

1004 Springbrook Avenue, Moosic, PA 18507  
Tel. (570) 774-1000 Fax. (570) 774-1010

DRAWING INDEX			
SHEET #	SHEET TITLE	DATE	REVISED
CS	COVER SHEET	7/7/23	-
1a	FRONT ELEVATION	7/7/23	
1b	REAR ELEVATION	7/7/23	-
1a	SIDE 1 ELEVATION	7/7/23	-
1b	SIDE 2 ELEVATION	7/7/23	
2a	1st FLOOR PLAN	7/7/23	
2b	2nd FLOOR PLAN	7/7/23	-
			-
TOTAL PAGES: 21		7	

ATTACHMENTS		
DESCRIPTION	DATE	PAGES
SITE PLAN	-/-/22	-
STRUCTURAL CALCULATIONS	-/-/22	-
TRUSS DRAWINGS	-/-/22	-
ENERGY COMPLIANCE REPORT	-/-/22	-

TRUSSES	
1	TRUSS ID #
2	TRUSS ID #

MODULAR DRAWING PAGES	17
ATTACHMENTS	0
TOTAL PAGES	17

ENGINEERING #			
223043			
DRAWN BY:		CHECKED BY:	
MRF		XX	
DATE:			
4-27-23			
SALESMAN:			
PETE RUMENSKY			
MODEL:			
TWO STORY			
REVISIONS			
REVISION:	DATE:	REASON FOR REVISION:	
1	5-2-23	CHANGES PER DRAWING REQUEST	
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- 9th EDITION 780 CMR 51.00: INTERNATIONAL RESIDENTIAL CODE w/ MA AMENDMENTS
- 9th EDITION 780 CMR 28.00: 2015 INTERNATIONAL MECHANICAL CODE w/ MA AMENDMENTS
- 9th EDITION 780 CMR 13.00: 2018 INTERNATIONAL ENERGY CONSERVATION CODE w/ MA AMENDMENTS
- 248 CMR: MA PLUMBING CODE & FUEL GAS CODE
- 527 CMR 12.00: 2023 NATIONAL ELECTRICAL CODE w/ MA AMENDMENTS
- 527 CMR 1.00: 2015 NFPA1 FIRE CODE w/ MA AMENDMENTS

- AREA OF 1st FLOOR: XXX Sq.Ft.
- AREA OF 2nd FLOOR: XXX Sq.Ft.
- VOLUME OF ENCLOSED SPACE: X,XXX Cu.Ft.
- HEIGHT ABOVE FOUNDATION:  
STORIES: 2 HEIGHT: XX Ft.
- DESIGN OCCUPANCY LOAD: 1 PERSON / 200 Sq.Ft.
- BUILDING LOCATION: MUST BE OUTSIDE OF FIRE LIMITS
- LOT LINE MINIMUM SETBACKS: GREATER THAN 5 Ft.

- SYSTEM TYPE: FWA
- FUEL: ELEC

- FIRE ALARM SYSTEM: AC/DC PHOTOELECTRIC SMOKE, CO, AND HEAT DETECTORS

- (IF APPLICABLE): ON-SITE MASONRY OR ALL-FUEL TYPE CHIMNEY (UL 103 HIGH-TEMP), INSTALLED ON-SITE WITH PROPER CLEARANCES.

- SEE RESCHECK OR HERS REPORT

DATA PLATE - ( 1 ) PER MODEL AS INDICATED ON PLAN  
3rd PARTY LABEL - ( 1 ) IN EACH MODULE AS INDICATED ON PLAN  
STATE LABEL - ( 1 ) IN EACH MODULE AS INDICATED ON PLAN

DP - DATA PLATE

■ - 3rd PARTY LABEL

▲ - STATE LABEL

THIRD PARTY INSPECTION AGENCY: PFS  
TPIA # 02 EXPIRATION DATE OF CURRENT CERTIFICATION: 04/30/23  
BBRS / DPS I.D. #: ----  
MA ISSUED MANUFACTURER # MC-175 EXPIRES 04/30/23

The following items have not been completed by the Modular Homes Manufacturer, have not been inspected by 3rd Party Agency and are not certified by state modular label. Code compliance must be determined at the local level:

- Foundation Porches, decks and steps
- HVAC systems Plumbing and Electrical connections at site
- Any items marked on included drawings as "BY BUILDER" or with the "\*\*\*\*" symbol.

