



David Rotbard

Partner

56 Main St.
Hastings on Hudson 10706

7/13/20

Dear Board of Trustees, Village of Dobbs Ferry,

Thank you for the time in reviewing these proposed plans. This building is a "first impression" building based on where it sits, close to the highway, and the entrance to Dobbs. It has been a horrible eyesore for the town, and others passing by as well. I have made considerable efforts to improve the appearance, and will continue to do so.

The issue we are meeting about today is the ground floor use. While I do not have an issue with commercial or office use, I do not think it will be the best for the traffic flow, and I think it will negatively affect the area; traffic, parking, people flow...I look forward to reviewing this with you.

About me: I am a local entrepreneur, I work in Real Estate, and Technology, I believe in safety, and efficiency and sustainable/accessible housing.

I would also love to have a nice mural on the building that draws people in to the beauty of our town! I figured I would add that, and see if it got any traction.

Regards,

David

David Rotbard

Plan Submittal Form

Address: 398 Ashford Ave. Dobbs Ferry NY, 10522

Application #: _____

Project: Change of use - Ground Floor (2-3 Units)

Name: David Rotbard

Email: drotbard@gmail.com

Phone: 212-363-0851

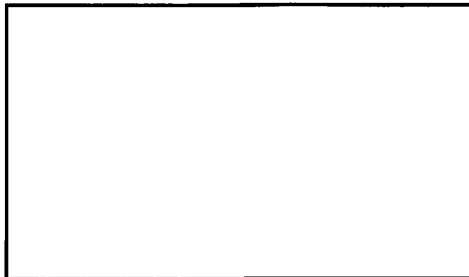
Plans attached are being submitted for:

- ☐ Building permit application 1 PDF copy & 2 paper copies ¼ scale
- ☐ Amendment to an application or permit, 2 sealed copies
- ☐ Final As Built to close permit, 1 sealed copy
- ☐ Final survey to close permit, 1 sealed copy

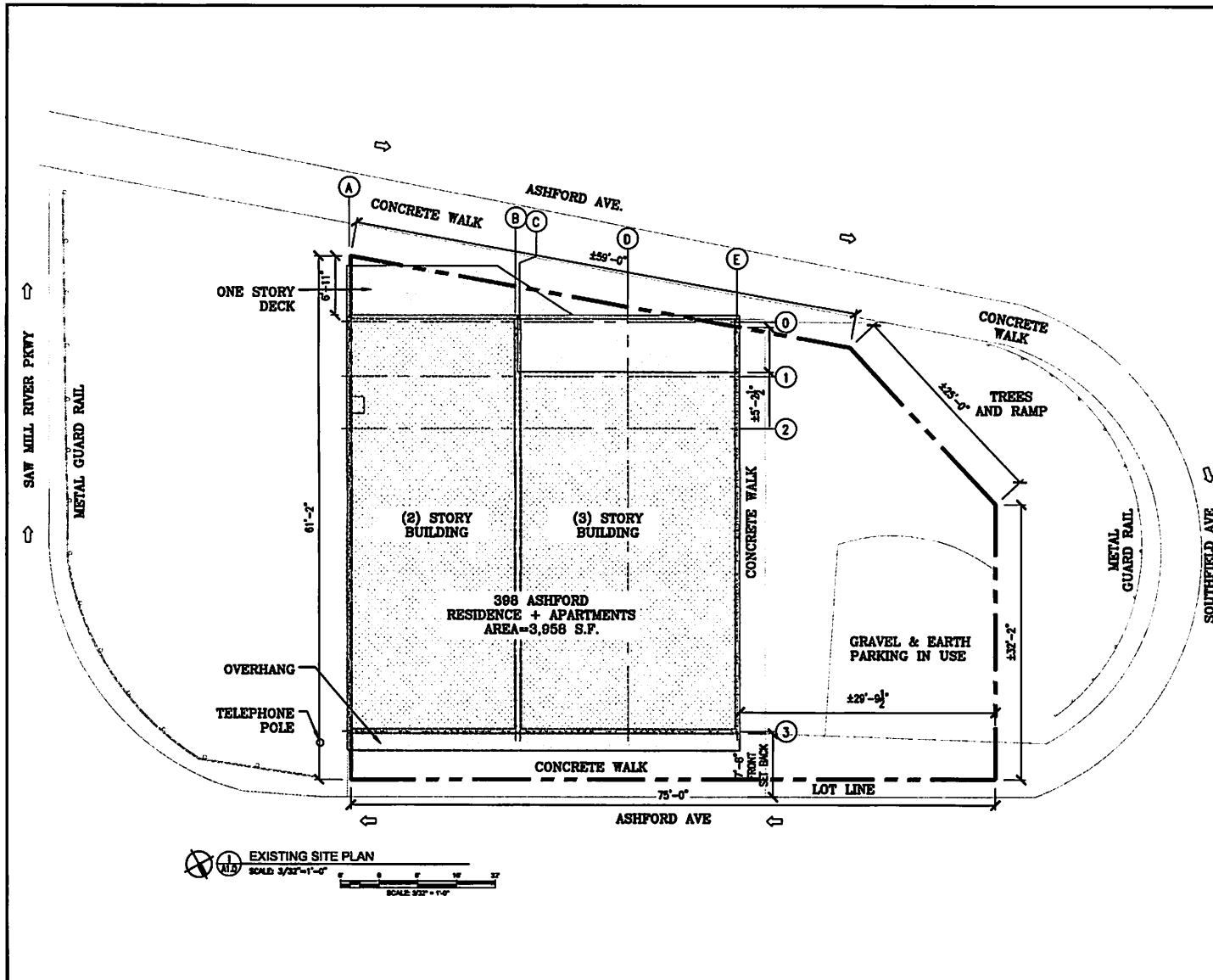
Plans attached are submitted at the direction of the Building Inspector for review by the following board:

