

A.F.F.	ABOVE FINISHED FLOOR	MTD.	MOUNTED
A.H.J.	AUTHORITY HAVING JURISDICTION	MTL.	METAL
BOT.	BOTTOM	O.C.	ON CENTER
CLG.	CEILING	PT.	PRESSURE TREATED
C.M.U.	CONCRETE MASONRY UNIT	PTD.	PAINTED
EL.	ELEVATION	TYP.	TYPICAL
FIXT.	FIXTURE	U.N.O.	UNLESS NOTED OTHERWISE
CONC.	CONCRETE	V.C.T.	VINYL COMPOSITE TILE
GC	GENERAL CONTRACTOR	V.I.F.	VERIFY IN FIELD
GWB	GYPSUM WALL BOARD	WD.	WOOD
GL.	GLASS		
HT.	HEIGHT		

SYMBOL	DESCRIPTION
	DETAIL REFERENCE, BOTTOM NUMBER INDICATES DRAWING SHEET
	SECTION OR ELEVATION REFERENCE
	REVISION NUMBER WITHIN TRIANGLE RELATES TO INFORMATION ALTERED WITHIN CLOUD/BUBBLE
	DIMENSION LINE, NUMERALS INDICATE DISTANCE TO FACE OF FINISH CONSTRUCTION
	EXISTING CONSTRUCTION TO BE REMOVED OR AS OTHERWISE NOTED
	WINDOW SYMBOL
	EXISTING CONSTRUCTION TO REMAIN
	SWINGING DOOR WITH SIZE-TYPE IDENTIFICATION (2068-A DENOTES 2'-0" X 6'-8" TYPE A DOOR)
	NEW CONSTRUCTION WALL REFERENCE, LETTER WITHIN DIAMOND CORRESPONDS TO CONSTRUCTION DETAIL OR SPECIFICATIONS
	ELECTRICAL DUPLEX RECEPTACLE OUTLET WALL MOUNTED AT 18" ABOVE FINISHED FLOOR OR 12" ABOVE COUNTER SURFACE WHERE REQ'D (GF~ DENOTES GROUND FAULT INTERRUPTER)
	TELEPHONE OUTLET WALL MOUNTED AT 18" ABOVE FINISHED FLOOR
	FLUSH FLOOR MOUNTED ELECTRICAL DUPLEX RECEPTACLE
	ELEC. JUNCTION BOX, (USE SMALLEST FOR SCONCES)
	RECESSED 6" DIAMETER LED LIGHTING FIXTURE "PROGRESS" OR EQ. WITH WHITE TRIM, 1500 MIN LUMEN LAMP, 3000 K CR, LOWERCASE LETTER DESCRIBES CIRCUIT AND SWITCH CONTROL WHEN SHOWN
	SCONCE FOR BATHROOMS BY "REJUVENATION" SILETZ #578, WITH SHADE 143 L, 2 LED LAMPS, WET LOCATION
	EXTERIOR INCANDESCENT SCONCE LIGHTING FIXTURE "PROGRESS" P5671-50 WITH W/ LED CANDELABRA LAMPS MILLSTONE (DULL SILVER FINISH)
	FLOOD LIGHT WITH 150 W PAR LAMPS
	RECESSED 6" DIAMETER WALL WASHER LED LT. FIXTURE, "PROGRESS" OR EQ., 1500 MIN. LUMEN LAMP, 3000 K WHITE TRIM
	SURFACE INCANDESCENT LIGHTING FIXTURE "REJUVENATION", MORELAND, #CC865, SHADE #018CE BRUSHED NICKEL FINISH, LED LAMPS
	FLUORESCENT LIGHT FIXTURE WARM WHITE T8 LAMPS
	PORCELAIN SOCKET, LED LAMPS
	FANLIGHT, DUCT TO EXTERIOR, WET LOCATION "PANASONIC" MODEL ###
	SINGLE POLE LIGHT SWITCH, WALL MOUNTED AT 42" ABOVE FINISHED FLOOR (SUBSCRIPT "3" INDICATES 3-WAY SWITCH) COORDINATE LOCATION WITH TRIM.
	SMOKE DETECTOR, DUAL SENSING PHOTO-VOLTAIC AND IONIZATION DETECTING, HARDWIRED & INTERCONNECTED
	HEAT DETECTOR HARDWIRED & INTERCONNECTED
	CARBON MONOXIDE DETECTOR, HARDWIRED & INTERCONNECTED
	FIRE EXTINGUISHER, A-B-C RATED 5 LB
	HOSE BIB (FROST FREE)
	CEILING DIFFUSER (SUPPLY), WHITE
	CEILING REGISTER (RETURN), WHITE

A.F.F.	ABOVE FINISHED FLOOR	MTD.	MOUNTED	50. PROCEEDURE & GENERAL REQUIREMENTS
A.H.J.	AUTHORITY HAVING JURISDICTION	MTL.	METAL	1. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND FIELD CONDITIONS PRIOR TO CONSTRUCTION. DIMENSIONS AND RELATED INSTALLATION CONDITIONS FOR ALL FABRICATED AND BUILT COMPONENTS SHALL BE FIELD VERIFIED
BOT.	BOTTOM	O.C.	ON CENTER	2. GENERAL CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH SITE WORKING CONDITIONS, HOURS OF LEGAL OPERATION AND RELATED PERFORMANCE CRITERIA. GENERAL CONTRACTOR SHALL CONTACT STEVEN SECON ARCHITECT REGARDING ANY DEVIATIONS OR FIELD CONDITIONS CONFLICTING WITH THE DRAWINGS.
CLG.	CEILING	PT.	PRESSURE TREATED	3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CODES, ORDINANCES, AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, INSPECTIONS, AND CERTIFICATE(S) OF OCCUPANCY, INSURANCES, AND BONDS AS REQUIRED.
C.M.U.	CONCRETE MASONRY UNIT	PTD.	PAINTED	4. ALL MATERIALS SPECIFIED OR USED TO EXECUTE THIS PROJECT SHALL BE DELIVERED, STORED AND INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
EL.	ELEVATION	U.N.O.	UNLESS NOTED OTHERWISE	5. ANY DESIRED SUBSTITUTION, OR DEVIATIONS FROM CONTRACT DOCUMENTS WILL REQUIRE WRITTEN APPROVAL FROM STEVEN SECON ARCHITECT PRIOR TO INSTALLATION.
FIXT.	FIXTURE	V.C.T.	VINYL COMPOSITE TILE	6. REMOVE EXISTING CONSTRUCTION AS REQUIRED TO ALLOW INSTALLATION OF NEW WORK SHOWN ON THE DRAWINGS. PATCH AREAS OF DEMOLITION FLUSH AND SMOOTH TO ADJACENT SURFACES, READY FOR APPLICATION OF FINISHES.
CONC.	CONCRETE	V.I.F.	VERIFY IN FIELD	7. SHUTDOWNS AND INTERRUPTIONS TO NORMAL ACTIVITIES SHALL BE REVIEWED WITH OWNER PRIOR TO IMPLEMENTATION. THE GC SHALL CONTACT AND COORDINATE UTILITY SHUT-DOWNS, RECONNECTS AND UPGRADES WITH THE PROPER PROVIDER IN A TIMELY MANNER.
GC	GENERAL CONTRACTOR	WD.	WOOD	8. PROVIDE SHORING, STABILIZATION AND BRACING AS REQUIRED. PROVIDE PROPERTY, SITE AND PERSONAL PROTECTION AS REQUIRED, FOR THE SAFE AND ORDERLY EXECUTION OF THE WORK. PROVIDE P.E. ENGINEERING DRAWINGS AS REQUIRED BY LOCAL MUNICIPALITY.
GWB	GYPSPUM WALL BOARD			9. PROVIDE WEATHER PROTECTION IN A TIMELY MANNER TO PROTECT THE SITE, PREMISES, MATERIALS, INSTALLED WORK AND PERSONNEL.
GL.	GLASS			10. ALL MECHANICAL/ELECTRICAL, AND PLUMBING SYSTEMS AND SERVICES TO BE COMPLETE AND OPERATIONAL. INSTALLATIONS SHALL NOT CONFLICT WITH FINISHES OR CONSTRUCTION SHOWN. MECHANICAL/ELECTRICAL AND PLUMBING WORK SHALL BE PERFORMED BY LICENSED TRADESMAN.
HT.	HEIGHT			11. THE GENERAL CONDITIONS FOR THIS PROJECT ARE "THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION AIA DOCUMENT A201, 1997 EDITION", AVAILABLE FROM ARCHITECT.
LEGEND				12. THE GC SHALL COORDINATE THE WORK OF ALL TRADE, INCLUDING OWNER-PROVIDED SUBCONTRACTORS.
	SYMBOL			13. THE GC SHALL SUBMIT A WRITTEN PROGRESS SCHEDULE AS WELL AS A LISTING OF ALL MAJOR SUBCONTRACTORS WITHIN 2 WEEKS OF AWARD FOR OWNER APPROVAL.
	DESCRIPTION			14. SUBMIT MONTHLY APPLICATIONS FOR PAYMENT OR AS INDICATED IN OWNER-CONTRACTOR AGREEMENT IN AIA 2702 FORM. PROVIDE UNIT PRICES AND ALLOWANCES AS PER OWNER-CONTRACTOR AGREEMENT.
	DETAIL REFERENCE, BOTTOM NUMBER INDICATES DRAWING SHEET			15. ALL DELIVERIES, STAGING AND AVAILABLE UTILITIES SHALL BE COORDINATED WITH OWNER PRIOR TO CONSTRUCTION.
	SECTION OR ELEVATION REFERENCE			16. PROVIDE REMOVALS AND PROPER, LEGAL DISPOSAL OF ALL WASTE. MINIMIZE DUST AND DISRUPTION DURING DEMOLITION. LEAVE PROJECT IN "BROOM-CLEAN" CONDITION.
	REVISION NUMBER WITHIN TRIANGLE RELATES TO INFORMATION ALTERED WITHIN CLOUD/BUBBLE			17. WORK IN HARMONY WITH INDEPENDENT CONTRACTORS HIRED BY THE OWNER.
	DIMENSION LINE, NUMERALS INDICATE DISTANCE TO FACE OF FINISH CONSTRUCTION.			18. PROVIDE MINIMUM WARRANTY FOR ALL NEW & AFFECTED CONSTRUCTION OF 2 YEARS FROM TIME OF SUBSTANTIAL COMPLETION. PROVIDE OWNER WITH MANUALS AND WARRANTIES.
	EXISTING CONSTRUCTION TO BE REMOVED OR AS OTHERWISE NOTED			19. WHERE NO SPECIFICATION IS GIVEN, THE MINIMUM STANDARD FOR INSTALLATION SHALL ACCORDING TO THE NATIONAL ASSOC. OF HOME BUILDERS "RESIDENTIAL CONSTRUCTION PERFORMANCE GUIDELINES" CURRENT EDITION.
	WINDOW SYMBOL			20. THE GC AND EACH OF HIS SUBCONTRACTORS SHALL HAVE A MINIMUM OF 5 YEARS OF RELATED WORK EXPERIENCE ON PROJECTS OF A SIMILAR NATURE. FAILURE TO PROVIDE ADEQUATELY TRAINED TRADESMAN AND SUPERVISION WILL BE GROUNDS FOR TERMINATION.
	EXISTING CONSTRUCTION TO REMAIN			21. WHERE CONTRACTS OR POSSIBLE CONTRADICTIONARY INFORMATION ARE SHOWN, THE BASIS OF THE BID SHALL BE BASED ON THE MORE EXPENSIVE MEANS.
	SWINGING DOOR WITH SIZE-TYPE IDENTIFICATION (206R-A DENOTES 2'-0" X 6'-8" TYPE A DOOR)			22. CONTRACTORS' INPUT AND RECOMMENDATIONS ARE WELCOMED AND ANTICIPATED. CONSTRUCTION ALTERNATIVES WILL BE CONSIDERED IF THEY HAVE MERIT AND CAN ACHIEVE A BETTER RESULT THAN INDICATED HEREIN FOR THE SAME COST AND TIME. SUCH CHANGES SHALL NOT TAKE PLACE WITHOUT THE APPROVAL OF THE ARCHITECT AND OWNER.
	NEW CONSTRUCTION REFERENCE. LETTER WITHIN DIAMOND CORRESPONDS TO CONSTRUCTION DETAIL OR SPECIFICATIONS			23. CONTRACTOR AND HIS SUBCONTRACTORS SHALL MAINTAIN WORKMENS COMPENSATION AND ADEQUATE LIABILITY INSURANCE FOR THE ENTIRE DURATION OF THE PROJECT PLUS 2 YEARS. OWNER SHALL BE RESPONSIBLE FOR PROPERTY INSURANCE ON VALUE OF BUILDING PLUS CONSTRUCTION INCLUDING FIRE AND VANDALISM (BUILDERS RISK INSURANCE) DURING THE COURSE OF CONSTRUCTION.
	ELECTRICAL DUPLEX RECEPTACLE OUTLET WALL MOUNTED AT 18" ABOVE FINISHED FLOOR OR 12" ABOVE CURTAIN SURFACE WHERE REQ'D. (GFI- DENOTES GROUND FAULT INTERRUPTER)			24. ALL DEBRIS MUST BE REMOVED DAILY FROM JOBSITE AND PROPERLY DISPOSED OF. ALL FLAMMABLE MATERIALS MUST BE STORED IN UL APPROVED STORAGE CONTAINERS. FIRE EXTINGUISHERS WITH MINIMUM 10 LBS CAPACITY, RATED ABC TO BE PLACED EVERY 1000 SF OF PROPERTY DURING CONSTRUCTION.
	TELEPHONE OUTLET WALL MOUNTED AT 18" ABOVE FINISHED FLOOR			25. CONTRACTORS' INPUT AND RECOMMENDATIONS ARE WELCOMED AND ANTICIPATED. CONSTRUCTION ALTERNATIVES WILL BE CONSIDERED IF THEY HAVE MERIT AND CAN ACHIEVE A BETTER RESULT THAN INDICATED HEREIN FOR THE SAME COST AND TIME. SUCH CHANGES SHALL NOT TAKE PLACE WITHOUT THE APPROVAL OF THE ARCHITECT AND OWNER.
	FLUSH FLOOR MOUNTED ELECTRICAL DUPLEX RECEPTACLE			26. THE DESIGN, MIXING, TRANSPORTING, AND CURING OF ALL STRUCTURAL CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", THE ACI.
	ELEC. JUNCTION BOX, (USE SMALLEST FOR SCONES)			27. STRUCTURAL CONCRETE SHALL POSSESS A 28-DAY COMPRESSIVE STRENGTH OF 3,000 PSI.
	RECESSED 6" DIAMETER LED LIGHTING FIXTURE "PROGRESS" OR EQ. WITH WHITE TRIM, 1500 MIN LUMEN LAMP, 3000 K CRI, LOW VOLTAGE. LETTER DESCRIBES CIRCUIT AND SWITCH CONTROL, WHERE SHOWN			28. AGGREGATES SHALL CONFORM TO ASTM C33. THE COARSE COMPONENT EITHER WASHED GRAVEL OR CRUSHED STONE. FINE AGGREGATE TO BE CLEAN NATURAL SAND.
	SCONCE FOR BATHTUBS BY "REJUVENATION" SLE1Z #578, WITH SHADE 143 L, 2 LED LAMPS, WET LOCATION			29. PORTLAND CEMENT SHALL BE IN COMPLIANCE WITH ASTM C150, TYPE I.
	EXTERIOR INCANDESCENT SCONCE LIGHTING FIXTURE "PROGRESS" P5671-50 WITH W/ LED CANDELABRA LAMPS MILLSTONE (DULL SILVER FINISH)			30. DEFORMED REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ASTM A618, GRADE 60.
	FLOOD LIGHT WITH 150 W PAR LAMPS			31. STANDARD DETAILS FOR JOISTS, BEAMS, AND DEVELOPMENT LENGTHS SHALL BE IN CONFORMANCE WITH THE "CONCRETE REINFORCING STEEL HANDBOOK", THE CRSI ENGINEERING PRACTICE COMMITTEE.
	RECESSED 6" DIAMETER WALL WASHER LED LIGHT FIXTURE, "PROGRESS" OR EQ., 1500 MIN. LUMEN LAMP, 3000 K WHITE TRIM			32. SMOOTH WIRE FABRIC REINFORCEMENT SHALL BE IN COMPLIANCE WITH ASTM A185. SHEETS UNLESS NO ROLLS, PER ACI ASTM A185.
	SURFACE INCANDESCENT LIGHTING FIXTURE "REJUVENATION", MORELAND, #CCB65, SHADE #018CE BRUSHED NICKEL FINISH, LED LAMPS			33. GROUT SHALL BE NON-METALLIC AND NON-SHRINK, AND POSSESS A 28-DAY COMPRESSIVE STRENGTH OF 5,000 PSI.
	FLUORESCENT LIGHT FIXTURE WARM WHITE TR LAMPS			34. EXPANSION ANCHORS SHALL BE STAINLESS STEEL "WIK BOLTS" AS MANUFACTURED BY THE HILTI CO. NEW RE-BAR DOWELS SECURED TO EXISTING CONCRETE WITH "HIT C-100" ADHESIVE ANCHORS.
	PORCELAIN SOCKET, LED LAMPS			35. SLABS

