

ALTERATIONS TO

SACRED HEART RECTORY

18 BELLEWOOD AVENUE, DOBBS FERRY, NEW YORK 10522

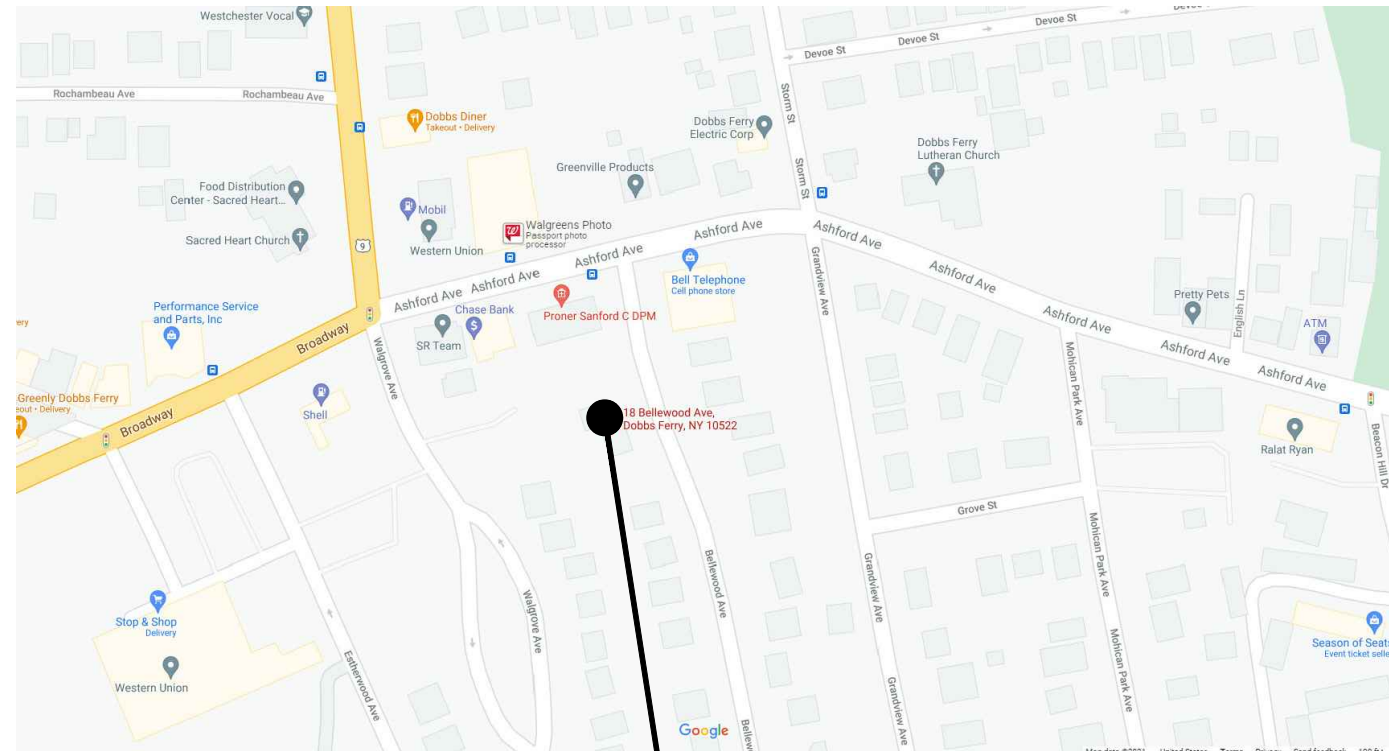
ABBREVIATIONS

ABV	ABOVE	JC	JANITOR'S CLOSET
A.C.T.	ACOUSTICAL CEILING TILE	JT	JOINT
ADJ	ADJACENT		
ADA	AMERICANS DISABILITY ACT	LAV	LAVATORY
AFF	ABOVE FINISH FLOOR	LH	LEFT HAND
ALT	ALTERNATE/ALTERNATIVE	L	LENGTH
ALUM	ALUMINUM		
APFD	APPROVED	MFGR	MANUFACTURER
APPROX	APPROXIMATE	MATL	MATERIAL
ARCH	ARCHITECTURAL	MAX	MAXIMUM
AUTO	AUTOMATIC	MECH	MECHANICAL
AVG	AVERAGE	MEP	MECH, ELEG, PLUMB
		MTL	METAL
BLKG	BLOCKING	MIN	MINIMUM
BD	BOARD	MISC	MISCELLANEOUS
BC	BRICK COURSE	MNTG	MOUNTING
BLDG	BUILDING		
		N	NORTH
CB	CATCH BASIN	N/A	NOT APPLICABLE
CL	CENTERLINE	NC	NOT IN CONTRACT
CER	CERAMIC	NTS	NOT TO SCALE
CT	CERAMIC TILE		
CLO	CLOSET	OC	ON CENTER
COL	COLUMN	OPNG	OPENING
COMM	COMMUNICATION	OPF	OPPOSITE
CONC	CONCRETE	OVHD	OVERHEAD
CMU	CONCRETE MASONRY UNIT		
CONST	CONSTRUCTION	PR	PAIR
CONT	CONTINUOUS	PART.	PARTIAL
COORD	COORDINATE	PH	PHASE
CORR	CORRIDOR	PLUMB	PLUMBING
		PLUMB	PLUMBING CONTRACTOR
DEMO	DEMOLITION	PLYND	PLYWOOD
D	DEPTH	POLY	POLYETHYLENE
DET	DETAIL	PROJ	PROJECT
DA	DIAMETER		
DR	DOOR	RD	ROUND
DN	DOWN	RE	REFER
DWG	DRAWING	RENF	REINFORCEMENT
DF	DRINKING FOUNTAIN	REQD	REQUIRED
		RH	RIGHT HAND
EA	EACH	RM	ROOM
ELEG	ELECTRICAL	R.O.B.	RUN OF BANK
EC	ELECTRICAL CONTRACTOR		
EL/ELEV	ELEVATION	SCH	SCHEDULE
ENGR	ENGINEER	SECT	SECTION
EQ	EQUAL	SHT	SHEET
EQUIP	EQUIPMENT	SM	SIMILAR
EF	EXHAUST FAN	SK	SKETCH
EX	EXISTING	SC	SOLID CORE
ETR	EXISTING TO REMAIN	SPEC	SPECIFICATION
EJ	EXPANSION JOINT	SQ	SQUARE
EXT	EXTERIOR	SF	SQUARE FOOT/FEET
		SSMR	STANDING SEAM METAL ROOF
FIN	FINISH	STL	STEEL
FF	FINISH FLOOR	STG	STORAGE
FE	FIRE EXTINGUISHER	STRUCT	STRUCTURAL
FL	FLOOR	SYMB	SYMBOLS
FT	FOOT/FEET		
FTG	FOOTING	TEMP	TEMPORARY
FDN	FOUNDATION	TK	THICK
FR	FRAME	TOIL	TOILET
		T&G	TONGUE & GROOVE
GALV	GALVANIZED	T.O.	TOP OF
GA	GAUGE	TYP	TYPICAL
GC	GENERAL CONTRACTOR		
GWB	GYPSUM WALL BOARD	UON	UNLESS OTHERWISE NOTED
HDW	HARDWARE	VB	VAPOR BARRIER
H/HT	HEIGHT	VIF	VERIFY IN FIELD
HM	HOLLOW METAL	VERT	VERTICAL
HORIZ	HORIZONTAL	VEST	VESTIBULE
HR	HOUR	VCT	VINYL COMPOSITION TILE
IN	INCH	WVF	WELDED WIRE FABRIC
INCL	INCLUDE	W	WIDTH
INS	INSULATION	W/	WITH
INT	INTERIOR	W/O	WITHOUT
		WOD	WOOD

SYMBOLS & MAT'L'S.

