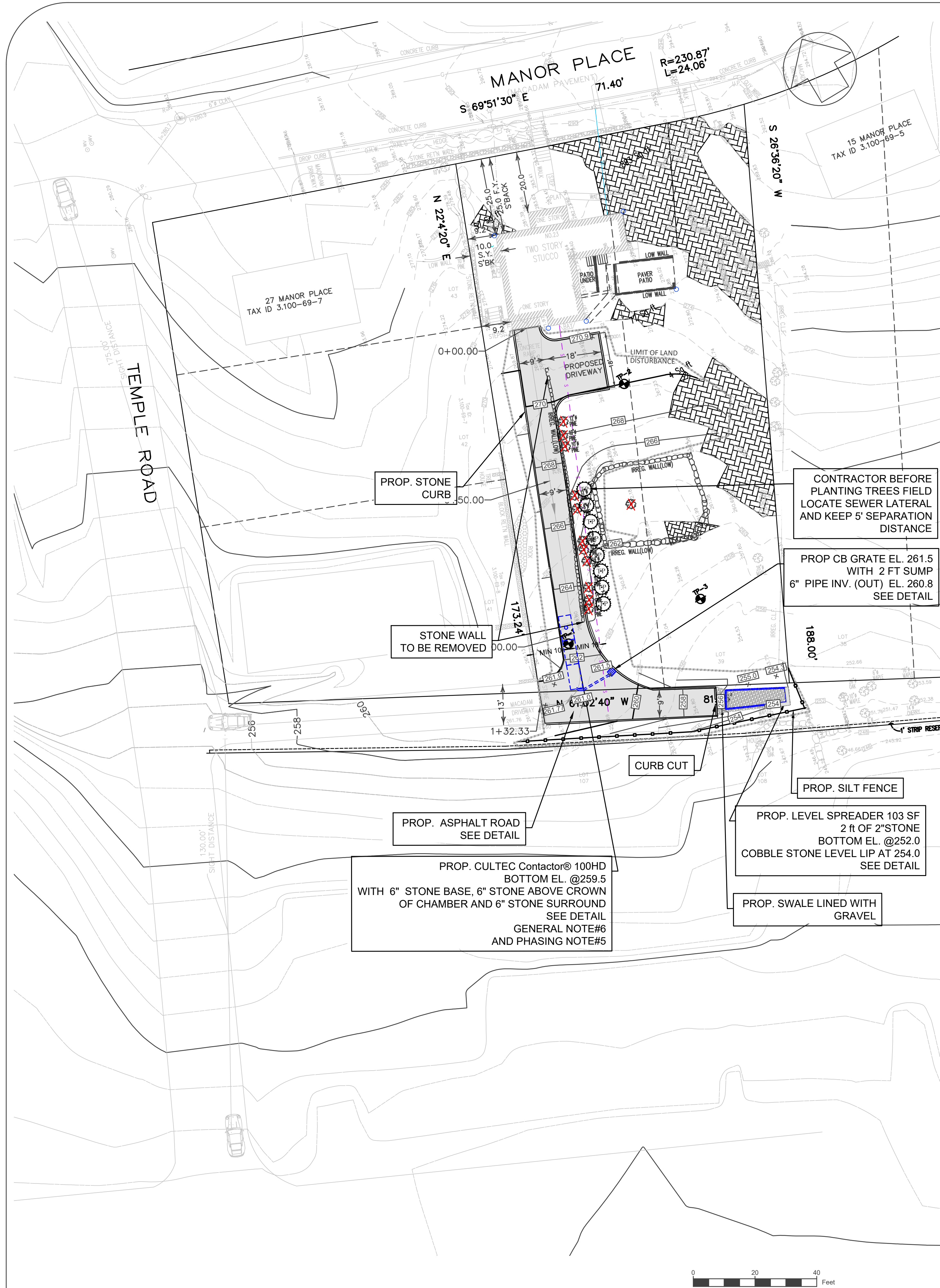
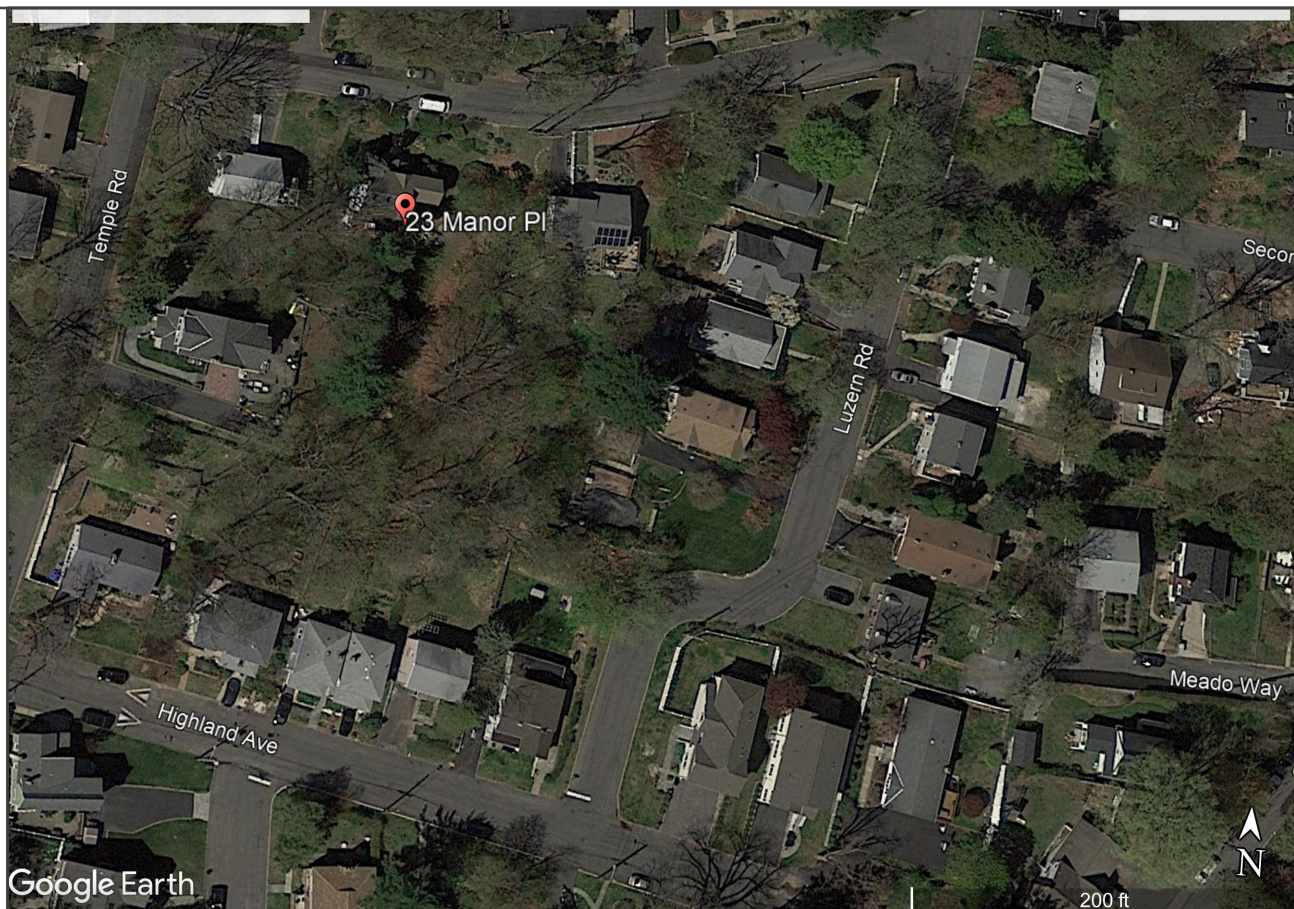


