 LBS / SQ.FT.	*SPECIAL WIND REGION	NO	YES	NO	C	SEVERE	42"	MODERATE TO HEAVY	4A	YES	**FIRM COMMUNITY PANEL NUMBER 360908	2000	51.6

* 115 MPH to 120 MPH, the special wind region should serve as warning to design professionals in evaluating wind loading conditions. Wind speeds higher than the dreived values taken from Section 1609 of the IBC and Figure R301.2 (4) A of the IRC are likely to occur and should be considered in the design.

** State if applicable. For flood hazards the Design Professional shall state if they are applicable, Y/N. Verify with FIRM Maps. Maps are available on the FEMA web site http://www.floodmap.floodsimple.com/

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENTS

CLIMATE ZONE	FENESTRATION U - FACTOR	SKYLIGHT U - FACTOR	GLAZED FENESTRATION SHGC	CEILING R- VALUE	WOOD FRAME WALL R - VALUE	MASS WALL R - VALUE	FLOOR R - VALUE	BASEMENT WALL R - VALUE	SLAB R - VALUE & DEPTH	CRAWL SPACE WALL R - VALUE
TABLE R402.1.1 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT										
4A	0.35	0.55	0.4	49	20 OR 13 + 5	8 / 13	19	10 / 13	10 , 2 FT	10 /13
TABLE R402.1.4 EQUIVALENT FACTORS										
4A	0.35	0.55		0.026	0.06	0.098	0.047	0.047	0.059	0.065

58 COLONIAL AVENUE ZONING TABLE

PROPERTY LOCATION : 58 COLONIAL AVENUE TAX ID No 3.120 - 112 - 4

OWNER : CHRISTOPHER KENNETH BRAY, CHELSEA GREENE BRAY 58 COLONIAL AVENUE DOBBS FERRY, NY 10522

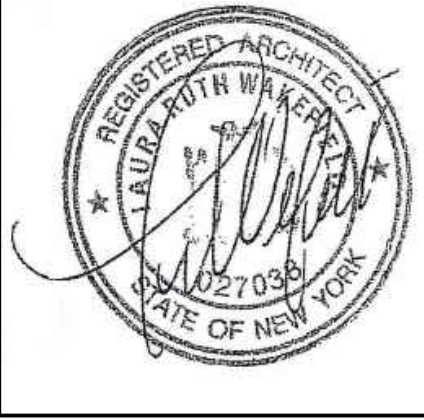
ZONING DISTRICT	OF - 5				
REQUIREMENT	UNITS	REQUIRED/ ALLOWED	EXISTING	PROPOSED	VARIANCE REQUESTED
MINIMUM NET LOT AREA	SQ.FT.	7,500	8,790	UNCHANGED	
MINIMUM LOT WIDTH	FEET	75	110.00	UNCHANGED	
MINIMUM LOT DEPTH	FEET	100	84.00	UNCHANGED	
MAX. LOT COVERAGE BY BUILDINGS	%	25	21.35	23.34	NO
MAX. LOT COVERAGE BY IMPERVIOUS SURFACES	%	44	35.17	43.88	NO
MINIMUM FRONT YARD SETBACK	FEET	25	25.9	UNCHANGED	
MAXIMUM FRONT YARD SETBACK	FEET	PREVAILING			
MINIMUM REAR YARD SETBACK	FEET	25	24.7	UNCHANGED	
MINIMUM SIDE YARD SETBACK EACH	FEET	10	11.7	UNCHANGED	
MINIMUM SIDE YARD SETBACK BOTH	FEET	25	35.3	UNCHANGED	
STORIES	NUMBER	2.5	2	UNCHANGED	
MAXIMUM HEIGHT (ROOF PITCH 0.25 TO 0.30)	FEET	33	28	UNCHANGED	
OFF STREET PARKING	NUMBER	2	2	UNCHANGED	

58 COLONIAL AVENUE BUILDING COVERAGE TABLE

	UNITS	EXISTING	PROPOSED
EXIST HOUSE, OVERHANG, GARAGE	SQ.FT.	1,538	
EXISTING PORCH AND STEPS	SQ.FT.	62	
SUBTOTAL A EXISTING 1,600			
TOTAL EXISTING BUILDING COVERAGE 1,600 / 8,790 = 18.20 %			
PROPOSED DECK EXTENSION	SQ.FT.	27	
PROPOSED STAIRS	SQ.FT.	68	
PROPOSED WOOD DECK AND STEP	SQ.FT.	(313 + 44) 357	
		SUBTOTAL B	452
TOTAL PROPOSED BUILDING COVERAGE SUBTOTAL A 1,600 PLUS SUBTOTAL B 452 = 2,052 / 8,790 = 23.34 %			

58 COLONIAL AVENUE IMPERVIOUS COVERAGE TABLE

	UNITS	EXISTING	PROPOSED
EXIST HOUSE, OVERHANG, GARAGE	SQ.FT.	1,538	
EXISTING PORCH AND STEPS	SQ.FT.	62	
EXISTING PATIO	SQ.FT.	144	
EXISTING WALK AND STEPS	SQ.FT.	90	
EXISTING CONCRETE STEPS	SQ.FT.	33	
EXISTING MACADAM	SQ.FT.	948	
SUBTOTAL A EXISTING 2,815			
TOTAL EXISTING IMPERVIOUS COVERAGE 2,815 / 8,790 = 32.02 %			
EXISTING PATIO TO BE REMOVED	SQ.FT.	MINUS 144	
PROPOSED WOOD DECK EXTENSION (ROOF DECK)	SQ.FT.	27	
PROPOSED WOOD STAIRS	SQ.FT.	68	
PROPOSED STONE STEPS	SQ.FT.	12	
PROPOSED STONE TERRACE	SQ.FT.	679	
PROPOSED STONE / BLOCK WALLS	SQ.FT.	(25 + 18) 43	
PROPOSED WOOD DECK AND STEP	SQ.FT.	(313 + 44) 357	
		SUBTOTAL B	1,042
TOTAL PROPOSED IMPERVIOUS COVERAGE SUBTOTAL A 2,815 PLUS SUBTOTAL B 1,042 = 3,857 / 8,790 = 43.88 %			



