

Plan Submittal Form

Address: 88 Lefurgy Avenue, Dobbs Ferry 10522

Application #: A2021-0150

Project: Dobbs Residence

Name: John M. Malone

Email: info@fergusonmalone.com

Phone: (914) 591-5066

Plans attached are being submitted for:

Building permit application 1 PDF copy & 2 paper copies ¼ scale

Amendment to an application or permit, 2 sealed copies

Final As Built to close permit, 1 sealed copy

Final survey to close permit, 1 sealed copy

Plans attached are submitted at the direction of the Building Inspector for review by the following board:

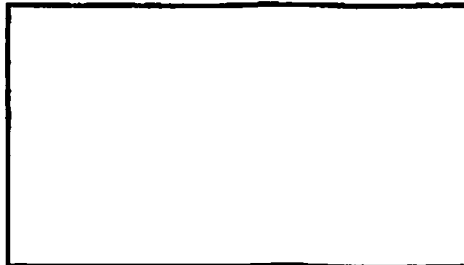
BOT- 1 PDF copy + 5 paper copies ¼ scale

PB - 1 PDF copy + 7 paper copies ¼ scale

ZBA - 1 PDF copy + 4 paper copies ¼ scale

AHRB – 1 PDF copy + 2 paper copies ¼ scale

Received Stamp:



SUBMISSION REQUIREMENTS FOR LARGE SCOPE PROJECTS

Definition of a Large Scope Project: New buildings or modification(s) of existing buildings, including, but not limited to: the construction, reconstruction, replacement or alteration of any building or structure which after said construction, reconstruction, replacement or alteration will cause changes to the height, bulk, mass, square footage, footprint, roof structure, attached porch or deck. This shall include any unattached accessory structure such as a shed, playhouse, pool house, garage, greenhouse or other structure which use is incidental to the principal building.

Applicant Name: John M. Malone Date Filed July 29, 2021

Property Address: 88 Lefurgy Avenue, Dobbs Ferry, NY

Check Application Type (may be more than one):

☐ New Building ☒ Altered Building ☐ Accessory Building ☐ Porch or Deck

Description of Proposed Work:

Interior renovation, new windows, doors and replacement of existing stucco with siding.

A copy of this completed form is to be included as a cover sheet for submissions to the AHRB.

In the table below, please indicate the type of submission by checking the applicable box or boxes indicated. Items denoted • in the column below your project type are the minimum required items for a complete application to the AHRB. Please indicate the type of submission. Please indicate by initialing each box in the appropriate column confirming that the information has been submitted. Do not initial for items if they are not included.

The AHRB reserves the right to ask for any additional information as specified on this form, if not included in the initial application, and may deem the application incomplete and not ready for review until this information is included. Resubmissions should reflect all comments made at the previous meeting and should be indicated with a note or a bubble on the plan, and shall include any additional requested information.

Initial Below ↓	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<p>← Check Box (or Boxes) Above Appropriate Columns</p> <p>REQUIRED PLAN AND DOCUMENT SUBMISSION</p> <p>1 PDF & 2 Paper COPIES OF EACH ITEM (unless otherwise specified)</p>
	1 st Story Porch or Deck	Accessory Building	Altered Building	New Building	
	•	•	✕	•	Proof of notification of the AHRB hearing to owners of properties within 200 feet of the subject property by certified mailing in the form of an affidavit as per 300-18 F (One copy only)
	•	•	✕	•	Photo of subject property showing "Under AHRB Review" sign as per 300-28 G (2). (One copy only)

