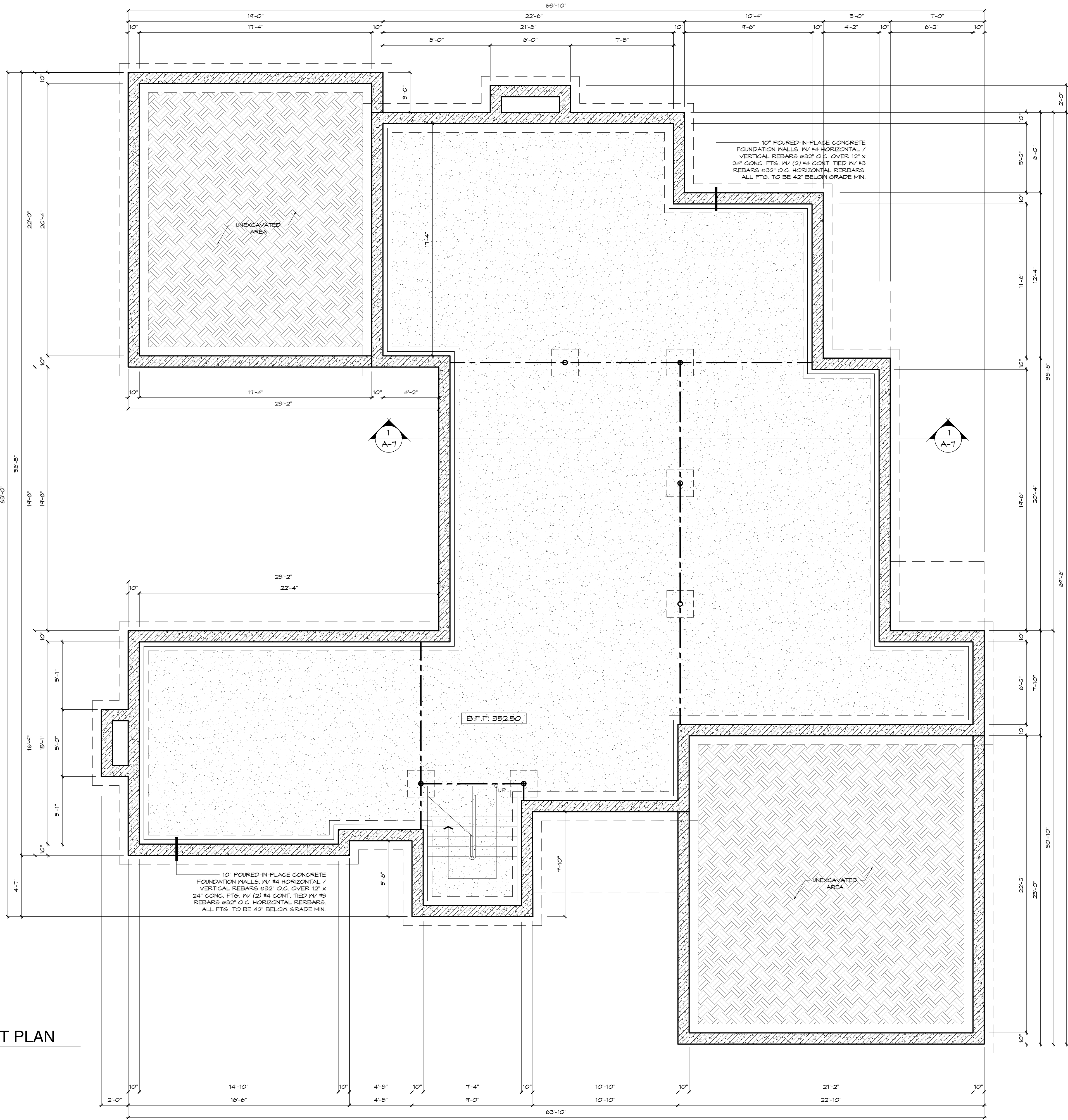




PROPOSED BASEMENT PLAN

SCALE: 1/4" = 1'-0"

LEGEND	
	TYPICAL EXTERIOR/INTERIOR PARTITION: SPEC. STUDS @ 16" O.C. IV. GYP. BOARD FINISH (SEE PLANS TO SPEC. TYPE/LOCATION)
	1-HOUR FIRE RATED PARTITION: 2x6 STUDS @ 16" O.C. IV. 5/8" TYPE X GYPSUM BOARD EACH SIDE (SEE DETAIL)
	CAST-IN-PLACE CONCRETE WALL, SEE FOUNDATION PLAN
	NEW DOOR: SEE PLANS FOR INDIVIDUAL SIZES

NOTE
ALL LIGHTING SHALL COMPLY WITH SECTION 300-41

SITE NOTES
SEE ENGINEERING DRAWINGS PROVIDED BY NY LIC. ENGINEER FOR SITE PLANS, LANDSCAPING, ZONING DATA.

INDEX OF CONSTRUCTION DRAWINGS	
CS	COVER SHEET / NOTES
A-1	BASEMENT FLOOR PLAN
A-2	1ST FLOOR PLAN
A-3	2ND FLOOR PLAN
A-4	PROPOSED ELEVATIONS
A-5	PROPOSED ELEVATIONS
A-6	SKY EXPOSURE PLANE
A-7	WALL SECTION DETAIL

APPLICABLE CODES AND REFERENCES	
1.	INTERNATIONAL BUILDING CODE, NY ED. 2020
2.	INTERNATIONAL RESIDENTIAL CODE, NY ED. 2020
3.	INTERNATIONAL FIRE CODE, NY ED. 2020
4.	INTERNATIONAL MECHANICAL CODE, NY ED. 2020
5.	INTERNATIONAL FUEL GAS CODE, NY ED. 2020
6.	INTERNATIONAL ENERGY CONSERVATION CODE, NY ED. 2020
7.	NATIONAL ELECTRICAL CODE, NY ED. 2017
8.	NATIONAL STANDARD PLUMBING CODE, NY ED. 2018
9.	EXISTING BUILDING CODE, NY ED. 2020
10.	NATIONAL FIRE ALARM AND SIGNALING CODE, NY ED. 2016
11.	ELEVATOR SUBCODE, NY ED. 2019 AMERICAN SOCIETY OF MECHANICAL ENGINEERS (ASME)

UGG DATA INTERNATIONAL RESIDENTIAL CODE 2020 NY ED.	
USE GROUP	SINGLE FAMILY RESIDENTIAL
CONSTRUCTION TYPE	V-B
BUILDING HGT. (STORIES / FEET)	2-1/2 / 25'-11"
BUILDING AREA	
1ST FLOOR	2,049 GROSS S.F.
2ND FLOOR	1,853 GROSS S.F.
ART STUDIO	400 GROSS S.F.
TOTAL	4,360 GROSS S.F.
GARAGE	547 GROSS S.F.
BASEMENT	2,114 GROSS S.F.
BUILDING VOLUME	62,472 C.F.
FLOOR LIVE LOAD	40 PSF
OCCUPANCY LOAD	1 / 200 GROSS

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PROPOSED NEW ONE FAMILY RESIDENCE FOR
253 JUDSON AVENUE
DOBBS FERRY, NY