6" BATT INSULATION=R-19 OR U=.05	SUNROOM EXEMPTION PER SECTION 502.2.5.		
10" BATT INSULATION= R-30 OR U=.03	ASSEMBLY	PROPOSED U VALUE MUST BE LOWER	ALLOW
2" rigid INSULATION=R-10 OR U=.10	EXTERIOR WALL	.10	
1" CLOSED CELL SPF INSUL=R-6.5 U=.15	ROOF/CEILING	.03	
ARGON FILLED WINDOW SASH=R-3 OR U=.34	FLOOR	.03	
SHEATHING,GYP. BD, ROOFING=NEGIGIBLE	FOUNDATION WALL	.15	
WALLS			
.05 X 1754 SF + .34 X 280 SF			
2034 SF			
ROOF/FLOOR			
.03 X 1450 SF			
1450 SF			
FOUNDATION WALLS			
.10 X 50 SF + .34 X 12			
62 SF			

CLIMATE & CLIMATIC DESIGN CRITERIA-CLIMATE ZONE 4A												
GROUND ON/OFF LEVEL	WIND DIRECTION	SEASONIC WIND SPEED	SPECIFIC CLIMATE DESIGN ZONE	SUBJECT TO DAMAGE FROM		ICE PENETRATION UNDER/AT GRADE	FLOOD RISK LEVEL	AIR FREEZING INDEX	MEAN ANNUAL TEMP.			
				WEATHERING	TEMPERATE TO MODERATE TO HEAVY					FIRST LINE OF DEFENSE		
30	15-12	NO	NO	NO	NO	42"	YES	FAB-CON TEMP 9.9-2000	51.6			

ECCO 2020 INSULATION AND PERFORMANCE REQUIREMENTS BY COMPONENT												
CLIMATE ZONE	PENETRATION U-FACTOR	WIND DRAINAGE PAVE	SLAZED FLOORING PAVE	FENCING PAVE	ROOF PAVE	MASS WALLING PAVE	GLAZING PAVE	GLAZING PAVE	GLAZING PAVE	GLAZING PAVE	GLAZING PAVE	GLAZING PAVE
4A	0.35	0.55	0.4	0.49	20 OR 134"	6/3-19	10/13	10/13	10/13	10/13	10/13	10/13
TABLE 1440.1-4. EQUIVALENT U-FACTORS												
4A	0.35	0.55	-	0.026	0.06	0.098	0.047	0.047	0.059	0.059	0.059	0.059

SITE PLAN

Scale: 1" = 10'-0"

ZONING COMPONENT	ALLOWED	EXISTING	PROPOSED	COMMENT
LOT SIZE	5000 SF MIN	6786 SF	6786 SF	CONFORMS
FRONT SETBACK	20'	17'	18.2'	1.8' VARIANCE REQUIRED (PROPOSED STEPS)
REAR SETBACKS	25'	14.2'	10.1'	14.9' VARIANCE REQUIRED (PROPOSED DECK)
ONE SIDE SETBACK	10'	0'	0'	EXISTING NON-CONFORMING
TOTAL SIDE SETBACKS	20'	65.55'	56.2'	CONFORMS
MIN. LOT WIDTH	50'	110'	110'	CONFORMS
BLDG. COVERAGE	27%	17.3%	21.6%	CONFORMS
IMPERVIOUS SURFACES COVERAGE	54%	32.8%	40.6%	CONFORMS
HEIGHT - MAIN BLDG	40'	25.5'	25.5'	CONFORMS
RETAINING WALL HEIGHT	4'	6.3'	6.3'	INCREASED NON-CONFORMITY, 2.4' VARIANCE REQUIRED (PROP. RETAINING WALL)
LOT DEPTH	100'	64.58'	64.58'	EXISTING NON-CONFORMING
SKY EXPOSURE PLANE	10'H, 45'	90'	90'	EXISTING NON CONFORMING
PARKING	2/UNIT	1	2	CURBCUT, PARKING VARIANCE REQUIRED