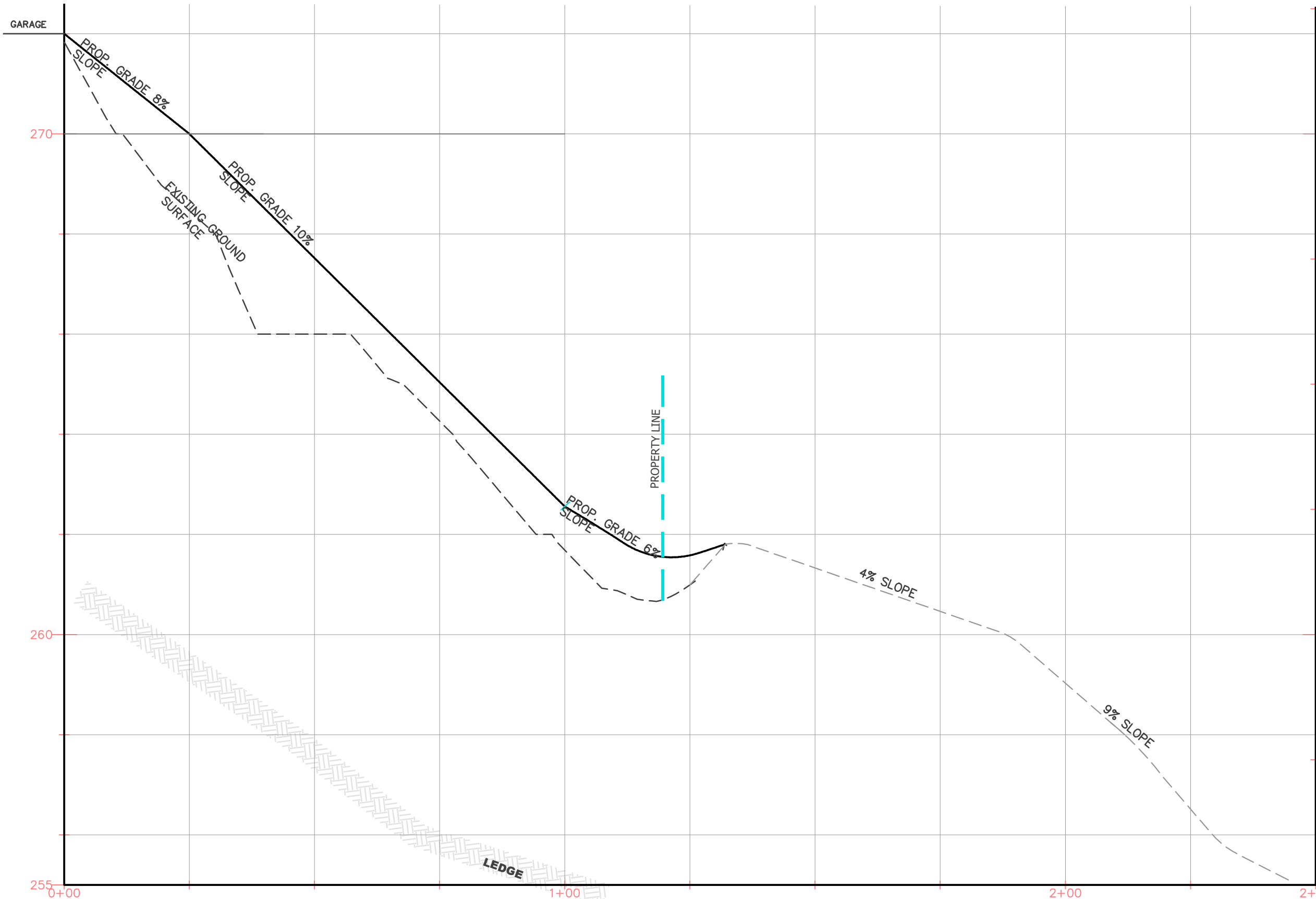


LEGEND

- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED SPOT ELEVATION
- SILT FENCE
- TEST PIT LOCATION
- EXIST. ROOF LEADER DOWNSPOUTS
- LIMIT OF LAND DISTURBANCE
- LEVEL SPREADER
- MORE THAN 25% SLOPES
- BITUMINOUS CONCRETE PAVEMENT
- APPROXIMATE LOCATION OF EXISTING WATER SERVICE
- APPROXIMATE LOCATION OF EXISTING SEWER SERVICE



AREAL MAP
1"=100'



DRIVEWAY PROFILE

SCALE: (H) 1"=20'
(V) 1"=2'