LAURA WAKEFIELD
ARCHITECT
329 BROADWAY
DOBBS FERRY, NY 10522
TEL: 914 693 6165
N.Y.S STATE LICENSE
No. 27038

PROJECT TITLE:
CHRIS AND CHELSEA BRAY

58 COLONIAL AVENUE
DOBBS FERRY, NEW YORK 10522

PROJECT NO.: **1804**

**GOTHAM
DESIGN**
AND COMMUNITY
DEVELOPMENT LTD.

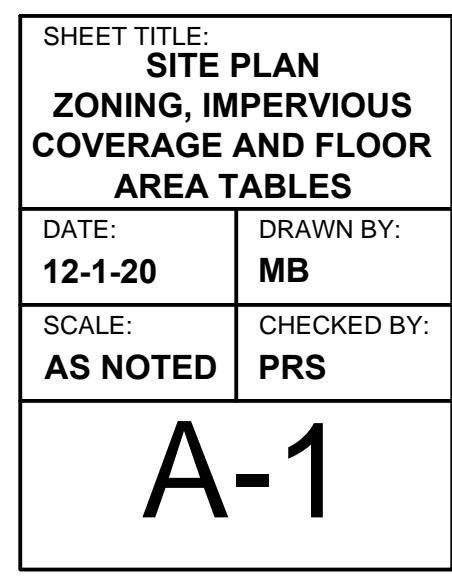
329 Broadway
Dobbs Ferry, N.Y. 10522
Phone: (914) 693-5093
Fax: (914) 693-5390
email: arch329@gmail.com