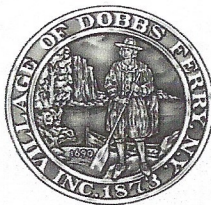
CONTINUED ON NEXT PAGE

Initial Below ↓	<input type="checkbox"/> 1 st Story Porch or Deck	<input type="checkbox"/> Accessory Building	<input checked="" type="checkbox"/> Altered Building	<input type="checkbox"/> New Building	← Check Box (or Boxes) Above Appropriate Columns
REQUIRED PLAN AND DOCUMENT SUBMISSION					
1 PDF & 2 Paper COPIES OF EACH ITEM (unless otherwise specified)					
	•	•	•	•	Aerial site location map noting proposed building site and all nearby existing buildings. (Google Maps satellite view may be used.) - Not Applicable
	•	•	•	•	Current Survey - Not Applicable
	•	•	✗	•	Detailed 1/4" scale elevations <u>and</u> floor plans of <u>both</u> existing and proposed conditions.
	•	•	✗	•	Material, finish and color schedule is included <u>on</u> submitted plans.
	•	•	✗	•	Provide a note on plan indicating that all lighting shall comply with section 300-41
	•	•	✗	•	Specification sheet for each new exterior light fixture.
	•	•	•	•	Site Plan - Not Applicable
	•	•	✗	•	Specification sheets for all new windows and doors.
	•	•	✗	•	(One set only) of actual material, finish and color samples to be presented at AHRB meeting.
		•	•	•	Site location plan indicating proposed building site and all relevant buildings as noted in section: Appendix D- A (3) - Not Applicable
			•	•	Topographical Site Plan for (but not limited to) context based bulk analysis as per section: Appendix D- A (6) - Not Applicable
			•	•	Mechanical Equipment locations, including visual screening and sound attenuation provisions. - Not Applicable
			•	•	Table of Zoning Calculations indicating compliance with Dimensional Tables, Appendix B - Not Applicable
			•	•	Table of eave & ridge heights as noted in the Appendix B, Table B-7 - Not Applicable
			•	•	A scaled streetscape drawing, using the above information, showing the houses on the contiguous lots, facing upon the same street, as the subject property. - Not Applicable
			•	•	Diagram of Sky Exposure Plane envelope as per section 300-17 (4) (F) and defined in 300-14 - Not Applicable
			•	•	Landscape Plan - Not Applicable
			✗	•	Sections through important elevations.
			✗	•	Sections through typical trim at a scale to clearly show profiles, trims, corners and their sizes.
			✗	•	Photos of streetscape
	•	•	✗	•	Photos of all affected sides of existing structure and context.

Applicant Name: John M. Malone Signature:  Date: 07.29.2021
 By signing this form you are affirming that you have included all the required information listed above.

Complete application received by the Village of Dobbs Ferry, on behalf of the Dobbs Ferry AHRB by:

Name: _____ Signature: _____ Date: _____



VILLAGE OF DOBBS FERRY

112 Main Street

Dobbs Ferry, New York 10522

TEL: (914) 231-8500 • FAX: (914) 693-3470

Affidavit of Notice

STATE OF NEW YORK)

) ss.:

COUNTY OF WESTCHESTER)

I, John M. Malone, having been duly sworn, hereby deposes and says:

1. On July 29, 2021 I forwarded the notice attached as Exhibit 1 by Certified Mail to owners of properties within a 200' radius of the property located at:
88 Lefurgy Avenue, Dobbs Ferry, which is the subject of review for certain land use approvals in the Village of Dobbs Ferry; and
2. I have attached as Exhibit 2 the mailing list of the relevant property owners requested and received from the Town of Greenburgh Tax Assessor located at 177 Hillside Ave. White Plains, NY 10607, 914-989-1520, assessor@greenburghny.com; and
3. I have retained proof of these mailings and will make them available upon request or as otherwise required by the Village of Dobbs Ferry.

Dated: Irvington, New York
July 29, 2021

Signed: _____
Print name: John M. Malone

Sworn to before me this
29 day of July, 2021

Jessica Emilia Baran
Notary Public

Jessica Emilia Baran
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01BA6355917
Qualified in Westchester County
Commission Expires March 20, 2025

Date Mailed July 29, 2021
Via Certified Mail

Dear Neighbor:

This is a notification that the owner of the property located at: _____

88 Lefurgy Avenue, Dobbs Ferry

Owner name: Elan R. Dobbs

Has filed an application with the Village of Dobbs Ferry to do the following: _____

Interior renovation, new windows and doors and replacement of existing stucco with siding.