SYMBOLS LEGEND:		MATERIALS LEGEND:	
	SECTION NUMBER SHEET NUMBER		REVISION NUMBER
	ELEVATION NUMBER SHEET NUMBER		ELEVATION
	DETAIL NUMBER SHEET NUMBER		DOOR AND SWING
	VIEW NUMBER SHEET NUMBER		WINDOW TYPE
	DRAWING NUMBER SHEET NUMBER		PARTITION TYPE
	DOOR NUMBER HDM SET DOOR TYPE		ROOF DIRECTION AND PITCH
	ROOM NAME		ADA 5' DIA WHEELCHAIR TURNING SPACE
	ROOM NUMBER		WORK TO BE REMOVED
	INTERIOR ELEVATION VIEW NUMBER		EXISTING TO REMAIN
	ROOM NUMBER		NEW CONSTRUCTION (HATCH PATTERN)
	FLOOR FINISH		NOTE NUMBER GENERAL NOTE

LOCATION MAP



BUILDING LOCATION:
18 BELLEWOOD AVENUE
DOBBS FERRY, NY 10522

PROJECT LOCATION



GENERAL NOTES

- THE INTENT OF THE CONSTRUCTION DOCUMENTS IS TO ACCOMPLISH A COMPLETE PROJECT. ANYTHING REASONABLY IMPLIED OR INTENDED SHALL BE INCLUDED. THE WORK INCLUDED UNDER THIS CONTRACT CONSISTS OF ALL LABOR, MATERIALS, TRANSPORTATION, TOOLS AND EQUIPMENT NECESSARY FOR THE CONSTRUCTION OF THE PROJECT LEAVING ALL WORK CLEAN AND READY FOR USE. ANY DISCREPANCIES, CONFLICTS OR OMISSIONS FOUND IN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY, ASSUME THE HIGHER QUALITY WORK AND REFRAIN FROM STARTING / COMPLETING SUCH WORK, OR DEPENDENT WORK, UNTIL CLARIFIED BY THE ARCHITECT AND TOLD TO PROCEED.
- EACH CONTRACTOR SHALL REVIEW THE CONSTRUCTION DOCUMENTS FOR COMPLETE UNDERSTANDING AND KNOWLEDGE OF THE WORK. ALL WORK SHALL BE DONE BY REQUIRED LICENSED CONTRACTORS IN COMPLIANCE WITH INDUSTRY STANDARDS AND ALL CODE REQUIREMENTS. ALL WORK SHALL BE INSTALLED TRUE, PLUMB, SQUARE, LEVEL, AND IN PROPER ALIGNMENT. JOB SITE SAFETY IS THE RESPONSIBILITY OF EACH CONTRACTOR.
- VERIFY ALL DIMENSIONS AND CONDITIONS AT THE BUILDING AND SITE PRIOR TO COMMENCING WORK. VERIFY CLEARANCES FOR FLUES, VENTS, CHASES, SOFFITS, FIXTURES, ETC. BEFORE ANY CONSTRUCTION, ORDERING, OR INSTALLATION OF ANY ITEMS OF WORK. NOTIFY ARCHITECT SHOULD DISCREPANCIES OCCUR PRIOR TO PERFORMING WORK.
- DIMENSIONS ARE TO EDGE OF SLAB, FACE OF STUD, DOOR/WINDOW OPENING, CENTER OF PLUMBING FIXTURE, UNLESS OTHERWISE NOTED. WRITTEN DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE DRAWINGS.
- DETAILS AND NOTES ARE TYPICAL. SIMILAR DETAILS AND NOTES APPLY IN SIMILAR CONDITIONS.
- UNTIL PERMANENT FIRE PROTECTION NEEDS ARE MET, INSTALL FIRE EXTINGUISHERS PER CODE TO PROVIDE TEMPORARY FIRE PROTECTION. OBTAIN APPROVAL OF THE BUILDING AND FIRE DEPARTMENTS AND THE ARCHITECT PRIOR TO INSTALLATION.
- INSTALL ALL FIXTURES, EQUIPMENT AND MATERIAL PER MANUFACTURER'S RECOMMENDATIONS.

DRAWINGS LIST

A0.1	COVER SHEET
S1.0	SITE AERIAL PLAN
A1.0	BASEMENT & FIRST FLOOR PLANS
A3.0	EXTERIOR ELEVATIONS
A4.0	WALL SECTION & DETAILS
SD 1.0	EXISTING PHOTOGRAPHS

Sullivan Architecture, P.C.

31 Mamaroneck Avenue
White Plains, New York 10601
914-761-6006 (F) 914-761-4919

Owner: Sacred Heart &
Our Lady of Pompeii Parish
18 Bellewood Avenue
Dobbs Ferry, NY 10522