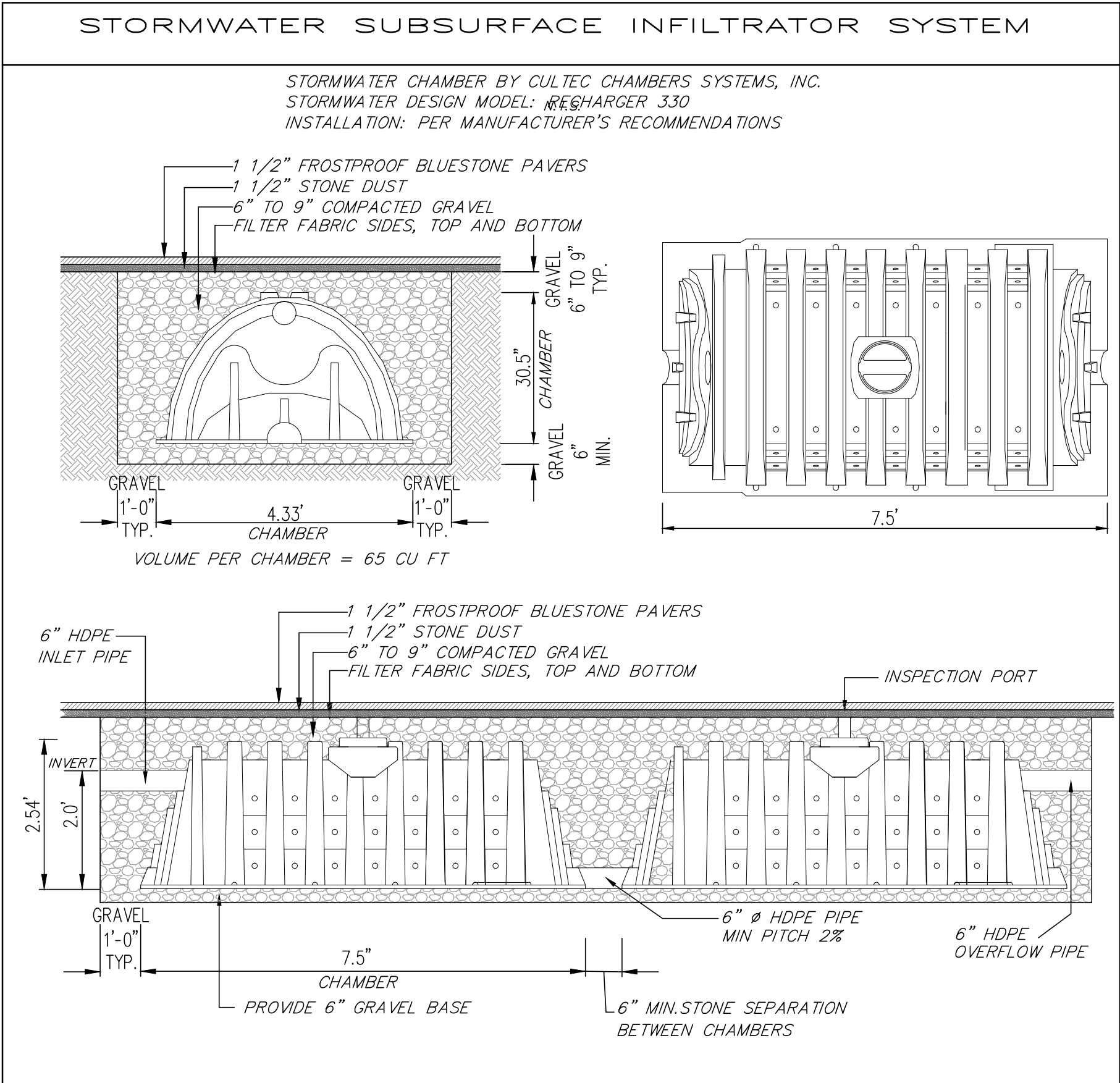
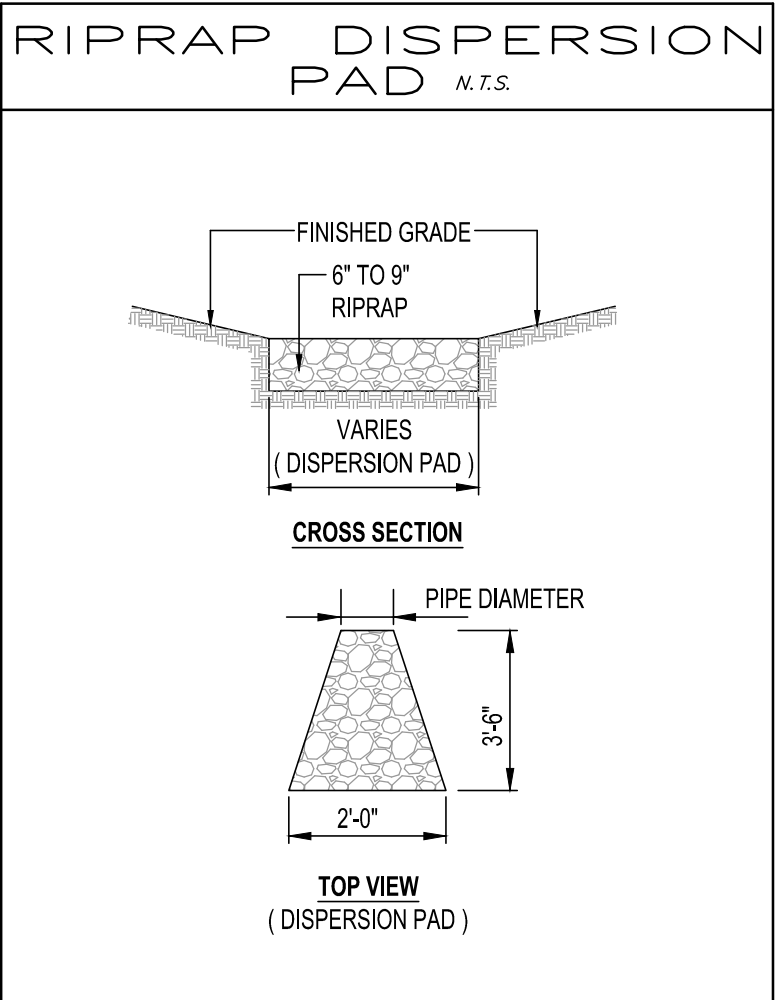
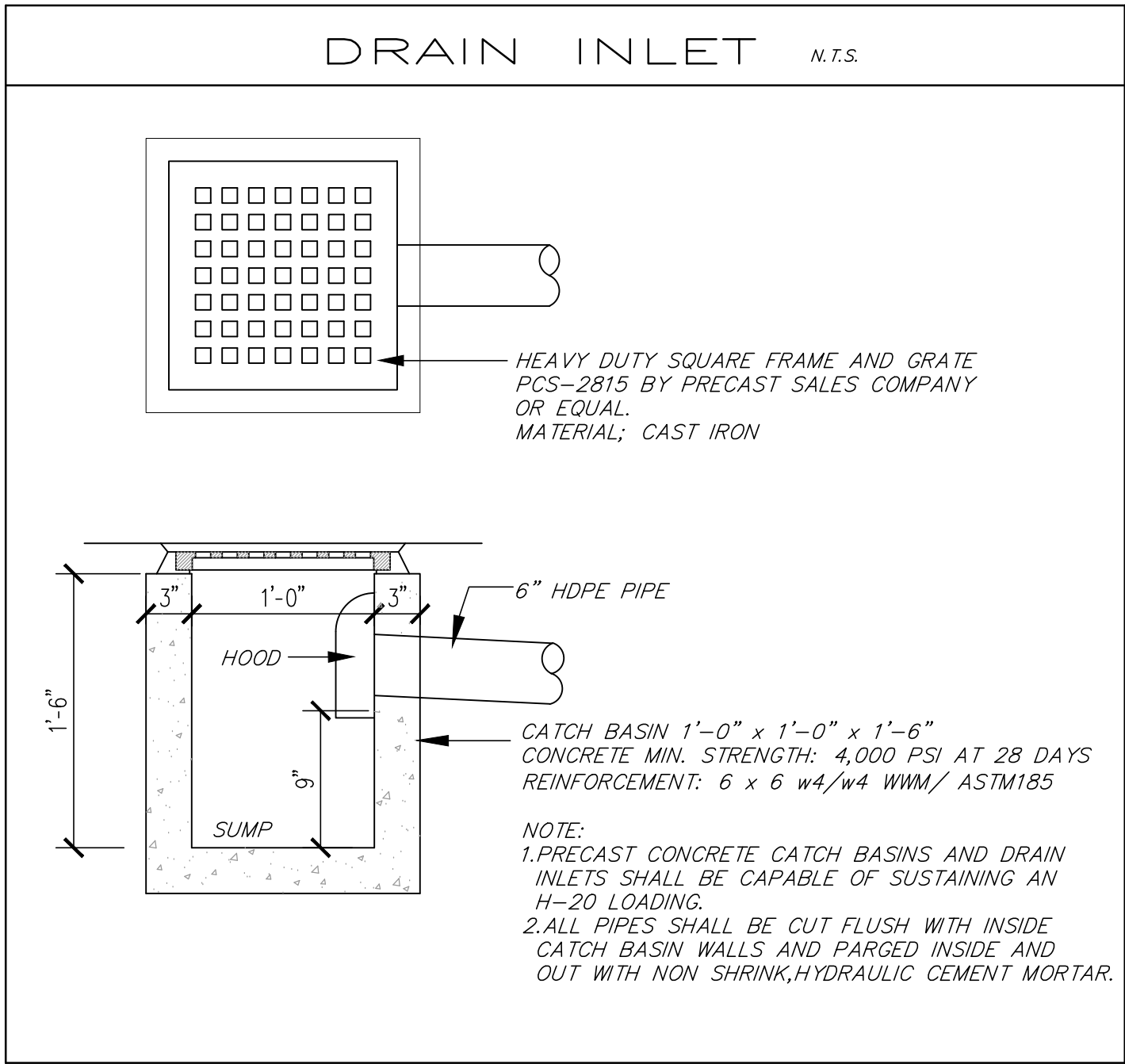
ISSUED / REVISIONS