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D.K.	08.10.21		ZONING BOARD REVIEW

PROPOSED BASEMENT PLAN

SHEET NUMBER
A-1

WINDOW SCHEDULE						
ANDERSEN	ROUGH OPENING		TYPE	MATERIAL	AMOUNT	COLOR
A SERIES	WIDTH	HEIGHT				
01	DH 3068	36"	80"	DBL HUNG	WOOD CORE IV FIBER COMPOSITE EXTERIOR FINISH	6
02	ACH2070	24"	84"	CASEMENT	WOOD CORE IV FIBER COMPOSITE EXTERIOR FINISH	1
03	ACH2640	30"	48"	CASEMENT	WOOD CORE IV FIBER COMPOSITE EXTERIOR FINISH	8
04	AAN3024	36"	28"	AWNING	WOOD CORE IV FIBER COMPOSITE EXTERIOR FINISH	3
05	ACH2040	24"	48"	CASEMENT	WOOD CORE IV FIBER COMPOSITE EXTERIOR FINISH	2
06	ACH3670	42"	84"	CASEMENT	WOOD CORE IV FIBER COMPOSITE EXTERIOR FINISH	11
07	ACH3070	36"	84"	CASEMENT	WOOD CORE IV FIBER COMPOSITE EXTERIOR FINISH	10
08	ACH3646	42"	54"	CASEMENT	WOOD CORE IV FIBER COMPOSITE EXTERIOR FINISH	3
09	ACH4846-2	56"	54"	CASEMENT	WOOD CORE IV FIBER COMPOSITE EXTERIOR FINISH	1
10	ACH6060-2	72"	72"	CASEMENT	WOOD CORE IV FIBER COMPOSITE EXTERIOR FINISH	2

NOTE: SOME CASEMENT WINDOWS MAY BE REPLACED BY OWNER WITH PICTURE WINDOWS OF THE SAME SIZE / STYLE / COLOR. CHANGES TO BE SHOWN ON CONSTRUCTION DRAWINGS / RESCHECK

DOOR SCHEDULE						
ANDERSEN	ROUGH OPENING		TYPE	MATERIAL	GLAZING	AMOUNT
A SERIES	WIDTH	HEIGHT				
01	FVHD6080	36"	80"	DBL HINGED	WOOD CORE IV FIBER COMPOSITE EXTERIOR FINISH	6
02	FVHD3080	24"	84"	HINGED	WOOD CORE IV FIBER COMPOSITE EXTERIOR FINISH	2
03	FVHD3080S	30"	48"	FIXED	WOOD CORE IV FIBER COMPOSITE EXTERIOR FINISH	2
04	3068 ENTRANCE	36"	80"	HINGED	WOOD CORE IV FIBER COMPOSITE EXTERIOR FINISH	1
05	FVHD2068S	24"	48"	FIXED	WOOD CORE IV FIBER COMPOSITE EXTERIOR FINISH	2
06	ATF7412	42"	84"	TRANSOM FIXED	WOOD CORE IV FIBER COMPOSITE EXTERIOR FINISH	1

NOTE: ENTRANCE DOOR TO BE INSULATED IV 0.15 MIN. U-FACTOR

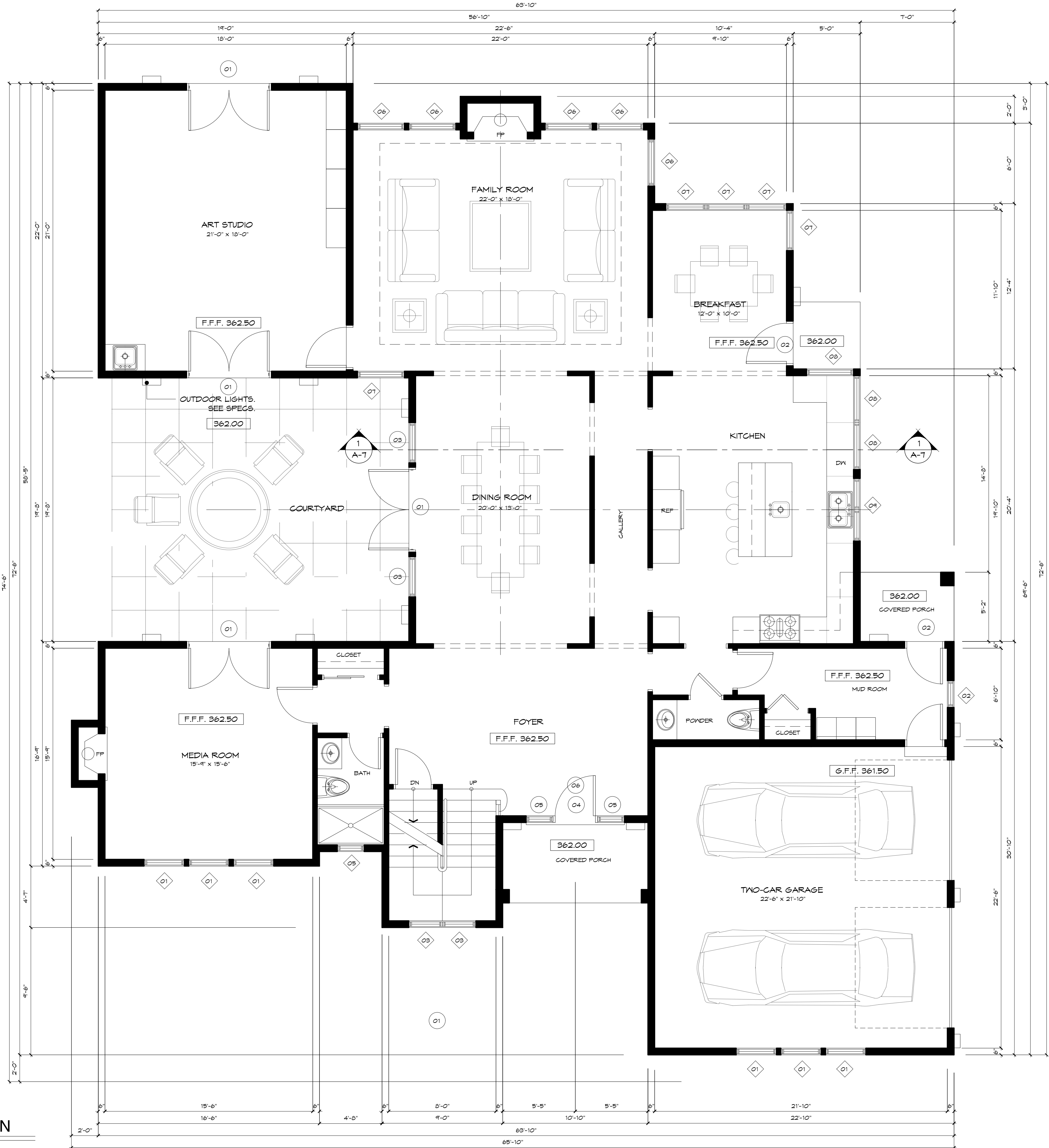
SPEC. GARAGE DOORS: SEE RIGHT SIDE ELEVATION