ZONING DISTRICT REQUIREMENTS	UNITS	OF-6 (ONE FAMILY RESIDENCE)		
		REQUIRED / ALLOWED	EXISTING	PROPOSED
LOT AREA	S.F.	5,000	15,820	15,820
FRONT YARD SETBACK (MINIMUM)	FT	25	19.84	19.84
SIDE YARD SETBACK (MINIMUM)	FT	10	9.2	9.2
SIDE YARD SETBACK (TOTAL)	FT	20	49.91	49.91
REAR YARD SETBACK (MINIMUM)	FT	25	117.37	117.37
STORIES	#	2.5	2.5	2.5
HEIGHT	FT	35		
LOT WIDTH	FT	50	88.25 AVG	88.25 AVG
LOT DEPTH	FT	100	180.62 AVG	180.62 AVG
LOT COVERAGE BY BUILDINGS	%	27	7.5	7.5
LOT COVERAGE BY IMPERVIOUS SURFACE	%	54	13	22
OFF STREET PARKING	#	2 SPACES	1(GARAGE)	1(GARAGE) & 2

HOLE No.	TOTAL DEPTH	ROCK DEPTH	ROOTS	WATER DEPTH	SOIL DESCRIPTION
1	6'-0"	6'-0"	-	-	0"-15" TOPSOIL; 15"-35" CLAY LOAM; 35"-60" SANDY LOAM; 60"-72" COMPACTED GRAVEL
2	6'-0"	6'-0"	-	-	0"-12" TOPSOIL; 12"-78" MED. BROWN CLAY LOAM
3	6'-0"	-	-	-	0-6" TOPSOIL; 2"-72" MED. BROWN LOAM

LANDSCAPE KEY AND SCHEDULE:

12 TREES TO BE REMOVED AND REPLACED WITH EVERGREENS

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
TP	8	THUJA PLICATA	GREEN GIANT ARBORVITAE	7'-8"

NOTE:
INFILTRATION RATE: 9 INCHES/HR
DEEP HOLE #1 & #2 PERFORMED ON 02.29.20 BY TJ ENGINEERING LLC;
#3 TEST BY MASTROGIACOMO ENGINEERING PC.

General Notes

- PROPERTY SURVEY AND EXISTING UTILITIES SHOWN HEREIN WAS TAKEN FROM THE MAP ENTITLED: SURVEY SHOWING OLD DRIVEWAY LOCATION AT 23 MANOR PLACE, LOCATED AT VILLAGE OF DOBBS FERRY, TOWN OF GREENBURGH, WESTCHESTER COUNTY NEW YORK. MAP PREPARED BY SUMMIT LAND SURVEYING PC IN THE 64 VIRGINIA AVENUE, DOBBS FERRY, NY. LAST UPDATED FEBRUARY 07TH, 2017, MADE BY THE RAKESH K. BEHAL, N.Y. NYS PL 59 050668.
- TOPOGRAPHICAL INFORMATION: TAKEN FROM WESTCHESTER COUNTY, NY TOPOGRAPHICAL MAPPING AND GIS DATABASE.
- TOTAL AMOUNT OF LAND DISTURBANCE 5,800 S.F. CUT/FILL MATERIAL SHALL NOT BE IMPORTED TO OR EXPORTED FROM THE SITE.
- PRIOR TO ANY EXCAVATION ALL UNDERGROUND UTILITIES MUST BE LOCATED. CALL 1-800-962-7962.
- THE PARTY RESPONSIBLE FOR THE LAND DEVELOPMENT OR REDEVELOPMENT ACTIVITY, OR HIS OR HER REPRESENTATIVE, SHALL AT ALL TIMES PROPERLY OPERATE AND MAINTAIN ALL FACILITIES AND SYSTEMS OF TREATMENT AND CONTROL (AND RELATED APPURTENANCES) WHICH ARE INSTALLED OR USED BY THE APPLICANT OR DEVELOPER TO ACHIEVE COMPLIANCE WITH THE CONDITIONS OF VILLAGE OF DOBBS FERRY CODE.
- THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND STRUCTURES WITHIN LIMITS OF CONSTRUCTION SHALL BE VERIFIED BY A CONTRACTOR PRIOR TO CONSTRUCTION. SEWER LINE SHOULD BE ENCASED IF 10 FEET SEPARATION DISTANCE FROM THE PROPOSED STORMWATER MANAGEMENT SYSTEM CANNOT BE ACHIEVED.
- THE EXISTING SEWER LATERAL SHALL BE THE SOLE RESPONSIBILITY OF THE HOME OWNER UP TO THE MAIN IN TEMPLE ROAD.
- ROAD OPENING AND USE STANDARDS: NO PERSON, FIRM OR CORPORATION, IMPROVEMENT DISTRICT OR MUNICIPALITY SHALL CONSTRUCT ANY WORKS IN OR UPON ANY TOWN ROAD OR CONSTRUCT ANY OVERHEAD, SURFACE OR UNDERGROUND CROSSING THEREOF OR CONSTRUCT, MAINTAIN, ALTER OR REPAIR ANY DRAINAGE, SEWER OR WATER PIPE, CONDUIT OR OTHER STRUCTURE THEREUPON OR THEREUNDER WITHOUT FIRST OBTAINING A WRITTEN PERMIT THEREFOR FROM THE SUPERINTENDENT OF HIGHWAYS.
- INFILTRATION SYSTEM ACCESS PORTS SHALL BE SHOWN ON THE "AS-BUILT".
- VILLAGE OF DOBBS FERRY NOTES:
 - THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.
 - "AS-BUILT" DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY.
 - "FILL" IMPORTED TO THE SITE SHALL BE CERTIFIED IN WRITING BY A NEW YORK LICENSED PROFESSIONAL ENGINEER AS CLEAN, NON-CONTAMINATED FILL SUITABLE FOR THE INTENDED USE.
 - THE RESTORATION WORK FOR THE ROADWAY AND SHOULDER CONSTRUCTION WITHIN THE VILLAGE RIGHT-OF-WAY SHALL BE PERFORMED TO THE SATISFACTION OF THE VILLAGE ENGINEER AND DEPARTMENT OF PUBLIC WORKS.
 - BEFORE THE SITE PLANS ARE SIGNED BY THE CHAIRMAN OF THE PLANNING BOARD, THE APPLICANT SHALL BE REQUIRED TO POST A PERFORMANCE BOND OR OTHER TYPE OF ACCEPTABLE MONETARY GUARANTEE WHICH SHALL BE IN AN AMOUNT DETERMINED BY THE PLANNING BOARD AND THE VILLAGE ENGINEER IN A FORM SATISFACTORY TO THE VILLAGE ATTORNEY.
 - THE APPLICANT SHALL NOTIFY THE VILLAGE BUILDING INSPECTOR AT LEAST 48 HOURS BEFORE ANY OF THE FOLLOWING AS REQUIRED BY THE STORM WATER MANAGEMENT OFFICER:
 - START OF CONSTRUCTION
 - INSTALLATION OF SEDIMENT AND EROSION CONTROL MEASURES
 - COMPLETION OF SITE CLEARING
 - COMPLETION OF ROUGH GRADING
 - INSTALLATION OF STORMWATER MANAGEMENT FACILITIES
 - COMPLETION OF FINAL GRADING
 - CLOSE OF THE CONSTRUCTION SEASON
 - COMPLETION OF FINAL LANDSCAPING.