- ☒ BOT- 1 PDF copy + 5 paper copies ¼ scale
- ☐ PB - 1 PDF copy + 7 paper copies ¼ scale
- ☐ ZBA - 1 PDF copy + 4 paper copies ¼ scale
- ☐ AHRB – 1 PDF copy + 2 paper copies ¼ scale

Received Stamp:







chadha + associates
architecture + interiors + design



200 WEST MONROE STREET SUITE 2070 CHICAGO ILLINOIS 60606
T 312 332 2062 | www.chadhaassociates.com | F 312 332 0634

CLIENT

ASHFORD DOBBS LLC

56 Main Street
Hastings on Hudson, NY 10705

PROJECT

**398 ASHFORD
RESIDENTIAL BUILDING**

DOBBS FERRY, NY 10522

ISSUED FOR

NO.	DESCRIPTION	DATE
01	ISSUED FOR PERMIT	03/19/20



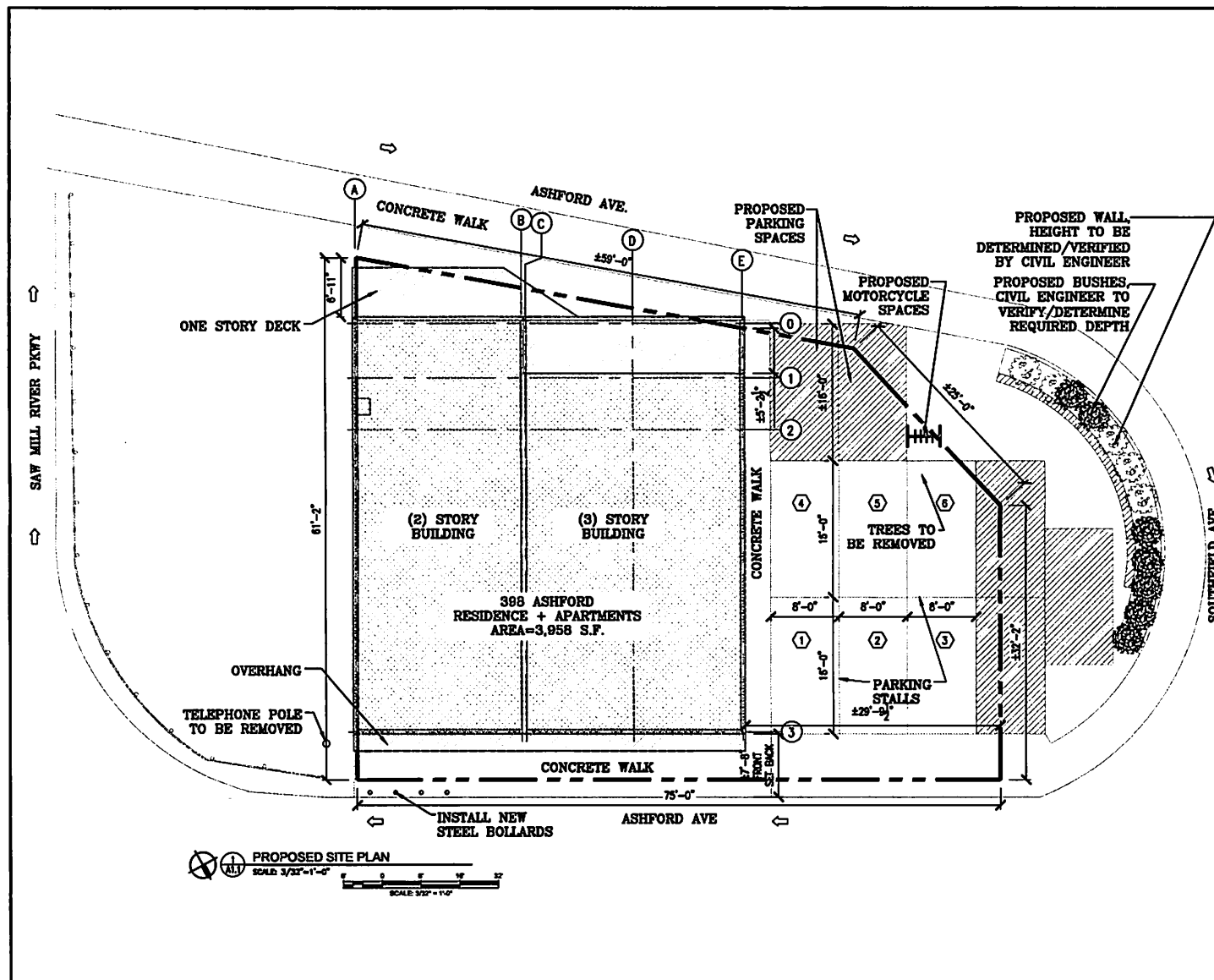
SHEET TITLE

**EXISTING
SITE PLAN**

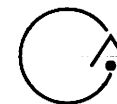
SHEET NO.

A1.0

C+A JOB NO. 5421-01



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200 WEST MONROE STREET SUITE 2070 CHICAGO ILLINOIS 60606
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CLIENT

ASHFORD DOBBS LLC

56 Main Street
Hastings on Hudson, NY 10705

PROJECT

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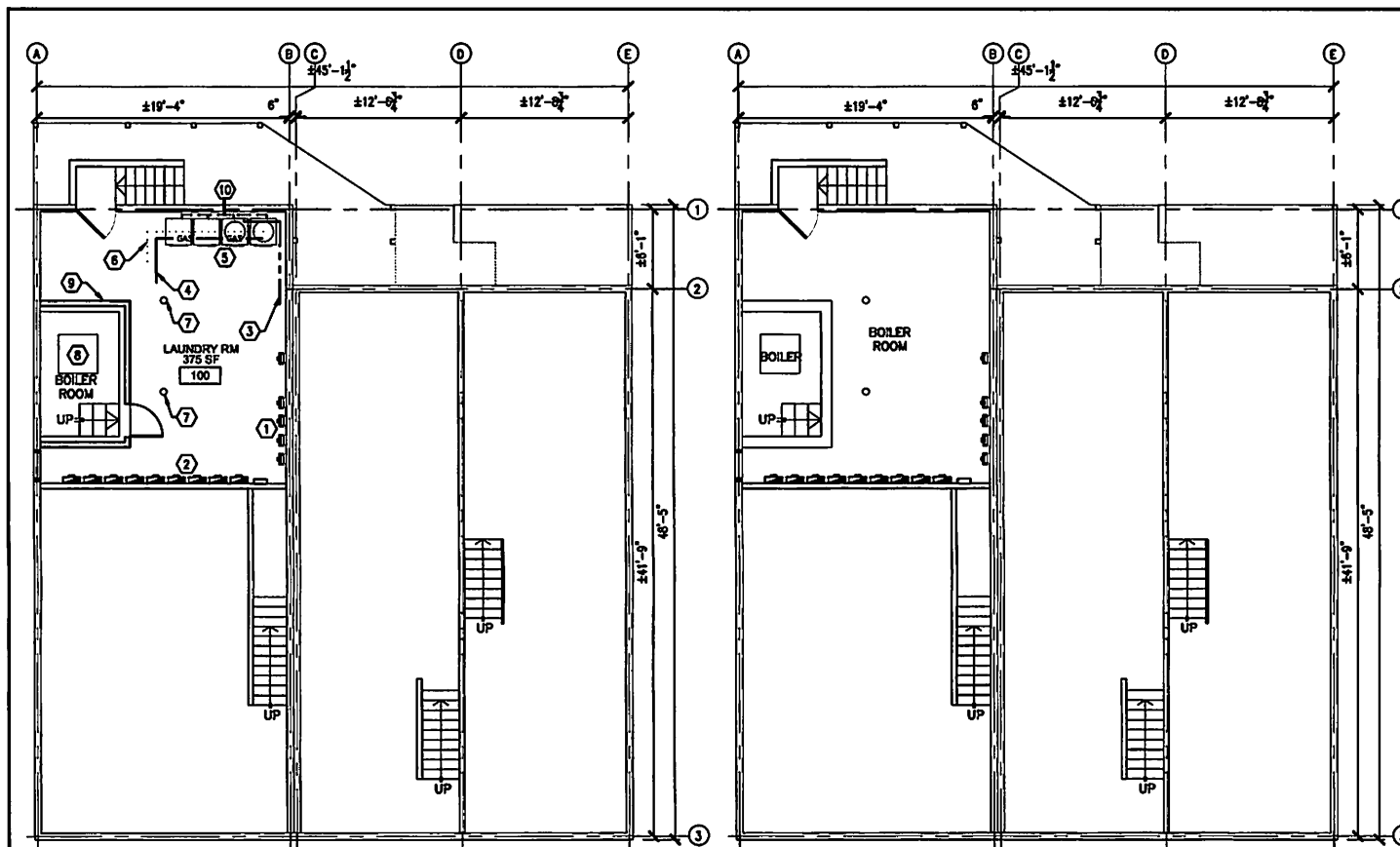
SHEET TITLE