Date Issue

06.23.21	AHRB SUBMISSION
07.14.21	AHRB SUBMISSION
08.10.21	ISSUED FOR BID
04.28.22	AHRB SUBMISSION

Project Title

Altertations to
Sacred Heart
Rectory

18 Bellewood Avenue
Dobbs Ferry, NY 10522

Drawing Title

COVER SHEET

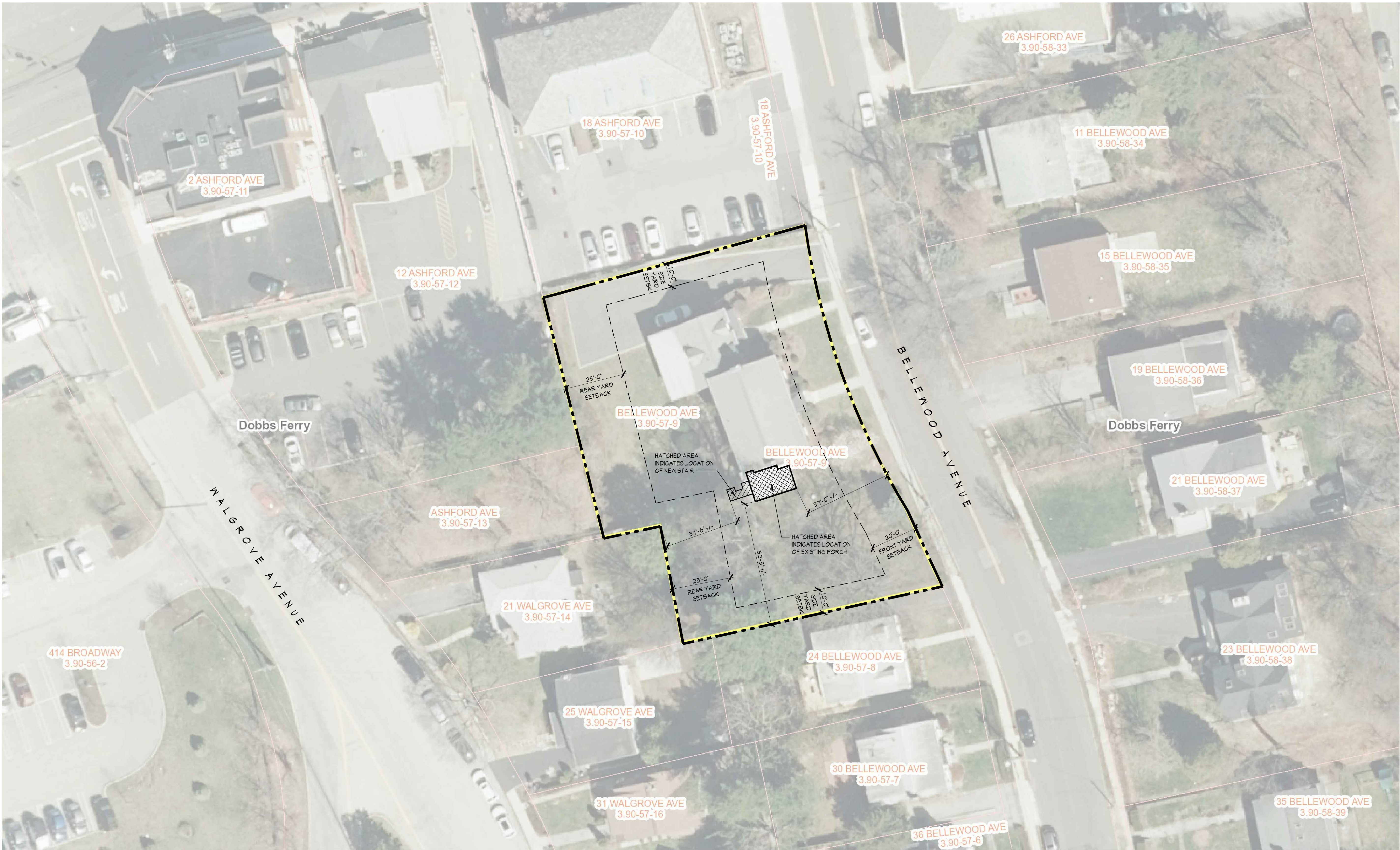
Project No.	202105
Date	06-04-21
Scale	AS NOTED
Drawing by	cjp

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Drawing No.

A0.1



1 SITE AERIAL PLAN
1"=20'

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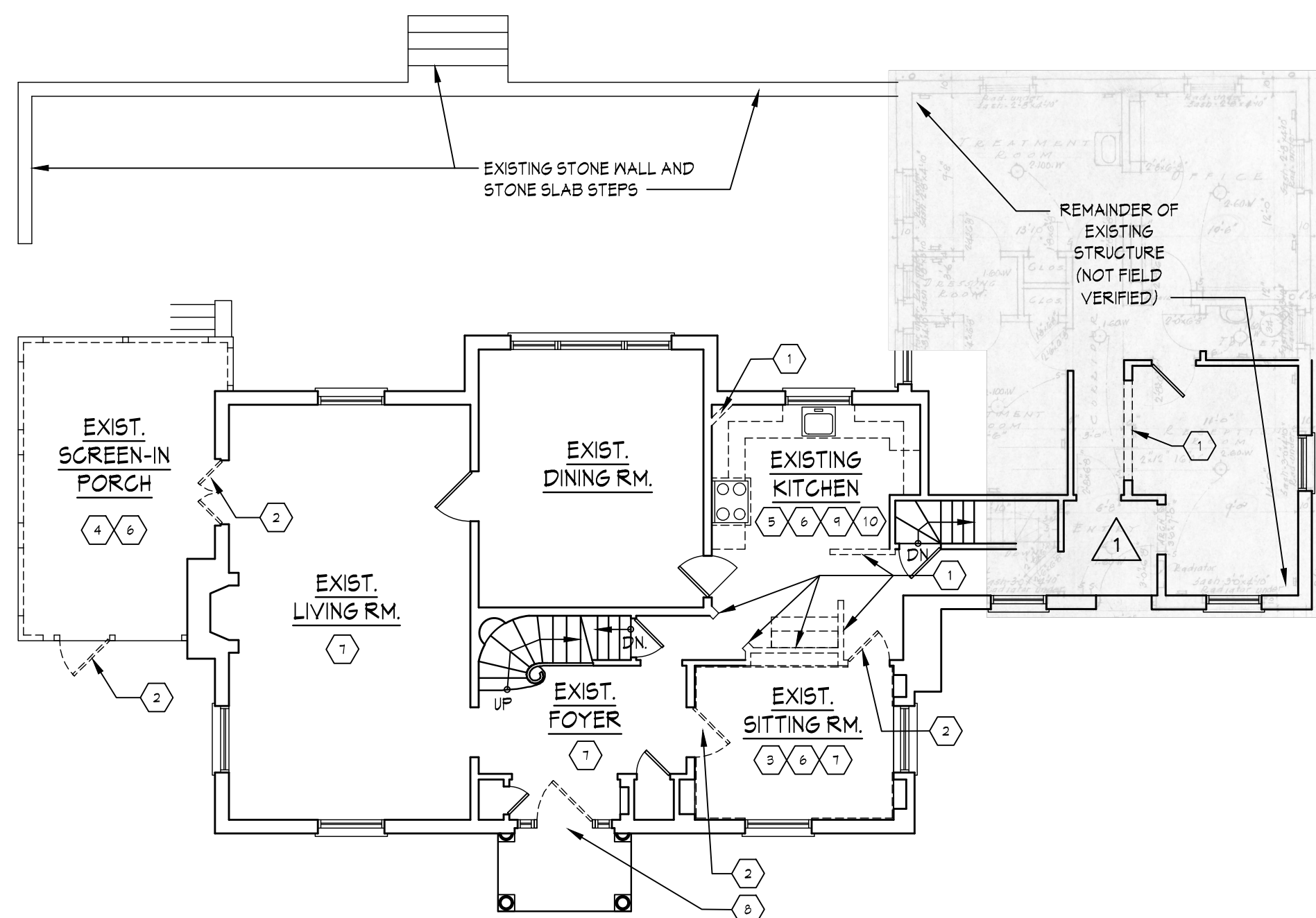
Project Title
**Altertations to
Sacred Heart
Rectory**
18 Bellewood Avenue
Dobbs Ferry, NY 10522

Drawing Title
SITE AERIAL PLAN

Project No. 202105
Date 06-04-21
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S1.0