SHEET TITLE:
**ZONING, IMPERVIOUS
COVERAGE AND FLOOR
AREA TABLES**

DATE: 02-22-21	DRAWN BY: MB
SCALE: AS NOTED	CHECKED BY: PRS

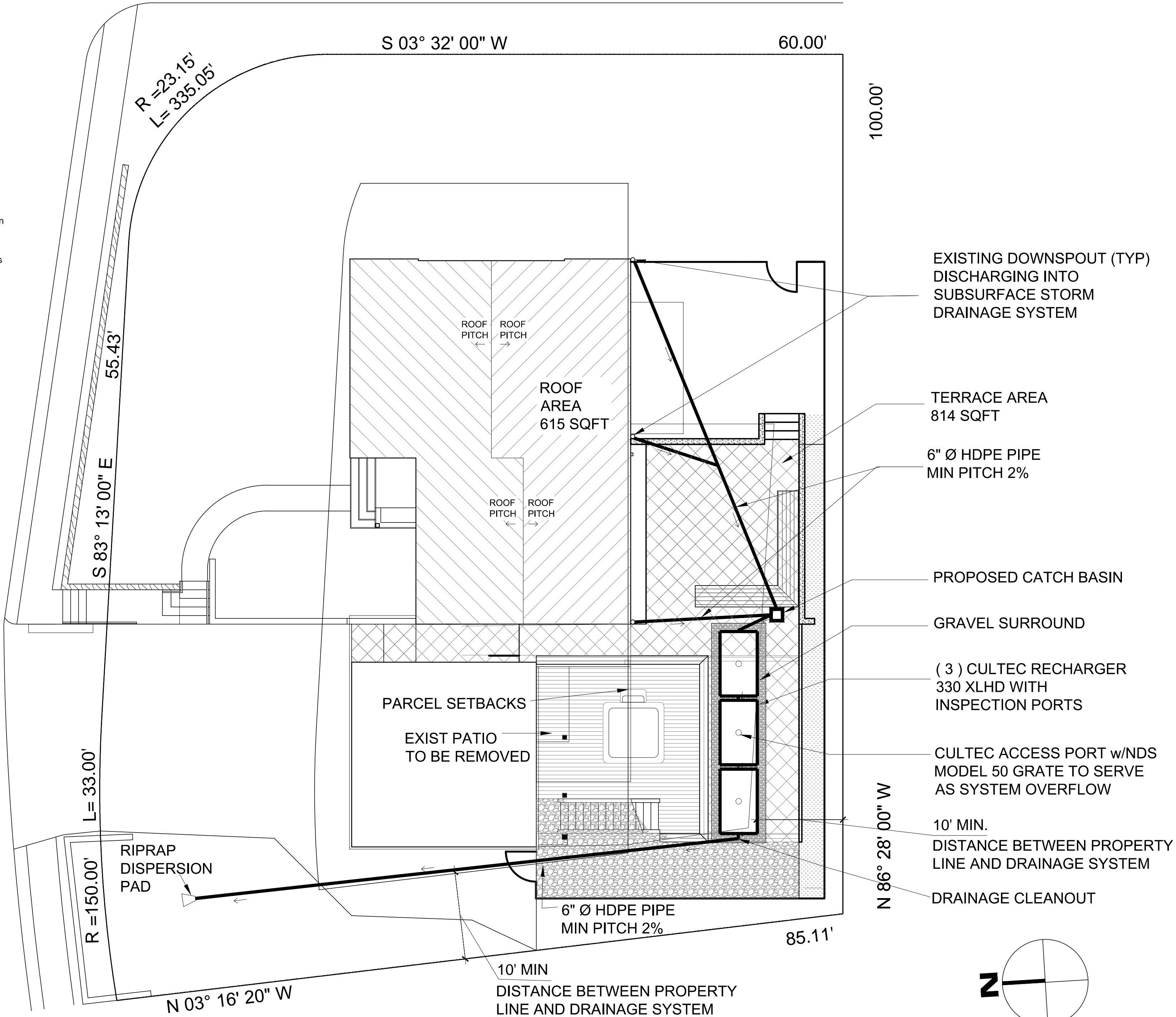
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STORM DRAINAGE NOTES:

- The storm drainage system has been designed for a 24-hour 100-year storm event, which is 8.76 inches or 0.73 feet in a 24-hour time period in Dobbs Ferry.
- The existing concrete slab in the back yard will be removed, eliminating 144 square feet of impervious surface area.
- A new terrace will be built with 679 square feet of surface area. While the terrace is semi-pervious and set on a gravel and sand base, no deduction has been made.
- Subtracting the existing impervious area of 144 square feet from the proposed impervious area of 679 square feet results in a total net increase in impervious area of 535 square feet.
- The bluestone terrace has been designed to pitch away from the house so that storm water runoff drains to the grass yard and planting beds without concentrated flow with a catch basin located in the terrace to prevent ponding and collect the overflow runoff.
- The existing roof gutters on the terrace-side of the house capture 615 square feet of roof area and then connect to three downspouts that currently discharge on to grade in the backyard. These three downspouts will be connected via 6 inch HDPE pipes to a sub-surface storm drainage retention/detention basin.
- The net site coverage being added to the site is 535 square feet and the net area of 615 square feet from the roof that will be connected to the proposed system totals 1,150 square feet.
- Picking up the 615 square feet from the roof offsets the runoff from the proposed net 535 square foot terrace. However, the stormwater runoff from the terrace will be picked by a proposed catch basin to which the pipes from the downspouts will be connected.
- The calculated volume of stormwater runoff to be collected is 839.5 cubic feet.
 $1,150 \text{ sf.} \times 0.73 \text{ feet} = 839.5 \text{ cubic feet.}$
- The subsurface stormwater detention/retention system consists of three Cultec Recharger 330XLHD chambers set on 12 inches of gravel with a 12 inch minimum surround and then backfilled with gravel to cover the chambers. Prior to the gravel and chambers being placed, the excavation is lined with soil fabric, which is then pulled over the gravel bed to protect sediment from silting in the voids in the gravel.
 $52.22 \text{ cf.} \times 3 = 156.66 \text{ cubic feet}$
- Each 330XLHD Cultec chamber has a capacity of 7.46 c/ft. The chambers are 7 feet long, which calculates to 52.22 cubic feet per chamber. The three (3) chambers proposed have a total storage capacity of 156.66 cubic feet.
 $484.25 \text{ cf.} - 156.66 \text{ cf.} = 327.58 \text{ cubic feet}$
- The gravel base and surround has a gross total volume of 484.25 cubic feet, which has been calculated by multiplying the width of the bed by the length of the bed by the height of the gravel to the invert elevation of the chambers in the gravel.
 $6.33 \text{ ft.} \times 25.5 \text{ ft.} \times 3 \text{ ft.} = 484.25 \text{ cubic feet}$
- Subtracting the Cultec chambers from the volume within the gravel bed results in a net volume of the gravel of 327.58 cubic feet.
 $327.58 \text{ cf.} \times 0.40 = 131.03 \text{ cubic feet}$
- The gravel voids equal 40% of the gross volume for a net volume capacity of 131.03 cubic feet.
 $156.66 \text{ cf.} + 131.03 \text{ cf.} = 287.69 \text{ cubic feet}$
- Adding the storage capacity of the Cultec chambers and the gravel bed results in a total of 287.69 cubic feet of storage capacity.
 $645.66 \text{ cf.} + 287.69 \text{ cf.} = 933.35 \text{ cubic feet}$
- The anticipated percolation rate for this site is 10 min/inch, based on observed at other similar locations in the area. During the excavation for the Cultec units, a perc. test will be performed, the numbers confirmed, and the size of the system adjusted accordingly.
- For the design of this system a percolation rate of 30 min/inch was used to provide a factor of safety. This is 2 inches of perc. per hour. During a 24-hour storm event, the base of the bed will accept 48 inches (2 X 24), or 4 feet, of stormwater. With a bed dimension of 6.33 by 25.5 feet, there is a surface area of 161.42 square feet. Multiplying this by the 4 feet results in a total volume of 645.66 cubic feet.
 $161.42 \text{ sf.} \times 4 \text{ feet} = 645.66 \text{ cubic feet}$
- In a 24-hour 100-year storm event, this system can capture 645.66 cubic feet, plus the volume of the system, which is 287.69 cubic feet, for a total of 933.35 cubic feet.
 $645.66 \text{ cf.} + 287.69 \text{ cf.} = 933.35 \text{ cubic feet}$
- The proposed system provides more capacity than is required:
 $839.5 \text{ cf. required} < 933.35 \text{ cf. provided}$
- An overflow from the Cultec array has also been provided, with a 6 inch HDPE pipe discharging to an area of riprap to mitigate erosion and sedimentation.
- The Cultec units include access ports to allow inspection and maintenance of the chambers. The entire gravel bed will be wrapped with soil fabric to prevent the voids in the gravel from being adversely affected by siltation.



DRAINAGE SYSTEM

SCALE : 1/8" = 1'-0" GRAPHIC SCALE IN FEET

0 1 2 4 8 16



LAURA WAKEFIELD
ARCHITECT
329 BROADWAY
DOBBS FERRY, NY 10522
TEL: 914 693 6165
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PROJECT NO.: **1804**

GOTHAM DESIGN
AND COMMUNITY DEVELOPMENT LTD.

329 Broadway
Dobbs Ferry, N.Y. 10522
Phone: (914) 693-5093
Fax: (914) 693-5390
email: arch329@gmail.com

SHEET TITLE:
DRAINAGE PLAN AND DETAILS

DATE: 02-22- 2021	DRAWN BY: MB
SCALE: AS NOTED	CHECKED BY: PRS

A-1.1



LAURA WAKEFIELD
ARCHITECT
329 BROADWAY
DOBBS FERRY, NY 10522
TEL: 914 693 6165
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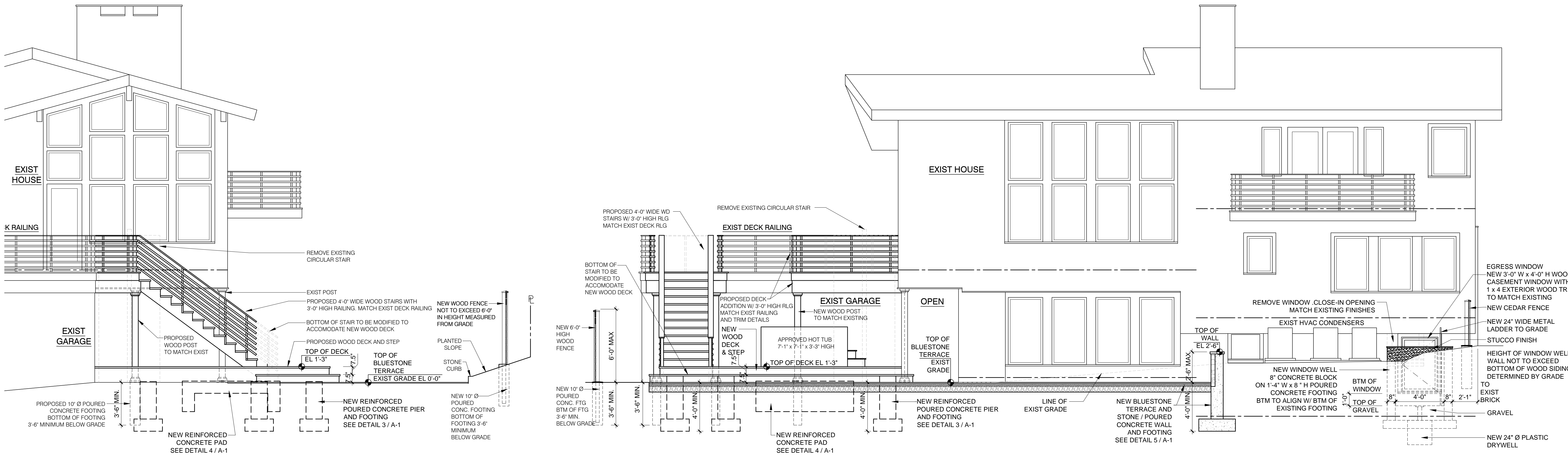
329 Broadway
Dobbs Ferry, N.Y. 10522
Phone: (914) 693-5093
Fax: (914) 693-5390
email: arch329@gmail.com