SITE PLAN BASED ON SURVEY PROVIDED BY OWNER,
PERFORMED BY : SUMMIT LAND SURVEYING PC
DATED: AUGUST 22, 2018

SECTION/BLOCK/LOT: 3.90-51-5
ADDRESS: 21 RIVERSIDE PL

ZONING DISTRICT: MDR-1
LOT SIZE: 6786 SF

NO. DATE REVISION/ISSUE

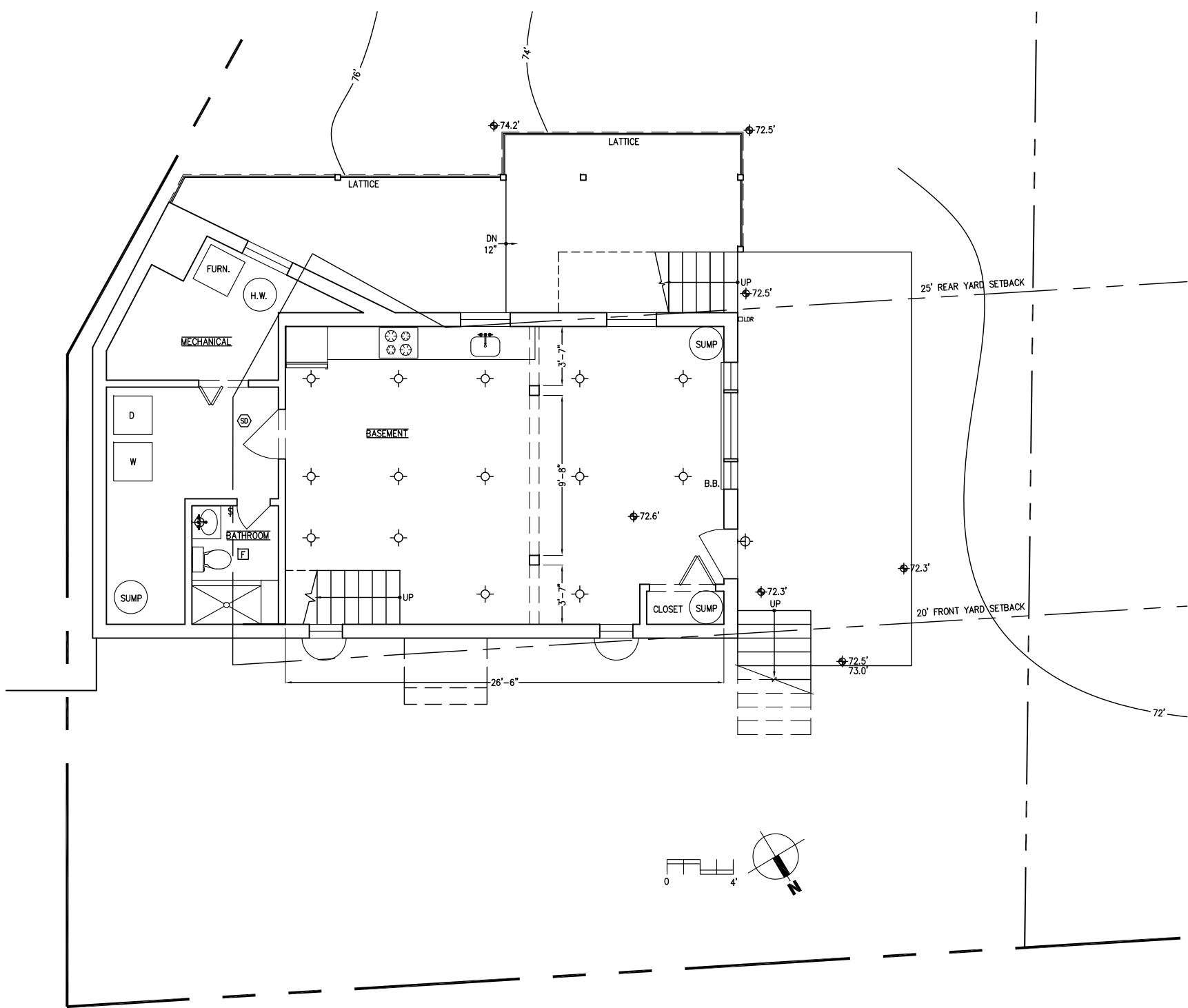
SEAL

- A-0. OUTLINE SPECIFICATIONS, SITE PLAN, ZONING DATA, NOTES AND LEGEND
- A-1. EXISTING FLOOR PLANS AND ELEVATIONS
- A-2. PROPOSED FLOOR PLANS
- A-3. PROPOSED ELEVATIONS
- A-4. PROPOSED SECTION, SCHEDULES, AND DETAILS

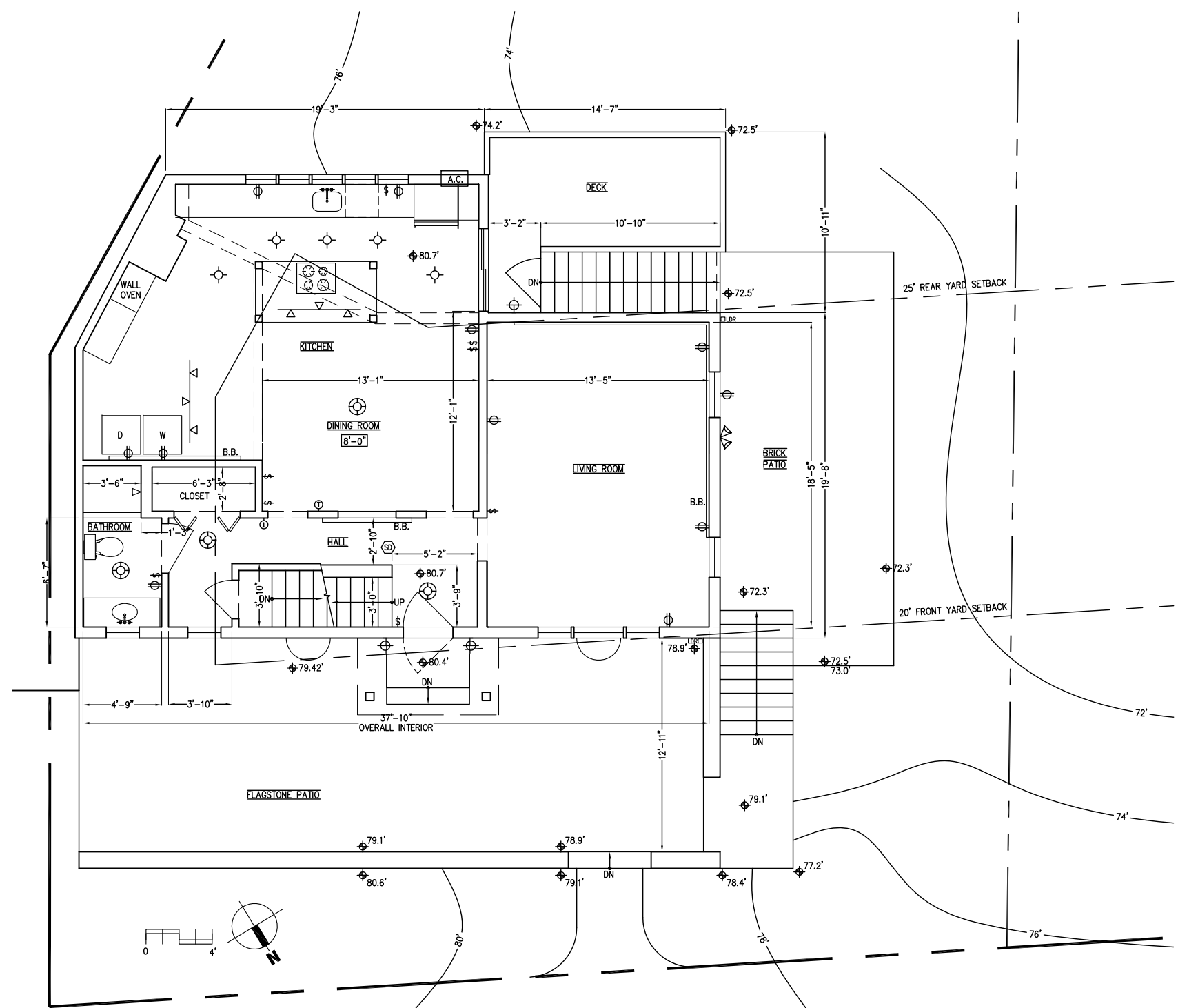
ZONING COMPONENT	ALLOWED	EXISTING	PROPOSED	COMMENTS
LOT SIZE	5000 SF MIN	6786 SF	6786 SF	CONFORM
FRONT SETBACK	20'	17'	18.2	1.8' VAR
REAR SETBACKS	25'	14.2'	10.1'	14.9' VAR
ONE SIDE SETBACK	10'	0	0	EXISTING
TOTAL SIDE SETBACKS	20'	65.55'	56.2'	CONFORM
MIN. LOT WIDTH	50'	110'	110'	CONFORM
BLDG. COVERAGE	27%	17.3%	21.6%	CONFORM
IMPERVIOUS SURFACES COVERAGE	54%	32.8%	40.6%	CONFORM
HEIGHT - MAIN BLDG	40'	25.5'	25.5'	CONFORM
RETAINING WALL HEIGHT	4'	6.3'	6.3'	INCREASED 2.4' VAR
LOT DEPTH	100'	64.58'	64.58'	EXISTING
SKY EXPOSURE PLANE	10'H,45"	90"	90"	EXISTING
PARKING	2/UNIT	1	2	CURB CUT

SITE PLAN BASED ON SURVEY PROVIDED BY OWNER,
 PERFORMED BY : SUMMIT LAND SURVEYING PC
 DATED: AUGUST 22, 2018

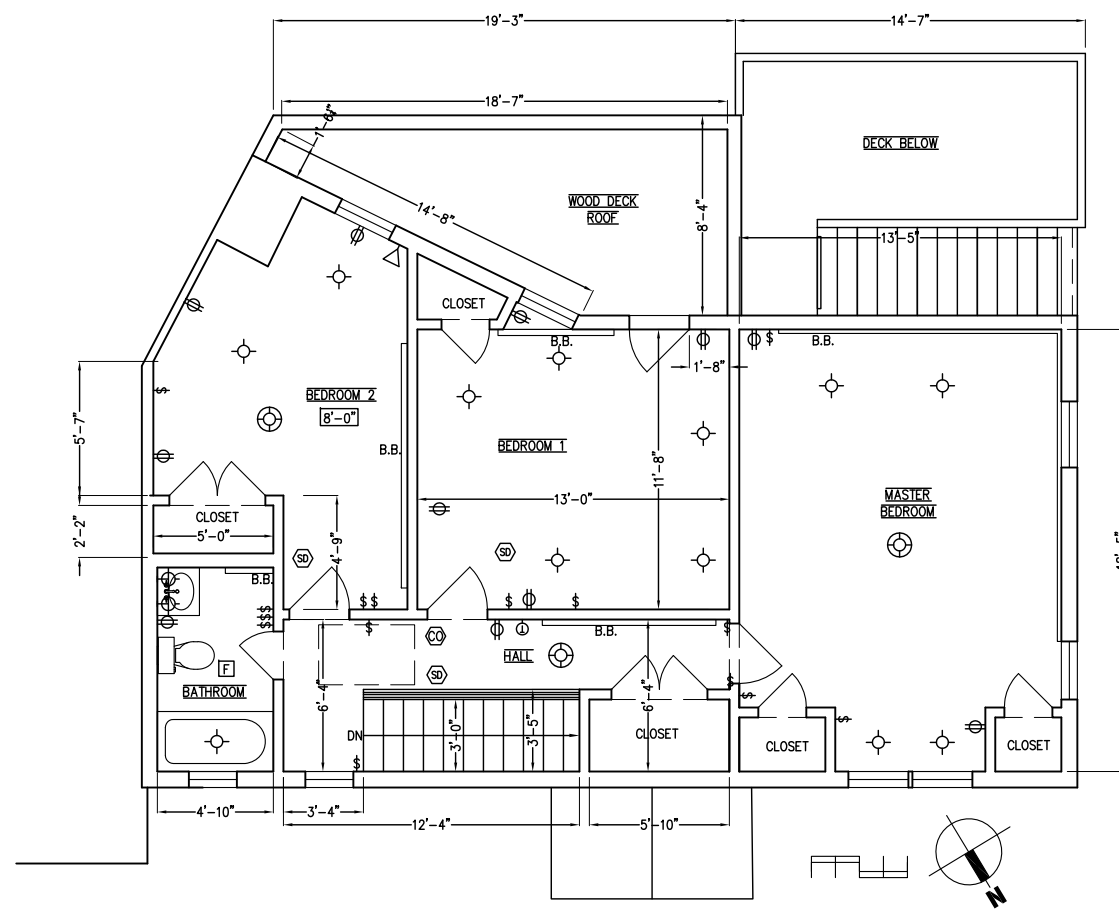
SECTION/BLOCK/LOT: 3.90-5
 ADDRESS: 21 RIVERSIDE PL



