

CRAWFORD RESIDENCE

35 RIVERSIDE PLACE

Warning: It is a violation of New York State Education Law Article 145 §7(2)(b) for any person to act as a licensed professional engineer or land surveyor, to alter an item in any way.



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N.Y.S. LICENSE NO. 100618

PROJECT TITLE: **CRAWFORD RESIDENCE**
35 RIVERSIDE PLACE
DOBBS FERRY, NEW YORK 10522
PROJECT NO.: **1706**

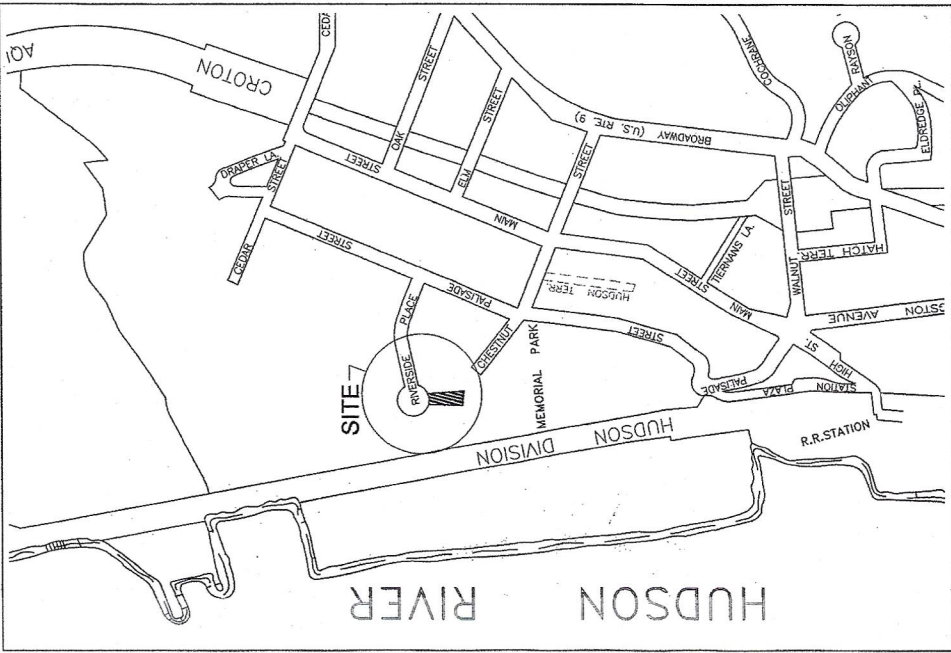
GOTHAM DESIGN AND COMMUNITY DEVELOPMENT LTD.

329 Broadway
Dobbs Ferry, N.Y. 10522
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ISSUED / REVISIONS
11-16-17 PLANNING BOARD SUBMISSION
12-14-17 PLANNING BOARD SUBMISSION
02-06-18 PLANNING BOARD SUBMISSION
03-01-18 A/R/S SUBMISSION
03-01-18 PLANNING BOARD MEETING
07-11-18 BID
02-24-20 BUILDING PERMIT SUBMISSION

SHEET TITLE	COVER SHEET AERIAL LOCATION MAP SITE LOCATION MAP GENERAL NOTES
DATE:	DRAWN BY: 11-16-17 MB
SCALE:	CHECKED BY: AS NOTED PRS
CS	

DOBBS FERRY, N.Y. 10522



SITE LOCATION MAP
NOT TO SCALE



AERIAL LOCATION MAP
NOT TO SCALE

LIST OF DRAWINGS		SUBJECT PROPERTY	
CS	GENERAL NOTES, LOCATION MAPS, LIST OF PROPERTY OWNERS		
A-1	SITE DEVELOPMENT PLAN, ZONING AND IMPERVIOUS COVERAGE TABLES		
A-1.1	EROSION CONTROL PLAN AND DETAILS		
A-1.2	STORM DRAINAGE PLAN AND DETAILS		
A-1.3	SITE PLAN PARKING AND DRIVEWAY DETAIL		
SEP-1	SKY EXPOSURE PLANE DIAGRAMS (NOT INCLUDED)		
A-2.10	FLOOR PLANS		
A-3.10	ELEVATIONS		

ERRORS AND OMISSIONS

37. THE CONTRACTOR IS RESPONSIBLE TO THE OWNER FOR ERRORS AND OMISSIONS IN THE WORK AND FOR FAILURE TO PERFORM IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
38. THE CONTRACTOR'S SERVICES MUST BE PERFORMED IN A SKILLFUL AND COMPETENT MANNER IN ACCORDANCE WITH ACCEPTED STANDARDS OF THE CONSTRUCTION INDUSTRY AND WITH THE REQUIREMENTS OF THOSE AGENCIES HAVING JURISDICTION OR OTHERWISE IDENTIFIED IN THE SPECIFICATIONS.
39. THE CONTRACTOR WILL PROVIDE ALL WORK DETERMINED BY GOTHAM DESIGN TO BE MISSING, UNLESS OTHERWISE NOTED BY THE CONTRACTOR WITHOUT ADDITIONAL EXPENSE TO THE OWNER.
40. THE CONTRACTOR MUST REPLACE ALL WORK DETERMINED BY GOTHAM DESIGN TO BE INSTALLED IMPROPERLY OR SUBSTANDARD WITHOUT ADDITIONAL EXPENSE TO THE OWNER.

CHANGES

41. ANY CHANGES IN THE CONTRACT DOCUMENTS OR IN THE COMPLETED WORK WHICH REQUIRE A CHANGE ORDER MUST BE SUBMITTED TO THE OWNER FOR REVIEW AND APPROVAL PRIOR TO BEING EXECUTED BY THE CONTRACTOR.
42. NO CHANGES, ALTERATIONS, OR MODIFICATIONS TO THE DESIGN, THE CONTRACT DOCUMENTS, OR THE SPECIFICATIONS SHALL BE MADE WITHOUT THE WRITTEN CHANGE ORDER APPROVED BY GOTHAM DESIGN.

SUBSTITUTIONS

43. SUBSTITUTION OF MATERIALS, PRODUCTS, OR METHODS ARE PERMISSIBLE ONLY WITH PRIOR WRITTEN AUTHORIZATION FROM GOTHAM DESIGN.
44. GOTHAM DESIGN WILL CONSIDER REQUESTS FOR SUBSTITUTIONS UP TO FIVE DAYS PRIOR TO INITIATION OF WORK.

CLEAN UP

45. CONTRACTOR SHALL PROTECT THE EXISTING RESIDENCE FROM DUST INFILTRATION AND DAMAGE FROM DEBRIS WITH TEMPORARY BARRIERS AND PROTECTION BOARDS.
46. EACH CONTRACTOR IS RESPONSIBLE FOR CLEANING THEIR WORK AREAS AND REMOVING ALL DEBRIS ASSOCIATED WITH THEIR WORK FROM THE PREMISES AT THE END OF EACH WORK DAY. ALL DEBRIS SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL REGULATIONS OF ALL APPLICABLE AGENCIES.

SAFETY REQUIREMENTS

47. EACH CONTRACTOR IS RESPONSIBLE FOR MAKING SURE THAT THEIR WORK AREA IS LEFT BROOM CLEAN AT THE END OF EACH WORK DAY.
48. EACH CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE SAFETY REQUIREMENTS OF ALL APPLICABLE AGENCIES HAVING JURISDICTION INCLUDING OSHA.
49. EACH CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF ALL LADDERS, SCAFFOLDS, OR OTHER EQUIPMENT USED UNDER THEIR JURISDICTION AND IN CONNECTION WITH THEIR WORK.

RESPONSIBILITY

50. EACH CONTRACTOR AND SUBCONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR ALL ACCIDENTS, INJURIES, OR DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE FAULT OR NEGLIGENCE OF THEMSELVES, THEIR AGENTS, EMPLOYEES, OR SUBCONTRACTORS.
51. EACH CONTRACTOR IS RESPONSIBLE FOR ALL PROPERTY INCLUDING MATERIALS, EQUIPMENT, TOOLS, AND APPURTENANCES DELIVERED TO THE JOB SITE UNDER THEIR JURISDICTION AND IN CONNECTION WITH THEIR WORK WHICH IS STOLEN FROM THE PROPERTY OR DAMAGED ON THE PREMISES.
52. EACH CONTRACTOR INDEMNIFIES AND HOLDS THE OWNER AND GOTHAM DESIGN HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING ATTORNEY'S FEES, CAUSED BY, RELATED TO, OR INCIDENTAL TO THE PERFORMANCE OF THE WORK BY THE CONTRACTOR OR SUBCONTRACTOR OR BY THE NEGLIGENCE OF THE CONTRACTORS AND WHETHER OR NOT SUCH INJURY OR DAMAGE IS ALSO ATTRIBUTABLE TO THE OWNER'S FAULT OR NEGLIGENCE.
53. GOTHAM DESIGN AND ITS CONSULTANTS HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL, OR DISPOSAL OF OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT PRESENT, PAST, OR FUTURE, INCLUDING BUT NOT LIMITED TO: ASBESTOS, LEAD, PCB'S, OR OTHER TOXIC SUBSTANCES.

54. IN THE EVENT THAT THE CONTRACTOR OR SUBCONTRACTOR IS REQUIRED TO REMOVE OR CONTAIN HAZARDOUS MATERIALS ON THE SITE, ALL MATERIAL SHALL BE CONDUCTED IN STRICT COMPLIANCE WITH THE REGULATIONS OF ALL APPLICABLE AGENCIES HAVING JURISDICTION.
55. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING PROPER HANDLING METHODS FOR ALL MATERIALS ON THE SITE AND FOR INSTRUCTING ALL WORKERS IN PROPER HANDLING METHODS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND IN ACCORDANCE WITH ALL APPLICABLE AGENCIES HAVING JURISDICTION INCLUDING, BUT NOT LIMITED TO, OSHA.

INSURANCE

56. EACH CONTRACTOR AND SUBCONTRACTOR MUST OBTAIN AND MAINTAIN AN ACCIDENT AND PUBLIC LIABILITY INSURANCE POLICY FOR THE PROJECT COVERING FROM COMMENCEMENT THROUGH COMPLETION OF ALL WORK FROM THE CONTRACTORS' INSURANCE AGENT INDICATING THE TYPE AND AMOUNTS OF COVERAGE. THE MUNICIPALITY, THE OWNER, AND GOTHAM DESIGN SHALL BE NAMED AS "ADDITIONAL INSURED" ON THE BINDER.
57. BY ACCEPTING THE CONTRACT TO WORK ON THIS PROPERTY, THE CONTRACTOR AGREES TO DEFEND, INDEMNIFY, KEEP AND SAVE HARMLESS THE OWNER, THE OWNER'S AGENT, GOTHAM DESIGN, AND ITS AGENTS, EMPLOYEES, AND SUBCONTRACTORS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING ATTORNEY'S FEES, CAUSED BY, RELATED TO, OR INCIDENTAL TO THE PERFORMANCE OF THE WORK BY THE CONTRACTOR OR SUBCONTRACTOR OR BY THE NEGLIGENCE OF THE CONTRACTORS AND WHETHER OR NOT SUCH INJURY OR DAMAGE IS ALSO ATTRIBUTABLE TO THE OWNER'S FAULT OR NEGLIGENCE.