EXTERIOR MATERIAL SPECIFICATION			
	MANUFACT.	MODEL	COLOR
STONE	NATURAL STONE VENEER	SILVER LEDGESTONE	GREY
WALLS		SPEC. STUCCO FINISH	WHITE / GREY
SIDING		CEDAR TONGUE & GROOVE 6"	BROWN
ROOF	TIMBERLINE	CHARCOAL DARK GREY	
SOFFIT / TRIM	BLACK ALUM. SOFFIT / GUTTERS / FASCIA FINISH		
WALL PANELS	BLACK ANOD. ALUM. PANELS ALT. DESIGN: NICHIA BLACK FIBER CEMENT BOARD, GLOSS		

LIGHTING SPECIFICATION						
MANUFACT.	MODEL AND SIZE	COLOR TEMP. AND CRI	FINISH	WATT	LED LUMENS	DELIVERED LUMENS
WAC LIGHTING	W5-W29-112-18"	3000K - 90	AL. BRUSHED	16W	1265	789

PROPOSED 1ST FLOOR PLAN

SCALE: 1/4" = 1'-0"



01	NEW SPEC. WINDOWS
01	NEW SPEC. DOORS

LEGEND	
	TYPICAL EXTERIOR/INTERIOR PARTITION: SPEC. STUDS @ 16" O.C. IV 5/8" BOARD FINISH (SEE PLANS TO SPEC. TYPE/LOCATION)
	1-HOUR FIRE RATED PARTITION: 2x6 STUDS @ 16" O.C. IV 5/8" TYPE X GYPSUM BOARD EACH SIDE (SEE DETAIL)
	CAST-IN-PLACE CONCRETE WALL, SEE FOUNDATION PLAN
	NEW DOOR: SEE PLANS FOR INDIVIDUAL SIZES

ELECTRICAL LEGEND	
	3-WAY SWITCH
	SINGLE-POLE SWITCH
	DIMMER SWITCH
	GROUND FAULT
	WATERPROOF DUPLEX OUTLET
	TOP SWITCH OUTLET
	QUADPLEX OUTLET
	INCANDESCENT LIGHTING (SURFACE MOUNTED)
	SCONCE (WALL MOUNTED)
	RECESSED LIGHTING
	SMOKE DETECTOR 110V A/C INTERCONNECTED
	COMBINATION CARBON MONOXIDE / SMOKE DETECTOR 110V A/C INTERCONNECTED
	FLOOR / CEILING MOUNTED OUTLET
	FAN / LIGHT COMBINATION 50 CFM VENT TO EXTERIOR

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PROPOSED NEW ONE FAMILY RESIDENCE FOR 253 JUDSON AVENUE DOBBS FERRY, NY

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PROPOSED 1ST FLOOR PLAN

SHEET NUMBER
A-2

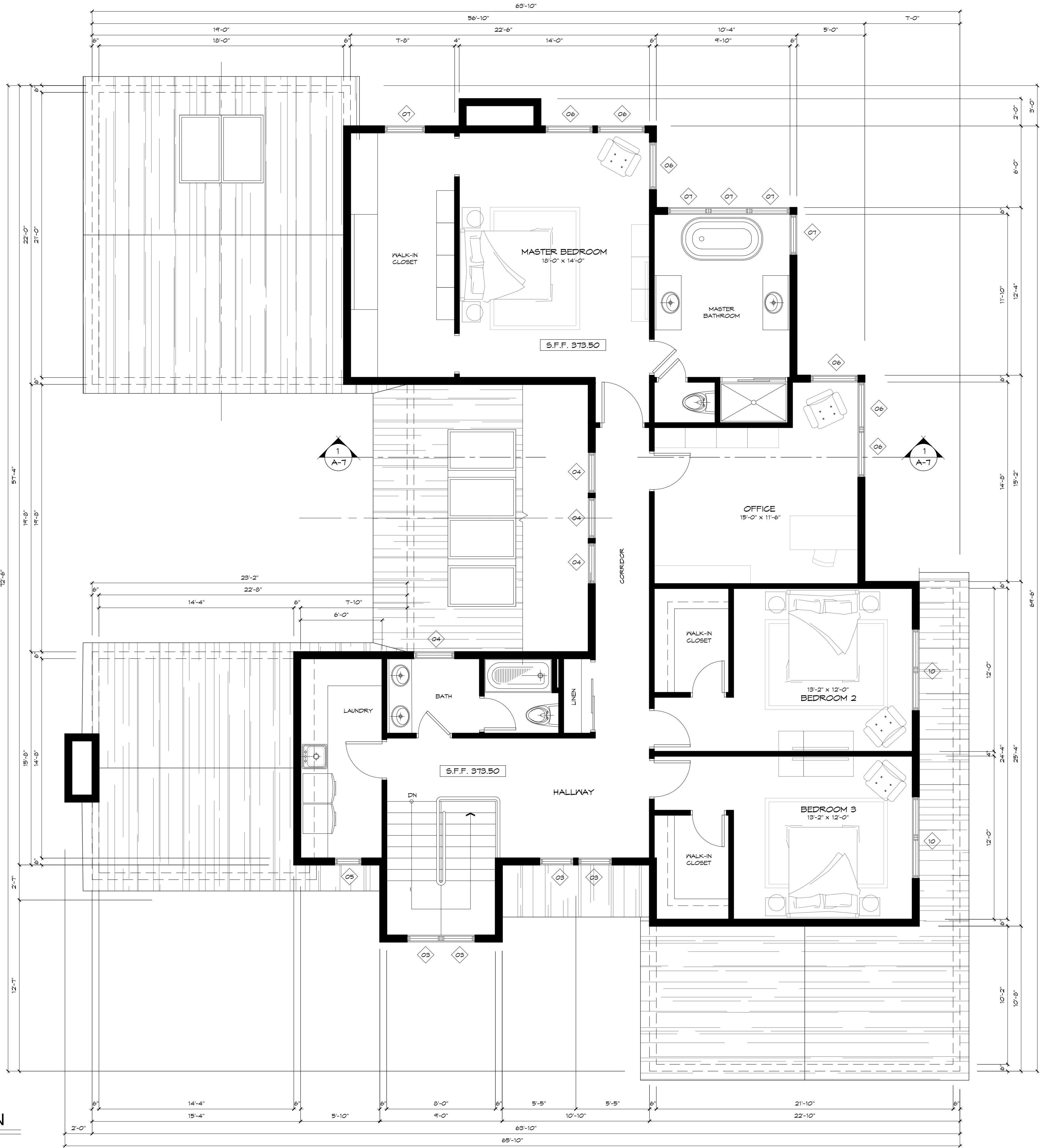
WINDOW SCHEDULE						
ANDERSEN	ROUGH OPENING		TYPE	MATERIAL	AMOUNT	COLOR
A SERIES	WIDTH	HEIGHT				
01	DH 3068	36"	80"	DBL HUNG WOOD CORE IV/ FIBER COMPOSITE EXTERIOR FINISH	6	BLACK
02	ACN2070	24"	84"	CASEMENT WOOD CORE IV/ FIBER COMPOSITE EXTERIOR FINISH	1	BLACK
03	ACN2640	30"	48"	CASEMENT WOOD CORE IV/ FIBER COMPOSITE EXTERIOR FINISH	8	BLACK
04	AAN3024	36"	28"	AWNING WOOD CORE IV/ FIBER COMPOSITE EXTERIOR FINISH	3	BLACK
05	ACN2040	24"	48"	CASEMENT WOOD CORE IV/ FIBER COMPOSITE EXTERIOR FINISH	2	BLACK
06	ACN3670	42"	84"	CASEMENT WOOD CORE IV/ FIBER COMPOSITE EXTERIOR FINISH	11	BLACK
07	ACN3070	36"	84"	CASEMENT WOOD CORE IV/ FIBER COMPOSITE EXTERIOR FINISH	10	BLACK
08	ACN3646	42"	54"	CASEMENT WOOD CORE IV/ FIBER COMPOSITE EXTERIOR FINISH	3	BLACK
09	ACN4846-2	56"	54"	CASEMENT WOOD CORE IV/ FIBER COMPOSITE EXTERIOR FINISH	1	BLACK
10	ACN6060-2	72"	72"	CASEMENT WOOD CORE IV/ FIBER COMPOSITE EXTERIOR FINISH	2	BLACK