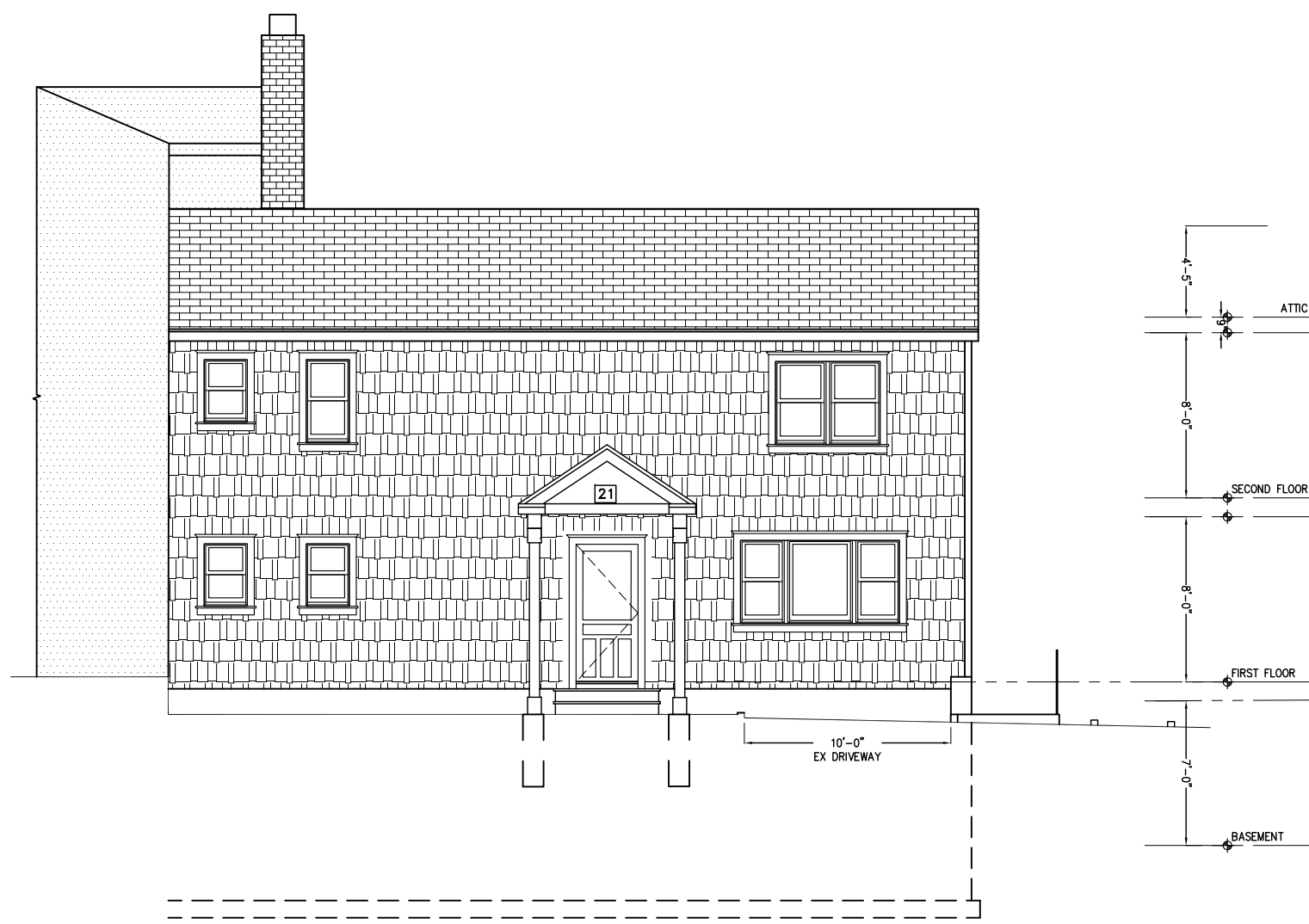
1 EXISTING BASEMENT PLAN
1/8"=1'-0"



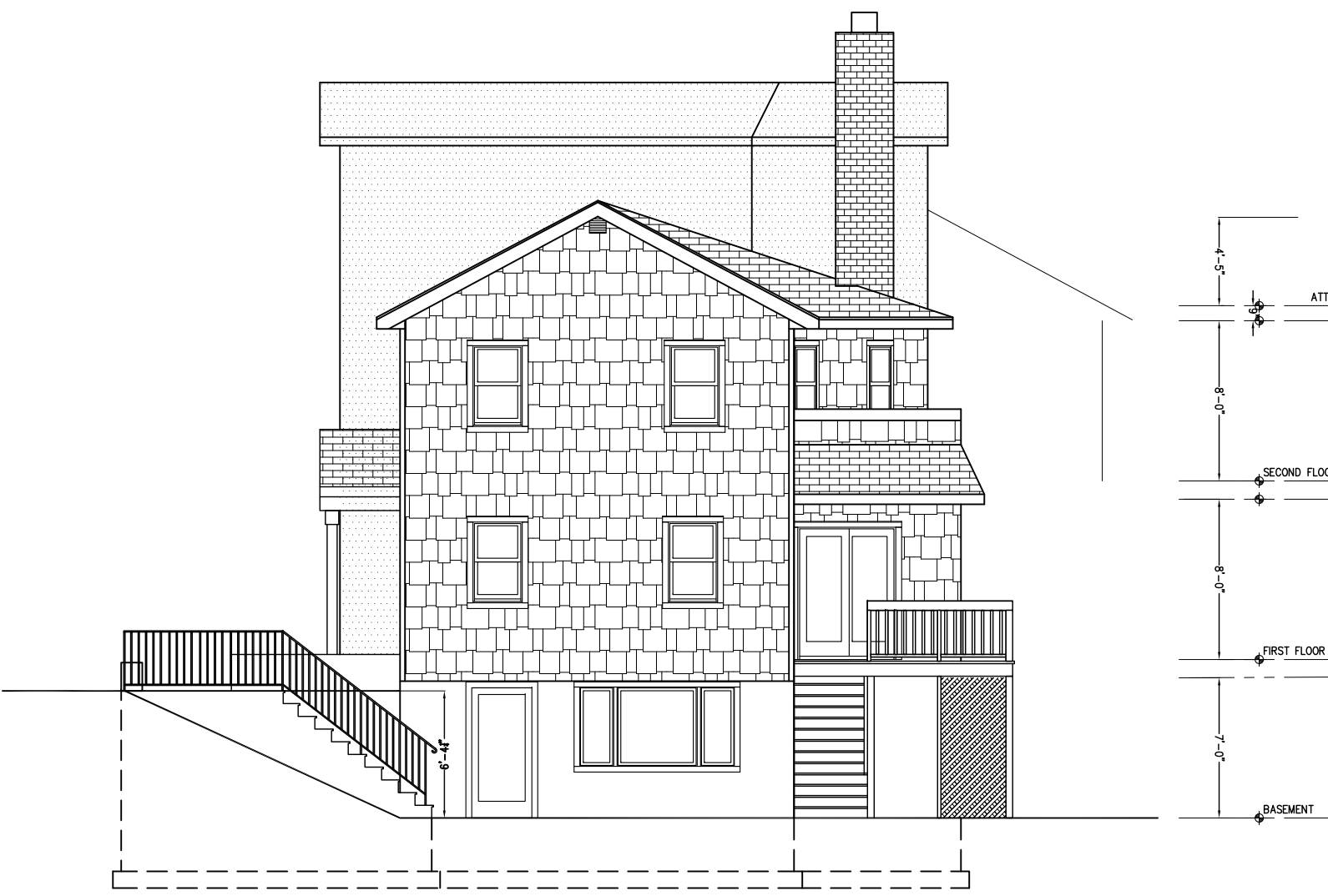
2 EXISTING FIRST FLOOR PLAN
1/8"=1'-0"



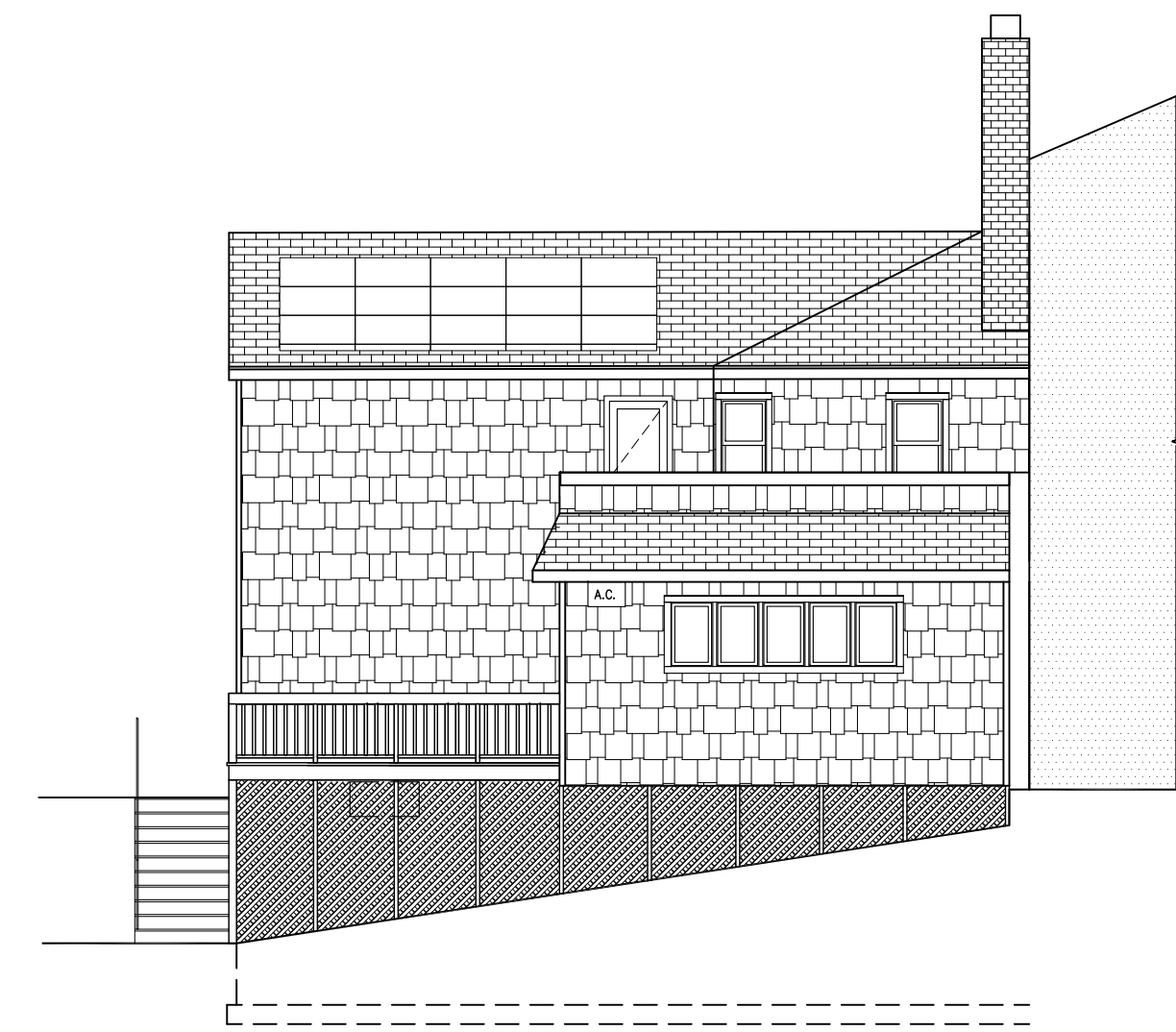
3 EXISTING SECOND FLOOR PLAN
1/8"=1'-0"



4 EXISTING NORTH ELEVATION
1/8"=1'-0"



5 EXISTING WEST ELEVATION
1/8"=1'-0"



6 EXISTING SOUTH ELEVATION
1/8"=1'-0"

CONSTRUCTION SEQUENCING:

THE FOLLOWING EROSION CONTROL SCHEDULE SHALL BE UTILIZED:

1. PLACE ORANGE CONSTRUCTION FENCING AROUND AREAS TO BE USED FOR EX-FILTRATION TO AVOID COMPACTION.
2. INSTALL A CONSTRUCTION ENTRANCE TO THE DEVELOPMENT AREA.
3. ESTABLISH CONSTRUCTION STAGING AREA.
4. INSTALL TREE PROTECTION ON TREES AS NOTED ON PLANS.
5. SELECTIVE VEGETATION REMOVAL FOR SILT FENCE INSTALLATION.
6. INSTALL SILT FENCE DOWN SLOPE OF ALL AREAS TO BE DISTURBED AS SHOWN ON THE PLAN.
7. REMOVE TREES WHERE NECESSARY (CLEAR & GRUB) FOR THE PROPOSED CONSTRUCTION.
8. STRIP TOPSOIL AND STOCKPILE AT THE LOCATIONS SPECIFIED ON THE PLANS (UP GRADIENT OF EROSION CONTROL MEASURES). TEMPORARILY STABILIZE TOPSOIL STOCKPILES (HYDROSEED DURING MAY 1ST THROUGH OCTOBER 31ST PLANTING SEASON OR BY COVERING WITH A TARPULIN(S) NOVEMBER 1ST THROUGH APRIL 30TH. INSTALL SILT FENCE AROUND TOE OF SLOPE.
9. CONSTRUCT BUILDING FOUNDATIONS.
10. GRADE DRIVEWAY TO SUB-GRADE ELEVATION AND INSTALL DRAIN SYSTEM INCLUDING EX-FILTRATION GALLERY ALL PROPOSED CONNECTIONS.
11. INSTALL ALL PROPOSED UTILITY CONNECTIONS.
12. INSTALL DRIVEWAY PAVEMENT AND WALKWAYS.
13. INSTALL 4'-6" TOPSOIL, FINE GRADE, SEED THE ENTIRE PROJECT SITE AND INSTALL LANDSCAPE PLANTINGS. SPREAD SALT HAY OVER SEEDED AREAS.
14. REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES AFTER THE SITE IS STABILIZED WITH VEGETATION.