- SITE PREPARATION:
- KEEP THE SITE CLEAR OF DEBRIS THROUGHOUT THE CONSTRUCTION PERIOD. SECURE MATERIAL AND DEBRIS SO AS TO NOT CAUSE HAZARD OR NUISANCE.
 - BRING DISTURBED AREAS TO FINISHED CONDITION AS SOON AS POSSIBLE AFTER INITIAL DISRUPTION. PROTECT SLOPES INITIALLY WITH MULCH UNTIL PLANTINGS TAKE HOLD.
 - TREES NOT DESIGNATED ON THESE PLANS TO BE REMOVED SHALL NOT BE REMOVED.
 - ALL AREAS DISTURBED, NOT OTHERWISE CALLED OUT IN THESE PLANS FOR A SPECIFIC TREATMENT SHALL BE TREATED WITH 4" OF TOPSOIL AND SEED.
 - EXISTING OVERLAND FLOW PATHS FROM THE NEIGHBORING PROPERTY TO BE MAINTAINED.

- PHASING OF MAJOR ACTIVITIES:
- INSTALLING SILT FENCE
 - CLEARING AND GRUBBING THE SITE
 - EXCAVATION AND GRADING THE SITE
 - PLANTING TREES, LANDSCAPING
 - INSTALLATION OF STORMWATER MANAGEMENT SYSTEM. THE SYSTEM MUST BE PROTECTED FROM OVER COMPACTION AND MUST NOT BE CONNECTED UNTIL CONSTRUCTION INCLUDING CURBS, TURNAROUND, AND TREE PLANTING IS COMPLETE AND THE CONTRIBUTING AREA IS STABILIZED.
 - REMOVING TEMPORARY EROSION CONTROL METHODS WHEN CONTRIBUTING DRAINAGE AREAS ARE STABLE.

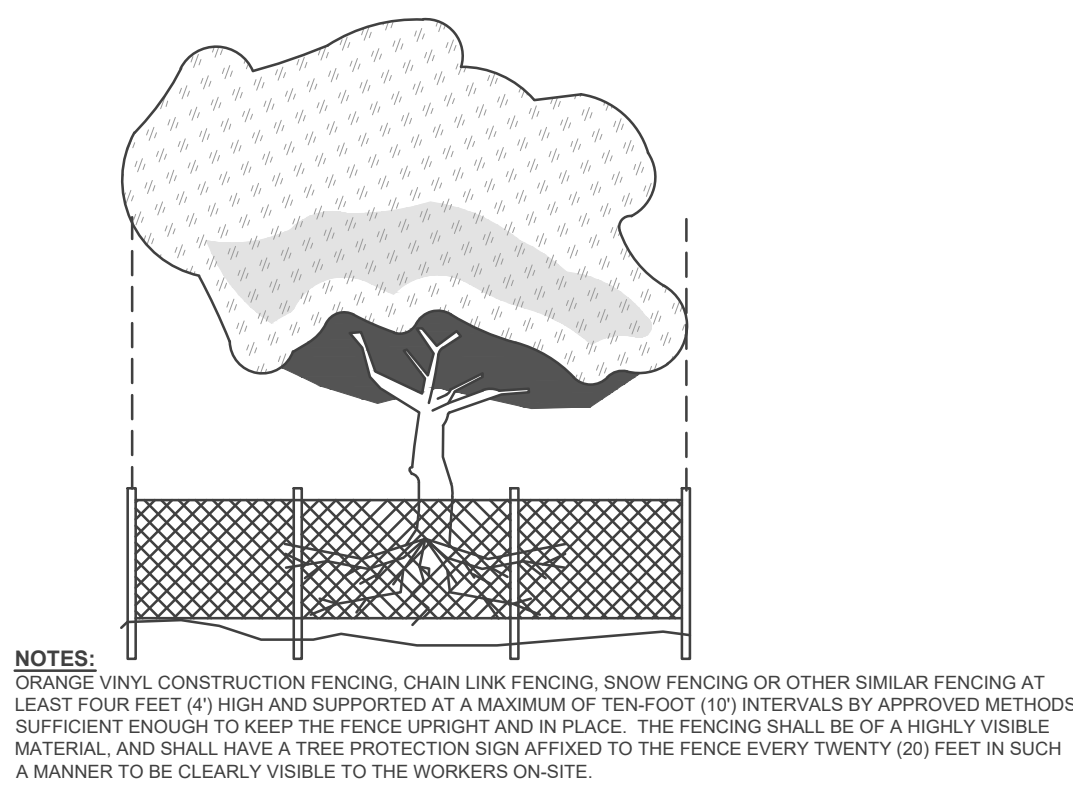
No.	Revision/Issue	Date
5.	REVISED AS PER ENG. COMMENTS	07.01.20
4.	REVISED AS PER ENG. COMMENTS	06.18.20
3.	REVISED AS PER ENG. COMMENTS	03.05.20
2.	REVISED AS PER ENG. COMMENTS	02.05.20
1.	REVISED AS PER ENG. COMMENTS	01.14.20