NOTE: SOME CASEMENT WINDOWS MAY BE REPLACED BY OWNER WITH PICTURE WINDOWS OF THE SAME SIZE / STYLE / COLOR. CHANGES TO BE SHOWN ON CONSTRUCTION DRAWINGS / RESCHECK

DOOR SCHEDULE						
ANDERSEN	ROUGH OPENING		TYPE	MATERIAL	GLAZING	AMOUNT
A SERIES	WIDTH	HEIGHT				
01	FWHD6080	36"	80"	DBL HINGED WOOD CORE IV/ FIBER COMPOSITE EXTERIOR FINISH	DBL FINE IV/ ARGON LOW E	6
02	FWHD3080	24"	84"	HINGED WOOD CORE IV/ FIBER COMPOSITE EXTERIOR FINISH	DBL FINE IV/ ARGON LOW E	2
03	FWHD3080S	30"	48"	FIXED WOOD CORE IV/ FIBER COMPOSITE EXTERIOR FINISH	DBL FINE IV/ ARGON LOW E	2
04	3068 ENTRANCE	36"	80"	HINGED WOOD CORE IV/ FIBER COMPOSITE EXTERIOR FINISH		1
05	FWHD2060S	24"	48"	FIXED WOOD CORE IV/ FIBER COMPOSITE EXTERIOR FINISH	DBL FINE IV/ ARGON LOW E	2
06	ATF1412	42"	84"	TRANSOM FIXED WOOD CORE IV/ FIBER COMPOSITE EXTERIOR FINISH	DBL FINE IV/ ARGON LOW E	1

NOTE: ENTRANCE DOOR TO BE INSULATED IV/ 0.15 MIN. U-FACTOR

SPEC. GARAGE DOORS: SEE RIGHT SIDE ELEVATION



PROPOSED 2ND FLOOR PLAN

SCALE: 1/4" = 1'-0"

01	NEW SPEC. WINDOWS
01	NEW SPEC. DOORS

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PROPOSED NEW ONE FAMILY
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FOR
253 JUDSON AVENUE
DOBBS FERRY, NY

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REGISTERED ARCHITECT
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STATE OF NEW JERSEY
NO. 123456789
P.P. C.D. NO. 5662

SECOND FLOOR PLAN

SHEET
NUMBER
A-3



PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED REAR ELEVATION

SCALE: 1/4" = 1'-0"

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PROPOSED ELEVATIONS

REGISTERED ARCHITECT
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SHEET NUMBER
A-4



PROPOSED RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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FOR
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DOBBS FERRY, NY

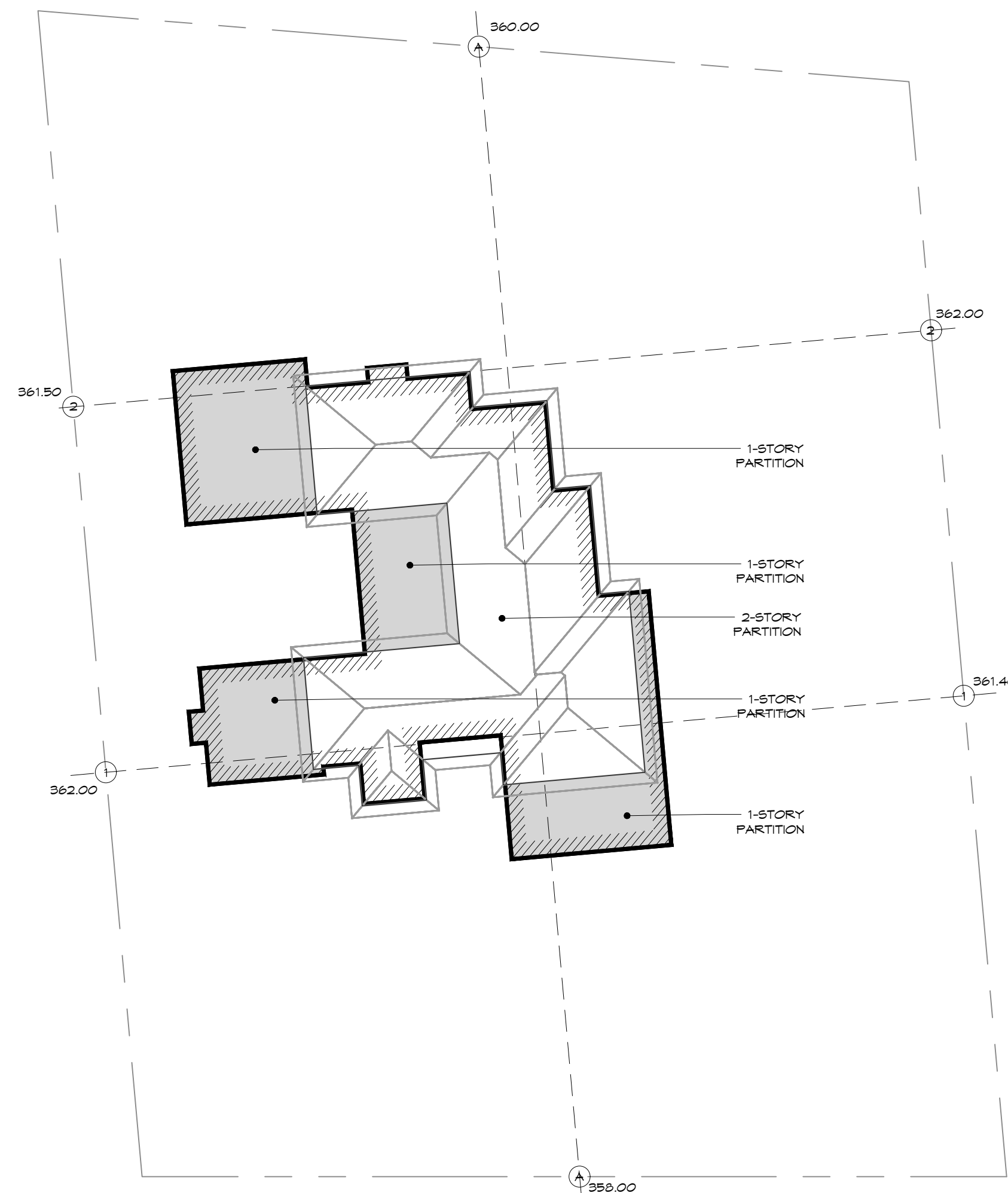
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PROPOSED ELEVATIONS