**PROPOSED
SITE PLAN**

SHEET NO.

A1.1

C+A JOB NO. 5421-01



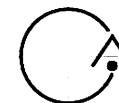
BASEMENT PROPOSED FLOOR PLAN
SCALE: 1/8"=1'-0"
SCALE: 1/8"=1'-0"

KEY NOTES

1. EXISTING GAS METER.
2. EXISTING ELECTRICAL PANEL AND METERS.
3. CONNECT DRAIN PIPES FOR THE WASHERS TO THE EXISTING DRAINAGE SYSTEM.
4. CONNECT GAS LINES FOR THE WASHERS AND DRYERS TO THE EXISTING GAS LINE.
5. (X) WASHER UNITS, (O) 2" x 2" DRYER UNITS.
6. CONNECT HOT & COLD WATER LINES FOR THE WASHERS TO THE EXISTING WATER SUPPLY SYSTEM.
7. EXISTING STRUCTURAL COL. TO REMAIN, NO CHANGE.
8. EXISTING BOILER EQUIPMENT.
9. NEW 20# FIRE RATED WALL.
10. VENTS FOR THE WASHERS AND DRYERS.

BASEMENT EXISTING FLOOR PLAN
SCALE: 1/8"=1'-0"
SCALE: 1/8"=1'-0"

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CLIENT

ASHFORD DOBBS LLC

56 Main Street
Hastings on Hudson, NY 10705

PROJECT

**398 ASHFORD
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DOBBS FERRY, NY 10522

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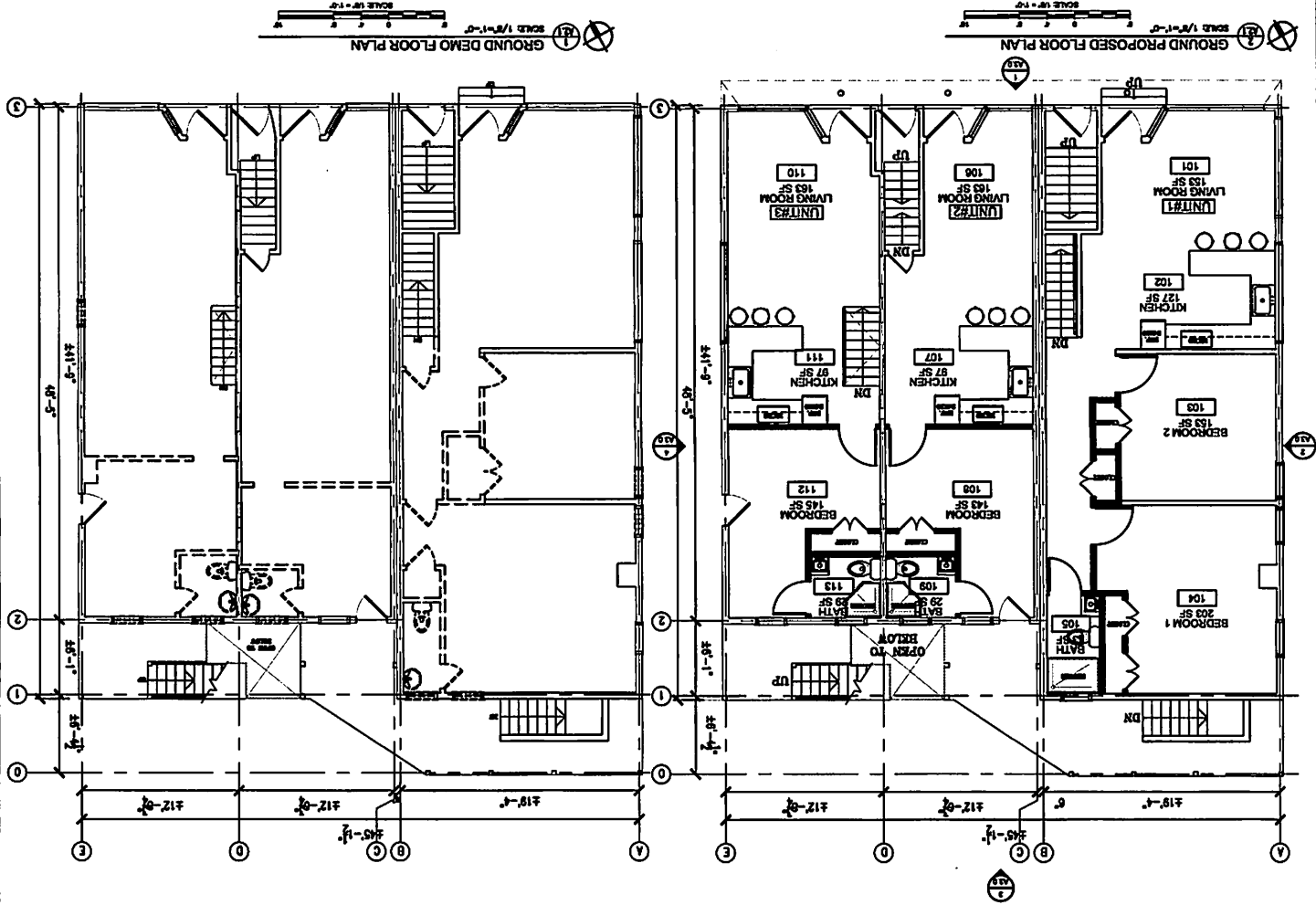
SHEET TITLE