*SOIL EROSION AND SEDIMENT CONTROL MAINTENANCE MUST OCCUR EVERY TWO WEEKS AND PRIOR TO AND AFTER FVFRY 1/2" OR GREATER RAINFALL EVENT

NOTES AS PER VILLAGE ENGINEER:

"THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS."

"AS-BUILT" DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY."

"INFILTRATION SYSTEM ACCESS PORTS SHALL BE SHOWN ON THE "AS-BUILT"."

"FILL IMPORTED TO THE SITE SHALL BE CERTIFIED IN WRITING BY A NEW YORK LICENSED PROFESSIONAL ENGINEER AS CLEAN, NON-CONTAMINATED FILL SUITABLE FOR THE INTENDED USE."

"SHOULD ROCK BLASTING BE REQUIRED, A PERMIT APPLICATION IN ACCORDANCE WITH CHAPTER 125 - BLASTING OF THE DOBBS FERRY VILLAGE CODE MUST BE SUBMITTED TO THE VILLAGE BY THE APPLICANT FOR REVIEW/APPROVAL."

"THE RESTORATION FOR WORK PERFORMED WITHIN THE VILLAGE RIGHT-OF-WAY SHALL BE PERFORMED TO THE SATISFACTION OF THE VILLAGE ENGINEER AND DEPARTMENT OF PUBLIC WORKS."

"BEFORE THE SITE PLANS ARE SIGNED BY THE CHAIRMAN OF THE PLANNING BOARD, THE APPLICANT SHALL BE REQUIRED TO POST A PERFORMANCE BOND OR OTHER TYPE OF ACCEPTABLE MONETARY GUARANTY WHICH SHALL BE IN AN AMOUNT DETERMINED BY THE PLANNING AND THE VILLAGE ENGINEER IN A FORM SATISFACTORY TO THE VILLAGE ATTORNEY"

3	12 11 20	PER VILLAGE ENGINEER COMMENTS
2	12 02 20	PER ZBA COMMENTS
1	10 22 20	ZONING & PLANNING
NO.	DATE	REVISION/ISSUE
SEAL		

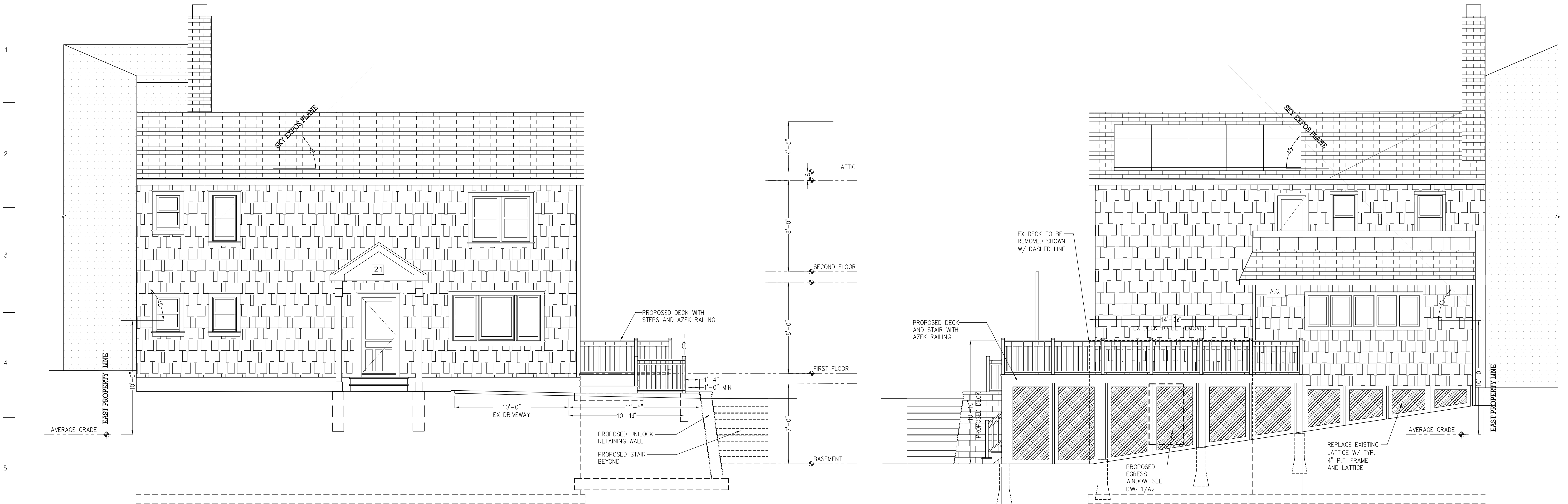
PROJECT
NEILL RESIDENCE
- ADDITION & ALTERATIONS -
21 RIVERSIDE PLACE
DOBBS FERRY, NY 10522
MOUNT I.D. # 3-80-36-22