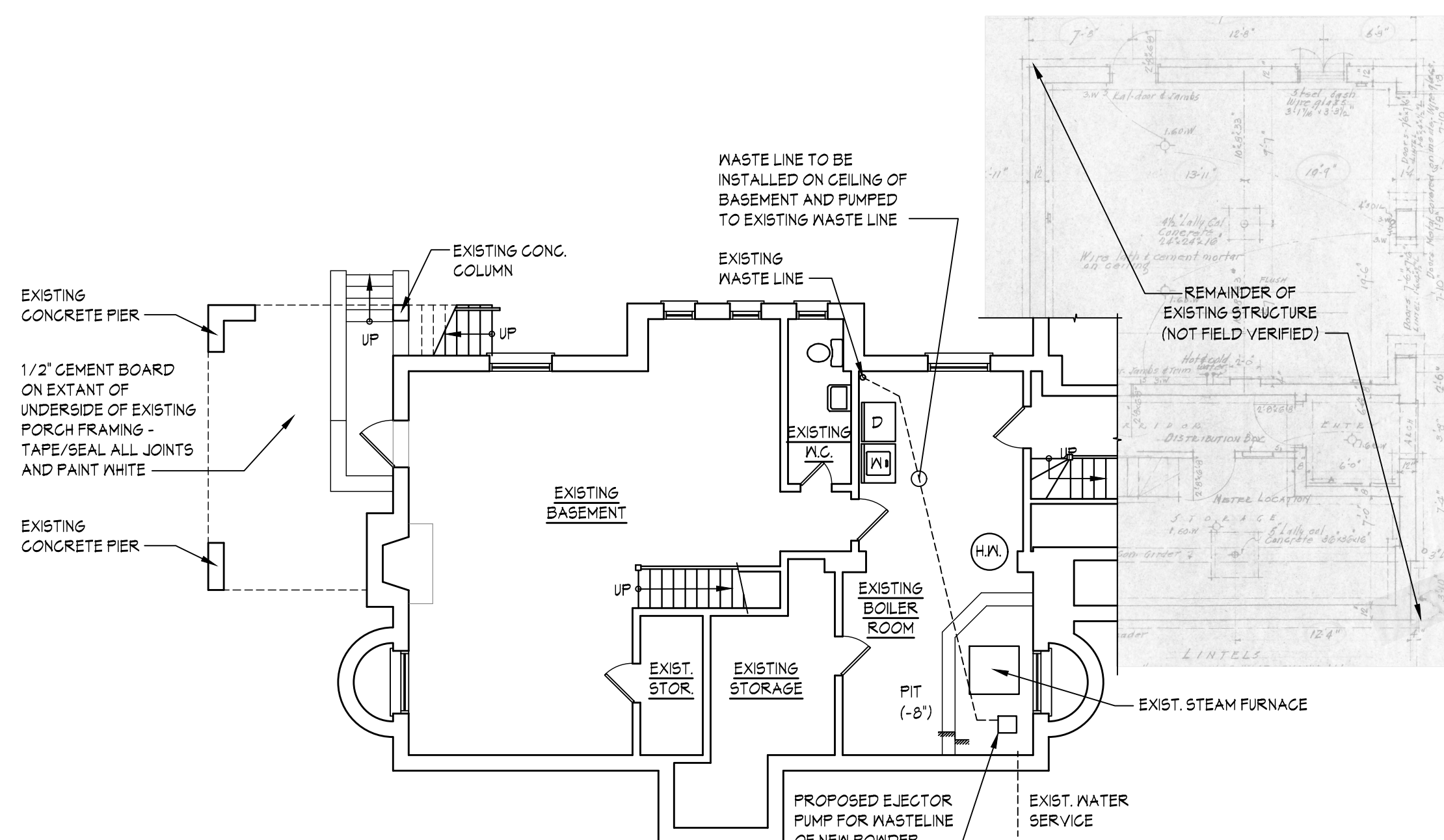
1 FIRST FLOOR DEMOLITION PLAN
1/8"=1'-0"

REMOVAL LEGEND

- EXISTING PARTITIONS, DOORS TO BE REMOVED PATCH AREAS AFFECTED BY REMOVALS.
- EXISTING PARTITIONS TO REMAIN PATCH AS REQUIRED -PREPARE FOR SMOOTH SURFACE AND NEW FINISHES.

REMOVAL WORK NOTES

- DEMOLITION CONTRACTOR TO FURNISH AND INSTALL ALL LABOR AND MATERIALS TO DEMOLISH AND DISCARD THE FOLLOWING:
- REMOVE AND DISCARD EXISTING NON-LOAD BEARING PARTITIONS IN ITS ENTIRETY INCLUDING ALL DOORS, FRAMES AND ASSOCIATED HARDWARE AS INDICATED BY DASHED LINES. REMOVE ALL ELECTRICAL AND PLUMBING LINES BACK TO ITS SOURCE AND DISCARD. NOTIFY ARCHITECT OF ANY DISCREPANCIES. REFER TO CONSTRUCTION PLANS FOR EXTENT OF NEW WORK.
 - REMOVE AND DISCARD EXISTING DOOR, FRAME AND ALL ASSOCIATED HARDWARE.
 - REMOVE EXISTING WALL PANELING AND FURRING DOWN TO ORIGINAL FINISH WALL.
 - REMOVE AND DISCARD ALL FRAMING AND SCREENS ON EXISTING PORCH. REMOVE EXISTING WROUGHT-IRON COLUMNS AT CORNERS (IF STILL REMAINING) - PROVIDE TEMPORARY SUPPORT OF ALL ROOF FRAMING - REFER TO PROPOSED PLAN FOR NEW WORK.
 - REMOVE AND DISCARD EXIST. SINK, DISHWASHER, AND OVEN/RANGE. REFER TO PROPOSED PLAN FOR EXTENT OF NEW WORK.
 - REMOVE AND DISCARD EXIST. LIGHT LIGHT FIXTURE. REFER TO REFLECTED CEILING PLANS AND ELECTRICAL PLANS FOR EXTENT OF NEW WORK.
 - REMOVE EXISTING CARPETING AND ASSOCIATED COMPONENTS AND EXISTING SHOE MOULDING ON EXISTING WOOD BASE FOR INSTALLATION OF NEW FLOORING - WOOD BASE TO REMAIN WHERE APPLICABLE
 - REMOVE EXISTING DOOR/SIDELIGHT ASSEMBLY AND ASSOCIATED TRIM FOR INSTALLATION OF NEW DOOR/SIDELIGHT ASSEMBLY
 - REMOVE EXISTING COUNTERTOPS AND UPPER/LOWER CABINETRY
 - REMOVE EXISTING RESILIENT FLOOR MATERIAL DOWN TO SUB-FLOOR