**BASEMENT FLOOR
EXISTING &
PROPOSED PLANS**

SHEET NO.

A2.0

C+A JOB NO. 5421-01





20 WEST MORRIS STREET SUITE 207 CHICAGO ILLINOIS 60604
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CLIENT

ASHFORD DOBBS LLC
56 Main Street
Hastings on Hudson, NY 10705

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**398 ASHFORD
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DOBBS FERRY, NY 10522

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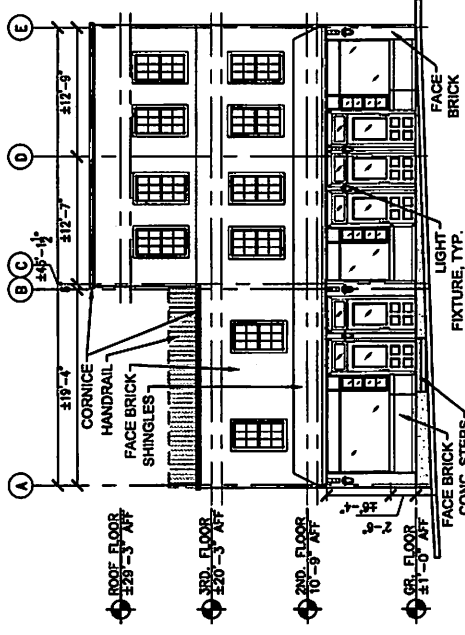
SHEET TITLE

**EXTERIOR
ELEVATION**

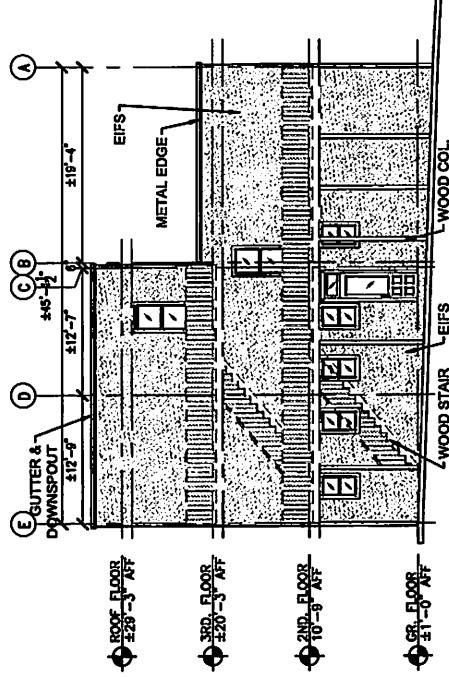
SHEET NO.