58. EACH CONTRACTOR AND SUBCONTRACTOR MUST PROVIDE AND MAINTAIN WORKERS' COMPENSATION INSURANCE IN ACCORDANCE WITH NEW YORK STATE REQUIREMENTS FOR ALL EMPLOYEES FURNISHING LABOR FOR THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND MAINTAINING ALL NECESSARY PERMITS AND IN ACCORDANCE WITH ALL APPLICABLE AGENCIES HAVING JURISDICTION INCLUDING, BUT NOT LIMITED TO, OSHA.
59. CERTIFICATES OF INSURANCE ACCEPTABLE TO THE OWNER MUST BE FILED WITH THE OWNER PRIOR TO THE COMMENCEMENT OF THE WORK.

60. THE OWNER MUST OBTAIN AND MAINTAIN LIABILITY INSURANCE AS WILL PROTECT HIM FROM HIS CONTRACTING LIABILITY FOR INJURY AND DAMAGES WHICH MAY ARISE DURING THE WORK OF THIS PROJECT AND FROM ANY OTHER LIABILITY FOR WHICH THE CONTRACTORS ARE REQUIRED TO BE INSURED UNDER THE PROVISIONS OF THE CONTRACT.
61. THE OWNER MUST OBTAIN AND MAINTAIN FIRE INSURANCE INCLUDING EXTENDED COVERAGE AND MALICIOUS MISCHIEF COVERAGE OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND MAINTAINING ALL NECESSARY PERMITS AND IN ACCORDANCE WITH ALL APPLICABLE AGENCIES HAVING JURISDICTION INCLUDING, BUT NOT LIMITED TO, OSHA.

WAIVER OF LIENS

62. EACH CONTRACTOR IS RESPONSIBLE FOR PROVIDING A WAIVER OF LIEN TO THE BENEFIT OF THE OWNER IN A FORM ACCEPTABLE TO GOTHAM DESIGN COVERING ALL LABOR, MATERIALS, AND OTHER EXPENSES AT THE TIME COMPENSATION IS RECEIVED FOR SAME.
63. SUBSEQUENT PAYMENTS TO CONTRACTORS WILL NOT BE PAID UNTIL AN ACCEPTABLE WAIVER OF LIENS HAS BEEN RECEIVED FOR PREVIOUS WORK OF THE SAME CONTRACTOR.
64. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING WAIVERS OF LIENS FROM ALL SUPPLIERS AND SUBCONTRACTORS FURNISHING LABOR AND MATERIALS THROUGH THE GENERAL CONTRACTOR.
65. A RELEASE OF ALL LIENS TO THE BENEFIT OF THE OWNER BY A FORM ACCEPTABLE TO GOTHAM DESIGN SHALL BE PROVIDED BY THE CONTRACTOR AT THE TIME OF FINAL PAYMENT.

CERTIFICATION

66. I HAVE REVIEWED THESE DRAWINGS THOROUGHLY AND, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE DRAWINGS ACCURATELY REPRESENT THE PROJECT AND THE REQUIREMENTS AND CODES AND 2015 NEW YORK STATE SUPPLEMENT, AND THE REQUIREMENTS AND CODES OF ALL APPLICABLE AGENCIES HAVING JURISDICTION.

JOHN DEVOY, P.E., D.E.E., PROFESSIONAL ENGINEER
STATE OF NEW YORK LICENSE NO. 37289

PROJECT DESCRIPTION

1. THIS PROJECT ENTAILS THE CONVERSION OF AN EXISTING TWO STORY SINGLE FAMILY RESIDENCE INTO TWO RESIDENTIAL UNITS. THE EXISTING RESIDENCE IS A 1.5 STORY SQUARE FOOT COVERED ENTRY ADDITION FOR THE PROPOSED LOWER LEVEL DWELLING UNIT, AND THE CONVERSION OF THE EXISTING SINGLE CAR GARAGE INTO TWO BATHROOMS (THE LOWER LEVEL PREVIOUSLY INCLUDED TWO BEDROOMS AND ONE BATHROOM). THE EXISTING LIVING ROOM, DINING AREA, KITCHEN, TWO BEDROOMS AND ONE BATHROOM ON THE UPPER FLOOR WILL REMAIN. THE EXISTING GARAGE WILL BE REMOVED AND REPLACED BY A NEW GARAGE. THE NEW GARAGE UNIT WILL BE MODIFIED AS SHOWN ON THE PLANS. ALL EXISTING WINDOWS NOT OTHERWISE REPLACED BY THE PROPOSED SCOPE OF WORK ARE TO BE REPLACED AS SHOWN.

GENERAL NOTES

2. THESE NOTES PERTAIN TO THE ATTACHED DRAWINGS.
3. THESE DRAWINGS, TOGETHER WITH THE SPECIFICATIONS AND CONTRACT FOR CONSTRUCTION, COMPRISE THE CONTRACT DOCUMENTS FOR THIS PROJECT.
4. THE DRAWINGS AND SPECIFICATIONS ARE TO BE CONSIDERED AS COMPLEMENTARY. ALL LABOR, MATERIALS, EQUIPMENT, AND APPURTENANCES NECESSARY FOR THE EXECUTION OF THE WORK, INCLUDING BUT NOT LIMITED TO, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE SPECIFICATIONS BUT NOT SHOWN ON THE DRAWINGS, AND ANY WORK WHICH IS NECESSARY TO COMPLETE THE WORK WITHIN THE LIMITS ESTABLISHED BY THE DRAWINGS AND SPECIFICATIONS IS TO BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND IN ACCORDANCE WITH ALL APPLICABLE AGENCIES HAVING JURISDICTION INCLUDING, BUT NOT LIMITED TO, OSHA.
5. ALL CONSTRUCTION WORK MUST BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE LAWS, ORDINANCES, AND REGULATIONS OF THE STATE OF NEW YORK, THE FEDERAL GOVERNMENT, AND ALL OTHER AUTHORITIES HAVING JURISDICTION OVER THE WORK TO BE PERFORMED.
6. ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE 2015 INTERNATIONAL CODES AND 2016 NEW YORK STATE SUPPLEMENT.
7. EACH CONTRACTOR PERFORMING WORK ON THIS PROJECT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND IN ACCORDANCE WITH ALL APPLICABLE AGENCIES HAVING JURISDICTION INCLUDING, BUT NOT LIMITED TO, OSHA.
8. ALL CONTRACTORS SHALL OBTAIN AND MAINTAIN ALL REQUIRED APPROVALS OF THEIR WORK FROM ALL APPLICABLE AGENCIES HAVING JURISDICTION.

BUILDING CODE CRITERIA

9. CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA - DOBBS FERRY NY

10. OCCUPANCY: GROUP R-3: SINGLE-FAMILY DETACHED RESIDENCE
11. FIRE RATINGS:
 - EXTERIOR BEARING WALLS 34 HOUR (MODIFIED U.N. U239)
 - INTERIOR BEARING WALLS 34 HOUR (U.N. U217)
 - ROOF CONSTRUCTION 1 34 HOUR

12. THE REQUIREMENTS FOR FIRE RATINGS OF THESE COMPONENTS IN THESE CONSTRUCTION IS 0 HOURS. THE FIRE RATINGS NOTED ABOVE EXCEED THE REQUIREMENTS.
13. TYPICAL AND COMPOUND ALL INSIDE GYPSUM BOARD CORNERS, CORNER BEAD AND COMPOUND ALL CORNERS AND JOINTS. ALL GYPSUM BOARD WORK IS TO BE IN ACCORDANCE WITH GYPSUM CONSTRUCTION HANDBOOK, UNITED STATES GYPSUM, LATEST EDITION.

SCOPE OF WORK

14. THE CONTRACTOR IS TO FURNISH AND INSTALL ALL MATERIALS, EQUIPMENT, AND LABOR NECESSARY FOR THE CONSTRUCTION OF THE PROJECT AS SHOWN ON THE CONTRACT DOCUMENTS EXCEPT AS IDENTIFIED AS EXCLUDED IN THE SPECIFICATIONS OR NOTED AS NOT IN CONTRACT ON THE DRAWINGS.
15. THE ONLY ITEMS TO BE EXCLUDED FROM THE BID PRICE FOR THE CONTRACTED SCOPE OF WORK ARE THOSE IDENTIFIED IN THE BID DOCUMENTS AND IN THE SPECIFICATIONS.
16. ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THE QUALITY STANDARDS IDENTIFIED IN THE CORRESPONDING SECTION OF THE SPECIFICATIONS.
17. EACH CONTRACTOR IS TO FURNISH ALL MATERIALS, LABOR, TOOLS, MACHINERY, SCAFFOLDING, EQUIPMENT, APPURTENANCES, AND APPLIANCES NECESSARY FOR THE PROPER HANDLING AND EXECUTION OF THE WORK.
18. EACH CONTRACTOR WILL HANDLE AND STORE THE MATERIALS IN A SECURED AREA, PROTECTED FROM ADVERSE CONDITIONS. IN ACCORDANCE WITH THE SPECIFICATIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND IN ACCORDANCE WITH ALL APPLICABLE AGENCIES HAVING JURISDICTION INCLUDING, BUT NOT LIMITED TO, OSHA.

SITE WORK

19. ALL SITE WORK SHALL BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS OF THE STATE OF NEW YORK, THE FEDERAL GOVERNMENT, AND ALL OTHER AUTHORITIES HAVING JURISDICTION OVER THE WORK TO BE PERFORMED.
20. STORM WATER RUNOFF FROM THE PROPOSED ROOF AREAS WILL BE COLLECTED IN ROOF DRAINAGE SYSTEMS. THESE DRAINAGE SYSTEMS WILL CONNECT VALDOWNSPOUTS TO THE EXISTING STORM DRAINAGE SYSTEM.
21. ALL EXCAVATED MATERIAL, EXCEPT THAT WHICH WILL BE REQUIRED FOR BACKFILLING, WILL BE REMOVED FROM THE SITE AS SOON AS PRACTICAL. IF STOCKPILING IS NECESSARY, MATERIAL MAY ONLY BE PLACED WHERE INDICATED ON THE EXISTING STREAM, TO ADJACENT PROPERTIES, PUBLIC STREETS, OR DRIVEWAYS, AND MAY NOT BE PLACED UNDER THE CANOPY OF TREES, OR IN ANY OTHER MANNER WHICH WOULD OTHERWISE RENDER THESE PROVISIONS VOID OR UNENFORCEABLE.
22. ALL EXISTING TREES ON THE PROPERTY SHALL BE PROTECTED AT ALL TIMES AND TEMPORARY FENCING WILL BE INSTALLED AROUND TREES ADJACENT TO THE WORK AREA AT THE DROP LINE.
23. NO MATERIALS OR DEBRIS MAY BE STOCKPILED WITHIN THE DROP LINE OF ANY TREE AT ANY TIME.
24. IN THE EVENT IT BECOMES NECESSARY TO REMOVE ANY TREES ON THE PROPERTY, ALL REQUIRED REMOVAL PERMITS SHALL BE OBTAINED PRIOR TO ANY TREE BEING JERED.