Project Name and Address
PROP. DRIVEWAY CONSTRUCTION
23 MANOR PLACE
VILLAGE OF DOBBS FERRY
WESTCHESTER COUNTY, NY 10522

OWNER: JOHN PISA
591 WARBURTON AVE.#295
HASTINGS ON HUDSON, NY 10706

Project	191110	Sheet	1 of 2
Date	11.12.19		
Scale	1"=20'		

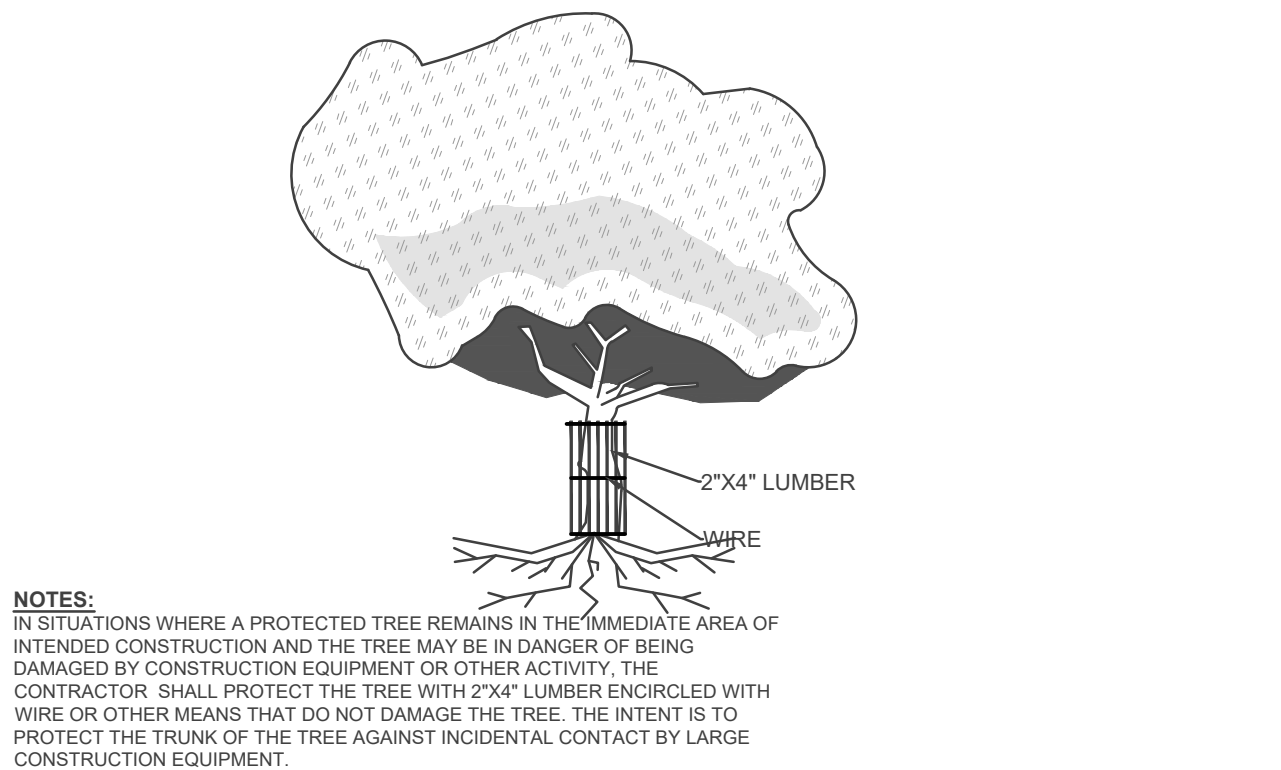


NOTES:
ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCING, SNOW FENCING OR OTHER SIMILAR FENCING AT LEAST FOUR FEET (4') HIGH AND SUPPORTED AT A MAXIMUM OF TEN-FOOT (10') INTERVALS BY APPROVED METHODS SUFFICIENT ENOUGH TO KEEP THE FENCE UPRIGHT AND IN PLACE. THE FENCING SHALL BE OF A HIGHLY VISIBLE MATERIAL, AND SHALL HAVE A TREE PROTECTION SIGN AFFIXED TO THE FENCE EVERY TWENTY (20) FEET IN SUCH A MANNER TO BE CLEARLY VISIBLE TO THE WORKERS ON-SITE.

PRIOR TO CONSTRUCTION:
THE CONTRACTOR OR SUBCONTRACTOR SHALL CONSTRUCT AND MAINTAIN, FOR EACH PROTECTED TREE ON A CONSTRUCTION SITE A PROTECTIVE FENCING WHICH ENCIRCLES THE OUTER LIMITS OF THE CRITICAL ROOT ZONE OF THE TREES TO PROTECT THEM FROM CONSTRUCTION ACTIVITY. ALL PROTECTIVE FENCING SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF ANY SITE WORK AND REMAIN IN PLACE UNTIL ALL EXTERIOR WORK HAS BEEN COMPLETED.

TYP. TREE PROTECTION FENCING

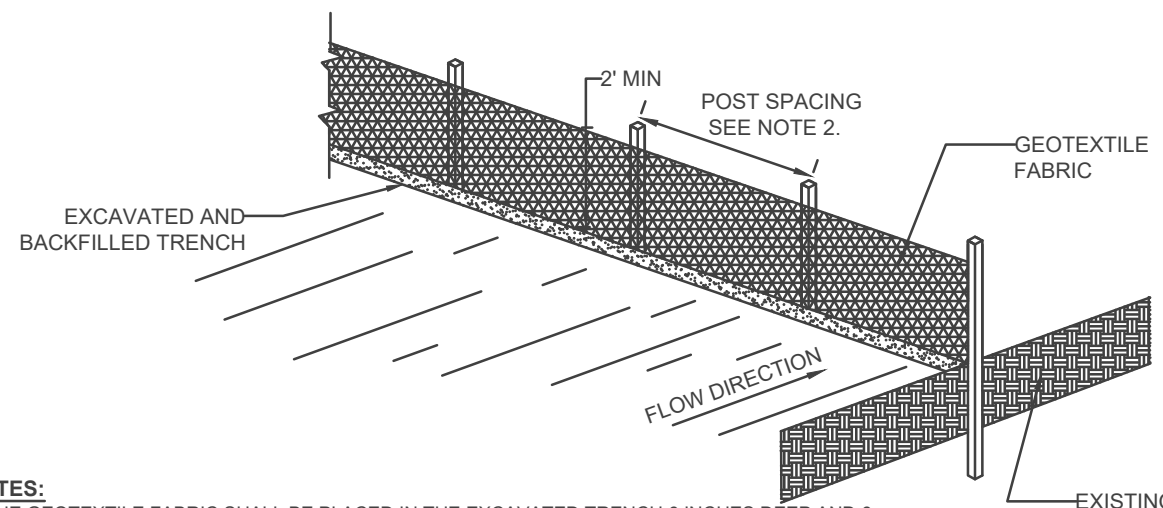
N.T.S.