DRAWING TITLE
EXISTING FLOOR PLANS AND ELEVATIONS,
CONSTRUCTION SEQUENCING,
VILLAGE ENGINEER NOTES

DATE	SCALE	CAD FILE
12 10 20	AS NOTED	

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A-1



1 PROPOSED NORTH ELEVATION
1/4"=1'-0"

2 PROPOSED SOUTH ELEVATION
1/4"=1'-0"



UNILOCK RETAINING WALL

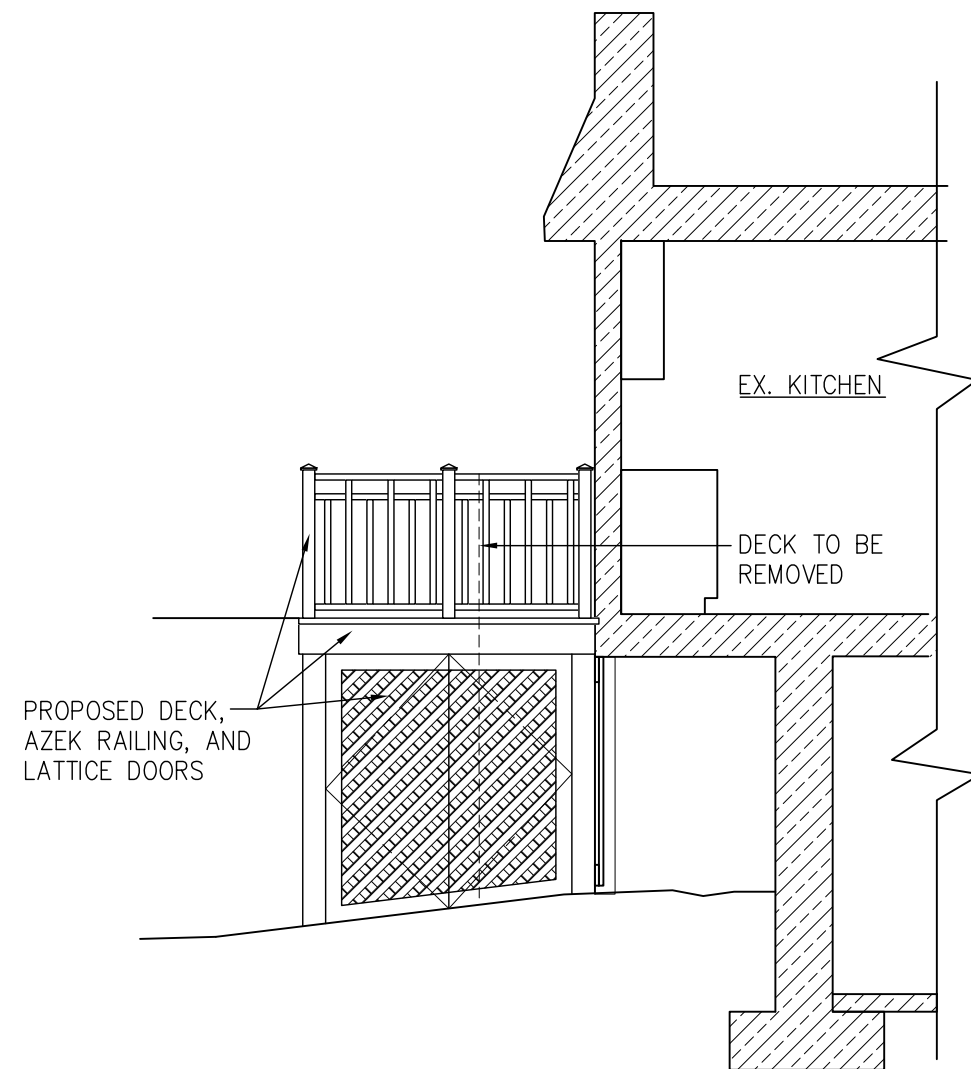


BLUESTONE PATH/STAIR
TO MATCH FRONT

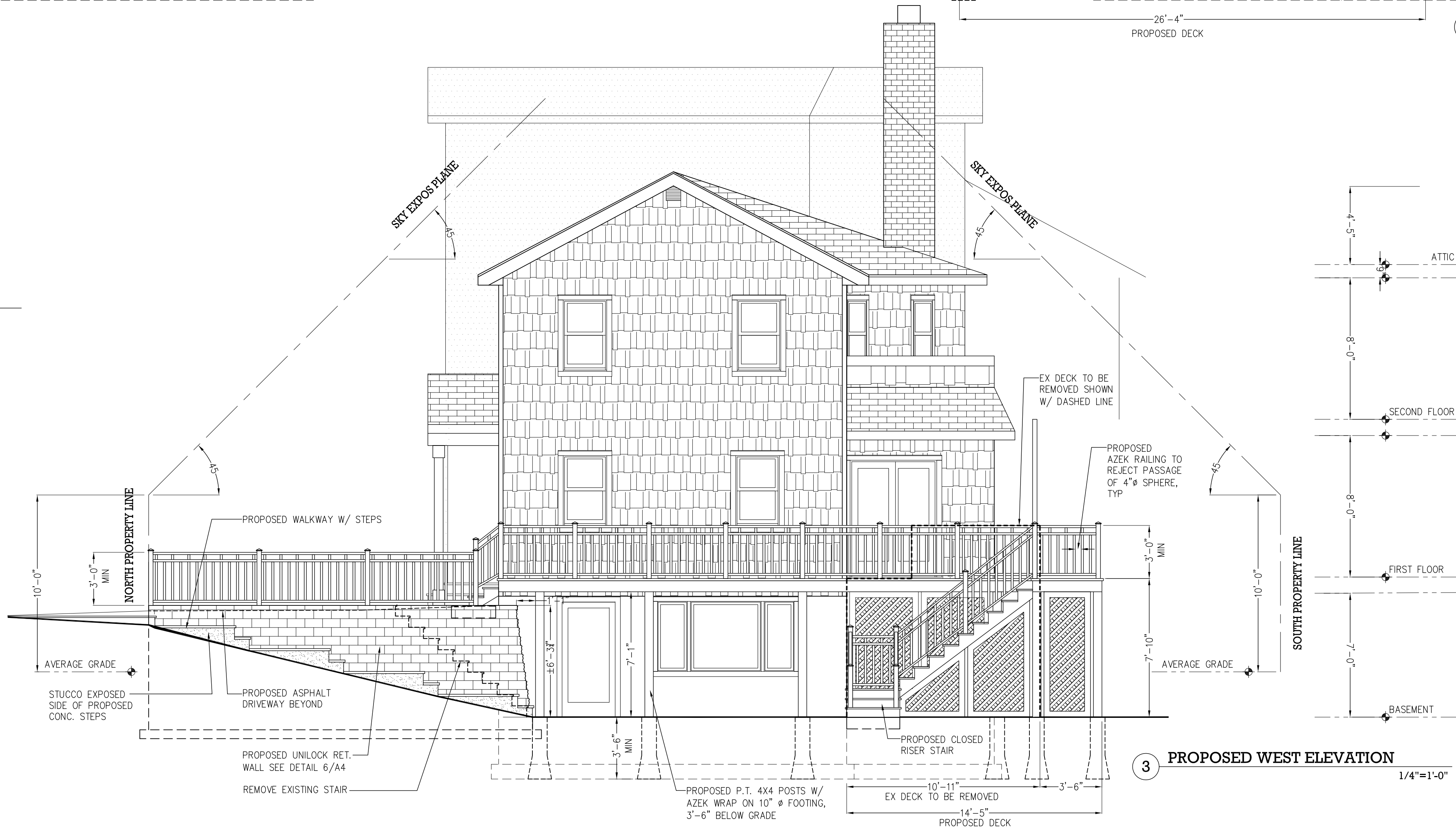


AZEK RAILING
TREX DECKING

MATERIALS



2A PROPOSED PARTIAL EAST ELEVATION
1/4"=1'-0"



3 PROPOSED WEST ELEVATION
1/4"=1'-0"

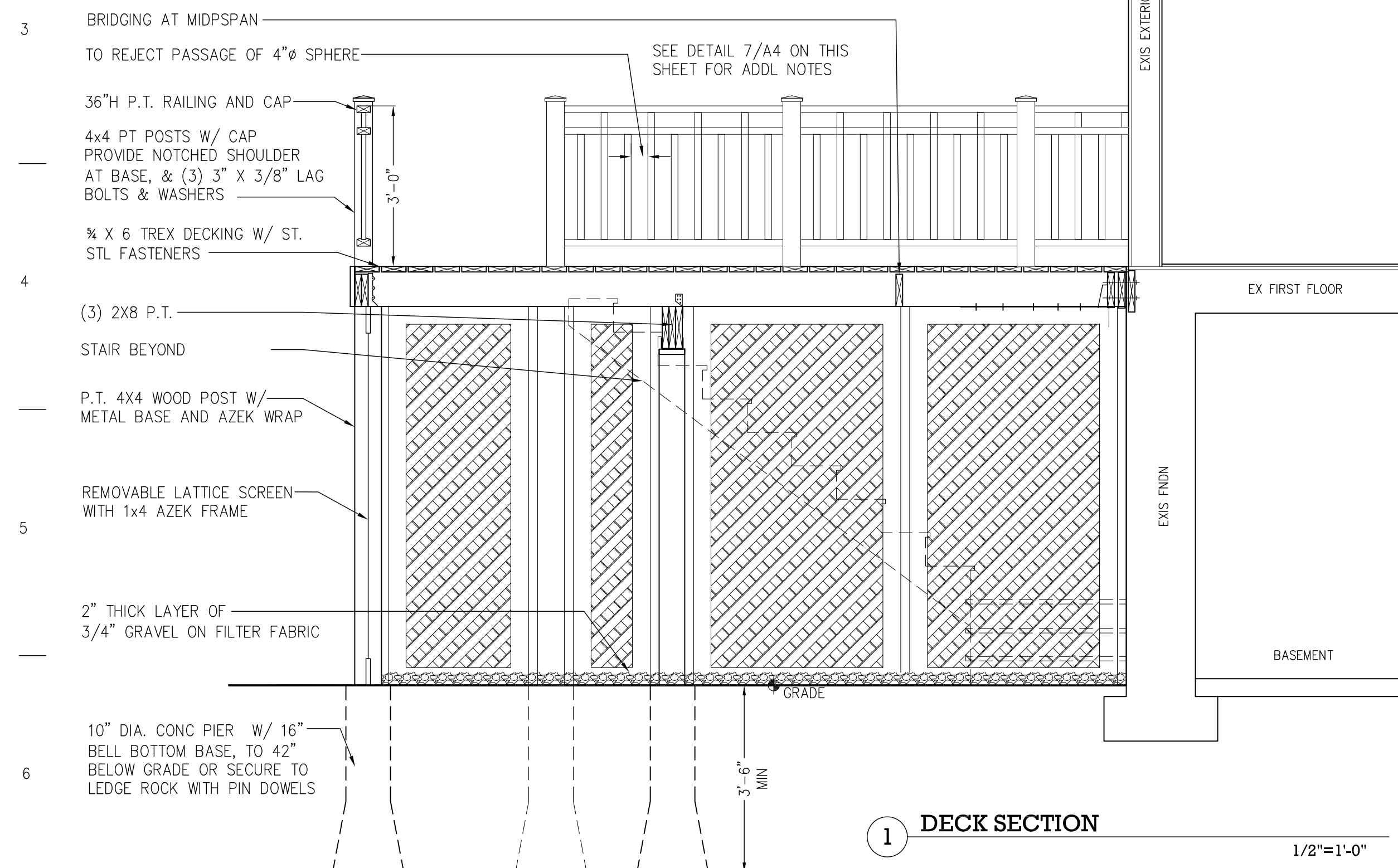
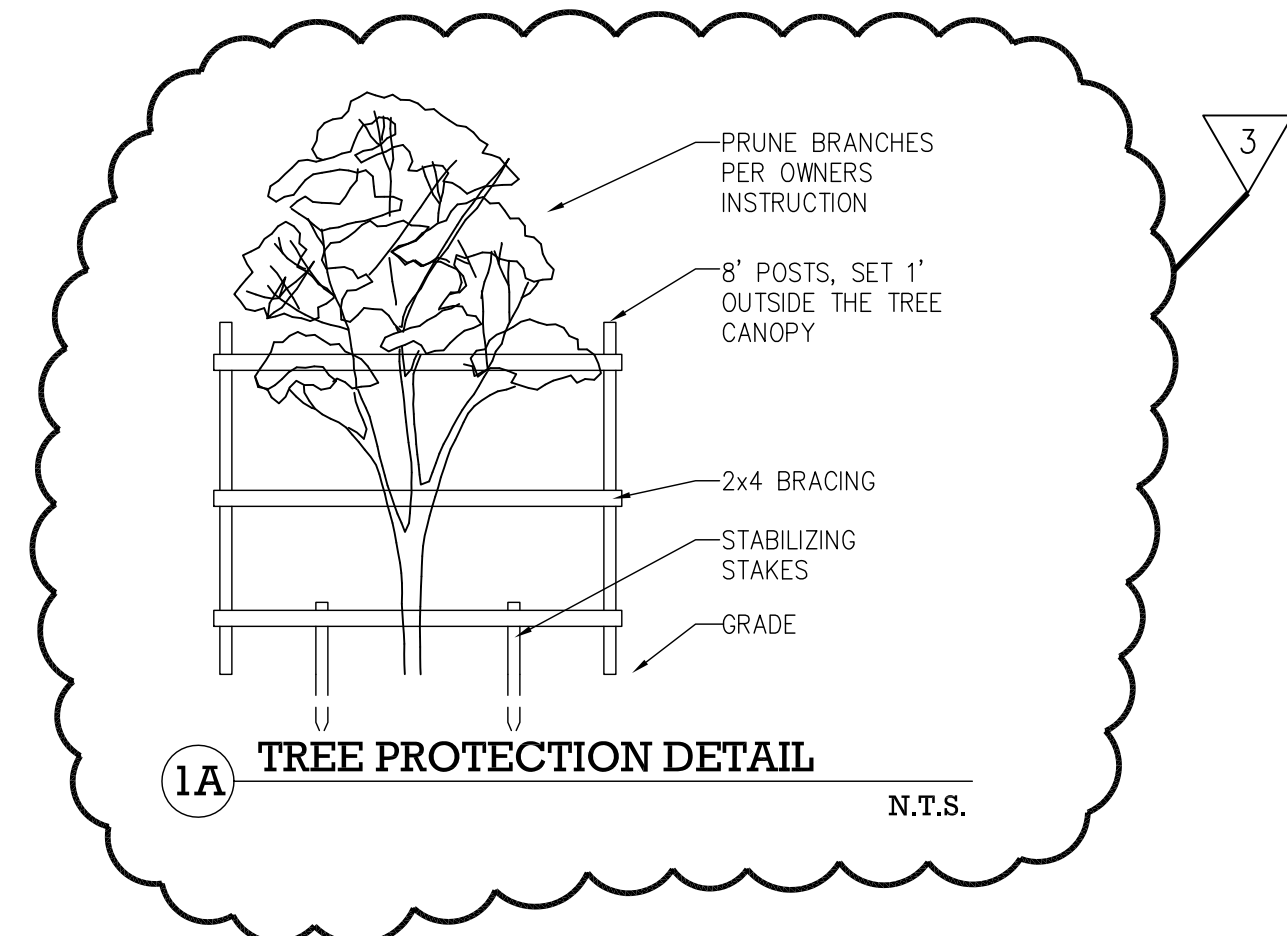
3	12 11 20	PER VILLAGE ENGINEER COMMENTS
2	12 02 20	PER ZBA COMMENTS
1	10 22 20	ZONING & PLANNING
NO.	DATE	REVISION/ISSUE
SEAL		

PROJECT
NEILL RESIDENCE
- ADDITION & ALTERATIONS -
21 RIVERSIDE PLACE
DOBBS FERRY, NY 10522
MUNI I.D. # 3,80-36-22

PROPOSED ELEVATIONS

DATE	SCALE	CAD FILE
12 10 20	AS NOTED	

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FINISH SCHEDULE

	AREA	FLOOR	BASE	WALL	CEILING	MOLDINGS	REMARKS
INT.	MECHANICAL	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	
	BATHROOM	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	
	BASEMENT	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	
EXTERIOR	DECK	IPE	N/A	N/A	BEADBOARD	AZEK	WOOD/S.S. RAILINGS
	SIDING	SHINGLES	N/A	N/A	N/A	AZEK	
	ROOF	ASPH LAM. SHING.					