COORDINATION

25. USE LABELED DIMENSIONS ONLY. DO NOT SCALE DIMENSIONS FROM THE DRAWINGS. FOR CLARIFICATION, CONTACT GOTHAM DESIGN.
26. IN THE EVENT OF DIMENSIONAL DISCREPANCIES, CONFLICTS OR MISSING DIMENSIONS, CONTACT GOTHAM DESIGN FOR VERIFICATION PRIOR TO PROCEEDING WITH THE WORK.
27. IN THE EVENT OF DISCREPANCIES OR CONFLICTS BETWEEN THE EXISTING CONDITIONS, VERIFICATION PRIOR TO PROCEEDING WITH THE WORK.
28. THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING THE LOCATION OF ALL FRAMING MEMBERS AND SYSTEMS TO BE INSTALLED INCLUDING PLUMBING, HEATING, AIR CONDITIONING, ELECTRICAL, AND OTHER MECHANICAL SYSTEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND IN ACCORDANCE WITH ALL APPLICABLE AGENCIES HAVING JURISDICTION INCLUDING, BUT NOT LIMITED TO, OSHA.

29. DO NOT CLOSE OFF OR OBSTRUCT EXISTING DRIVEWAYS, SIDEWALKS, OR OTHER FACILITIES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS AS REQUIRED BY GOVERNING REGULATIONS.
30. CONDUCT DEMOLITION AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES AND TO AVOID DISTURBANCE TO THE EXISTING RESIDENCE.
31. ALL CONTRACTORS FURNISHING WORK MUST COOPERATE WITH THE OWNER AND WITH EACH OTHER TO MAINTAIN AN EFFICIENT AND SAFE JOB SITE.
32. MAINTAIN EXISTING UTILITIES. DO NOT DISRUPT UTILITY SERVICES TO THE EXISTING RESIDENCE WITHOUT APPROPRIATE AUTHORIZATION FROM UTILITY COMPANIES. IF DISRUPTION OF UTILITIES IS NECESSARY, PROVIDE WRITTEN NOTICE TO THE OWNER AND GOTHAM DESIGN AT LEAST 48 HOURS IN ADVANCE.

33. CONTRACTORS FURNISHING WORK MUST PROTECT ADJACENT EXISTING SURFACES AND NEW WORK AT ALL TIMES. DAMAGES MUST BE CORRECTED IN A TIMELY FASHION AT NO EXPENSE TO THE OWNER OR OTHER CONTRACTORS. EACH CONTRACTOR IS RESPONSIBLE FOR PROTECTING THEIR WORK UNTIL ACCEPTANCE BY THE OWNER.
34. GOTHAM DESIGN HAS THE AUTHORITY TO NEGOTIATE SETTLEMENTS IN DISPUTES CONCERNING THE OBLIGATIONS OR WORK TO BE PERFORMED EITHER BETWEEN THE CONTRACTORS OR BETWEEN THE CONTRACTORS AND THE OWNER.
35. GOTHAM DESIGN HAS THE AUTHORITY TO REJECT WORK WHICH DOES NOT CONFORM WITH THE INTENT OF THE CONTRACT DOCUMENTS. THE CONTRACT DOCUMENTS MUST BE CORRECTED BY THE CONTRACTOR WITHOUT ADDITIONAL EXPENSE TO THE OWNER.

DISPUTES

36. IN MATTERS REGARDING THE QUALITY, QUANTITY, AND AESTHETIC EFFECT OF THE WORK, GOTHAM DESIGN'S DECISIONS WILL BE CONSIDERED FINAL.

Warning: It is a violation of New York State Education Law Article 145 §7209 for any person, who is not an engineer or land surveyor, to alter in any way, this drawing.



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03-04-18 APRS SUBMISSION
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07-11-19 BID
02-24-20 BUILDING PERMIT SUBMISSION
06-24-20 UPDATE IMPERVIOUS AREA

SHEET TITLE:
SITE PLAN
DATE: 11-16-17
DRAWN BY: MB
SCALE: AS NOTED
CHECKED BY: PRS

A-1



NOTE:
SITE IN GENERAL IS EFFECTIVELY FLAT.
TOPOGRAPHICAL DATA SHOWN WAS OBTAINED FROM WESTCHESTER COUNTY GEOGRAPHIC INFORMATION SYSTEM AND IS APPROXIMATE.

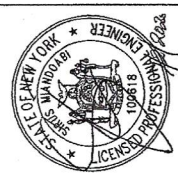
NOTE:
1. THE AMOUNT OF EARTH EXCAVATED FOR THE NEW ENTRY PORCH ADDITION WILL BE LESS THAN 1 CUBIC YARD.
NONE OF THE EXCAVATED MATERIAL WILL BE REMOVED FROM THE SITE.
2. THE AMOUNT OF EARTH EXCAVATED FOR THE CULTREC STORMWATER DRAINAGE UNITS WILL BE 10 CUBIC YARDS.
NONE OF THE EXCAVATED MATERIAL WILL BE REMOVED FROM THE SITE.

35 RIVERSIDE PLACE ZONING TABLE						
PROPERTY LOCATION: 35 RIVERSIDE PLACE TAX ID No. 300-38-5						
OWNER: WILLIAM P. CRAWFORD, NEMEM CRAWFORD 35 RIVERSIDE PLACE DOBBS FERRY, NY 10522						
ZONING DISTRICT	M.D.R.-1	UNITS	REQUIRED/ ALLOWED	EXISTING	VARIANCE REQUESTED	
REQUIREMENT		MINIMUM NET LOT AREA	SQ.FT.	5,000	6,049	UNCHANGED
		MINIMUM NET LOT AREA PER DWELLINGS UNIT	SQ.FT.	2,500	6,049	3,024.5
		MINIMUM LOT WIDTH	FEET	50	40.32	UNCHANGED
		MINIMUM LOT DEPTH	FEET	100	123.22	UNCHANGED
		MAX. LOT COVERAGE BY BUILDINGS	%	27	21.82	23.82
		MAX. LOT COVERAGE BY IMPERVIOUS SURFACES	%	54	43.07	43.86
		MINIMUM FRONT YARD SETBACK	FEET	20	28.82	UNCHANGED
		MAXIMUM FRONT YARD SETBACK	FEET	PREVAILING		
		MINIMUM REAR YARD SETBACK	FEET	25	± 49.42	UNCHANGED
		MINIMUM SIDE YARD SETBACK EACH	FEET	10	8	UNCHANGED
		MINIMUM SIDE YARD SETBACK BOTH	FEET	20	16	UNCHANGED
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MINIMUM SIDE YARD SETBACK BOTH	FEET	20	16	UNCHANGED		
MINIMUM SIDE YARD SET						

35 RIVERSIDE PLACE IMPERVIOUS COVERAGE TABLE			
	EXISTING		PROPOSED
	UNITS		
EXISTING HOUSE	SQ.FT.	1,168	
EXISTING STOOP AND STEPS	SQ.FT.	46	
EXISTING RETAINING WALL	SQ.FT.	10	
EXISTING WALK MASONRY PAVERS	SQ.FT.	120	
EXISTING BRICK WALK	SQ.FT.	292	
EXISTING TERRACE	SQ.FT.	470	
EXISTING ASPHALT DRIVEWAY AND STONE CURB	SQ.FT.	341	
EXISTING SHEDS	SQ.FT.	159	
SUBTOTAL A EXISTING 2,655			
TOTAL EXISTING IMPERVIOUS COVERAGE 2,655 / 6,049 = 43.07 %			
SUBTOTAL B EXISTING 2,655			
PROPOSED UNENCL. PORCH ADDITION	SQ.FT.		41
PROPOSED ADDITION	SQ.FT.		56
PROPOSED MASONRY PAVEMENT FRONT WALK	SQ.FT.		3
PROPOSED BRICK WALK	SQ.FT.		205
PROPOSED DRIVEWAY	SQ.FT.		475
EXISTING DRIVEWAY TO BE REMOVED	SQ.FT.		(-) 341
EXISTING FRONT WALK TO BE REMOVED	SQ.FT.		(-) 92
EXISTING BRICK WALK TO BE REMOVED	SQ.FT.		(-) 292
SUBTOTAL B 55			
TOTAL PROPOSED IMPERVIOUS COVERAGE SUBTOTAL A 2,655 PLUS SUBTOTAL B 55 = 2,660 2,660 / 6,049 = 43.98 %			

GENERAL NOTES

- "THE VILLAGE ENGINEER AND BUILDING INSPECTOR MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS."
- "AS-BUILT" DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER AND BUILDING INSPECTOR FOR REVIEW PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY.
- "NO DEMOLITION MATERIAL TO BE BURIED ON SITE."
- "ROCK REMOVAL BY BLASTING SHALL BE IN ACCORDANCE WITH CHAPTER 125 OF THE VILLAGE CODE."
- "BEFORE THE SITE PLAN IS SIGNED BY THE CHAIRMAN OF THE PLANNING BOARD, THE APPLICANT SHALL BE REQUIRED TO POST A PERFORMANCE BOND OR OTHER TYPE OF ACCEPTABLE MONETARY WARRANTY WHICH SHALL BE IN AN AMOUNT DETERMINED BY THE PLANNING BOARD AND THE VILLAGE ENGINEER AND IN A FORM SATISFACTORY TO THE VILLAGE ATTORNEY."