The applicant will present the proposal to the following checked Board/Boards at their next available meeting. Please check the calendars and agendas on the village web site for the exact date they will first appear before the board:

-
- ☐ Board Of Trustees; meet 2nd & 4th Tuesdays at 6:30 PM
 - ☐ Planning Board; meet 1st Thursday at 7:30 PM
 - ☐ Zoning Board of Appeals; meet 2nd Wednesday at 8:00 PM
 - ☒ Architectural & Historic Review Board; meet 2nd & 4th Mondays at 8:00 PM
-

Effective June 24, 2021, Dobbs Ferry's boards will be conducting public meetings/hearings using a hybrid format. Board members will be attending in-person at the Board Room at Village Hall. Applicants have the option to participate in person or connecting remotely using Zoom video option. Residents and other interested parties have the option to participate by either attending the meeting in person or connecting remotely using Zoom virtual technology by internet or phone using the general webinar instructions on the meeting agenda. You may use the webinar controls to raise your hand. If participating by Zoom phone option, push *9 to raise your hand and *6 to unmute yourself. To simply watch public meetings, as always, they will be broadcast live on Optimum/Altice Ch.75 and on Verizon Ch.46, as well as stream live on YouTube Go to: <https://www.youtube.com/user/VillageOfDobbsFerry>

For Public Hearings that you cannot attend by any means, we will accept emailed comments in advance of the hearings. Please email BoardComments@DobbsFerry.com by 10am the day before the hearing. For Zoom participants we will also enable the option for participants to "raise their hand" and voice their concern or question.