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STATE OF NEW YORK
EXPIRATION DATE 12/31/2023
P.P. C.O. NO. 5662

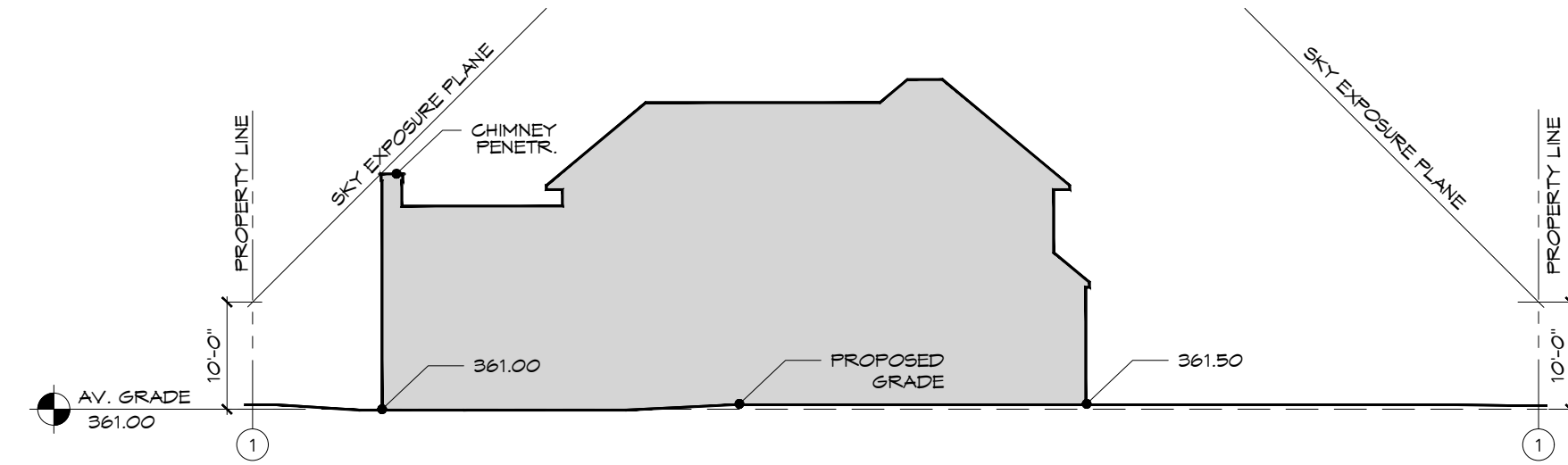
SHEET
NUMBER
A-5



SITE PLAN

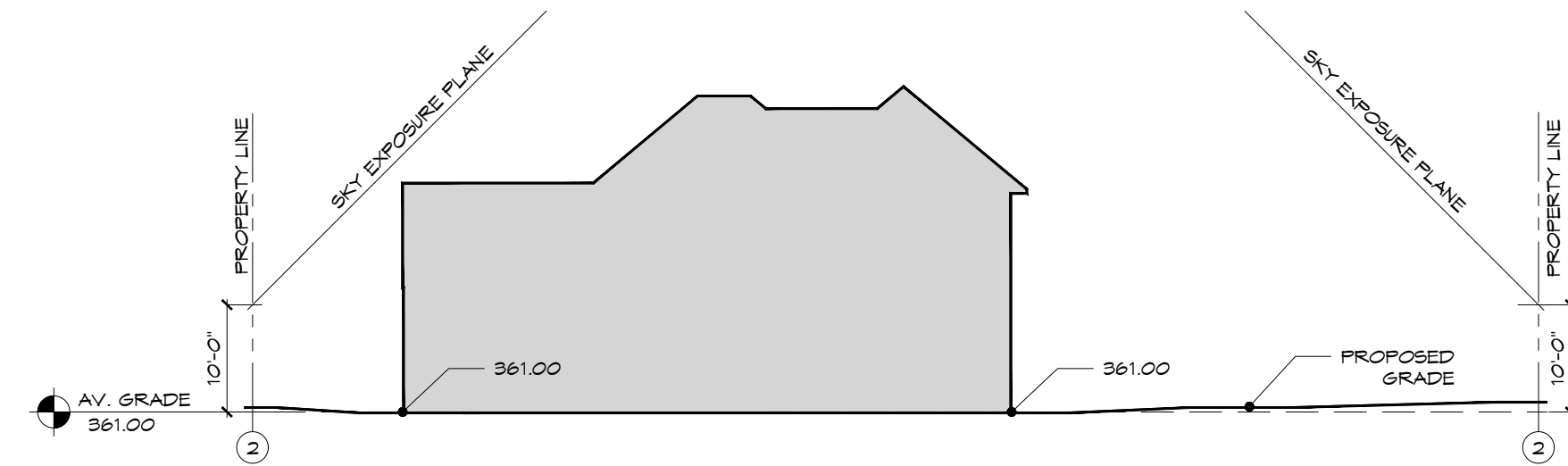
SCALE: 1/16" = 1'-0"

JUDSON AVENUE



ELEVATION 1-1

SCALE: 1/16" = 1'-0"



ELEVATION 2-2

SCALE: 1/16" = 1'-0"



ELEVATION A-A

SCALE: 1/16" = 1'-0"