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CRAWFORD RESIDENCE
PROJECT TITLE:
35 RIVERSIDE PLACE
DOBBS FERRY, NEW YORK 10522
PROJECT NO.: 1706

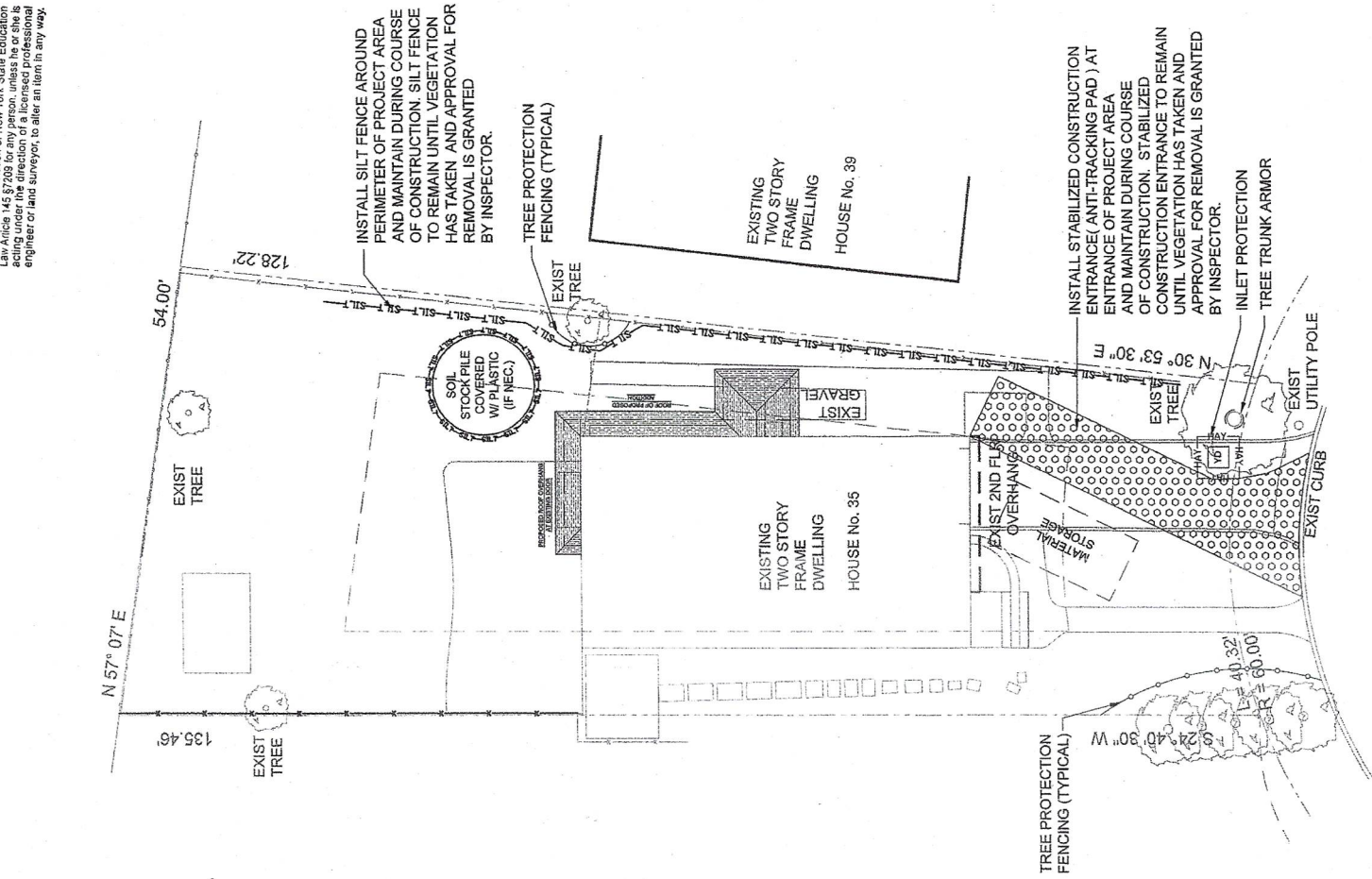
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ISSUED REVISIONS
11-16-17
11-16-17
12-14-17
02-08-18
03-01-18
07-11-18
BID
02-24-20
BUILDING PERMIT SUBMISSION

SHEET TITLE: EROSION CONTROL PLAN AND DETAILS			
DATE:	DRAWN BY:	CHECKED BY:	AS NOTED
11-16-17	MB	PRS	
A-1.1			

Warning: It is a violation of New York State Education Law, Article 160, § 209 for any person, unless he or she is acting under the direct supervision of a licensed professional engineer or land surveyor, to alter an item in any way.

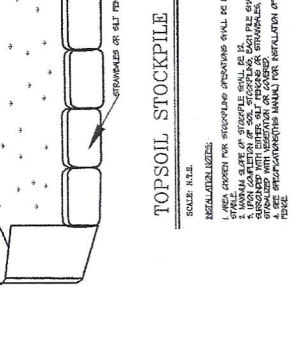
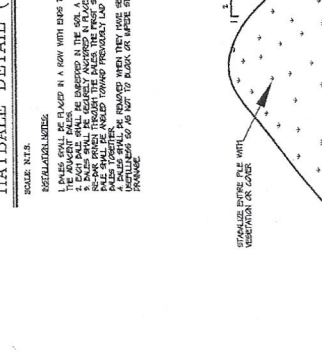
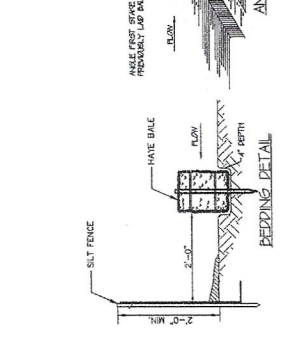
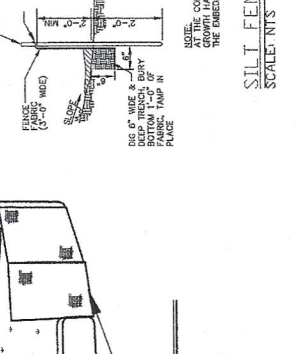
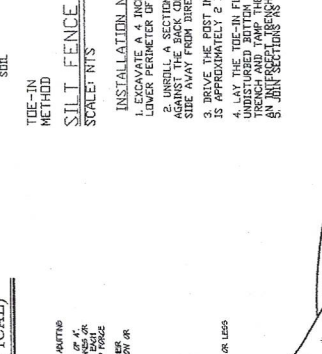
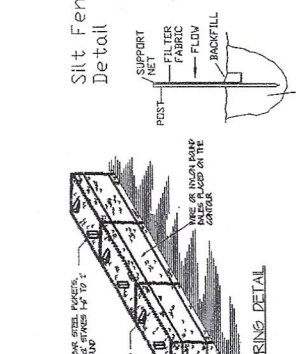
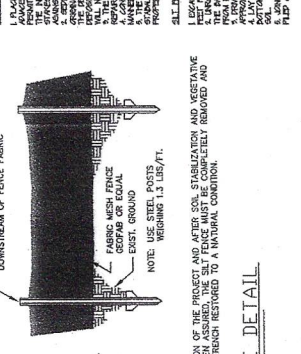
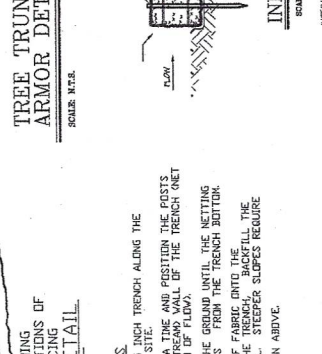
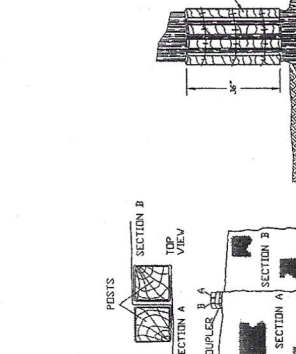
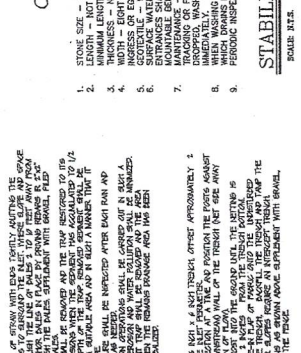
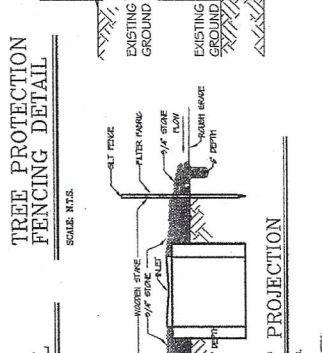
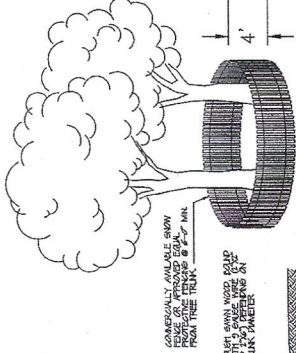
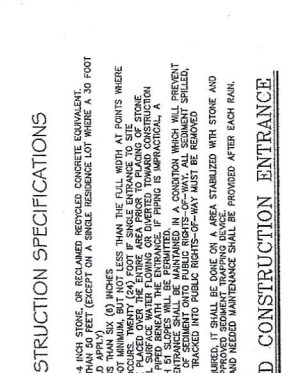
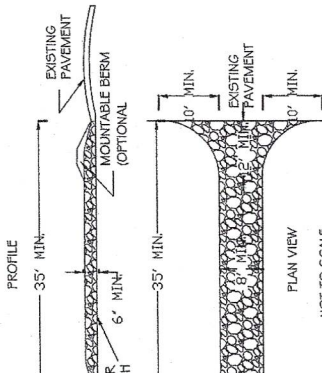
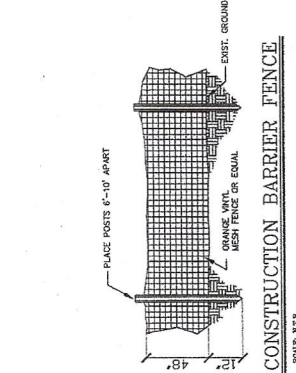


RIVERSIDE PLACE

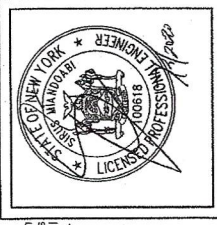
LEGEND:

- CONSTRUCTION BARRIER FENCE
- SILT FENCE
- HAY BALES
- INLET PROTECTION
- TREE PROTECTION
- TREE TO BE REMOVED

EROSION CONTROL PLAN
SCALE: 1" = 10'-0"
GRAPHIC SCALE IN FEET
0 5 10 20



CONSTRUCTION SEQUENCE	
1.	PRIOR TO INITIATING ANY WORK AT THE SITE, HAVE A SITE MEETING WITH THE GENERAL CONTRACTOR, CONSTRUCTION MANAGER, AND BUILDING INSPECTOR TO DISCUSS THE SCHEDULE AND TO CONFIRM SITE CONDITIONS.
2.	INSTALL EROSION AND SEDIMENT CONTROL MEASURES. DURING CONSTRUCTION, MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES. INSPECT SILT FENCES AND STRAWBALE BARRIERS IN ADVANCE OF FORECAST STORMS AND FOLLOWING STORM EVENTS. MAINTAIN AND REPAIR AS NECESSARY.
3.	SURVEY AND STAKE FOUNDATION FOR THE FOUNDATION STORING ALL MATERIAL ON SITE FOR REUSE. IF UNSUITABLE OR SURPLUS MATERIAL IS ENCOUNTERED, NOTIFY THE BUILDING INSPECTOR AND REMOVE FROM THE SITE IN COMPLIANCE WITH THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION.
4.	FOLLOWING EXCAVATION, SURVEY AND STAKE THE FOOTINGS.
5.	FORM AND POUR CONCRETE FOOTINGS.
6.	SURVEY AND STAKE THE FOOTINGS FOR PLACEMENT OF THE FOUNDATION WALLS.
7.	FORM AND POUR CONCRETE FOUNDATION.
8.	FOLLOWING THE REMOVAL OF FORMS, SURVEY THE FOUNDATION AND HAVE AN AS-BUILT SURVEY PREPARED AND SUBMITTED TO THE BUILDING INSPECTOR'S OFFICE.
9.	BACKFILL FOUNDATION AND ROUGH GRADE THE SITE, INCLUDING THE CONSTRUCTION OF ANY RETAINING WALLS.
10.	PROCEED WITH THE CONSTRUCTION OF THE HOUSE.
11.	INSTALL SITE UTILITIES. FOLLOWING INSTALLATION OF YARD DRAINS, INSTALL INLET PROTECTION MEASURES. MAINTAIN AND REPAIR AS NECESSARY UNTIL ALL DISTURBED SITE AREAS HAVE BEEN STABILIZED WITH GROUND COVER.
12.	REPAIR THE DRIVEWAY.
13.	INSTALL THE DRIVEWAY.
14.	PLANT ALL DISTURBED SITE AREAS IN ACCORDANCE WITH THE LANDSCAPING PLAN. MAINTAIN ALL PLANTED AREAS UNTIL MATERIAL HAS TAKEN ROOT AND BECOME STABLE.
15.	MAINTAIN THE SITE FREE OF DEBRIS AT ALL TIMES. REMOVE DUMPSTERS WITHIN 24 HOURS OF BEING FILLED.
16.	ARRANGE FOR ALL INSPECTIONS IN ACCORDANCE WITH THE VILLAGE OF DOBBS FERRY. OBTAIN CERTIFICATE OF OCCUPANCY UPON COMPLETION OF ALL WORK AND FINAL INSPECTION.
MAINTENANCE NOTES	
1.	DURING CONSTRUCTION, MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES. INSPECT SILT FENCES AND STRAWBALE BARRIERS IN ADVANCE OF FORECAST STORMS AND FOLLOWING STORM EVENTS. MAINTAIN AND REPAIR AS NECESSARY.
2.	FOLLOWING INSTALLATION OF YARD DRAINS, BUT PRIOR TO THE STABILIZATION OF THE DISTURBED AND GRADED AREAS, INSTALL INLET PROTECTION MEASURES. MAINTAIN AND REPAIR AS NECESSARY.
3.	EACH SPRING AND FALL, INSPECT THE YARD DRAINS AND REMOVE ALL SEDIMENT AND DEBRIS FROM THE SUMP.
4.	KEEP GUTTERS CLEAN OF LEAVES AND DEBRIS.
5.	CLEAR LEAVES AND DEBRIS FROM THE PERIMETER OF THE BUILDING TO PREVENT A BUILDUP AGAINST THE STRUCTURE.
GENERAL NOTES	
1.	"THE VILLAGE ENGINEER AND BUILDING INSPECTOR MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS."
2.	"AS-BUILT" DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER AND BUILDING INSPECTOR FOR REVIEW PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY.
3.	"NO DEMOLITION MATERIAL TO BE BURIED ON SITE."
4.	"ROCK REMOVAL BY BLASTING SHALL BE IN ACCORDANCE WITH CHAPTER 125 OF THE VILLAGE CODE."
5.	"BEFORE THE SITE PLAN IS SIGNED BY THE CHAIRMAN OF THE PLANNING BOARD, THE APPLICANT SHALL BE REQUIRED TO POST A PERFORMANCE BOND OR OTHER TYPE OF ACCEPTABLE MONETARY WARRANTY WHICH SHALL BE IN AN AMOUNT DETERMINED BY THE PLANNING BOARD AND THE VILLAGE ENGINEER AND IN A FORM SATISFACTORY TO THE VILLAGE ATTORNEY."



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N.Y.S. LICENSE NO. 00618

CRAWFORD RESIDENCE
PROJECT TITLE:
35 RIVERSIDE PLACE
DOBBS FERRY, NEW YORK 10522
PROJECT NO. 1706

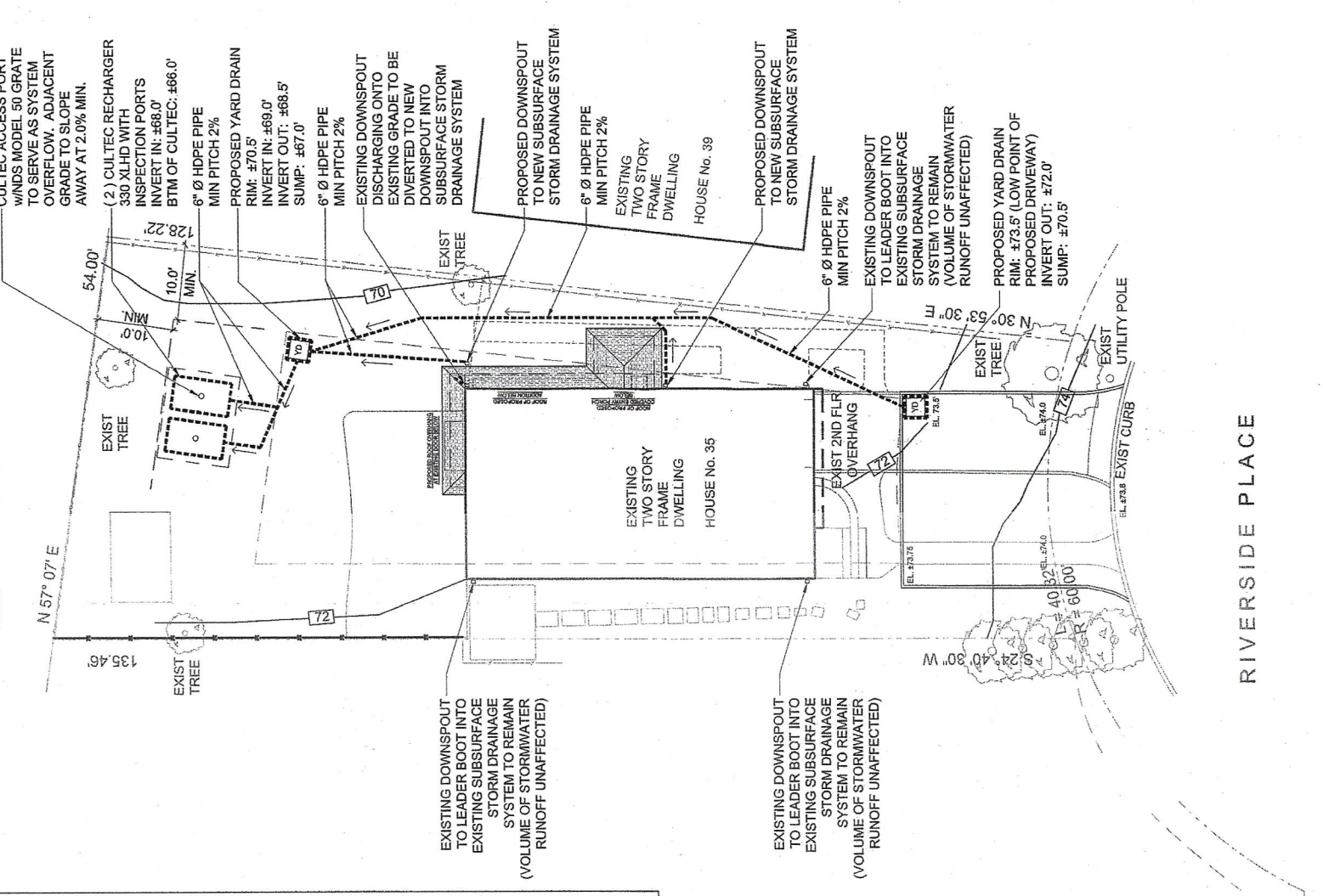
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Phone: (914) 693-5093
Fax: (914) 693-5390
email: arch329@gmail.com

ISSUED / REVISIONS	
11-16-17	PLANNING BOARD SUBMISSION
12-14-17	PLANNING BOARD SUBMISSION
02-08-18	PLANNING BOARD SUBMISSION
03-01-18	PLANNING BOARD MEETING
07-11-19	BID
02-24-20	BUILDING PERMIT SUBMISSION
05-24-20	RELOCATE CULTEC UNITS TO REAR YARD

SHEET TITLE	
STORM DRAINAGE PLAN AND DETAILS	
DATE:	DRAWN BY:
11-16-17	MB, BGO
SCALE:	CHECKED BY:
AS NOTED	PRS
A-1.2	

PROPOSED ADDITION	56 SQ.FT.
PROPOSED PORCH	41 SQ.FT.
PROPOSED DRIVEWAY	475 SQ.FT.
PROPOSED WALKWAYS	208 SQ.FT.
SUB TOTAL	780 SQ.FT.
EXIST DRIVEWAY/FRONT WALK TO BE REMOVED	(-) 433 SQ.FT.
EXIST SIDE WALKWAY TO BE REMOVED	(-) 282 SQ.FT.
TOTAL	55 SQ.FT.