Current Occupant
50 TEMPLE RD
DOBBS FERRY, NY 10522

Current Occupant
35 TEMPLE RD
DOBBS FERRY, NY 10522

Current Occupant
CRICKET LN
DOBBS FERRY, NY 10522

Current Occupant
TEMPLE RD
DOBBS FERRY, NY 10522

Current Occupant
134 LEFURGY AVE
DOBBS FERRY, NY 10522

Current Occupant
111 LEFURGY AVE
DOBBS FERRY, NY 10522

Current Occupant
34 LYMAN PL
DOBBS FERRY, NY 10522

Current Occupant
36 TEMPLE RD
DOBBS FERRY, NY 10522

Current Occupant
30 LYMAN PL
DOBBS FERRY, NY 10522

Current Occupant
85 MYRTLE AVE
DOBBS FERRY, NY 10522

Current Occupant
83 LEFURGY AVE
DOBBS FERRY, NY 10522

Current Occupant
TEMPLE RD
DOBBS FERRY, NY 10522

Current Occupant
84 LEFURGY AVE
DOBBS FERRY, NY 10522

Current Occupant
88 LEFURGY AVE
DOBBS FERRY, NY 10522

Current Occupant
47 TEMPLE RD
DOBBS FERRY, NY 10522

Current Occupant
41 TEMPLE RD
DOBBS FERRY, NY 10522

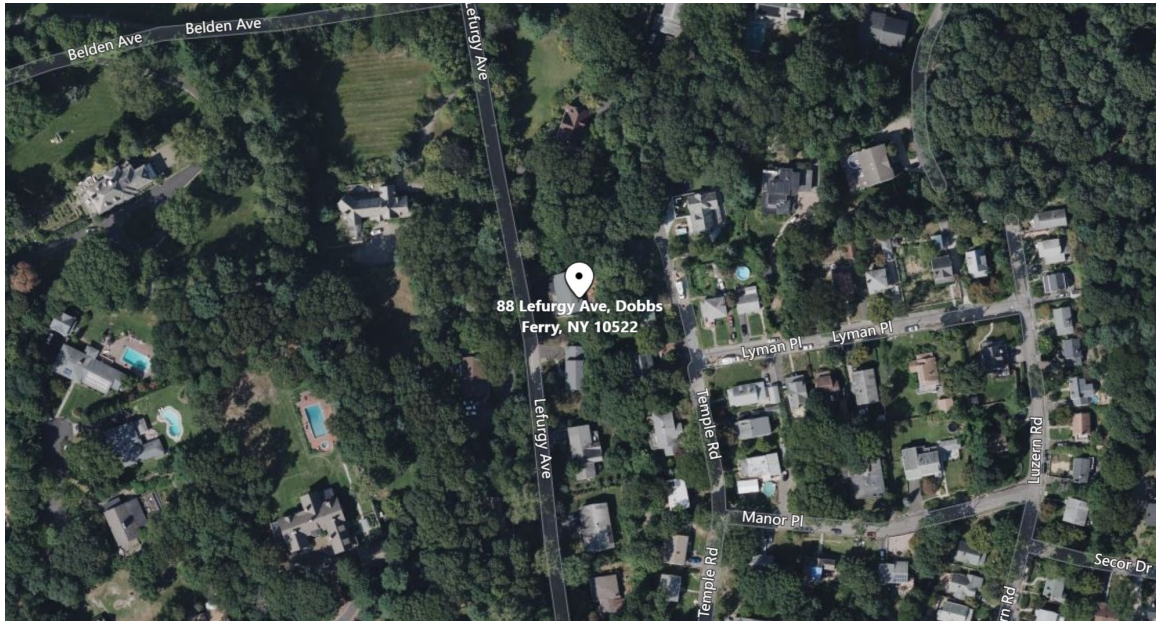
Current Occupant
14 CRICKET LN
DOBBS FERRY, NY 10522

Current Occupant
111 LEFURGY AVE
DOBBS FERRY, NY 10522

Current Occupant
80 LEFURGY AVE
DOBBS FERRY, NY 10522

88 Lefurgy Avenue – Subject Property

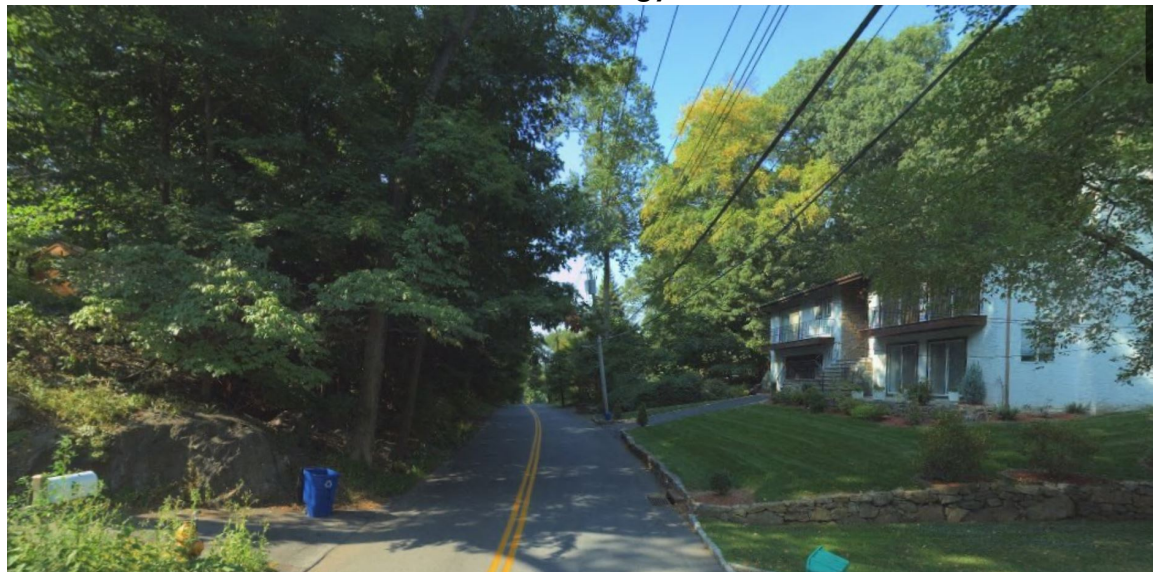
Aerial View



South View of Lefurgy Avenue



North View of Lefurgy Avenue



88 Lefurgy - Existing West Elevation



88 Lefurgy - Existing North Elevation



88 Lefurgy - Existing South Elevation



88 Lefurgy - Existing East Elevation



88 Lefurgy Avenue – Subject Property

Photo of “Under AHRB Review” Sign