NOTES:
IN SITUATIONS WHERE A PROTECTED TREE REMAINS IN THE IMMEDIATE AREA OF INTENDED CONSTRUCTION AND THE TREE MAY BE IN DANGER OF BEING DAMAGED BY CONSTRUCTION EQUIPMENT OR OTHER ACTIVITY, THE CONTRACTOR SHALL PROTECT THE TREE WITH 2"x4" LUMBER ENGIRLED WITH WIRE OR OTHER MEANS THAT DO NOT DAMAGE THE TREE. THE INTENT IS TO PROTECT THE TRUNK OF THE TREE AGAINST INCIDENTAL CONTACT BY LARGE CONSTRUCTION EQUIPMENT.

TYP. TREE BARK PROTECTION

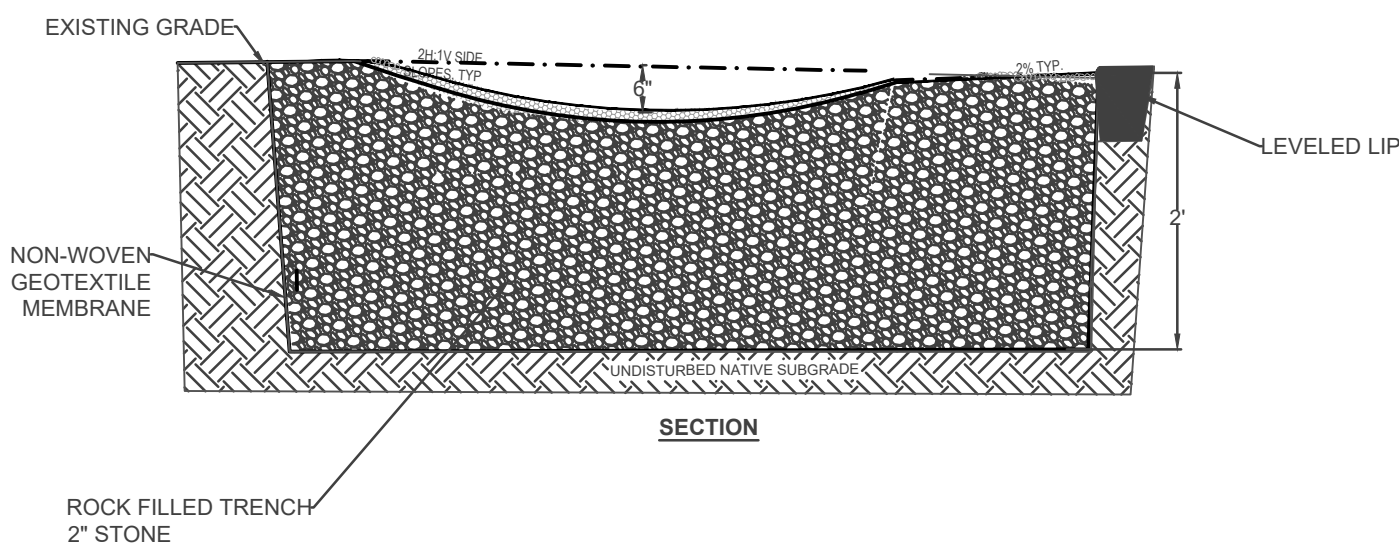
N.T.S.



NOTES:
1. THE GEOTEXTILE FABRIC SHALL BE PLACED IN THE EXCAVATED TRENCH 6 INCHES DEEP AND 6 INCHES WIDE, BACKFILLED, AND COMPACTED TO THE EXISTING GROUND SURFACE.
2. WOODEN SUPPORT POSTS SHALL BE A MINIMUM DIMENSION OF 1-1/8" x 1-1/8" AIR OR KILN DRIED OF HICKORY OR OAK AND 4 FEET LONG. STEEL POSTS SHALL BE STUDDED "TEE" OR "U" TYPE WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAL FOOT AND 5 FEET LONG, AND 3 FEET FOR NON-WOVEN FABRIC.
3. THE GEOTEXTILE FABRIC SHALL BE ATTACHED DIRECTLY TO THE UP SLOPE SIDE OF WOODEN POSTS WITH 0.5 INCH STAPLES IN AT LEAST 3 PLACES, OR WITH WOODEN LATH AND NAILS. ATTACHMENT TO STEEL POSTS WILL BE BY WIRE FASTENERS OR 50 POUND PLASTIC TIE STRAPS ON THE UP SIDE.
4. THE GEOTEXTILE FABRIC SHALL CONSIST OF EITHER WOVEN OR NON-WOVEN POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE, OR POLYVINYL CHLORIDE. NON-WOVEN FABRIC MAY BE NEEDLE PUNCHED, HEAT BONDED, RESIN BONDED, OR COMBINATIONS THEREOF.

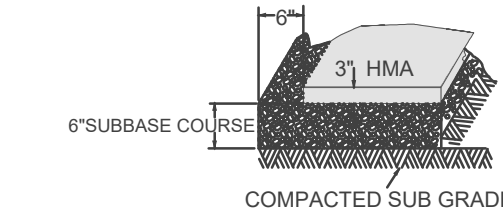
SILT FENCE

N.T.S.



