

Village of Dobbs Ferry
Site Plan Application

Please check appropriate box:

☒ Preliminary Date _____ ☐ Final Date _____

Name of proposed development English Townhomes

Applicant:

Plan Prepared By:

Name English Townhomes LLC

Name Hudson Engineering

Address 78 Main St.

Address 45 Knollwood Rd.

Dobbs Ferry, N.Y. 10522

Elmsford, N.Y. 10523

Telephone 914.231.9353

Telephone 909.0420

Owner (if different):

If more than one owner, provide information for each:

Name Andrew Cortese

Address 78 Main St.

Dobbs Ferry, N.Y. 10522

Telephone 914.447.3965

Ownership intentions, i.e., purchase options Construct 3 townhomes

Location of site 13 English Lane Dobbs Ferry, N.Y. 10522

Tax map description:

Sheet 390 Block 52 Lot/Parcel 21

Current Zoning Classification DT

State and federal permits needed (list type and appropriate department):

N/A

Proposed uses(s) of site

construct 3 townhomes

Total site area (square feet or
areas)

0.145 acres

Anticipated construction time

8 months

Will development be staged?

No

Current land use of site (agriculture, commercial, undeveloped, etc.)

Undeveloped

Current condition of site (buildings, rush, etc.)

Empty lot

Character of surrounding lands (suburban, agriculture, wetlands, etc.)

Suburban

Estimated cost of proposed improvement \$

650,000

Anticipated increase in number of residents, shoppers, employees, etc. (as applicable)

12

Describe the proposed use, including primary and secondary uses; ground floor area; height; and number of stories for each building:

For residential buildings, include number of dwelling units by size (efficiency, one-bedroom, two-bedroom, three or more bedrooms) and number of parking spaces to be provided.

for nonresidential buildings, include total floor area and total sales area; number of automobile and truck parking spaces.

other proposed structures.

(Use separate sheet if needed)

1 building consisting of 3
townhomes - 3 stories each including garage
2 parking spaces per unit.

STATE OF NEW YORK)
COUNTY OF WESTCHESTER) ss:
VILLAGE OF DOBBS FERRY)

Andrew Cortese being duly sworn, deposes
and says, that (s)he resides at 87 Harriman Rd. Irvington, N.Y.
10533

that (s)he is the authorized owner/representative of the owner and that the foregoing answers are true to the best of (his) knowledge and belief, that the plat if approved by the Planning Board will be filed in the Office of the County Clerk within ninety (90) days following the date approval and that all regulations of the Planning Board have been complied.

SWORN TO BEFORE ME THIS 25 DAY

OF August 2020

JOANNE DIGILIO
NOTARY PUBLIC-STATE OF NEW YORK
No. 01DI6393976
Qualified in Westchester County
My Commission Expires 06-24-2023

Joanne Digilio

Proposed Development:

Name English Townhomes, LLC

Applicant:

Name English Town

Address 78 Main St.

Telephone Dobbs Ferry NY 10522

Procedural Sequence

Date

Initial contact with enforcement

Officer

Presubmission conference

Preliminary application

Fee paid: Amount \$ _____

Public hearing notice

Public hearing

Tentative action:

Approval

Approval with modification

Disapproval _____

Resubmitted _____

Lapse date for final approval

Final application

Referral

Comments returned

Final Action:

Approval

Approval with modifications

Conditions satisfied

Disapproval _____

Resubmitted _____

Building permit granted

Performance bond required

Amount _____

Period _____

Improvements covered _____

Performance bond satisfied _____

Site Development Plan Review

Checklist (cont'd)

Technical Considerations

Item Satisfied

North arrow, scale date

Property boundary, dimensions and angles

Easements and deed restrictions

Names, locations and widths of adjacent streets

Land use, zoning, ownership and physical improvement of adjacent properties

Conformity with comprehensive plan

Impact on environs:

Land use

Transportation

Community facilities and services

Aesthetics

Environmental, i.e. air, water, noise, etc.

Energy conservation

Historic preservation

Environmental impact statement

Existing, on-site physical improvements

Existing natural features:

Geological features

Soil characteristics

Topography

Vegetation

Hydrologic features

Proposed development:

Grading and drainage plan

Buildings and other structures

Improvements such as parking, storage and recreation areas

Vehicular and pedestrian ways including ingress and egress

Utility lines and appurtenances

Site Plan Application
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Outdoor lighting and public
address systems

Outdoor signs

Landscaping plans

Architectural plans

Materials specifications

Construction schedule

✓	
✓	
✓	
✓	
✓	
✓	

SUBDIVISION/SITE PLAN REVIEW

All requirements of Site Plan Review and/or Subdivision Ordinances must be adhered to. (Copies may be obtained from the Village Clerk's Office.)