A3.0

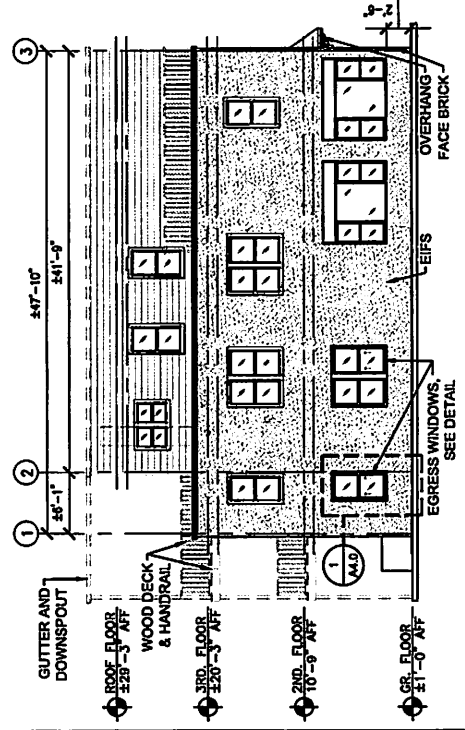
C-A JOB NO. 6421-01



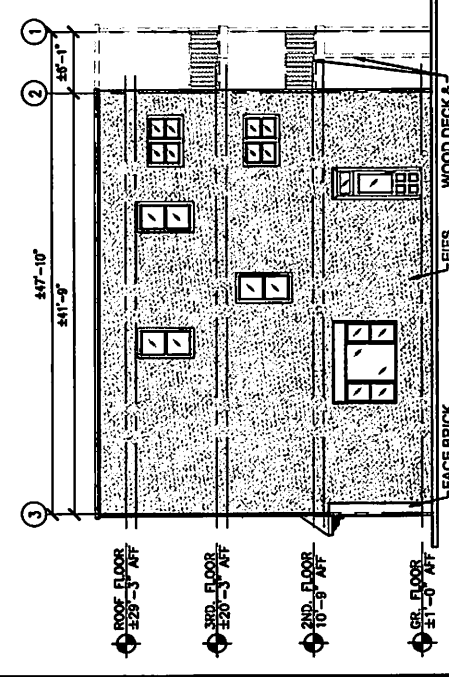
10 SOUTH ELEVATION
SCALE 1/8" = 1'-0"



11 NORTH ELEVATION
SCALE 1/8" = 1'-0"



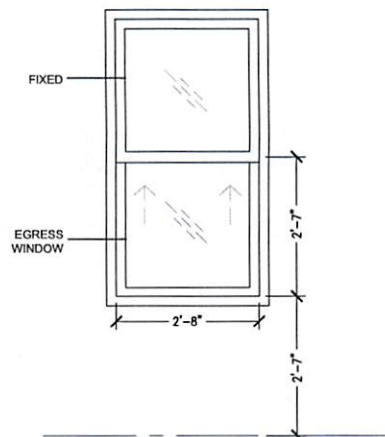
12 WEST ELEVATION
SCALE 1/8" = 1'-0"



13 EAST ELEVATION
SCALE 1/8" = 1'-0"

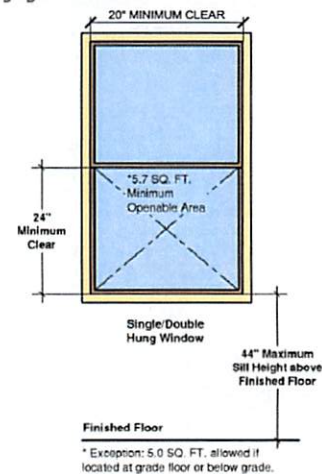
PER SECTION R310 OF THE 2016 INTERNATIONAL RESIDENTIAL CODE

1. MINIMUM 5.7 SQUARE FEET OF NET CLEAR OPENING AREA.
EXCEPTION: 5.0 SQUARE FEET ALLOWED IF LOCATED AT GRADE FLOOR OR BELOW GRADE.
2. MINIMUM 24 INCHES OF NET CLEAR HEIGHT OPENING.
3. MINIMUM 20 INCHES OF NET CLEAR WIDTH OPENING.
4. MAXIMUM 44 INCHES TO WINDOW SILL MEASURED FROM FINISHED FLOOR.



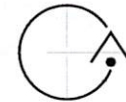
1 EGRESS WINDOW DETAIL
SCALE: 1/2"=1'-0"

Single/Double Hung Egress Window



2 EGRESS WINDOW CODE
SCALE: 1/8"=1'-0"

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CLIENT

ASHFORD DOBBS LLC

56 Main Street
Hastings on Hudson, NY 10705

PROJECT

398 ASHFORD
RESIDENTIAL BUILDING

DOBBS FERRY, NY 10522

ISSUED FOR

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NO.	DESCRIPTION	DATE



SHEET TITLE

EGRESS WINDOW
DETAIL

SHEET NO.