MCT	MOSAIC CERAMIC TILE	PROVIDED BY OWNER
WD-1	2 1/4" T & G OAK STRIP WOOD FLOORING	SELECT, BRUCE OR EQ., STAINED & SEALED
CT-1	GLAZED CERAMIC WALL TILE	PROVIDED BY OWNER
P-1	EGGSHELL LUSTER LATEX PAINT	PRATT & LAMBERT
P-2	FLAT, NO-DROP LATEX PAINT	PRATT & LAMBERT
P-3	SATIN LUSTER LATEX PAINT	PRATT & LAMBERT
QT-1	QUARRY TILE	
ST-1	SLATE	
CPT-1	CARPET	

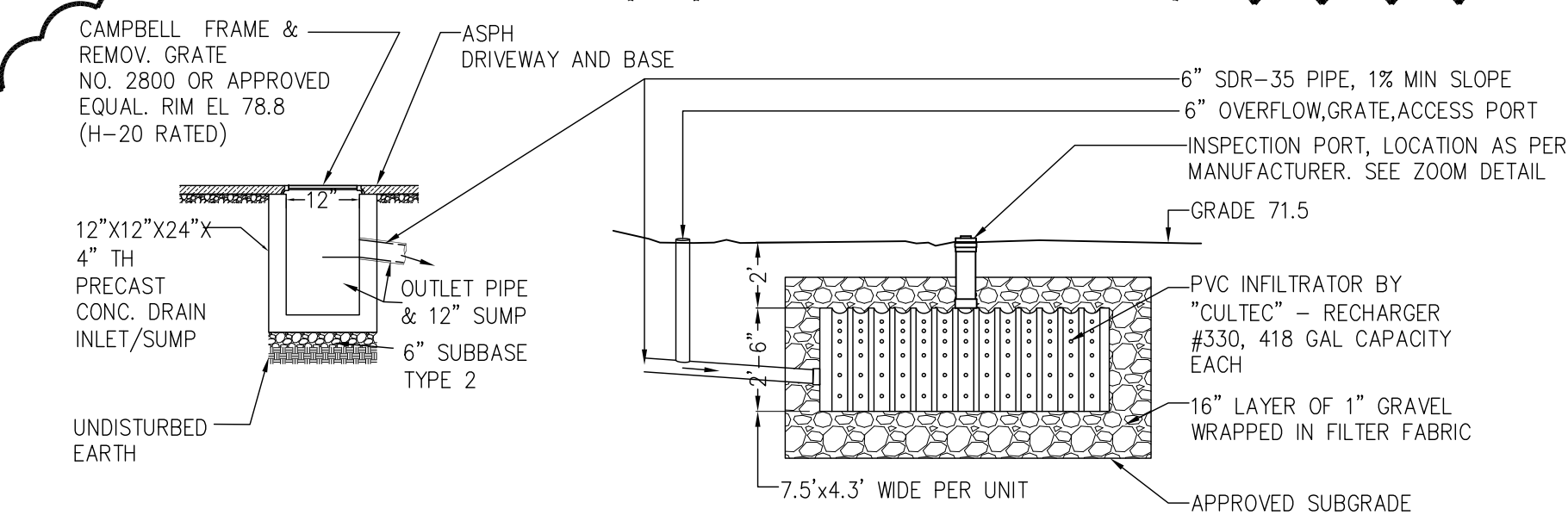
OWNER PROVIDED ITEMS

COMPONENT	OWNER FURNISH	OWNER INSTALL	REMARKS
COUNTERTOPS	X	X	
VANITY CABINETS	X	X	
PLUMBING FIXTURES AND ACCESSORIES	X		
CARPETING	X	X	
LANDSCAPE RESTORATION	X	X	
SECURITY WIRING & DEVICES	X	X	
DECORATIVE LIGHTING	X		SCONCES, CHANDELIERS
TILES	X		
-			
-			
-			

HEADER SCHEDULE

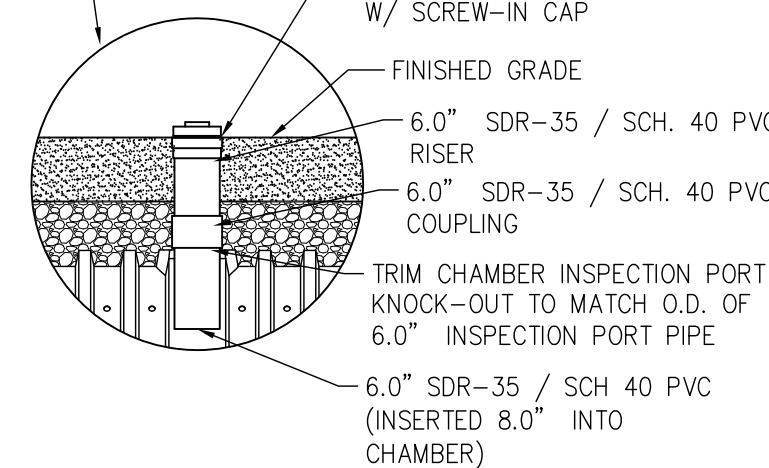
R.O. WIDTH	HEADER
UP TO 4'-0"	(2) 2 X 6
UP TO 6'	(2) 2 X 10
UP TO 8'	(3) 2 X 10
8'-10'	FLITCH BEAM 1

- PROVIDE DOUBLE STUDS AT DOUBLE HEADERS
- PROVIDE TRIPLE STUDS AT TRIPLE HEADERS
- WHERE HEADERS PROJECT (NOT FLUSH WITH WALL, FUR OUT WALL TO FLUSH CONDITION

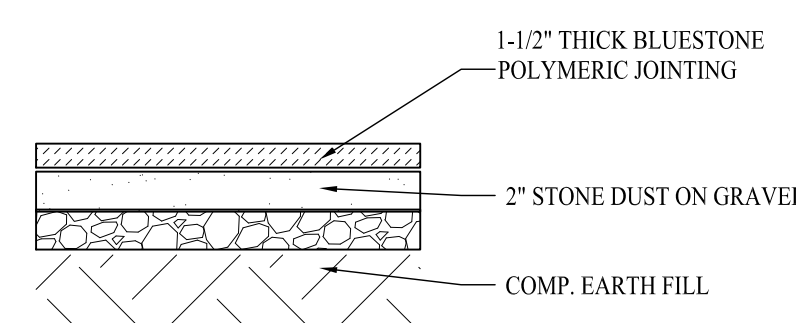
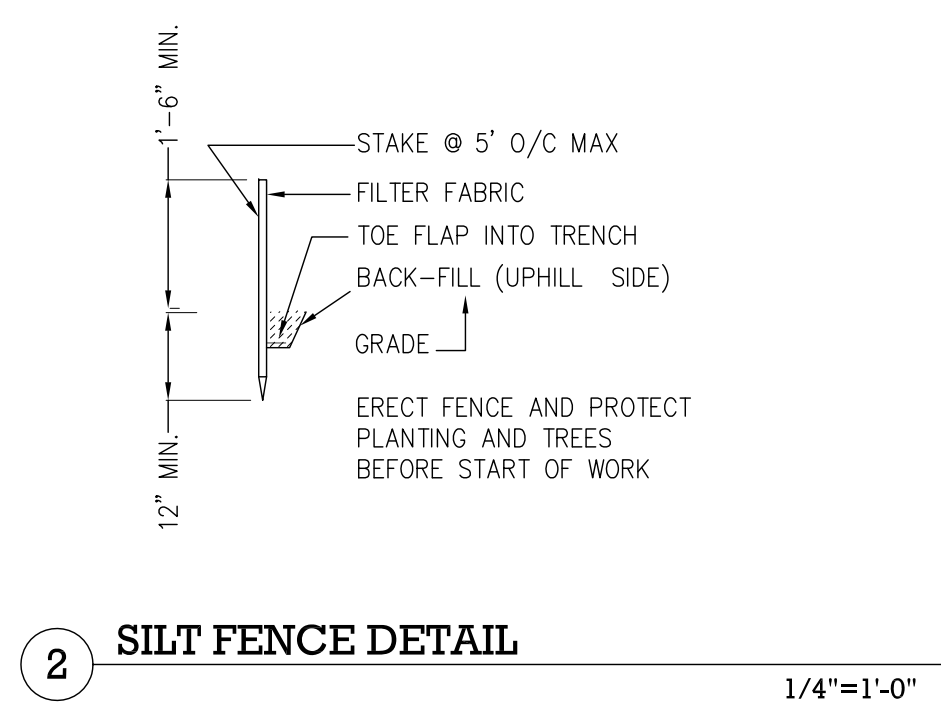


- LOCATE MIN. 10' FROM HOUSE OR PROPERTY
- LINES AT PROPER DEPTH TO ASSURE MIN. 2%
- SLOPE FIELD VERIFY BOTTOM OF DRYWELL RESTS AT LEAST 1'-0" ABOVE ANY RESTRICTIVE LAYER
- THE INFILTRATION SYSTEM MUST NOT BE CONNECTED UNTIL CONSTRUCTION IS COMPLETE AND THE CONTRIBUTING AREA IS STABILIZED.
- THE AREA OF THE PROPOSED INFILTRATION SYSTEM SHOULD BE PROTECTED FROM OVER-COMPACTED DURING CONSTRUCTION. THE AREA SHOULD BE FENCED OFF DURING CONSTRUCTION OR THE AREA SHOULD BE DE-COMPACTED PRIOR TO INSTALLATION OF THE INFILTRATION UNITS.
- INFILTRATION TEST REQUIRED BEFORE INSTALLATION. MUST EXCEED 2 CF/SF/DAY MINIMUM.
- POST CONSTRUCTION MAINTENANCE INCLUDES:
 - 1. AT A MINIMUM OF EVERY 6 MONTHS THE OWNER SHALL CLEAR THE DRAIN OF ALL DEBRIS.
 - 2. THE OWNER SHALL PERIODICALLY FLUSH THE STORMWATER PIPES AS NEEDED AND INSPECT THE DRYWELLS VIA THE INSPECTION PORT.

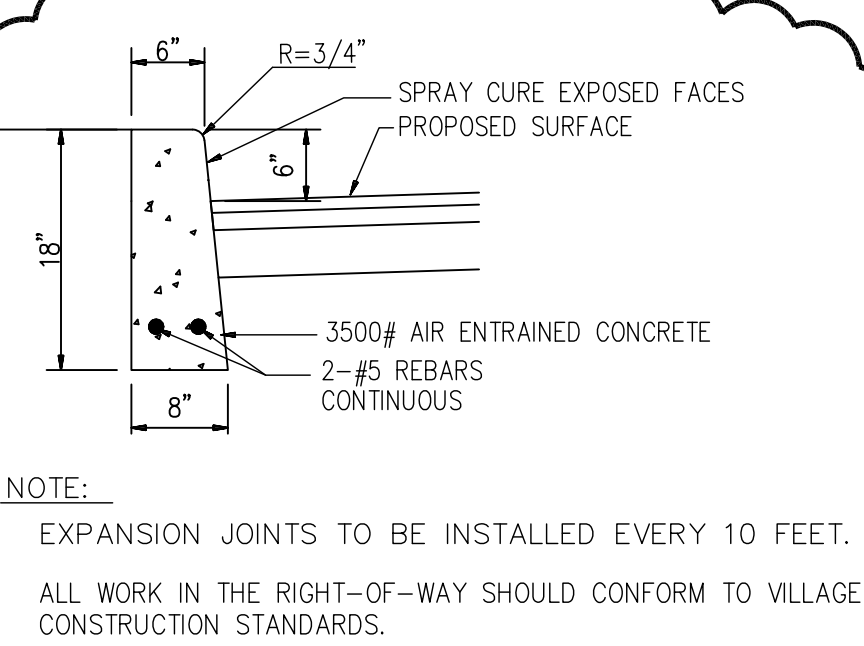
	storm water calculator		
100 year storm			
95% 24 hours			
drainage area	387 a f		driveway
total volume to be stored	241 875	1 c f/day	
percolation rate	2	c f/s, f/day	
volume of units (1) 330			
recharger	57 c f		
volume of stone around			
units (16" layer)	224		
volume of void	74 582	224 "x"	0.33
unit perc area	133.7		
volume of perc	267.4		
volume of water stored	131 592	57 "x"	74 582
total design for water stored	338 992	267.4 "x"	131 592
proposed		required	
338 992 >		241 875	
c f/day		c f/day	