2 PROPOSED BASEMENT FLOOR PLAN
1/8"=1'-0"

CONSTRUCTION GENERAL NOTES

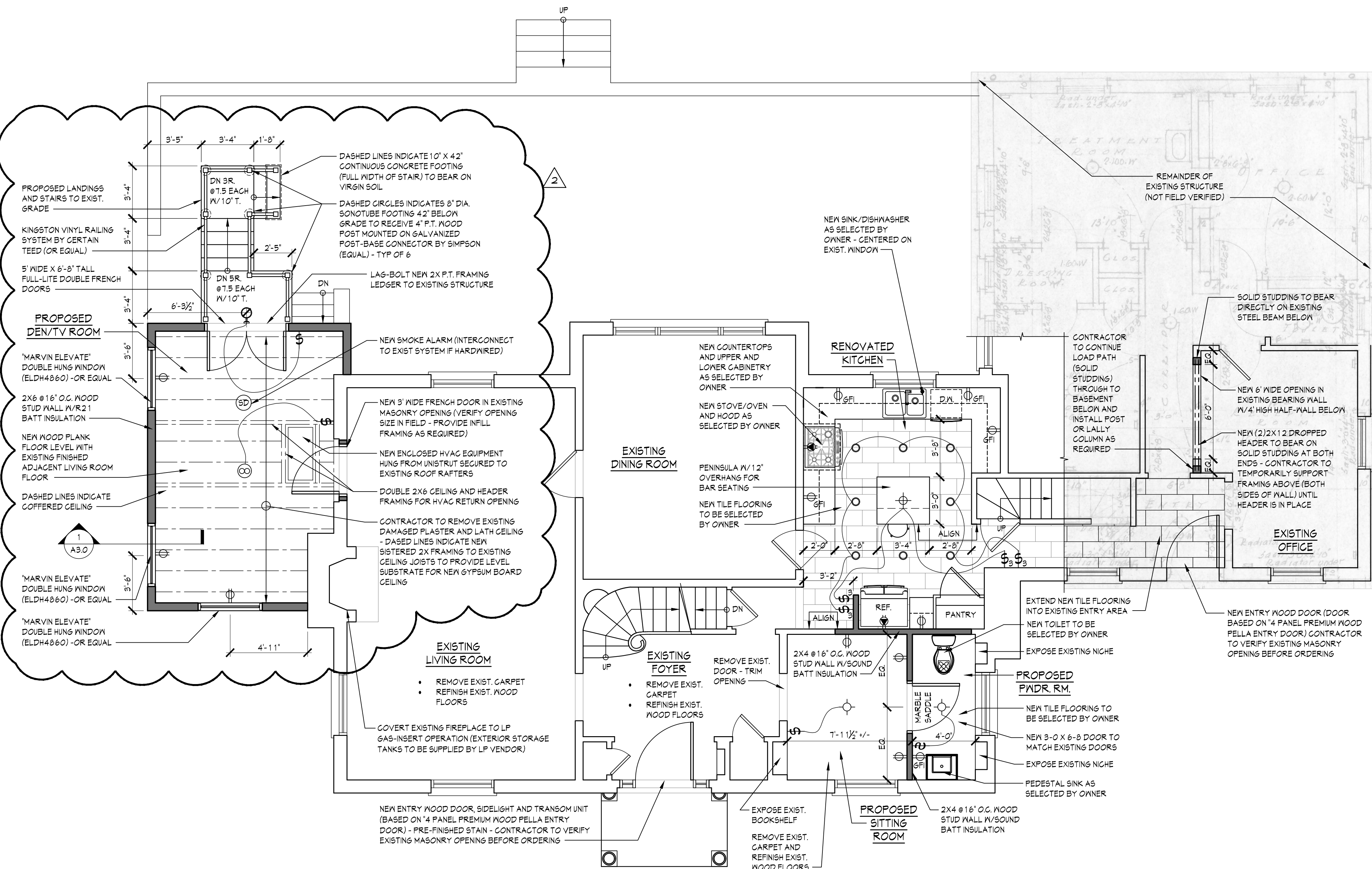
- NOTIFY THE ARCHITECT OF DISCREPANCIES THAT AFFECT THE WORK AND UNCOVERED AREAS FOR OBSERVATION PRIOR TO PROCEEDING WITH NEW WORK.
- PATCH ALL WALL AREAS AFFECTED BY REMOVALS. NOT ALL PATCH AREAS ARE INDICATED.
- EXISTING LIFE SAFETY APPARATUS SHALL REMAIN INTACT AND ACTIVE DURING REMOVALS AND CONSTRUCTION UNTIL NEW DEVICES ARE INSTALLED AND ACTIVATED. ADJUST EXISTING DEVICES TO MAINTAIN PROTECTION. PROVIDE TEMPORARY SUPPORT FOR SMOKE DETECTORS AND EXIT SIGNS.
- ELECTRICAL CONTRACTOR TO PROVIDE TEMPORARY LIGHTING TO ILLUMINATE SPACE PER LOCAL CODES.
- VERIFY ALL CONDITIONS AND LOCATIONS AFFECTING THE REMOVALS AND NEW WORK.
- EXISTING ELECTRICAL WIRING, AFFECTED BY REMOVALS, TO REMAIN UNLESS OTHERWISE NOTED. DISCONNECT, LABEL, SECURE, PROTECT, CAP, WRAP, BIND AND STORE ABOVE CEILING IN WALL.
- REMOVE ALL EXISTING ELECTRICAL WIRING, NOT BEING USED BACK TO ITS SOURCE.
- REMOVE ALL EXISTING PIPING NOT BEING RE-USED BACK TO ITS SOURCE AND CAP.
- PROVIDE EMERGENCY AND FIRE DEVICES REQUIRED BY CODE AND CONNECT TO OWNER'S EXISTING LIFE SAFETY SYSTEM. COORDINATE FINAL LOCATIONS WITH OWNER AND FIRE MARSHALL.
- WHERE LOCATION OF DOORS ARE NOT DIMENSIONED THEY SHALL BE CENTERED IN THE WALL OR PLACED 48" FROM ADJACENT WALL.
- G.C. SHALL COORDINATE ALL ELECTRICAL, PLUMBING, MECHANICAL AND FIRE PROTECTION DISCIPLINES.
- ALL KITCHEN CABINETS, COUNTERTOPS AND APPLIANCES BY OTHERS. COORDINATE ALL SELECTIONS WITH OWNER.

CONSTRUCTION LEGEND

- EXISTING PARTITIONS TO REMAIN PATCH AREAS AFFECTED BY NEW WORK AS REQUIRED - PREPARE FOR SMOOTH SURFACE AND NEW FINISHES.
- NEW PARTITION TYPE - SEE PARTITION LEGEND. PREPARE FOR FINISHES.

ELECTRICAL SYMBOLS LEGEND:

- RECESSED LIGHT, ROUND, ADJUSTABLE
- RECESSED LIGHT, WATER PROOF
- SURFACE MOUNTED LIGHT
- PENDANT LIGHT
- CEILING FAN/LIGHT
- WALL MOUNTED LIGHT
- SWITCH, OWNER TO SELECT TYPE AND COVER PLATE
- SWITCH, 3-WAY, OWNER TO SELECT TYPE AND COVER PLATE
- RECEPTACLE OUTLET, DUPLEX, MATCH COVER PLATE TO SWITCH
- RECEPTACLE OUTLET, DUPLEX, GROUND FAULT CIRCUIT INTERRUPTER, MATCH COVER PLATE TO SWITCH
- DEDICATED OUTLET, COORD WITH EQUIPMENT, MATCH COVER PLATE TO SWITCH
- PHONE AND DATA OUTLET, COORD WITH OWNER FOR FINAL LOCATION, TYPE & QUANTITIES
- EXHAUST FAN, RECESSED, CFM VARIES. OWNER TO SELECT TYPE & OPTIONS