A4.0

C+A JOB NO. 5421-01



300 WEST MADISON STREET SUITE 2050 CHICAGO ILLINOIS 60606
773.232.2500 | www.chadhaassociates.com | P 773.232.2664

CLIENT

ASHFORD DOBBS LLC
58 Main Street
Hempstead Harbor, NY 11020

KEY PLAN

PROJECT

398 ASHFORD
RESIDENTIAL
BUILDING
DOBBS FERRY, NY 10221

ISSUED FOR

1	ISSUE FOR REVIEW NO.	DESCRIPTION	DATE

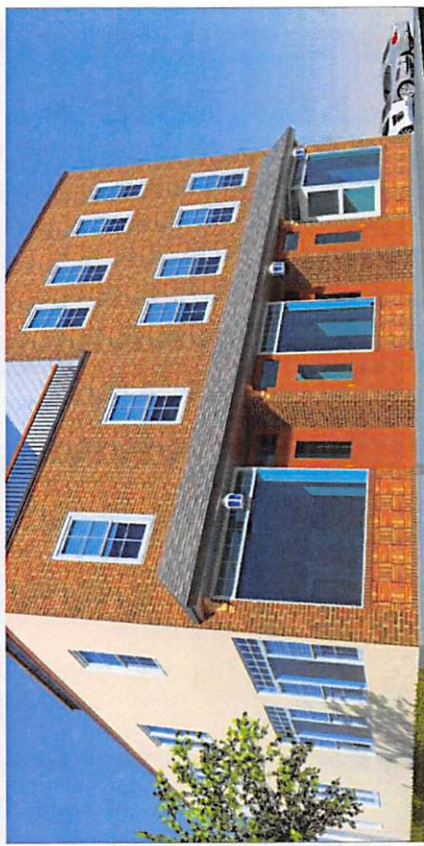
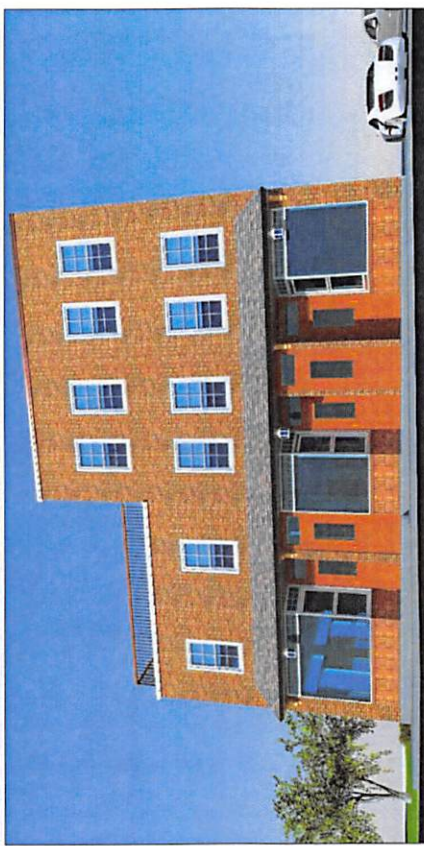
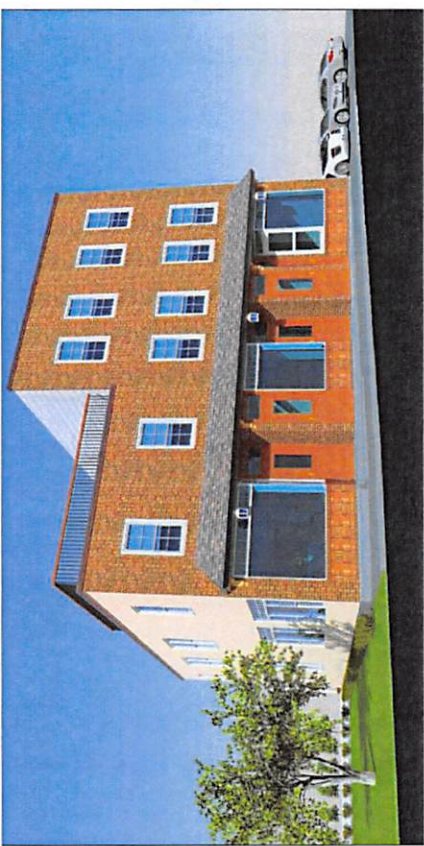
SHEET TITLE

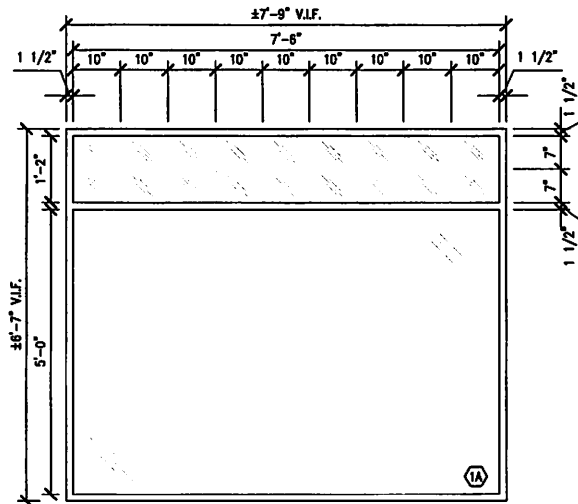
PERSPECTIVE
RENDERING

SHEET NO.