ISSUED / REVISIONS:	
BUILDING PERMIT	10-11-2018
REVISED	10-19-2018
REMOVED PROPOSED SCREEN WALL	
RE-SUBMITTED FOR BUILDING PERMIT	10-19-2018
AHRB SUBMISSION	11-15-2018
REVISED	12-14-2018
1. FENCE DETAIL	
2. ADDED FENCE ELEVATIONS	
REVISED	02-22-2021
1. ADDED PROPOSED WOOD DECK, BLUESTONE TERRACE AND STONE / BLOCK WALL TO SOUTH AND EAST ELEVATIONS	
2. SOUTH AND EAST FENCE ELEVATIONS	
3. ADDED SOUTH AND WEST PROPOSED TERRACE WALL ELEVATIONS	
REVISED	03-18-2021
CHANGED PIERS & RET'G WALLS FROM CONC. BLOCK TO POURED CONCRETE	

SHEET TITLE:
**SOUTH AND WEST
ELEVATIONS
FENCE DETAIL**

DATE:	DRAWN BY:
10-11-2018	MB
SCALE:	CHECKED BY:
AS NOTED	PRS

A-3



WEST ELEVATION

SCALE : 1/4" = 1'-0"

GRAPHIC SCALE IN FEET

SOUTH ELEVATION

SCALE : 1/4" = 1'-0"

GRAPHIC SCALE IN FEET

EAST ELEVATION DECK

SCALE : 1/4" = 1'-0"

GRAPHIC SCALE IN FEET

WEST ELEVATION TERRACE WALL

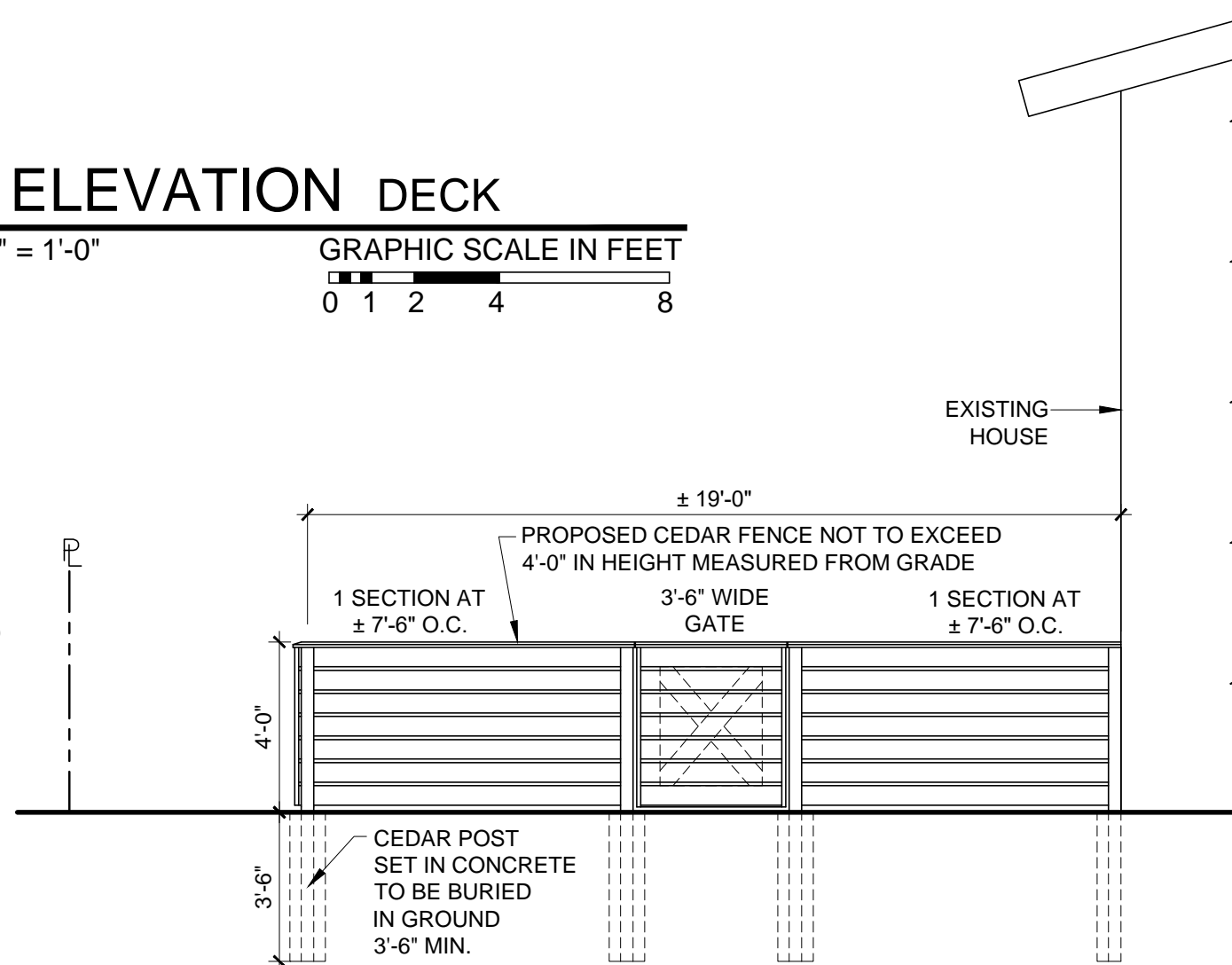
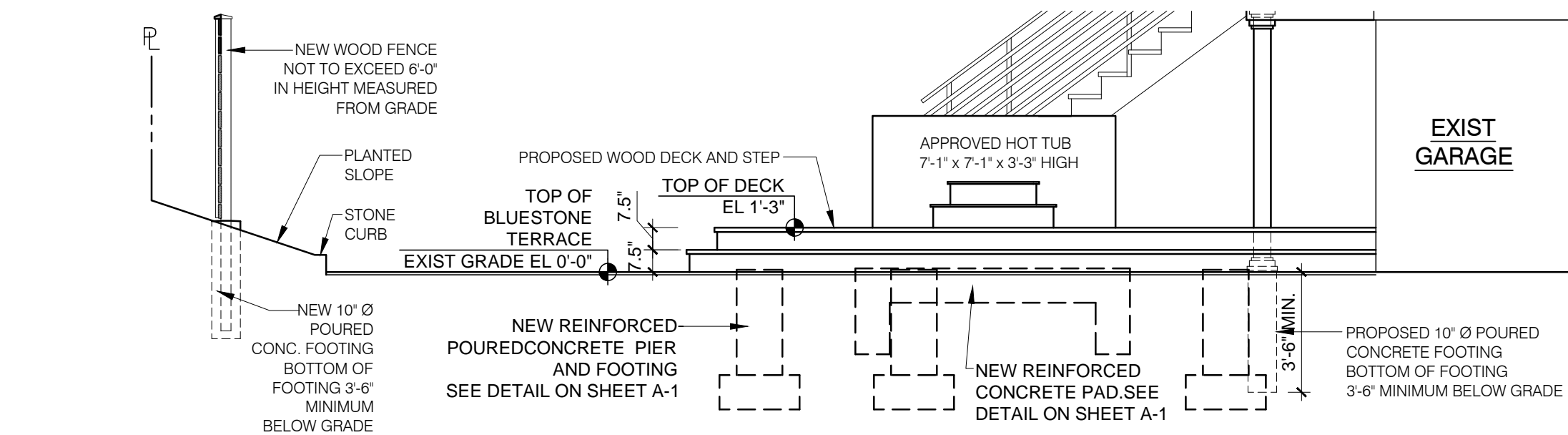
SCALE : 1/4" = 1'-0"