LEVEL SPREADER

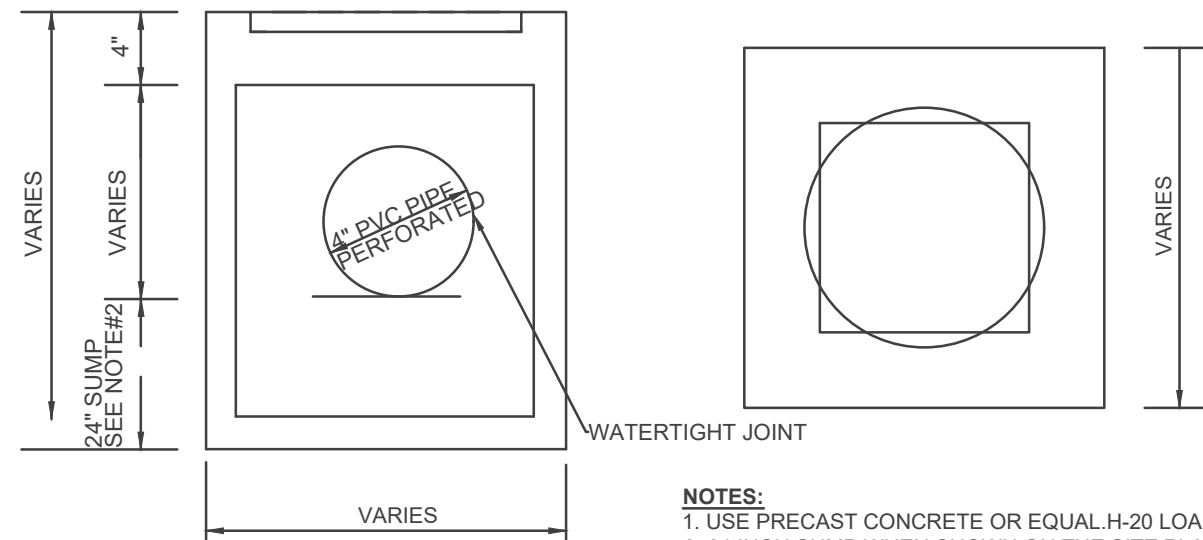
N.T.S.



NOTES:
1. HMA - HOT MIX ASPHALT.
2. FOR RESURFACING EXISTING DRIVEWAY: TRUING/LEVELING COURSE AS NECESSARY - HMA 1 1/2 INCH.
3. OR RESIDENTIAL DRIVEWAYS, THE MINIMUM PAVING LIMIT SHALL BE 10' FROM THE OUTSIDE EDGE OF TRAVEL LANE OR 2' BEHIND ANY SIDEWALK.

ASPHALT DRIVEWAY

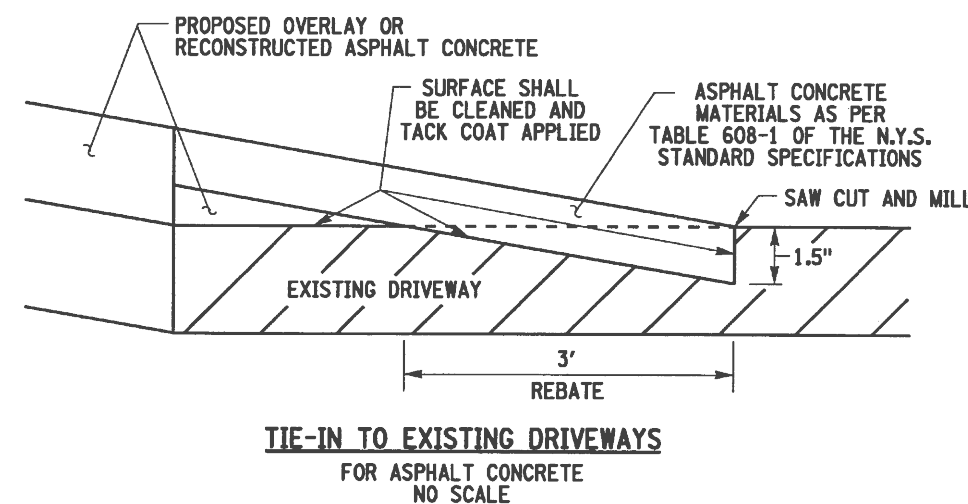
N.T.S.



NOTES:
1. USE PRECAST CONCRETE OR EQUAL H-20 LOADING.
2. 24 INCH SUMP WHEN SHOWN ON THE SITE PLAN

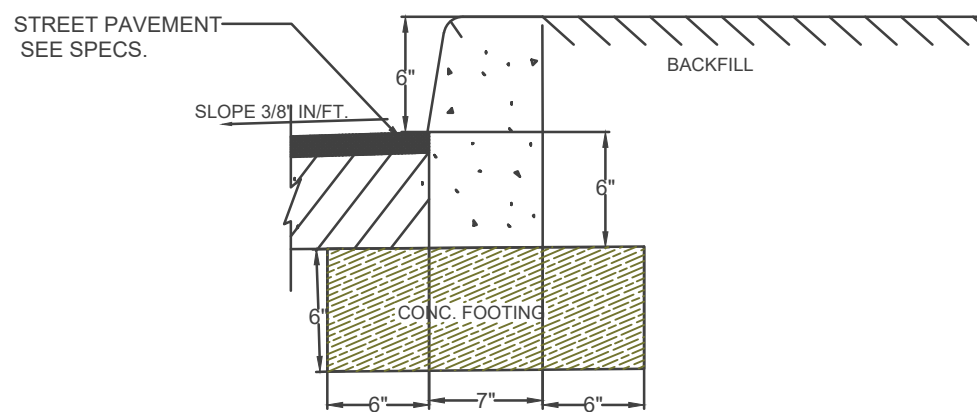
CATCH BASIN

N.T.S.