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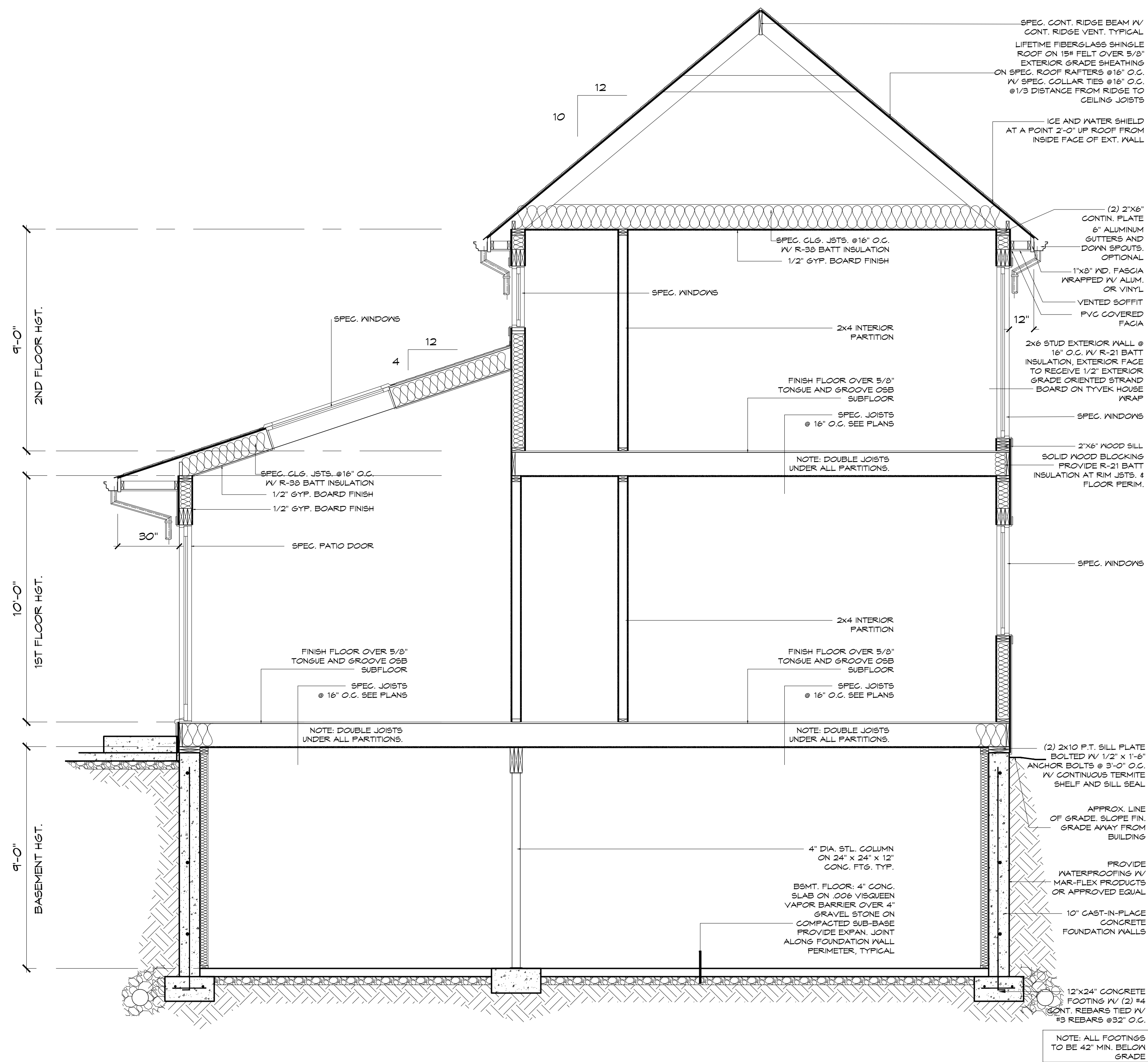
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SKY EXPOSURE PLANE

SHEET
NUMBER
A-6



1 WALL SECTION DETAIL
SCALE: 3/8" = 1'-0"

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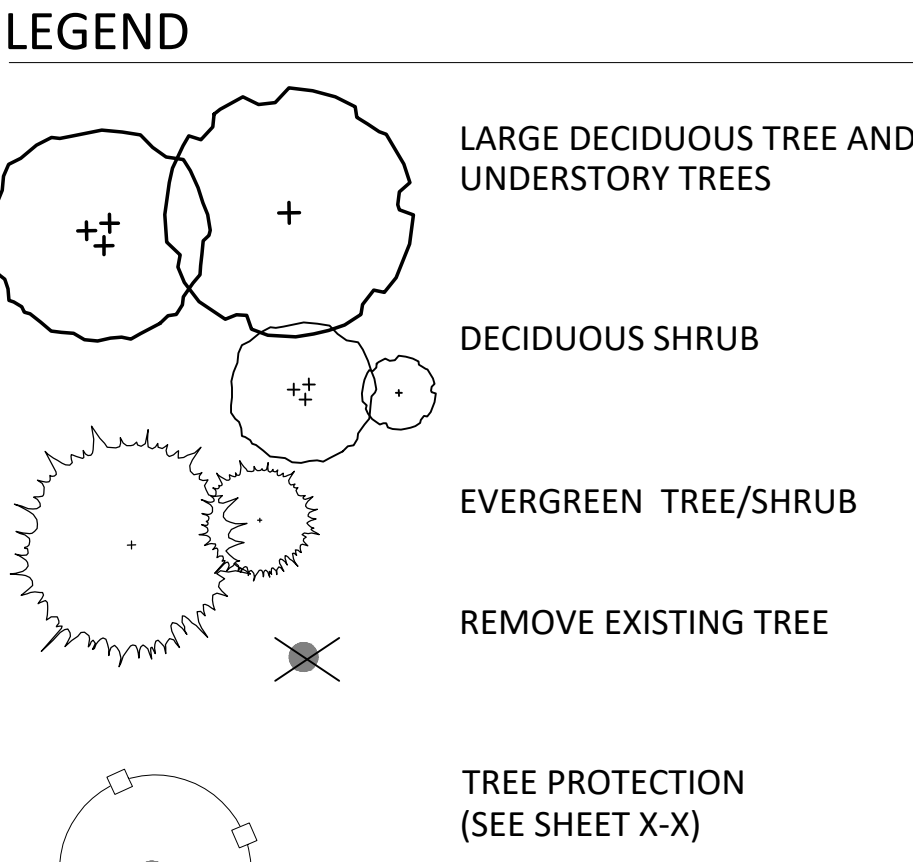
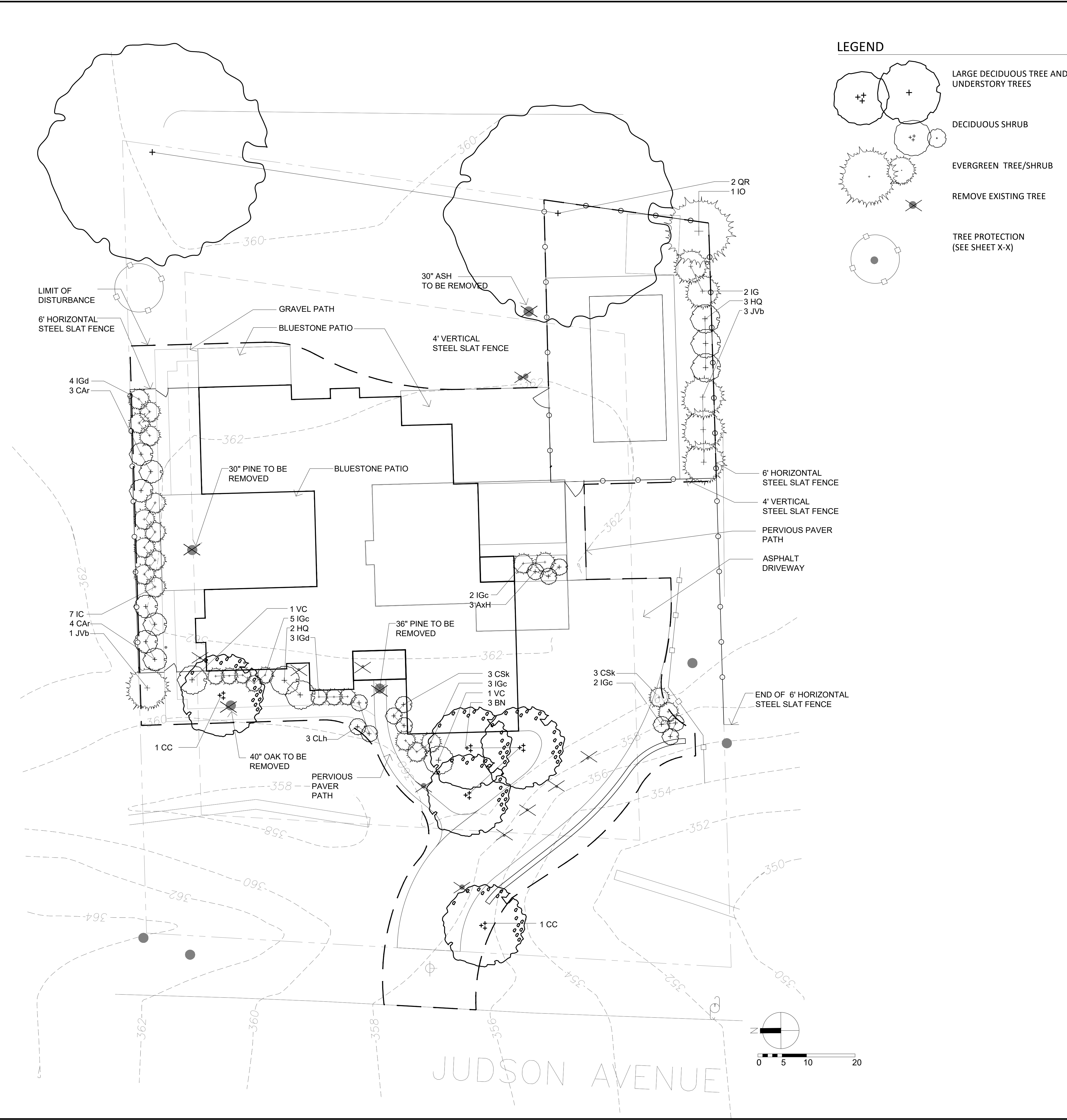
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WALL SECTION DETAIL