The following information must be addressed on the plans to avoid rejection by the Village for Staff and Consulting Engineer review.

All plans are to be submitted to the Building Department for approval before being placed on the agenda.

SEWER:

1. Eight (8") PVC sewer pipe for all main line sewers. The pipe to conform to the specifications on file in the Building Department.
2. Use D.I.P. CL56 when grade is 15% or more.
3. Use concrete piers when grade is 20% or more.
4. Minimum of 4' of cover is required.
5. Maximum distance between manholes is 300 feet. Additionally, they shall be placed at every change in line or grade.
6. Manholes are to be 5' in diameter or after 9' depth.
7. Drop connection manholes must be C.I.P. or D.I.P.
8. All house connections to be 4" diameter cast iron. Each individual residence or unit to have its own individual connection.
9. All main line sewers to be a minimum of 10'0" set back of structures.
10. All manholes to be supplied with covers entitled "Sewer".
11. Length of pipe run, per cent slope, and invert and rim elevations of manholes, to be shown.
12. Show all easements.

DRAINAGE

1. Drainage calculations as required.
2. Minimum cover 2'0".
3. Pipe size and type to be indicated.

4. Roof drains and leaders to be piped to dry wells or drainage system.
5. Details of Catch Basin, Manholes and Lawn Inlets.
6. Drainage arrows should be shown to indicate flow.
7. Detail design of all retention systems where applicable.
8. Length of pipe, run, per cent slope and invert, and rim elevations, to be shown.

ROADWAY IMPROVEMENTS:

1. Stone or concrete curbing detail.
2. Minimum width of roadway pavement is 35'.
3. Road grade not to exceed 10%.
4. Road grade not be less than 1.0%.
5. Grades across cul-de-sac shall not exceed 6% and not be less than 2%.
6. Guide rail must be shown on all shoulders with slopes 6 feet or greater in height.
7. Where road or drive enters State or County Roads, owner must obtain the necessary permits.
8. Detail of road and driveway sections.

NOTES TO BE PUT ON DRAWINGS:

1. All work to conform to the satisfaction of the Building Inspector.
2. Provide retaining walls on all slopes exceeding one (1) foot vertical on one and one-half (1½) feet horizontal.
3. The builder shall furnish 6" perforated CMP encased in stone wherever directed by the Building Inspector.
4. Swales to be installed as directed by the Building Inspector.
5. All grading to be performed to create positive drainage.
6. All driveways sloping down to garages shall have a drain inlet with a pipe extending beyond the rear of the house to carry rain run-off.
7. All driveways sloping down shall rise 6" the first 5' and then slope down.

8. A Code 53 to be called in.

GENERAL:

1. All drawings for cluster shall show the proposed units numbered in sequence, for reference purposes.
2. All drawings for cluster are to show the required parking spaces, and said spaces shall be NUMBERED.
3. All drawings shall have THE SIGNATURE OF THE OWNER, THE LAND SURVEYOR AND THE PROFESSIONAL ENGINEER.
4. If the application is a subdivision, applicant must review Section 268.20 Improvement of the Village of Dobbs Ferry Code.

Attachment #2

RESTORATION SPECIFICATIONS

SIDEWALKS:

In the case of sidewalks, each slab of concrete cut or damaged by the opening shall be replaced by new concrete, and no patching will be permitted.

ROADWAYS:

On streets paved with blacktop or macadam, the existing pavement shall be cut back eighteen (18) inches beyond the original cut and the entire area repaved with blacktop or macadam to a depth of 2".

On streets paved with concrete or with a concrete base, the existing pavement shall be cut back twenty-four (24) inches beyond the original cut and the entire area repaved with concrete to match the existing street pavement.

Where an excavation is in a public roadway, the trench shall be filled to the level of the roadway with 50 PSI K-crete or equivalent (cap-crete, etc.). For final restoration, the road shall be cut back as directed above, and the finished pavement shall be installed.

CURBS AND

DRIVEWAYS:

Curbs shall be 16" stone or 18" concrete, with a 6" reveal. Where a curb crosses a driveway, a minimum 1½" reveal is required to the finished pavement.