A2.2

C/A JOB NO. 5421-01

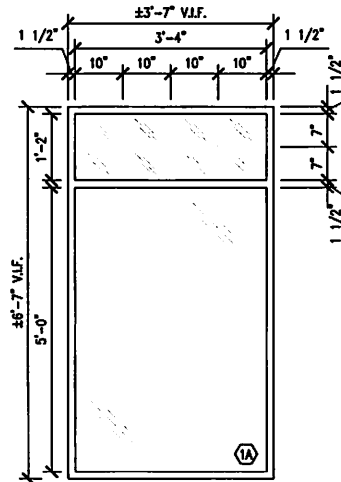




QTY=1

1 WINDOW TYPE 1A - UNIT#1 (LIVING RM)

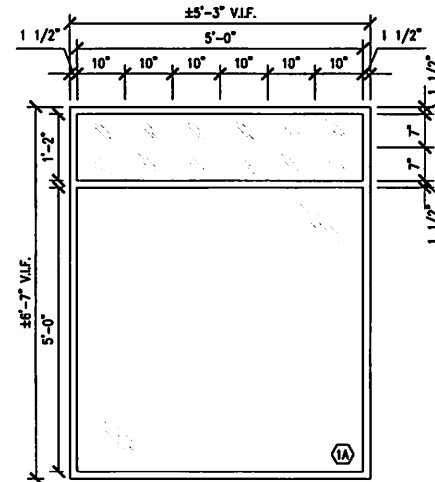
SCALE: 1/2"=1'-0"



QTY=1

2 WINDOW TYPE 1A - UNIT#2 (LIVING RM)

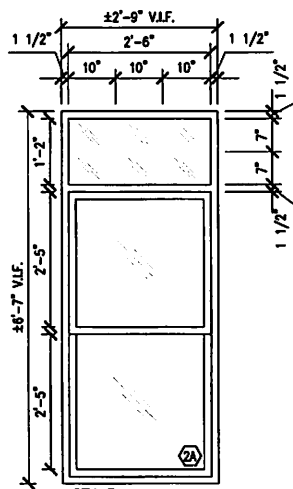
SCALE: 1/2"=1'-0"



QTY=1

3 WINDOW TYPE 1A - UNIT#3 (LIVING RM)

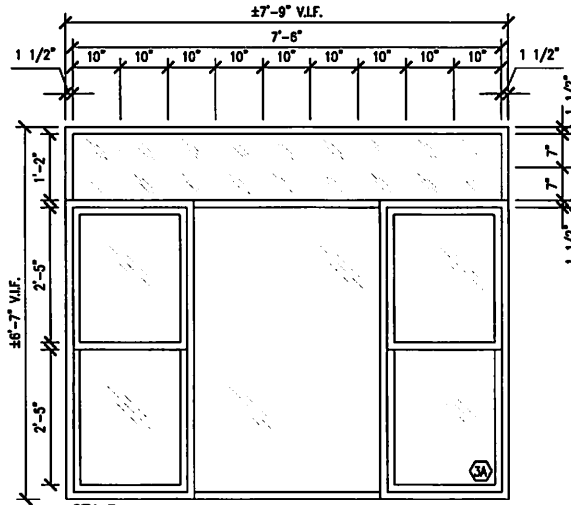
SCALE: 1/2"=1'-0"



QTY=3

4 WINDOW TYPE 2A - UNIT#1, 2 & 3 (LIVING RM)

SCALE: 1/2"=1'-0"



QTY=3

5 WINDOW TYPE 3A - UNIT#1 & 3 (LIVING RM)

SCALE: 1/2"=1'-0"

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Hastings on Hudson, NY 10705

PROJECT

398 ASHFORD
RESIDENTIAL
BUILDING

DOBBS FERRY, NY 10522

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01	ISSUED FOR REVIEW	08/26/19
NO.	DESCRIPTION	DATE

SHEET TITLE

WINDOWS
ELEVATIONS

SHEET NO.

A2.1

C+A JOB NO.