GRAPHIC SCALE IN FEET

SOUTH ELEVATION TERRACE WALL

SCALE : 1/4" = 1'-0"

GRAPHIC SCALE IN FEET



EAST FENCE ELEVATION

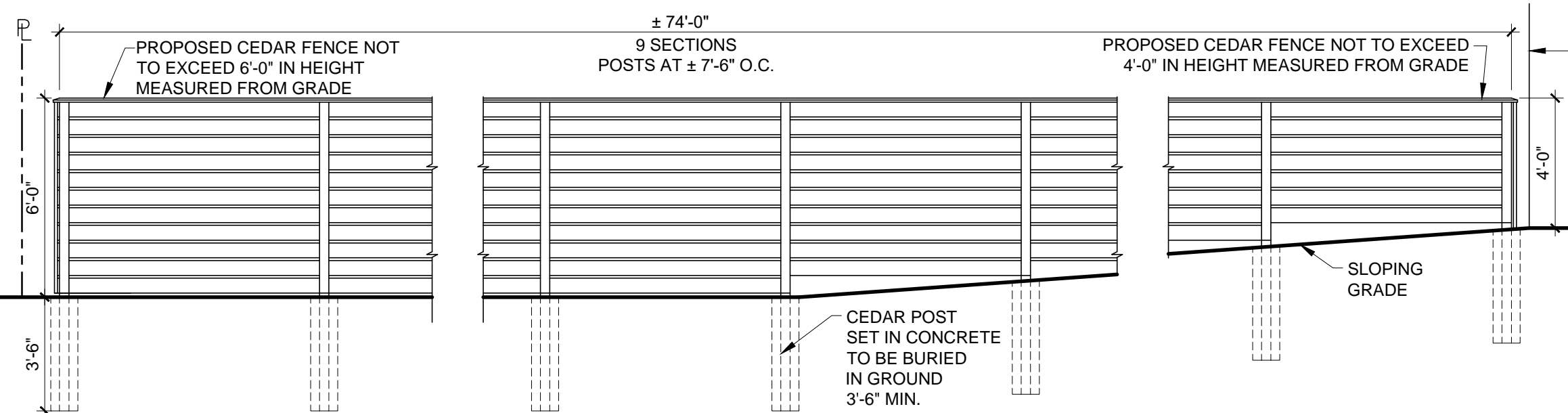
SCALE : 1/4" = 1'-0"

GRAPHIC SCALE IN FEET

SOUTH FENCE ELEVATION

SCALE : 1/4" = 1'-0"