TIE-IN TO EXISTING DRIVEWAY FOR ASPHALT CONCRETE

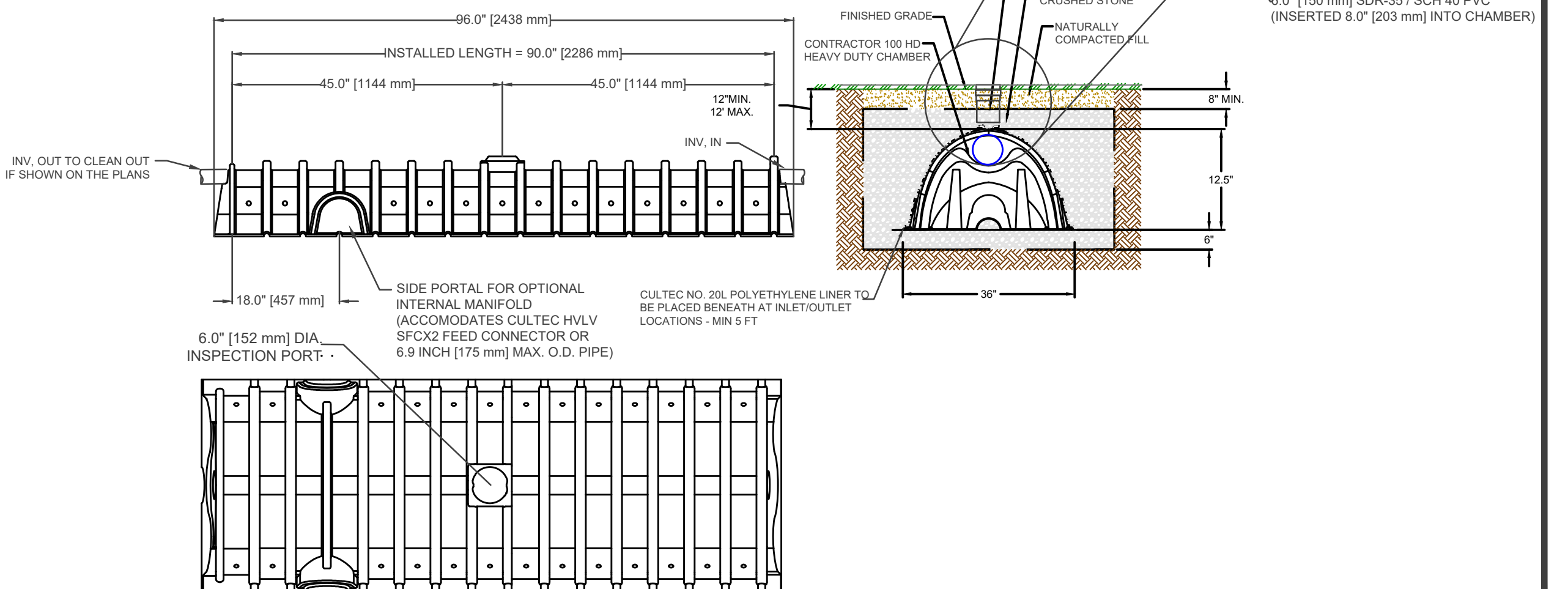
N.T.S.



1. SPECIFICATIONS: THE MINIMUM STRENGTH OF THE CONCRETE AFTER 28 DAYS SHALL BE 4,000 POUNDS PER SQUARE INCH.
2. BASE COMPACTION UNDER CURB TO BE 98% (ASTM D698).
3. CONTRACTION JOINTS TO BE SAW CUT NO LATER THAN 24 HOURS AFTER THE POUR.

CURB

N.T.S.



GENERAL NOTES:
• CONTRACTOR 100 HD BY CULTEC, INC. OF BROOKFIELD, CT.
• REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES.
• MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

CULTEC CONTRACTOR 100HD

N.T.S.

- General Notes**
- OPERATION AND MAINTENANCE OF STORMWATER MANAGEMENT PRACTICE:**
- Catch Basins & Drainage Inlets:**
 - Catch basins and drainage inlets shall be completely cleaned of accumulated debris and sediments at the completion of construction.
 - For the first year, catch basins and drainage inlets shall be inspected on a quarterly basis.
 - Any accumulated debris within the catch basins/inlets shall be removed and any repairs as required.
 - From the second year onward, visual inspections shall occur twice per year, once in the spring and once in the fall, after fall cleanup of leaves has occurred.
 - Accumulated debris within the catch basins/inlets shall be removed and repairs made as required.
 - Accumulated sediments shall be removed at which time they are within 12 inches of the invert of the outlet pipe.
 - Any additional maintenance required per the manufacturer's specifications shall also be completed.
 - Storm Drainage Piping and Clean-outs:**
 - All storm drainage piping shall be completely flushed of debris and accumulated sediment at the completion of construction.
 - Clean outs shall be inspected and repaired on an annual basis.
 - If system performance indicates degradation of piping, comprehensive video inspection of storm drainage piping shall be performed.
 - Any additional maintenance required per the manufacturer's specifications shall also be completed.
 - Infiltration Systems:**
 - All infiltrators shall be completely cleaned of accumulated debris and sediments upon the completion of construction.
 - For the first year, infiltrators shall be inspected on a quarterly basis.
 - Any accumulated debris within the infiltrators shall be removed and any repairs made to the units as required.
 - From the second year onward, visual inspection shall occur twice per year, once in the spring and once in the fall, after fall cleanup of leaves has occurred.
 - Accumulated debris within the units shall be removed and repairs made as required.
 - Any additional maintenance required per the manufacturer's specifications shall also be completed.
 - Gravel Swale:**
 - Clean upon the completion of construction.
 - The gravel swale shall be graded and additional gravel added as needed during spring and fall cleanup.
 - Disposal of Debris and Sediment:**
 - All debris and sediment removed from the stormwater structures shall be disposed of legally. There shall be no dumping of silt or debris into or in proximity to any inland or tidal wetlands.
 - Maintenance Records:**
 - The Owner(s) must maintain all records (logs, invoices, reports, data, etc.) and have them readily available for inspection at all times.

5.	REVISED AS PER ENG. COMMENTS	07.01.20
4.	REVISED AS PER ENG. COMMENTS	06.18.20
3.	REVISED AS PER ENG. COMMENTS	03.05.20
2.	REVISED AS PER ENG. COMMENTS	01.14.20
1.	REVISED AS PER ENG. COMMENTS	12.05.19
No.	Revision/Issue	Date

Firm Name and Address

TJ ENGINEERING LLC

117 MAMANASCO RD.
RIDGEFIELD, CT 06877
INFO@TJENGINEERING.US
TEL # 203-249-5755

STATE OF NEW YORK
JESUITE JUCAITE
090425
LICENSED PROFESSIONAL ENGINEER

Project Name and Address

PROP. DRIVEWAY CONSTRUCTION
23 MANOR PLACE
VILLAGE OF DOBBS FERRY
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