3 PROPOSED FIRST FLOOR PLAN
1/4"=1'-0"

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06.23.21 AHRB SUBMISSION
07.19.21 AHRB SUBMISSION
08.10.21 ISSUED FOR BID
08.24.21 GAS FIREPLACE CLARIFICATION
11.29.21 OFFICE WALL OPENING
03.25.22 FIELD CONDITION AS-BUILT
04.28.22 AHRB SUBMISSION

Project Title

Alterations to Sacred Heart Rectory

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Drawing Title

DEMOLITION & PROPOSED FLOOR PLANS

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03.25.22 FIELD CONDITION AS-BUILT
04.28.22 AHRB SUBMISSION

Project Title
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Drawing Title
EXTERIOR ELEVATIONS

Project No. 202105
Date 06-04-21
Scale AS NOTED
Drawing by cjp

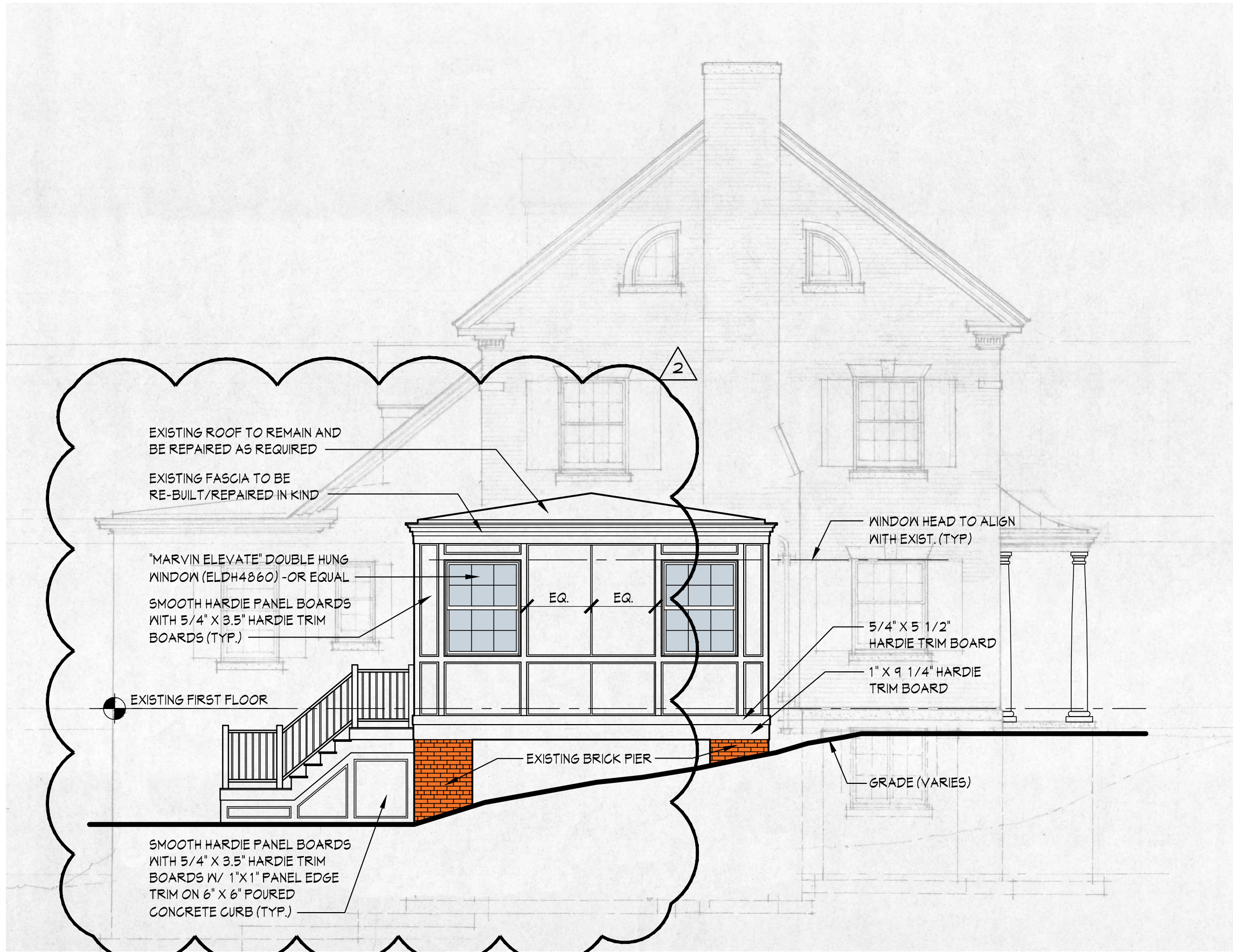
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1 PROPOSED EAST ELEVATION
3/16"x1'-0"