Short Environmental Assessment Form

Part 1 - Project Information

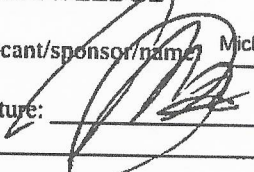
Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

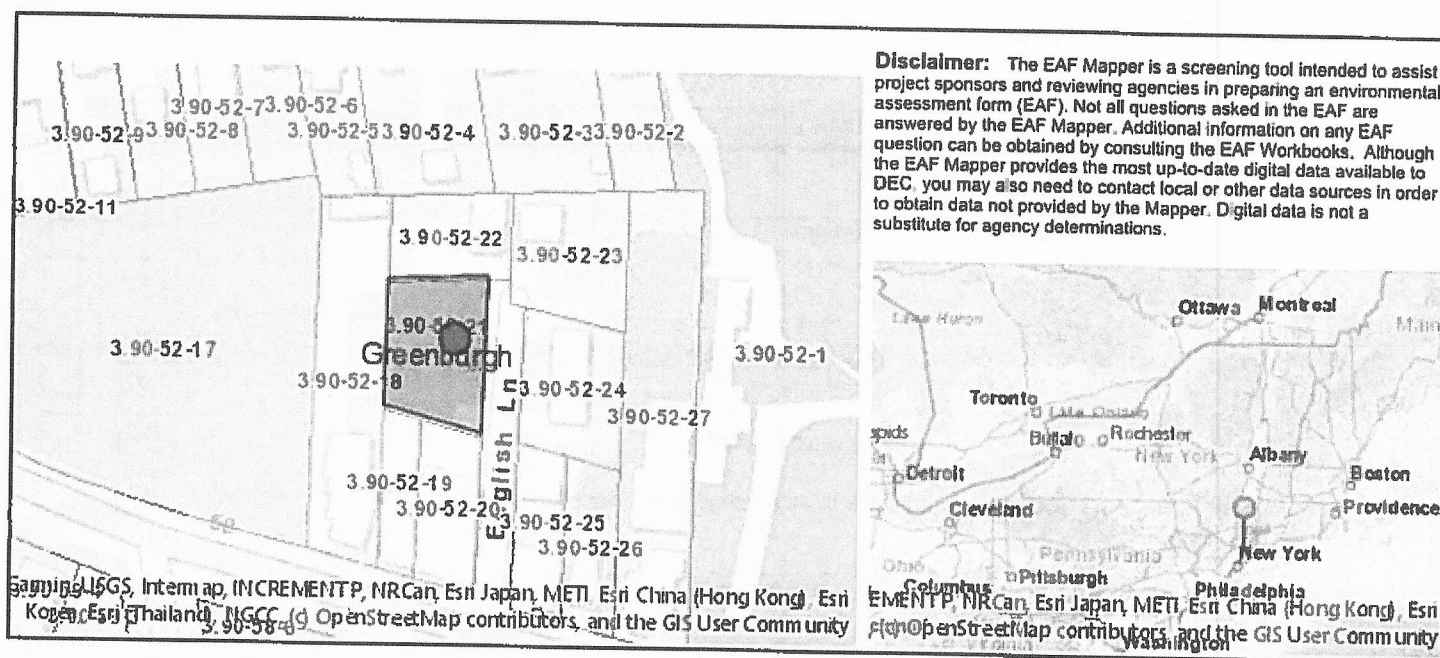
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Proposed 3-unit townhouse development			
Project Location (describe, and attach a location map): 13 English Lane - Dobbs Ferry			
Brief Description of Proposed Action: 3-unit residential townhouses			
Name of Applicant or Sponsor: English Townhomes LLC		Telephone: 914-447-3965	
		E-Mail: andrew@corteseconstruction.com	
Address: 78 Main Street			
City/PO: Dobbs Ferry		State: New York	Zip Code: 10522
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Board of Trustees Site Plan Approval, Architectural Review Board Approval, and Building Permit			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?			0.145 acres
b. Total acreage to be physically disturbed?			0.145 acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?			0.145 acres
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? Bald Eagle	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
A comprehensive stormwater management plan has been designed to mitigate the impacts of runoff generated from the new impervious surfaces.		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>Michael F. Stein, P.E. - Hudson Engineering & Consulting, P.C.</u> Date: <u>8/20/2020</u>		
Signature: <u></u> Title: <u>President</u>		

PRINT FORM



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Bald Eagle
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No