1. IT IS THE BUILDER'S RESPONSIBILITY TO INSURE THAT ALL INFORMATION IN THIS PACKAGE COMPLIES TO LOCAL ORDINANCES.
2. BUILDER IS RESPONSIBLE FOR ALL SERVICE ENTRY CONNECTIONS TO MAIN SERVICE PANEL.
3. BUILDER IS RESPONSIBLE FOR ALL PLUMBING CONNECTIONS UNDER LOWEST MODULAR FLOOR LEVEL AND ALL CONNECTIONS BETWEEN EACH STORY WITHIN THE FLOOR AND CEILING CAVITY.
4. THIS UNIT MUST BE CONNECTED TO A PUBLIC WATER SUPPLY AND SEWER SYSTEM IF THESE ARE AVAILABLE.
5. REFER TO PROVIDED STRUCTURAL CALCULATIONS FOR BEAM AND HEADER DESIGN.
6. DRAWINGS IN THIS SUBSET SHOULD NOT BE SCALED FOR DIMENSIONAL REFERENCE. DIMENSION LINES AND NOTES SUPERSEDE ANY SUCH REFERENCE.

"SOLAR-READY" REQUIREMENTS: (780CMR APPENDIX AU 103)  
1. EXEMPT (SEE ROOF PLAN)

1. STRETCH ENERGY CODE COMMUNITY (EFFECTIVE 8/19/2020)
2. EACH DWELLING SHALL COMPLY WITH 225 CMR 22 Section R406
3. BLOWER DOOR TEST TO BE COMPLETED ON-SITE BY BUILDER

**\* ATTENTION \***

1. A 48 HOUR NOTIFICATION IS REQUIRED PRIOR TO THE SET. THE CSL ON RECORD WILL RELAY THIS TO THE LOCAL BUILDING AUTHORITY. IF ANY CONNECTIONS HAVE BEEN CONCEALED PRIOR TO INSPECTION, THE BUILDING OFFICIAL MAY REQUEST HAVING THE REMOVAL OF ELEMENTS THAT CONCEAL THE CONNECTIONS TO PROVIDE ACCESS. THIS WOULD NOT CONSTITUTE "DESTRUCTIVE DISASSEMBLY". ALL CONNECTIONS ON SITE MUST BE INSPECTED BY THE LOCAL AUTHORITY.
2. CONNECTION DETAILS THAT DO NOT COMPLY WITH THE ABOVE, WILL BE SUBJECT TO FURTHER INSPECTIONS AND A POTENTIAL FOR ADDITIONAL ENGINEERING THAT IS REQUIRED TO BE SUBMITTED TO THE TPIA AND THEN STATE FOR A REVISION.

Important note :

Per 780 CMR: State Board of Building Regulations and Standards Section 110.R3.8.1.1 Owner's Agent. A CSL, duly licensed in accordance with 780 CMR 110.R5, shall, in accordance with 780 CMR 1.00: Scope and Administration, be hired by and act as the agent for the owner for the purpose of applying for and obtaining any and all permits required for the field installation of all product. The CSL shall be responsible for the construction of the foundation system, the attachment to the foundation, and the completion of the product, and all pertinent site work required by section 105 of 780 CMR and shall provide at least 48 hours notice to the Office and the building official before the placement and connection of such units shall begin.

**SIGNATURE**  
— BUILDING SYSTEMS —

BUILDER:	OPTIMUS CONSTRUCTION & DEV 10 COUNTY CENTER ROAD SUITE 330 WHITE PLAINS NY
RETAIL:	SPEC LYMAN 2 11 LYMAN PLACE DOBBS FERRY, NY, 10522 WESTCHESTER COUNTY