SHEET
NUMBER
A-7

REGISTERED ARCHITECT
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PLANT LIST					
QNT	KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
DECIDUOUS TREES					
3	BN	BETULA NIGRA 'CULLY'	CULLY RIVER BIRCH	1.5" TO 2" CAL	AS SHOWN
2	CC	CERCIS CANADENSIS 'FOREST PANSY'	CANADIAN REDBUD	8'-10" HT	AS SHOWN
2	QR	QUERCUS RUBRA	NORTHERN RED OAK	1.5" TO 2" CAL	AS SHOWN
EVERGREEN TREES					
1	IO	ILEX OPACA	AMERICAN HOLLY	7'-8' HT	AS SHOWN
4	JVB	JUNIPERUS VIRGINIANA 'BRODIE'	EASTERN RED CEDAR 'BRODIE'	7'-8' HT	AS SHOWN
DECIDUOUS SHRUBS					
3	AxH	AZALEA X HINO-CRIMSON	HINO-CRIMSON AZALEA	#5 CONT	AS SHOWN
3	CAh	CLETHERA ALNIFOLIA 'HUMMINGBIRD '	HUMMINGBIRD SWEET PEPPERBUSH	#5 CONT	AS SHOWN
7	CAr	CLETHERA ALNIFOLIA 'RUBY SPICE'	RUBY SPICE SWEET PEPPERBUSH	#7 CONT	AS SHOWN
6	CSk	CORNUS SERICEA 'KELSEY'	KELSEY'S REDOSIER DOGWOOD	#7 CONT	AS SHOWN
5	HQ	HYDRANGEA QUERCIFOLIA 'GATSBY PINK'	OAKLEAF HYDRANGEA 'GATSBY PINK'	#7 CONT	AS SHOWN
2	VC	VIBURNUM CARLESII	KOREAN SPCE VIBURNUM	#5 CONT	AS SHOWN
EVERGREEN SHRUBS					
2	IG	ILEX GLABRA	INKBERRY HOLLY	#7 CONT	AS SHOWN
12	IGc	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY HOLLY	#5 CONT	AS SHOWN
7	IGd	ILEX GLABRA 'DENSEA'	DENSE INKBERRY HOLLY	#5 CONT	AS SHOWN
PERENNIALS/ GROUNDCOVERS					
TBD	car	CAREX MARROW 'AUREA-VARIEGATA	VARIEGATED JAPANESE SEDGE	#1 CONT	12" O.C.
TBD	chr	CHRYSOGONUM VIRGINIANUM	GREEN AND GOLD	FLATS	6" O.C.
TBD	ger	GERANIUM MACULATUM	WILD GERANIUM	FLATS	6" O.C.
TBD	nep	NEPETA RACEMOSA 'WALKER'S LOW'	WALKER'S LOW' CATMINT	#1 CONT	18" O.C.
TBD	tia	TIARELLA CORDIFOLIA	FOAMFLOWER	FLATS	6" O.C.

NOTES:

1. THE CONTRACTOR SHALL LOCATE AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO ANY LAWN WORK OR TREE AND SHRUB PLANTING AND SHALL IMMEDIATELY REPORT ANY CONFLICTS TO THE PROJECT SITE ENGINEER.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWING. QUANTITIES IN PLANT SCHEDULE ARE FOR REFERENCE ONLY
3. NO PLANT OR CULTIVAR SUBSTITUTIONS WILL BE ACCEPTABLE WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT
4. OWNER'S LANDSCAPE ARCHITECT SHALL INSPECT PLANT MATERIAL FOR ACCEPTANCE PRIOR TO PLANTING.
5. LOCATION OF NEW PLANT MATERIAL SHALL BE STAKED OR SET OUT BY CONTRACTOR AND APPROVED BR LANDSCAPE ARCHITECT PRIOR TO PLANTING
6. REFER TO PLANTING DETAILS AND SPECIFICATIONS FOR INFORMATION RELATING TO PLANTING PIT DIMENSIONS AND EXTENT AND COMPOSITION OF BACKFILL MATERIAL.
7. THE CONTRACTOR SHALL REMOVE ALL PLASTIC MATERIAL FROM AROUND THE ROOT BALLS OF THE PLANTS AFTER POSITIONING IN THE PLANT PITS. REMOVE BURLAP, ROPE, AND WIRE FROM AROUND THE TRUNK SUFFICIENTLY SO THAT NO BURLAP, ROPE OR WIRE WILL BE EXPOSED AFTER BACKFILLING.
8. CONTRACTOR SHALL EXERCISE EXTREME CARE IN WORKING IN AREA OF EXISTING TREES. EXISTING PLANTS TO REMAIN AND BE PROTECTED, WHICH ARE INJURED OR DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY CONTRACTOR WITH PLANTS OF EQUAL SIZE AND SPECIES AT NO COST TO THE OWNER.
9. ALL AREAS THAT HAVE BEEN DISTURBED BY PLANTING ACTIVITY SHALL BE RESTORED TO A NEAT CONDITION. AREAS WITH BARE SOIL SHALL BE TOPSOILED AND SEEDED WITH NATIVE EROSION CONTROL SEED MIX
10. THE CONTRACTOR SHALL WATER TREES, SHRUBS AND GROUNDCOVER TWICE DURING THE FIRST 24 HOURS AND AS NEEDED DURING THE FIRST GROWING SEASON.
11. SEE CIVIL ENGINEER'S SITE PLAN FOR TREE PROTECTION AND PROPOSED GRADING