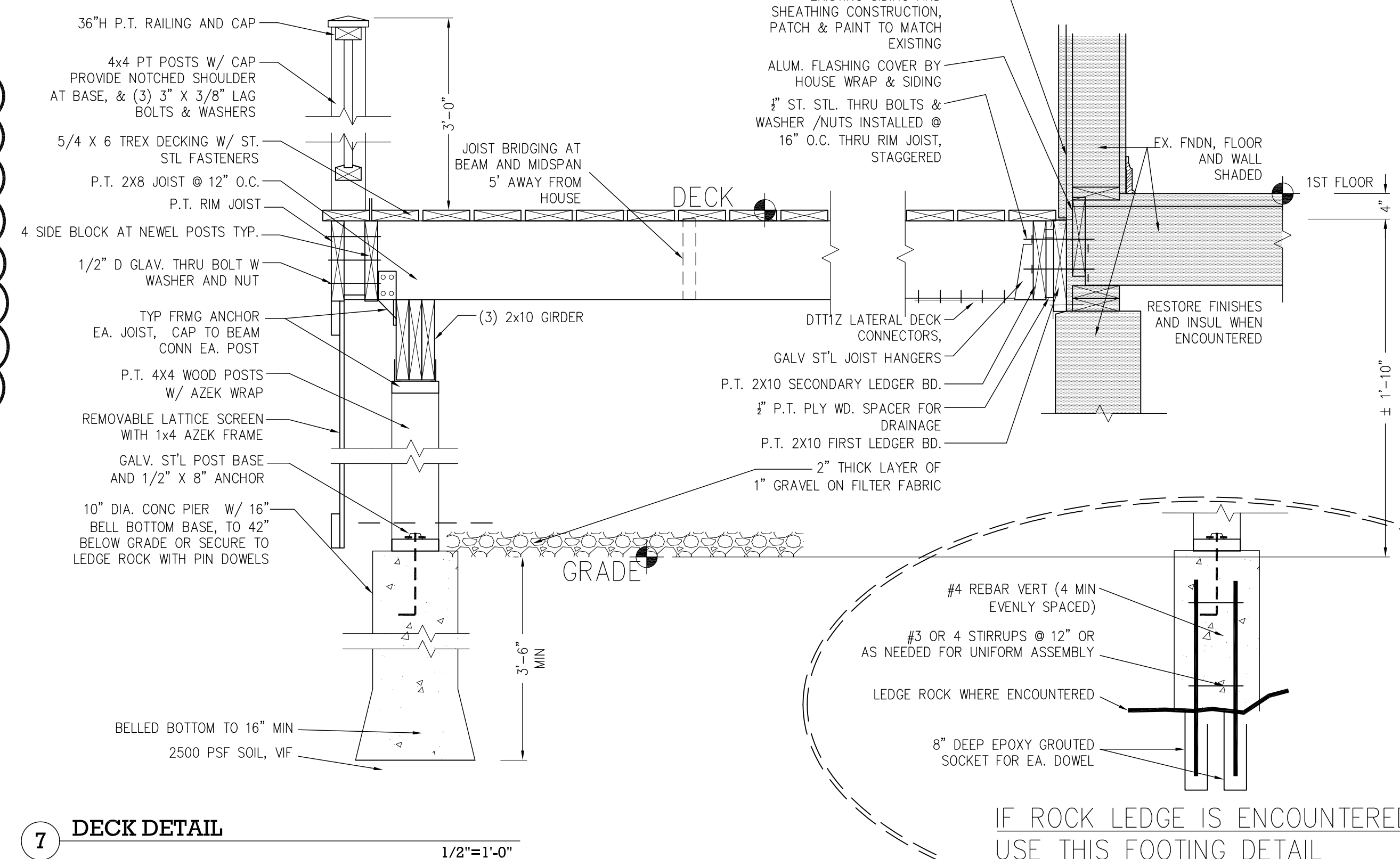
3 DRIVEWAY DRAIN AND DRYWELL DETAIL



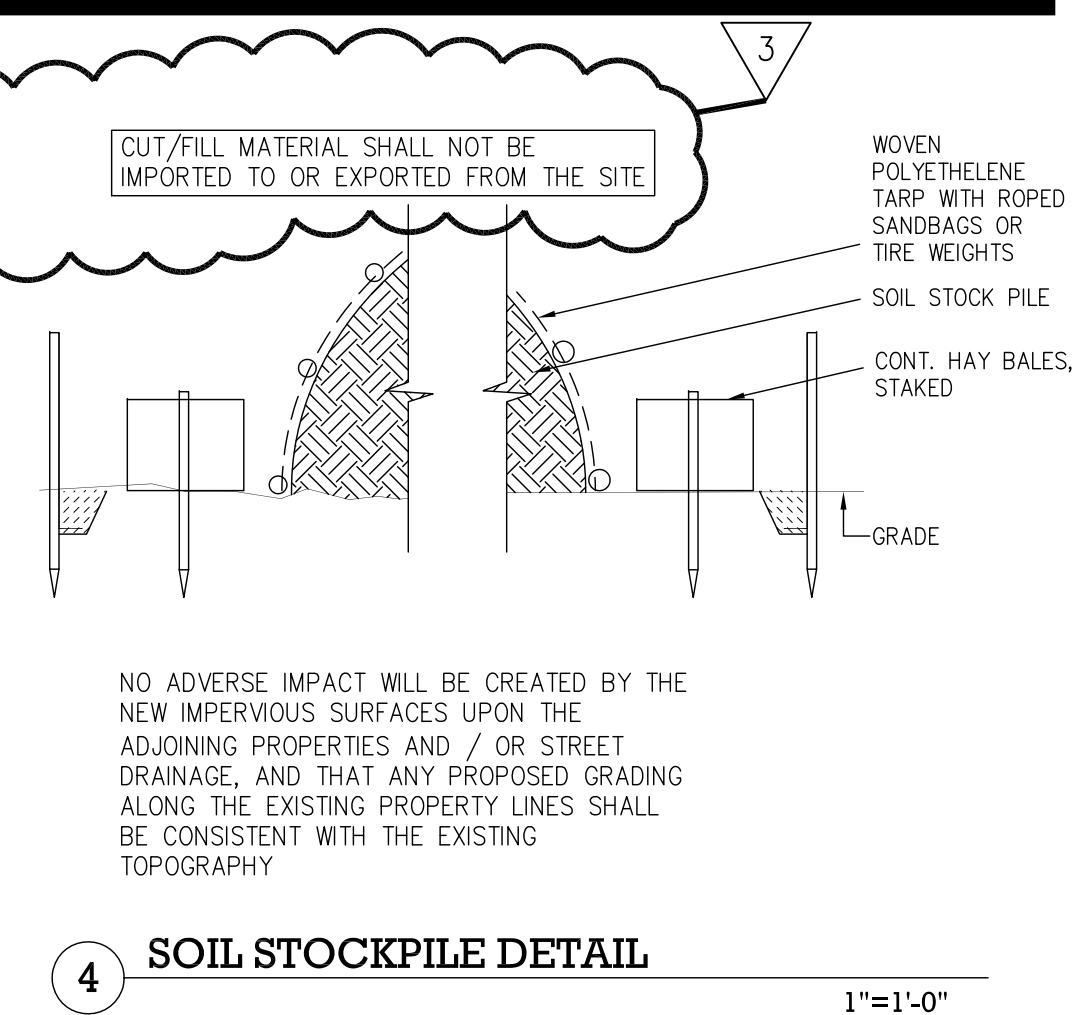
STONE PATH DETAIL



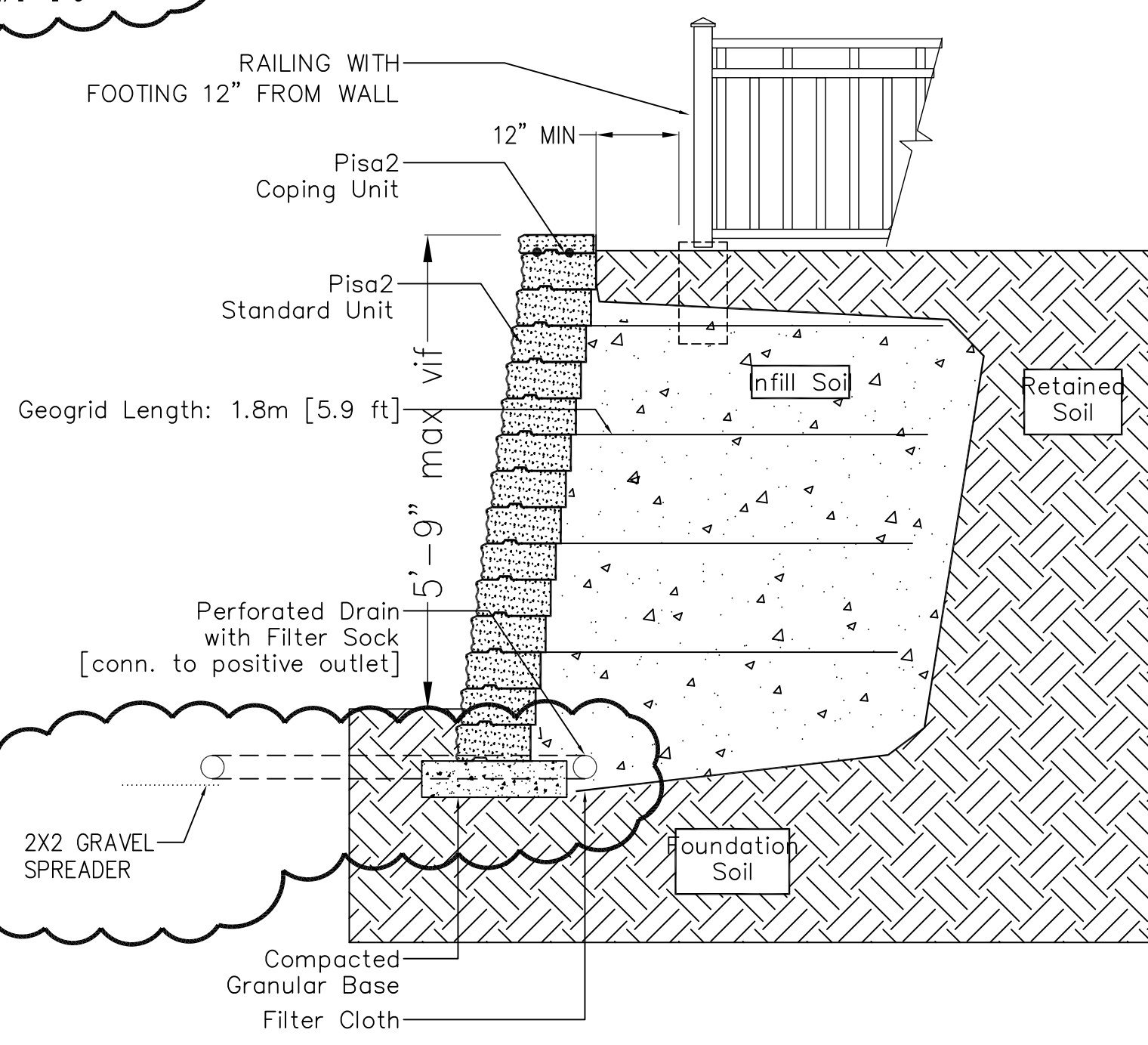
6A CURB DETAIL



7 DECK DETAIL



4 SOIL STOCKPILE DETAIL



6 UNILOCK RETAINING WALL DETAIL

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DRAWING TITLE

PROPOSED SECTION, SCHEDULES, AND DETAILS

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