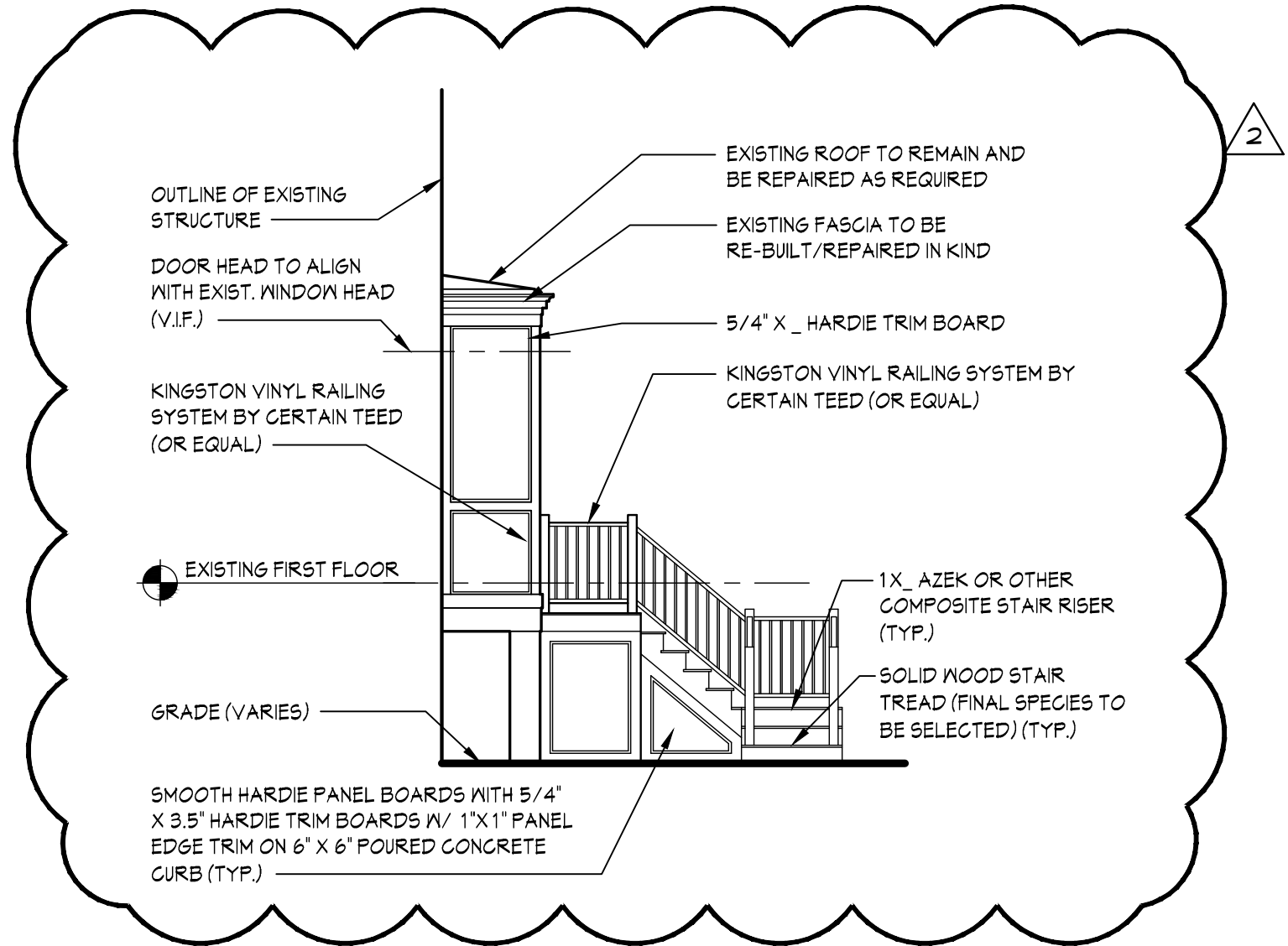


2 PROPOSED SOUTH ELEVATION
3/16"x1'-0"

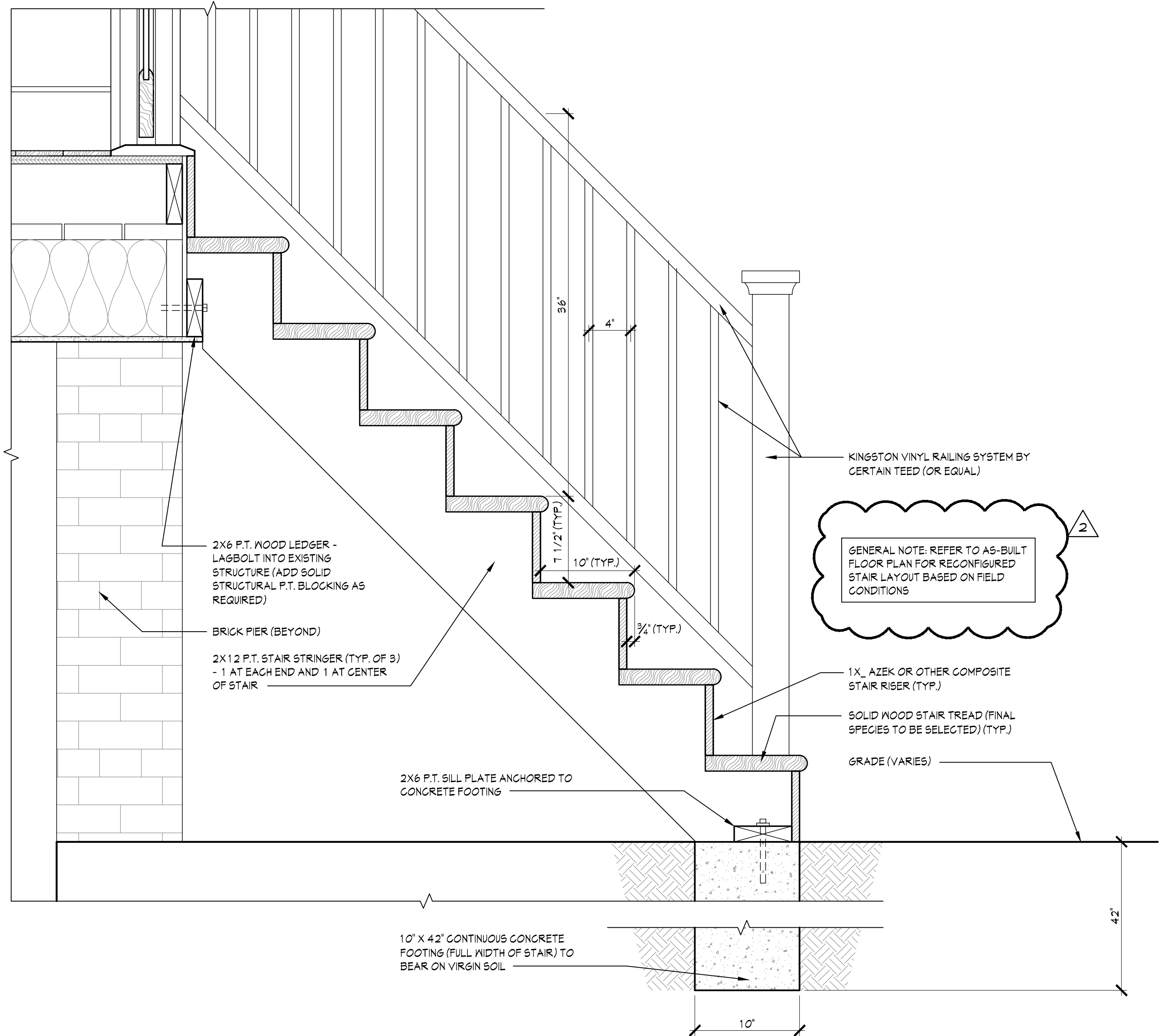
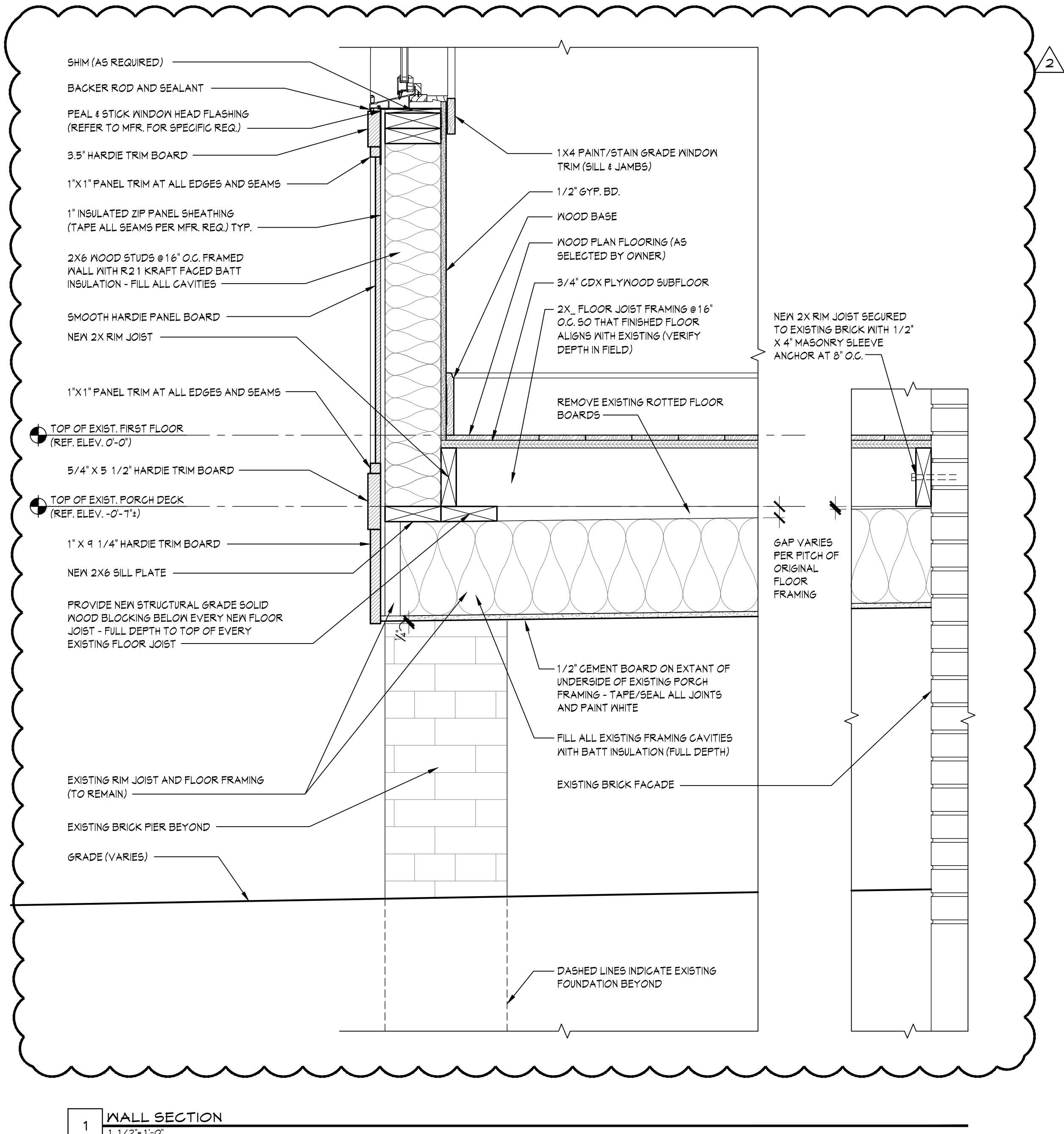
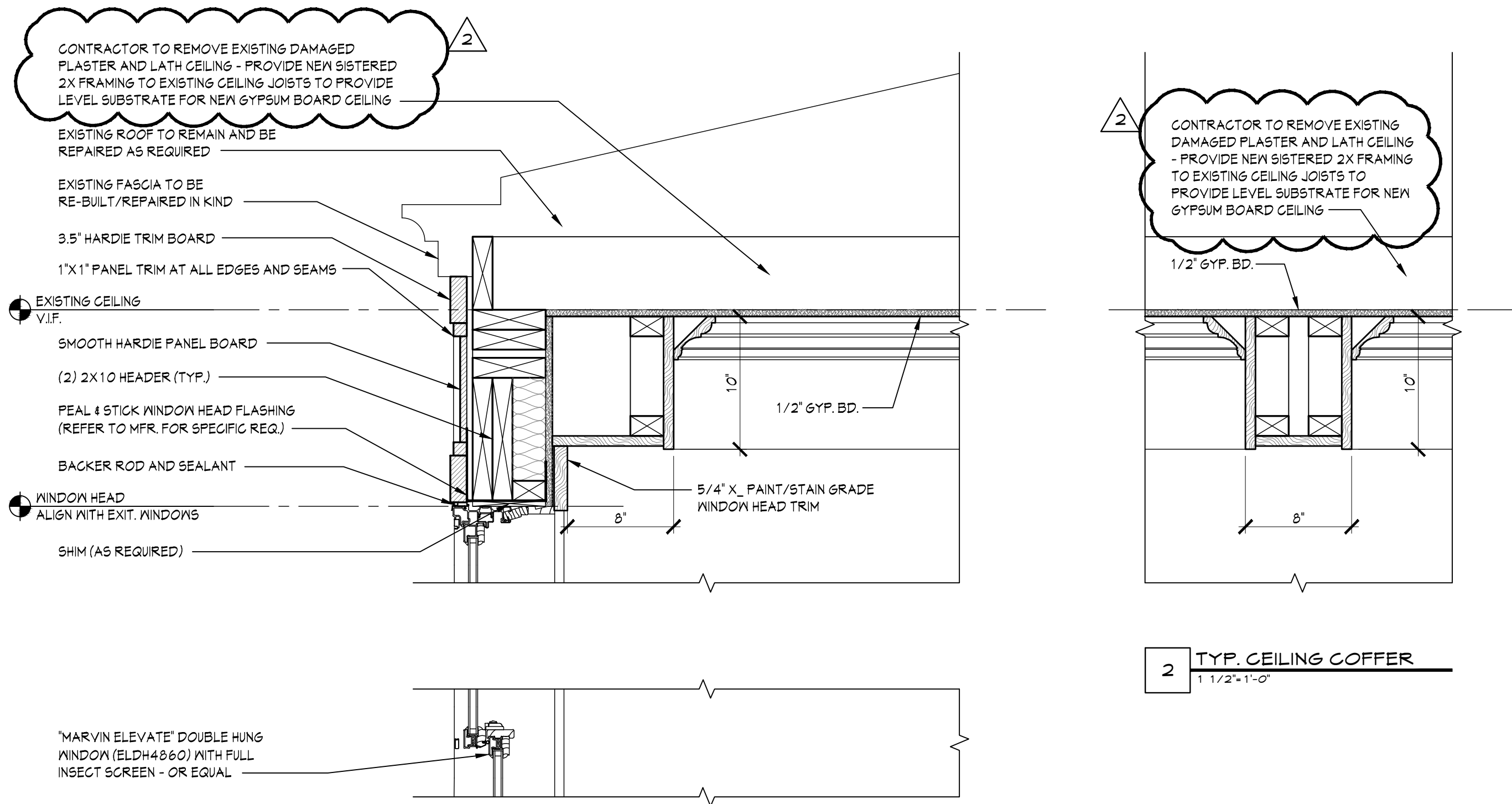


3 PROPOSED WEST ELEVATION
3/16"x1'-0"

EXTERIOR MATERIAL FINISH SCHEDULE		
ITEM	MATERIAL	COLOR
PROPOSED TRIM BOARDS:	'HARDIE' FIBER CEMENT	WHITE
PROPOSED PANEL BOARDS:	'HARDIE' FIBER CEMENT	WHITE
EXISTING TRIM BOARDS (TO REMAIN):	WOOD	WHITE
WINDOWS:	'MARVIN' WOOD/FIBERGLASS	WHITE
EXTERIOR DOORS:	WOOD (WALNUT)	NATURAL STAIN
EXISTING BRICK:	BRICK	EXIST. (NO CHANGE)
PROPOSED RAILING SYSTEM:	VINYL	WHITE



4 PROPOSED PARTIAL NORTH ELEVATION
3/16"x1'-0"





1 EXISTING VIEW FROM EAST



2 EXISTING VIEW FROM SOUTH EAST



3 EXISTING VIEW FROM SOUTH



4 EXISTING VIEW FROM WEST

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**SD1.0**