TREE REMOVAL MITIGATION PLAN
THE LIST ABOVE REPRESENTS THE MINIMUM PLANTING PROPOSED AS MITIGATION FOR THE REMOVAL OF:
ONE (1) 30" CAL. ASH
ONE (1) 30" CAL. PINE
ONE (1) 36" CAL. PINE
ONE (1) 40" CAL. OAK

FOR MUNICIPAL APPROVALS
NOT FOR CONSTRUCTION

PROJECT

MARFIONE/ BASU RESIDENCE
253 JUDSON AVENUE, DOBBS FERRY, NY 10522

REVISIONS

NO.	DATE	DESCRIPTION
08/11/2021	MINOR CHANGE TO BUILDING FOOTPRINT	

DRAWING TITLE

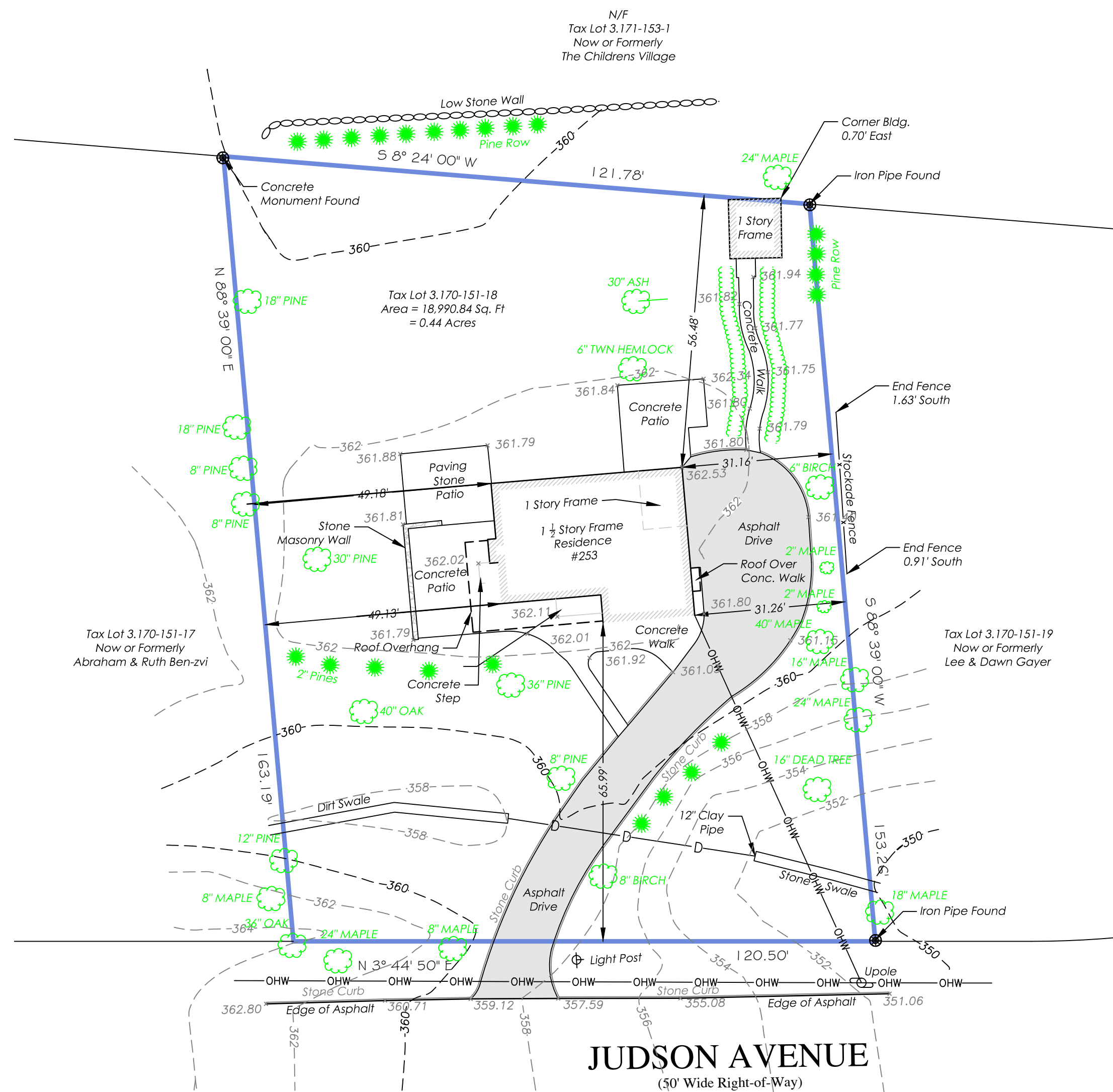
LANDSCAPE PLAN

SCALE: AS NOTED
DATE: 06/10/2021

SHEET NO.

L-1

ASPECT 120 LANDSCAPE ARCHITECTURE P.C.
80 NORTH BROADWAY, SUITE 233
IRVINGTON, NY 10533
WWW.ASPECT120.COM
PHONE: (914) 274-8544



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Possession only where indicated.

Adjacent property lines and easements not surveyed or certified. Access to adjacent rights of way, easements and public or private lands not guaranteed or certified.

Underground utilities shown hereon are approximate and should be verified before excavating. Additional underground utilities are not shown or certified. Encroachments and structures below grade, if any, not shown or certified.

Subject to covenants, easements, restrictions, conditions and agreements of record.

This map is prepared to show topography only and is not to be used for title transfer purposes. Map may not be certified to title companies and/or banks.

Tree species shown hereon to be verified by a licensed arborist and are not certified by surveyor.

Elevations shown hereon generally in accordance with North American Vertical Datum 88.

Surveyed in accordance with Deed Liber 10592, Page 175.

Premises shown hereon designated on the Town of Greenburgh Tax Maps as: Section 3.170, Block 151, Lot 18.

Property Address: 253 Judson Ave
Dobbs Ferry, NY 10522

**TOPOGRAPHY OF PROPERTY
PREPARED FOR
SHUMITA HANNA BASU**
SITUATE IN THE
TOWN OF GREENBURGH
VILLAGE OF DOBBS FERRY
WESTCHESTER COUNTY, NEW YORK

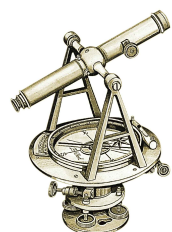
SCALE: 1" = 20'

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

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TC MERRITTS LAND SURVEYORS
394 BEDFORD ROAD • PLEASANTVILLE • NY 10570
(914) 769-8003 • (203) 622-8899



Surveyed: October 8, 2020
Map Prepared: October 9, 2020
Map Revised: December 1, 2020 to show certifications
Map Revised: December 24, 2020 Map Revised: June 2, 2021 to show trees

By: *Daniel T. Merritts*
New York State Licensed Land Surveyor No. 050604

Project: 20-399	Field Survey By: BFC
Drawn By: BFC	Checked By: DM