GRAPHIC SCALE IN FEET



NORTH FENCE ELEVATION

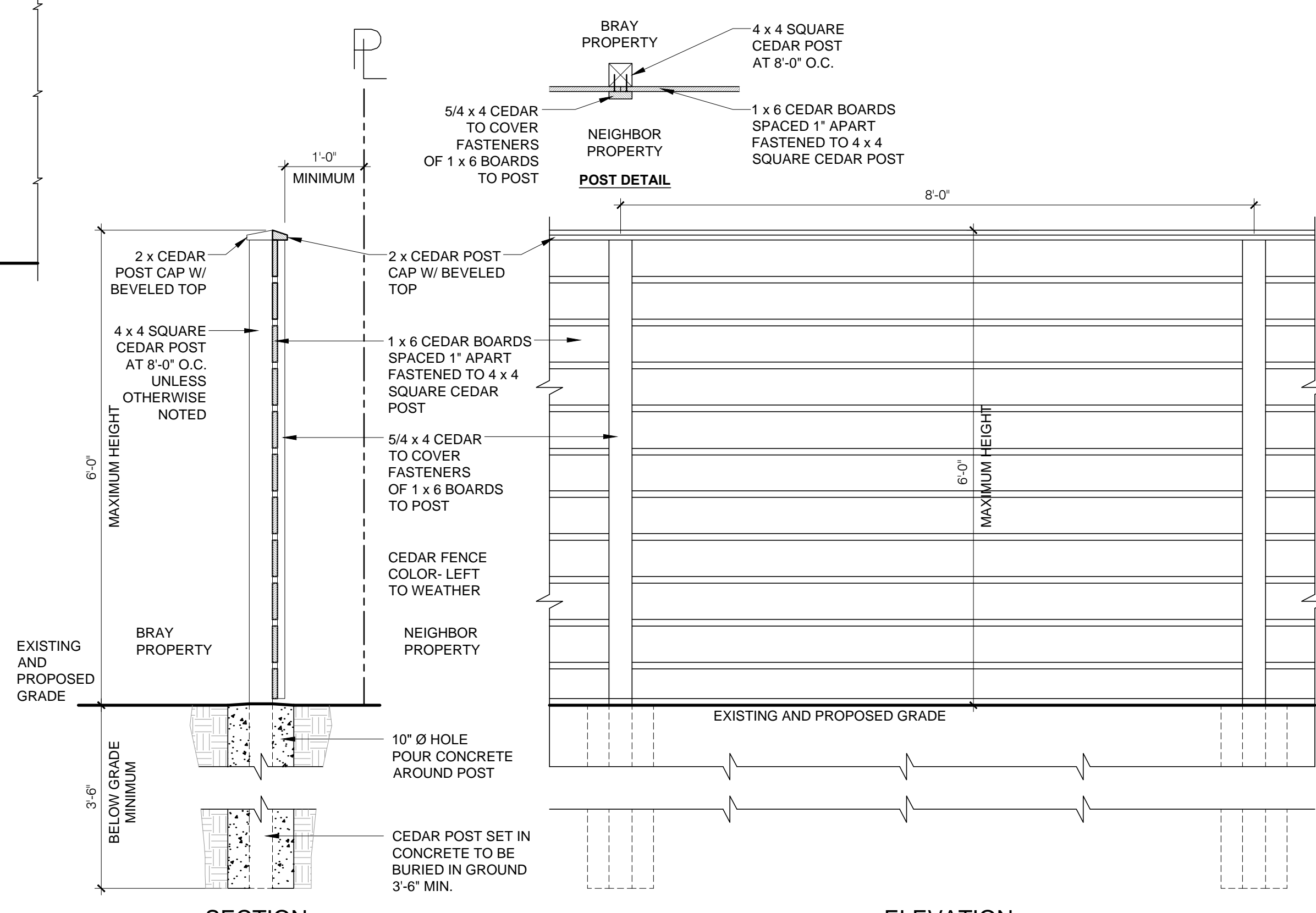
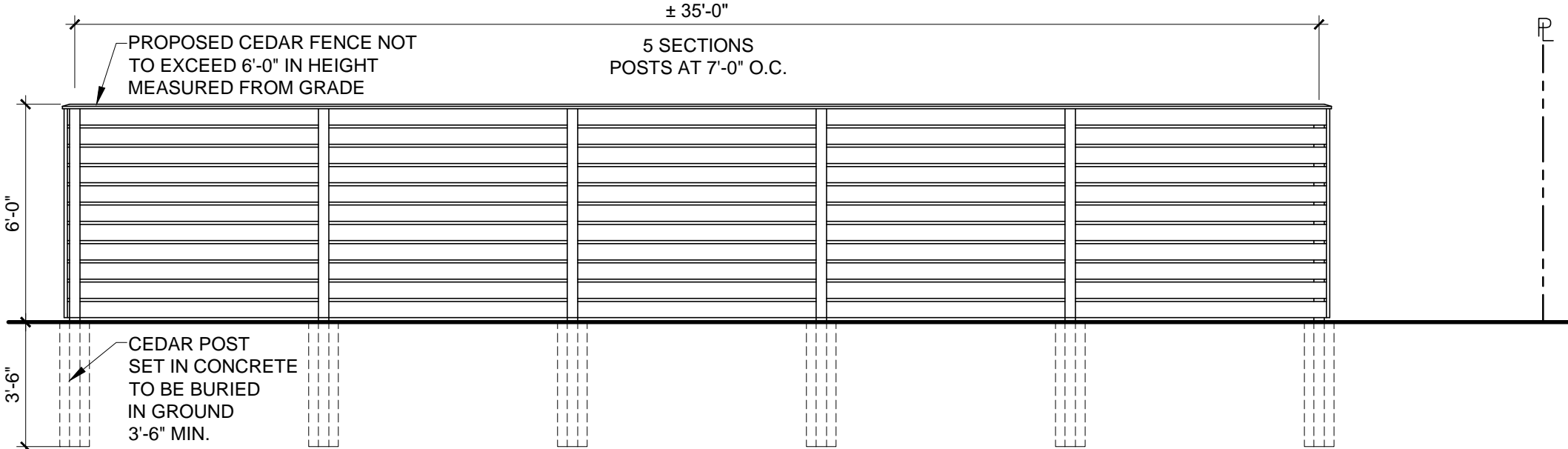
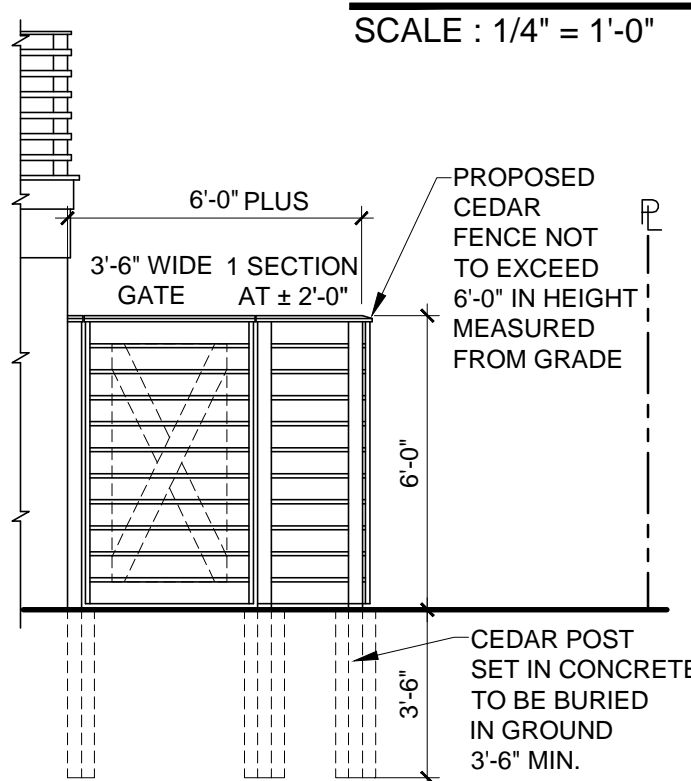
SCALE : 1/4" = 1'-0"

GRAPHIC SCALE IN FEET

WEST FENCE ELEVATION

SCALE : 1/4" = 1'-0"

GRAPHIC SCALE IN FEET



FENCE DETAIL

SCALE : 3/4" = 1'-0"

GRAPHIC SCALE IN FEET