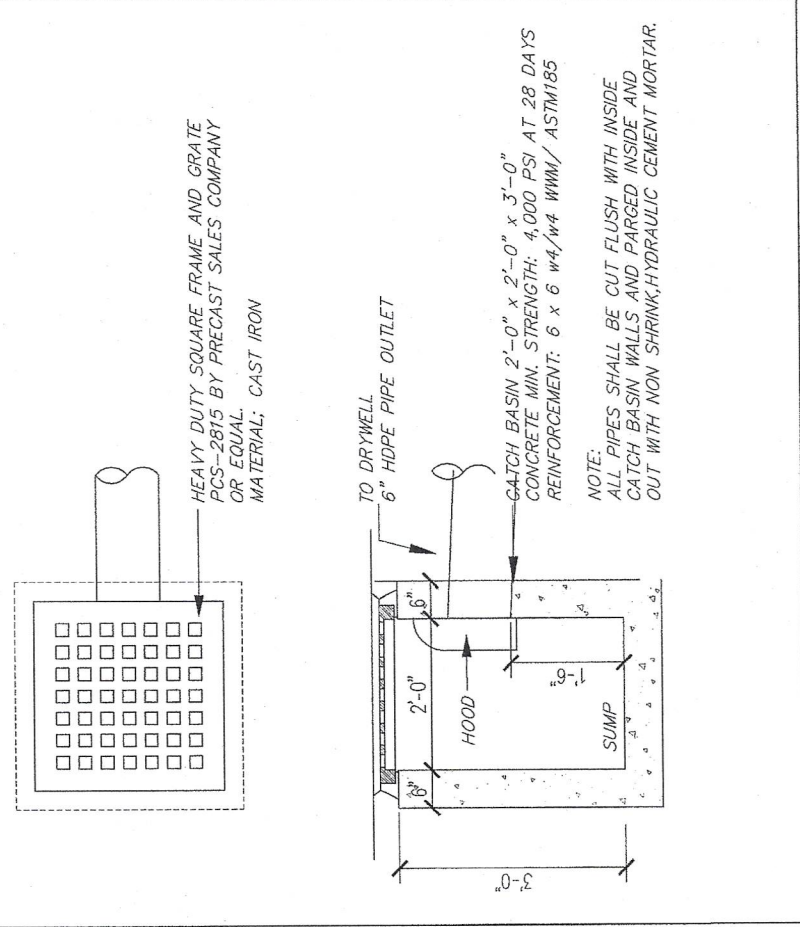
55 SQ.FT. OF ADDITIONAL IMPERVIOUS LOT AREA
55 x 0.75 = 42 CU FT
PROPOSED 2 CULTEC UNITS AT 86 CU FT. PER UNIT
CAPACITY = 172 CU FT.
172 > 42



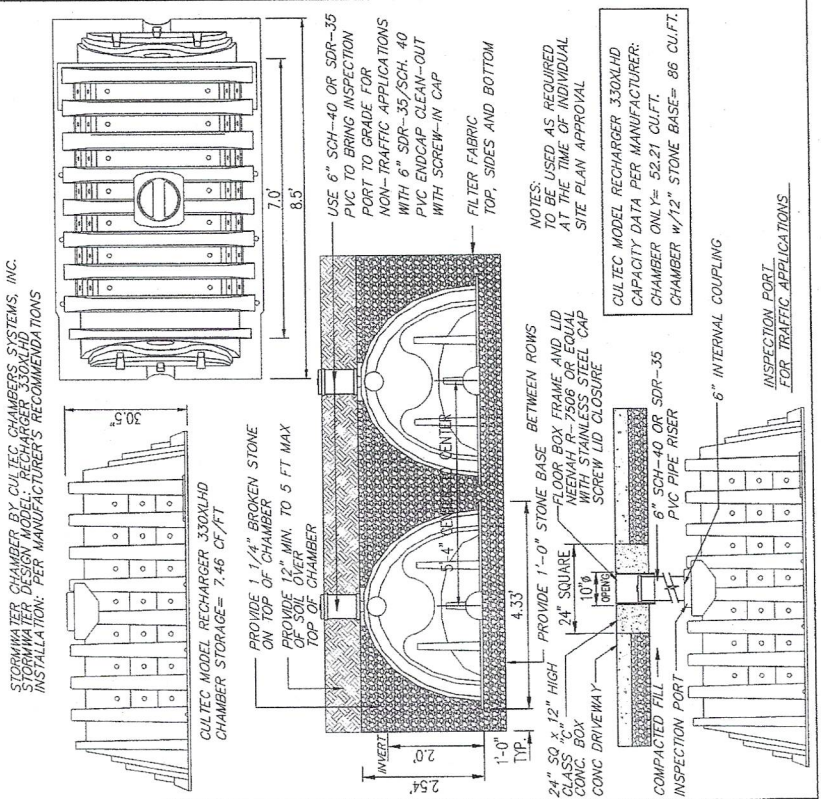
NOTE:
1. THE STORM DRAINAGE INFILTRATOR SYSTEM SHALL NOT BE CONNECTED UNTIL CONSTRUCTION IS COMPLETE AND THE SITE IS FULLY STABILIZED.
2. DO NOT CONNECT FOOTING DRAINS TO LEADER LINES OR TO THE STORM DRAINAGE INFILTRATOR SYSTEM.

STORM DRAINAGE PLAN
SCALE: 1" = 10'-0"
GRAPHIC SCALE IN FEET
0 5 10 20

DRAIN INLET



STORMWATER SUBSURFACE INFILTRATOR SYSTEM



GENERAL NOTES

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STORM WATER SYSTEM

- THE DESIGN STANDARD FOR A 100-YEAR STORM EVENT IS NINE (9) INCHES IN A 24 HOUR TIME PERIOD
- THE INCREASED SITE COVERAGE REQUIRES THE MANAGEMENT OF 42 CUBIC FEET OF STORM WATER RUNOFF (65 SQ. FT. x 0.75 FT = 42 CU FT.)
- CULTEC RECHARGER 330XLHD UNITS HAVE A CAPACITY OF 52.21 CUBIC FEET PER UNIT
- THE CULTEC UNITS ARE PROPOSED TO SIT ON A TWELVE (12) INCH GRAVEL BASE. PER MANUFACTURER SPECIFICATIONS, THE TWELVE (12) INCH BASE ASSUMES GRAVEL WITH 40% VOIDS, WHICH RESULTS IN A CAPACITY OF 86 CUBIC FEET PER CULTEC UNIT, INCLUDING THE GRAVEL BASE
- TWO (2) CULTEC UNITS AT 86 CUBIC FEET PER UNIT PROVIDE STORAGE OF 172 CUBIC FEET (2 x 86 = 172 CU FT.) THIS EXCEEDS THE ADDITIONAL STORM WATER RUNOFF GENERATED OF 42 CU FT.
- TWO (2) CULTEC UNITS ARE PROPOSED, PROVIDING A CAPACITY OF 172 CUBIC FEET (2 x 86 = 172 CU FT.). THIS ALSO PROVIDES ENOUGH CAPACITY TO STORE THE EXISTING STORMWATER RUNOFF FROM THE EXISTING DOWNSPOUT THAT CURRENTLY DISPERSES ONTO GRADE FOR A TWENTY FIVE YEAR STORM. (288 SQ. FT. + 55 SQ. FT. = 353 SQ. FT.). THE DESIGN STANDARD FOR A 25-YEAR STORM EVENT IS FIVE AND SEVEN TENTHS (5.7) INCHES IN A 24 HOUR TIME PERIOD. 5.7 INCHES OF RAIN REQUIRES A STORAGE CAPACITY 168 CU FT. THE PROPOSED STORAGE CAPACITY OF 172 CU FT. EXCEEDS THIS AMOUNT
- THE YARD DRAIN HAS A SUMP OF MINIMUM 1'-6" TO CAPTURE FINES AND DEBRIS, PREVENTING THIS FROM ENTERING THE CULTEC ARRAY

Warning: It is a violation of New York State Education Law, Article 145 §208 for any person, unless he or she is acting in the course and scope of his or her employment as a duly licensed professional engineer or land surveyor, to alter any item in any way.



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CRAWFORD RESIDENCE

PROJECT TITLE:
35 RIVERSIDE PLACE
DOBBS FERRY, NEW YORK 10522
PROJECT NO.: 1706

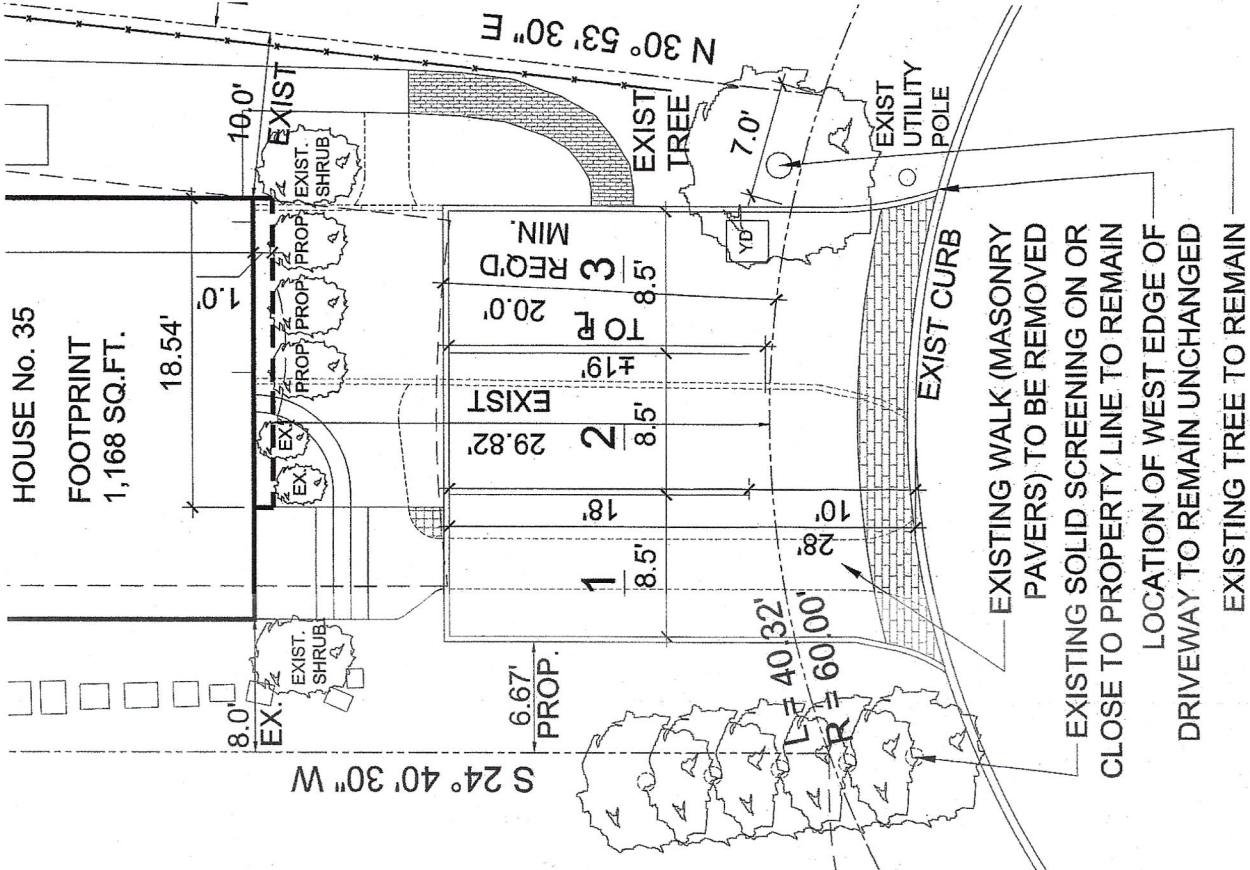
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Phone: (914) 683-5083
Fax: (914) 683-5390
email: arch329@gmail.com

ISSUED / REVISIONS
02-08-18 PLANNING BOARD SUBMISSION
07-11-19 BID
02-24-20 BUILDING PERMIT SUBMISSION

SHEET TITLE: SITE PLAN PARKING ALTERNATES			
DATE:	DRAWN BY:	CHECKED BY:	
02-08-18	BGO	PRS	
SCALE:	AS NOTED		

A-1.3

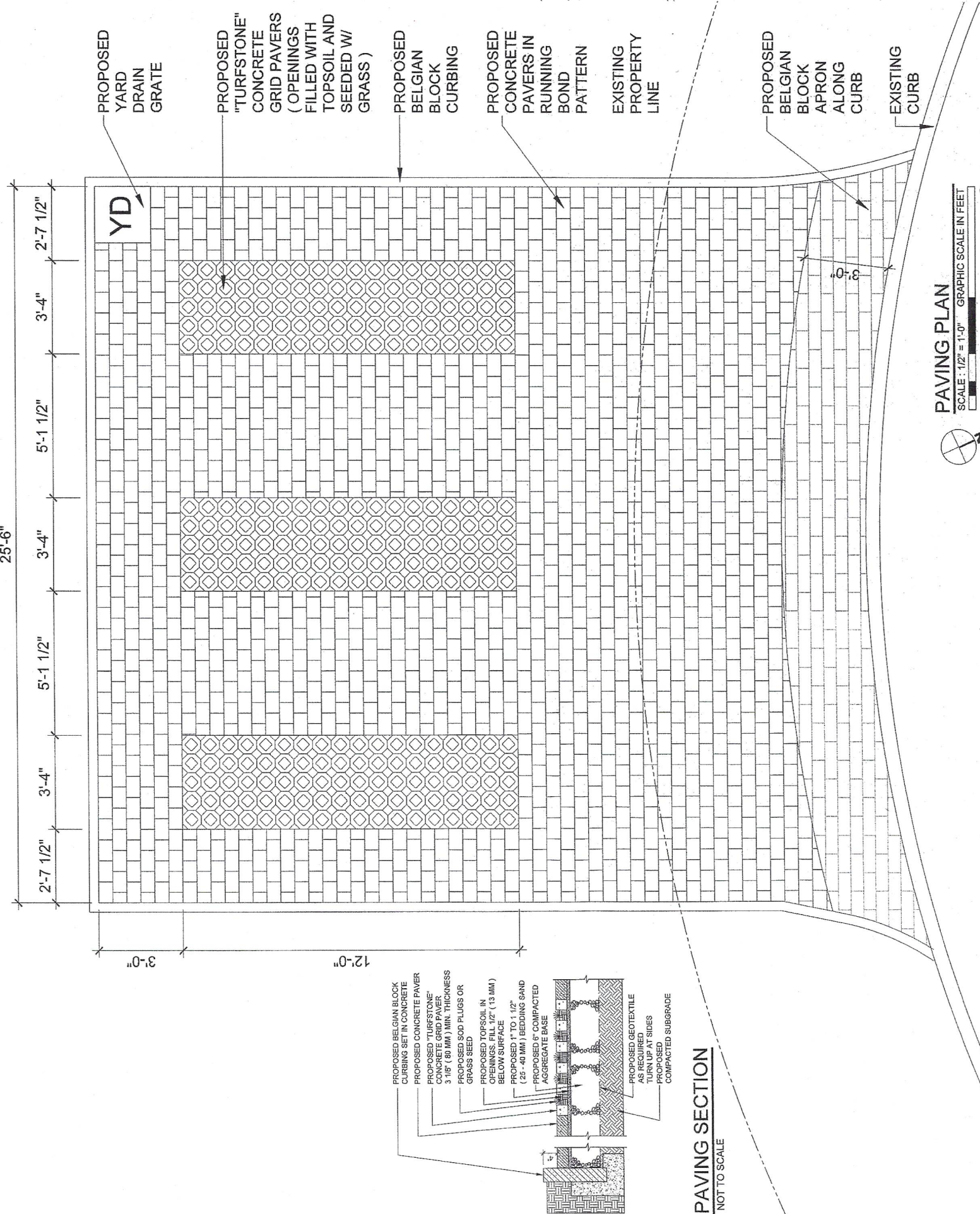
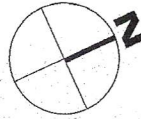


RIVERSIDE PLACE

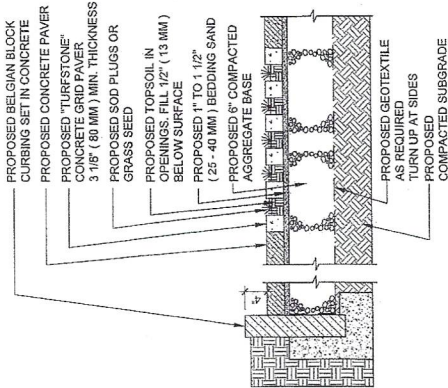
PROPOSED PARKING AREA FOR THREE CARS
CONCRETE PAVERS WITH TURFSTONE INSERTS,
BELGIAN BLOCK STONE APRON ALONG CURB,
BELGIAN BLOCK CURBING.

ALL SURVEYING INFORMATION ON THIS DRAWING
IS TAKEN FROM A SURVEY DATED FEBRUARY 18, 1967
PREPARED BY:
HAROLD R. BECKER
LIC. NO. 3981

SITE PLAN
SCALE: 1" = 10'-0"

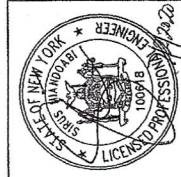


PAVING PLAN



PAVING SECTION
NOT TO SCALE

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SERVICES, PLLC**
SIRIUS MIANDOABI, PE
CONSULTING ENGINEER
TEL: 914 274-8874
sirius@integraleng.com
N.Y.S. LICENSE No. 100618

CRAWFORD RESIDENCE
PROJECT TITLE:
35 RIVERSIDE PLACE
DOBBS FERRY, NEW YORK 10522
PROJECT NO.: 1706

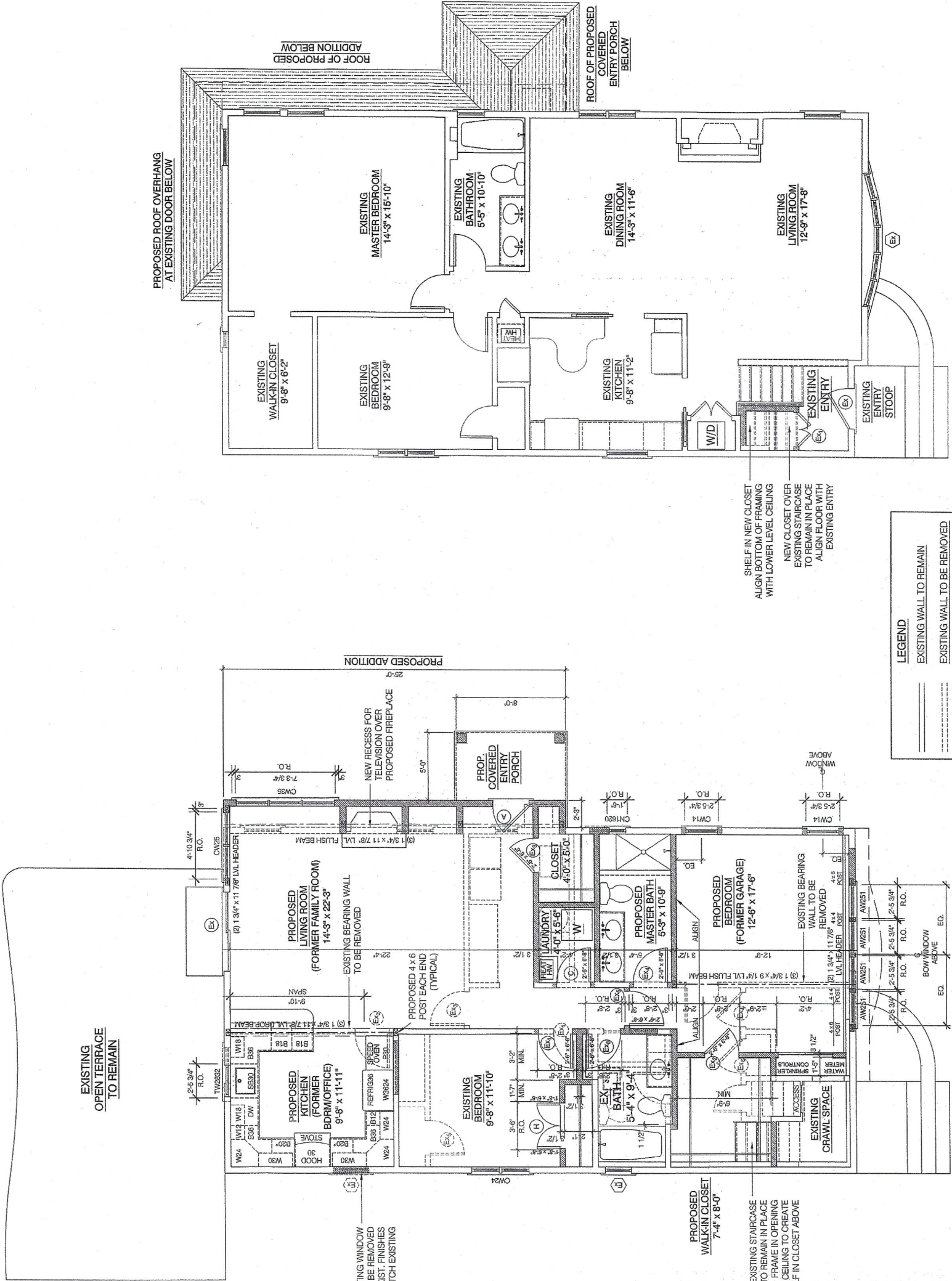
**GOTHAM
DESIGN
AND COMMUNITY
DEVELOPMENT LTD.**

329 Broadway
Dobbs Ferry, N.Y. 10522
Phone: (914) 693-5093
Fax: (914) 693-5390
email: arch329@gmail.com

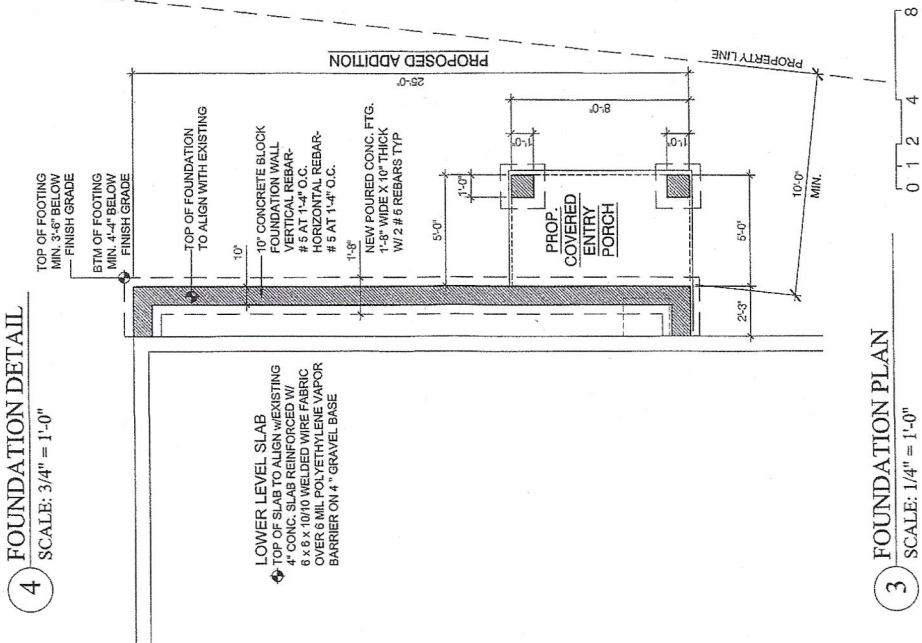
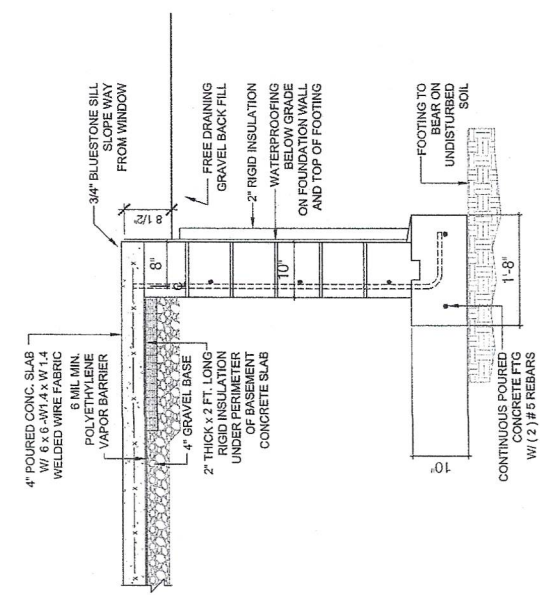
ISSUED / REVISIONS
11-16-17 PLANNING BOARD SUBMISSION
12-14-17 PLANNING BOARD SUBMISSION
02-08-18 PLANNING BOARD SUBMISSION
03-01-18 AHRB SUBMISSION
04-12-18 AHRB SUBMISSION
05-14-18 AHRB MEETING
07-11-18 BID
01-21-20 AHRB SUBMISSION
02-24-20 BUILDING PERMIT SUBMISSION
06-24-20 SPRINKLER CLOSET/KITCHEN
07-02-20 AHRB SUBMISSION
KITCHEN/BATHROOM WINDOWS

PROPOSED FLOOR PLANS	
SHEET TITLE:	
DATE:	DRAWN BY:
11-16-17	BGO
SCALE:	CHECKED BY:
AS NOTED	PRS

A-2.10



2 LOWER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



STRUCTURAL NOTES:
BEAMS AND GIRDERS ARE TO BE 1 3/4" 20E STRUCTUREPRO LVL OF THE SIZE AND NUMBER INDICATED ON THE DRAWINGS.
LIVING ROOM BEAMS ARE TO BE (3) 1 3/4" x 11 7/8".
MASTER BEDROOM BEAM IS TO BE (3) 1 3/4" x 8 1/4" MOUNTED FLUSH WITH EXISTING CEILING.
CONNECT LVL PLIES WITH SIMPSON SDW22 FASTENERS, TWO ROWS AT 12" O.C.
POSTS ARE TO BE 4 x 6 DFL (No. 2) WITH SIMPSON POST CAP.
ALL POSTS TO BEAR DIRECTLY ON EXISTING OR PROPOSED MASONRY FOUNDATION WALLS BELOW AND TO BE ANCHORED WITH SIMPSON ML23Z EACH SIDE.
ALL FRAMING AND STRUCTURAL COMPONENTS ARE TO BE INSTALLED IN FULL COMPLIANCE WITH THE NYS BUILDING CODE AND THE DOBBS FERRY BUILDING DEPARTMENT.

Warning: It is a violation of New York State Education Law Article 145 §209 for any person, unless he is a licensed professional engineer or land surveyor, to alter an item in any way.



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35 RIVERSIDE PLACE
DOBBS FERRY, NEW YORK 10522
PROJECT TITLE:
PROJECT NO.: 1706

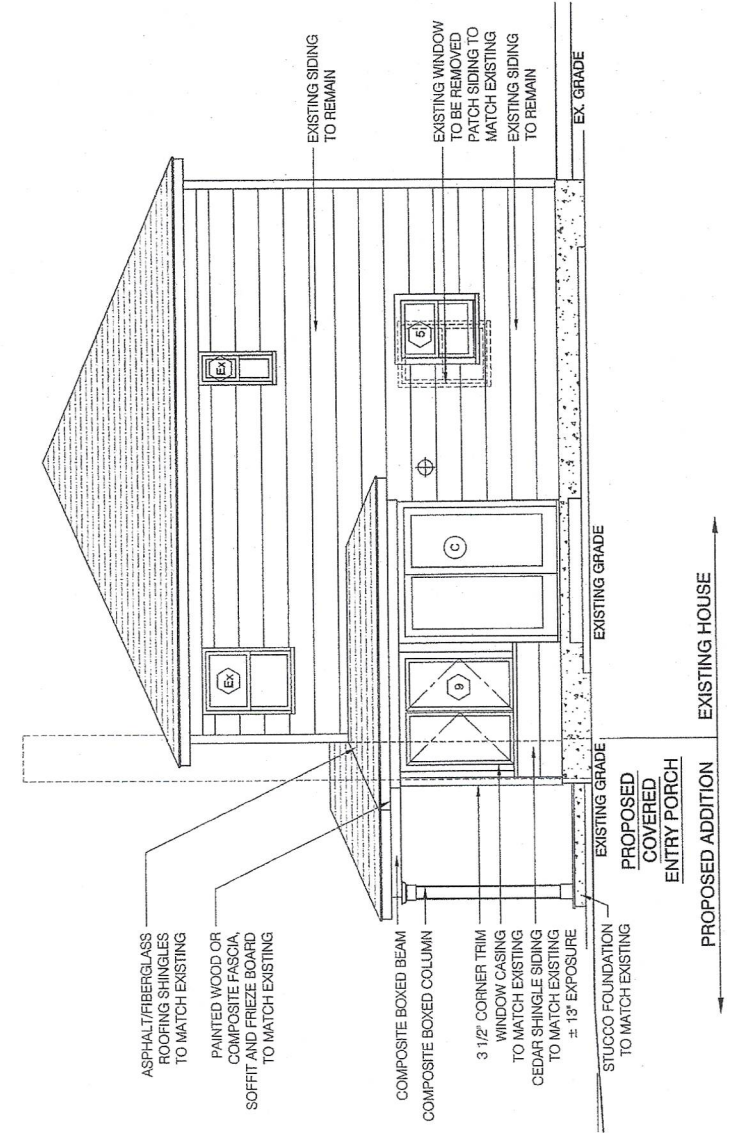
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ISSUED / REVISIONS
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12-14-17 PLANNING BOARD SUBMISSION
03-01-18 AHRB SUBMISSION
04-12-18 AHRB SUBMISSION
05-09-18 AHRB SUBMISSION
02-22-19 REVISED WITHOUT ADDITION
02-11-19 BID
11-22-19 AHRB SUBMISSION
01-21-20 AHRB SUBMISSION
02-24-20 BUILDING PERMIT SUBMISSION
07-02-20 AHRB SUBMISSION
KITCHEN/BATHROOM WINDOWS

SHEET TITLE:
**PROPOSED
ELEVATIONS**
DATE: 11-16-17
DRAWN BY: BGO
SCALE: AS NOTED
CHECKED BY: PRS

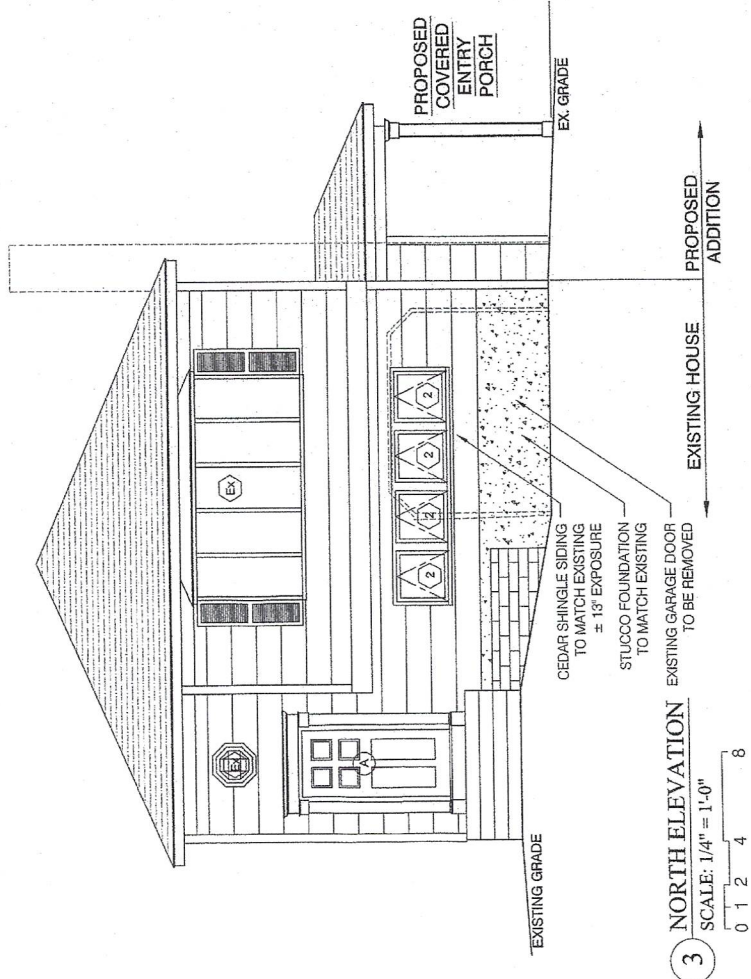
A-3.10



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

2 EAST ELEVATION
SCALE: 1/4" = 1'-0"

NOTE:
ALL LIGHTING SHALL
COMPLY WITH
SECTION 300-11.4



3 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

4 WEST ELEVATION
SCALE: 1/4" = 1'-0"