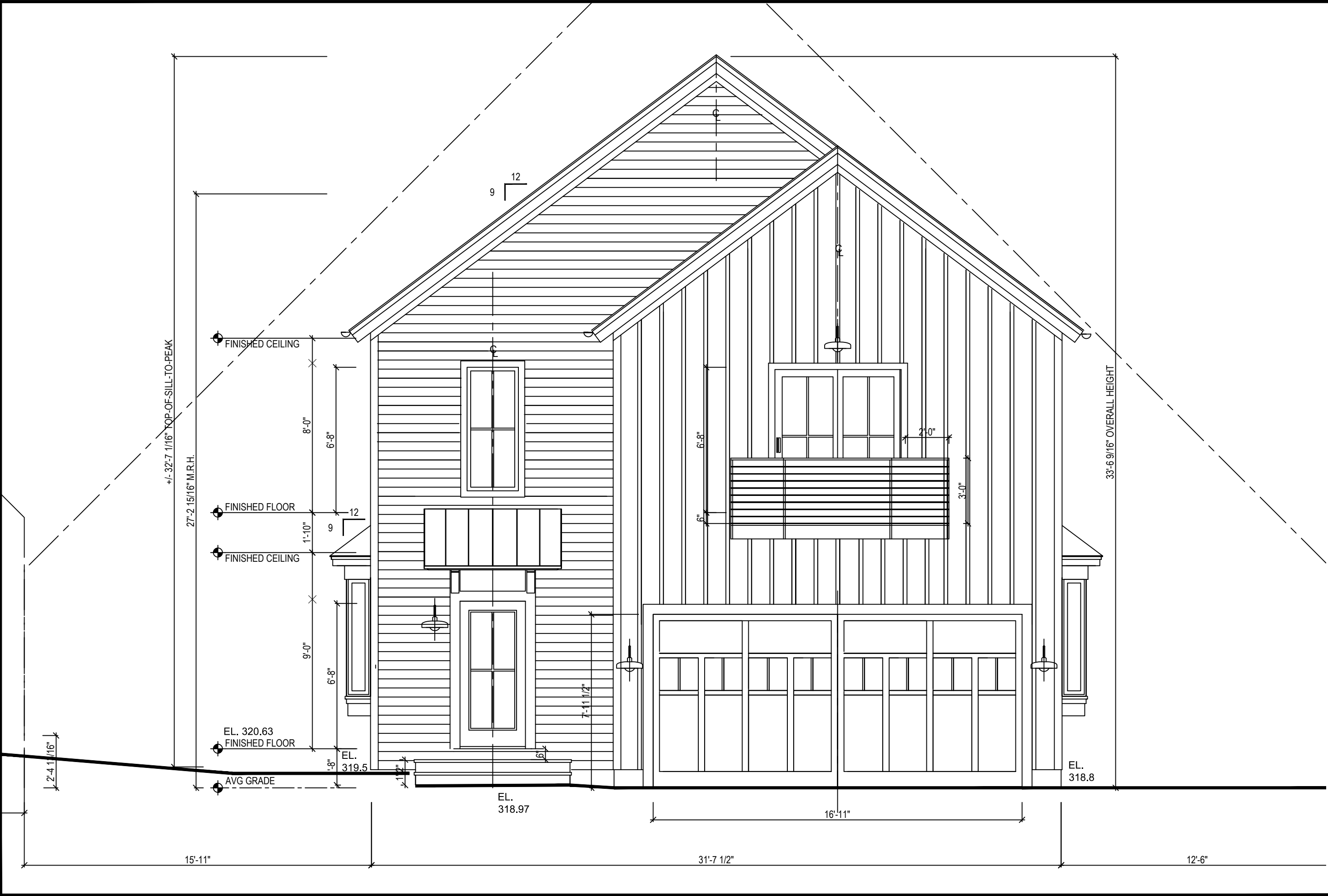
DRAWING:


COVER SHEET

SCALE:

SHEET:

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ENGINEERING #									
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PETE RUMENSKY									
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TWO STORY									
REVISIONS									
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<div><div></div><div><b>SIGNATURE</b> — BUILDING SYSTEMS —</div></div>									
BUILDER:		OPTIMUS CONSTRUCTION & DEV 10 COUNTY CENTER ROAD, SUITE 330 WHITE PLAINS, NY							
RETAIL:		SPEC-1 YMAN 2 11 LYMAN PLACE DOBBS FERRY, NY 10522 WESTCHESTER COUNTY							
DRAWING:									
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ENGINEERING #

223043

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MRF XX

DATE:

4-27-23

SALESMAN:

PETE RUMENSKY

MODEL:

TWO STORY

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BUILDER:  
OPTIMUS CONSTRUCTION & DEV  
10 COUNTY CENTER ROAD, SUITE 330  
WHITE PLAINS, NY

RETAL:  
SPEC-1 YMAN 2  
111 YMAN PLACE  
DOBBS FERRY, NY 10522  
WESTCHESTER COUNTY

DRAWING:

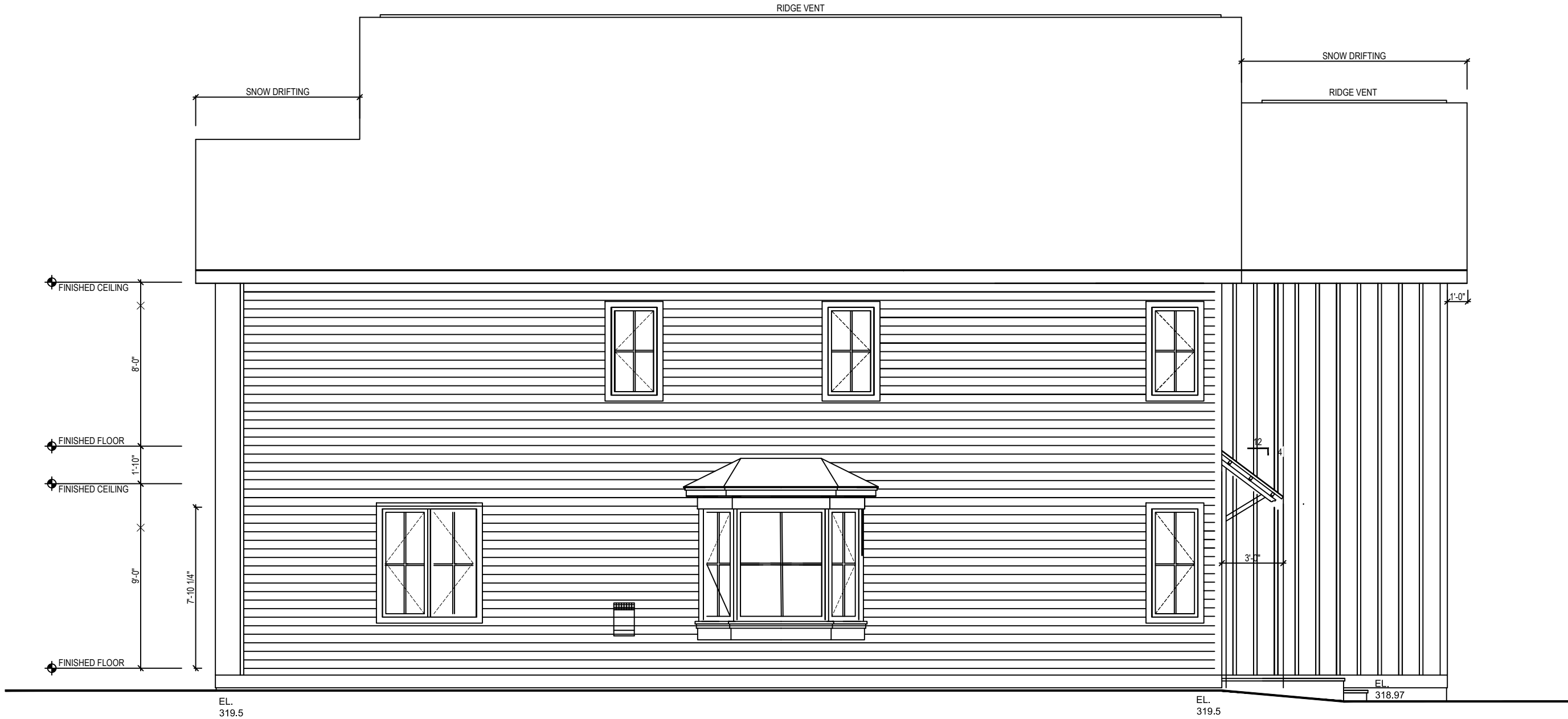
REAR ELEVATION

SCALE:

NTS

SHEET:

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ENGINEERING #

223043

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MRF XX

DATE:

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SALESMAN:

PETE RUMENSKY

MODEL:

TWO STORY

REVISIONS	REVISION	DATE	REASON FOR REVISION:	
			CHANGES PER DRAWING REQUEST	REVISIONS PER REQUEST
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BUILDER:  
OPTIMUS CONSTRUCTION & DEV

10 COUNTY CENTER ROAD, SUITE 330  
WHITE PLAINS, NY

RETAIL:

SPEC-1 YMAN 2

111 YMAN PLACE  
DOBBS FERRY, NY 10522  
WESTCHESTER COUNTY

DRAWING:

ELEVATION

SCALE:

NTS

SHEET:

1c



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10 COUNTY CENTER ROAD, SUITE 330

WHITE PLAINS, NY

RETAIL:

SPEC-1 YMAN 2

11 LYMAN PLACE

DOBBS FERRY, NY 10522

WESTCHESTER COUNTY

DRAWING:

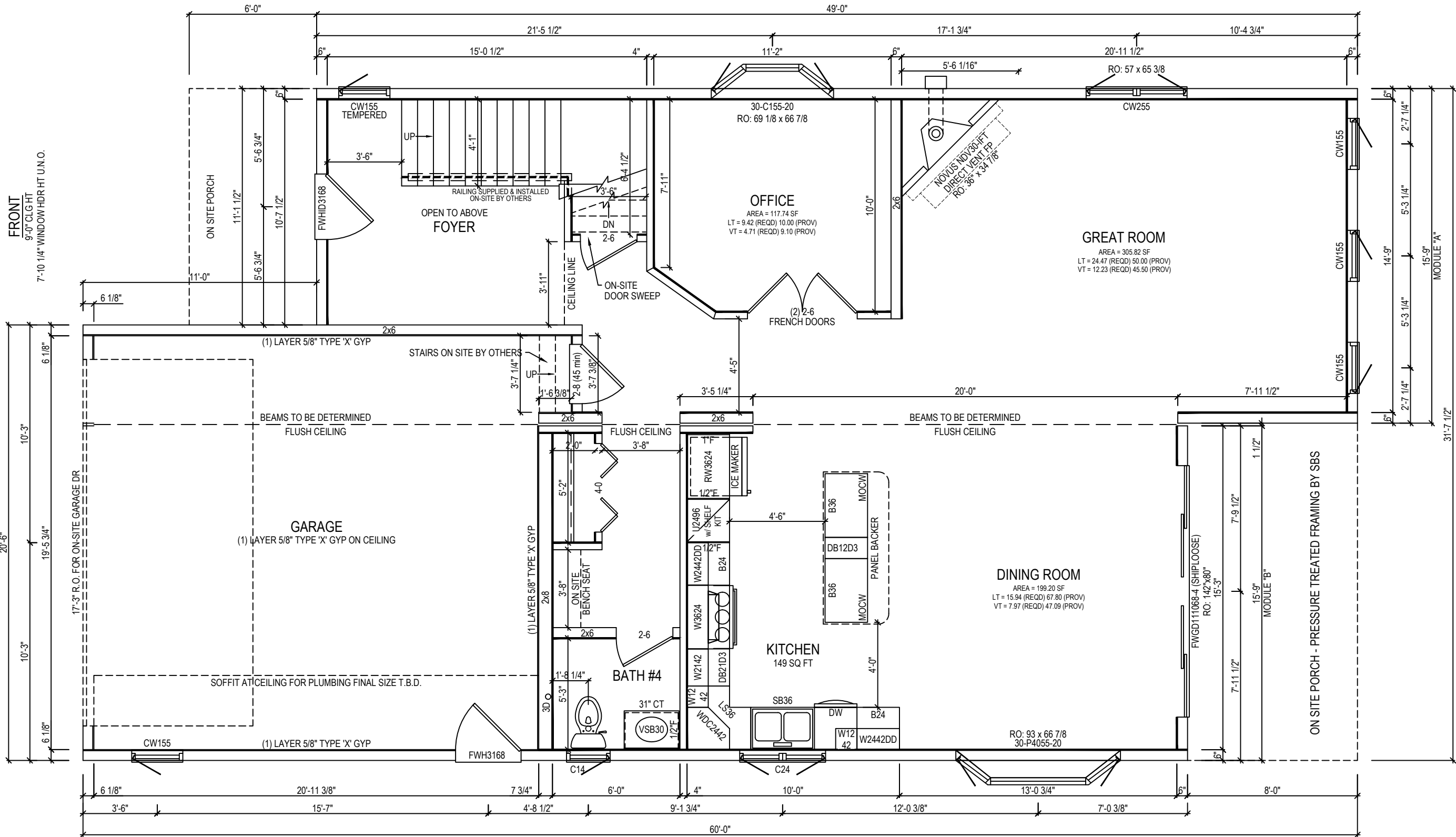
ELEVATIONS

SCALE:

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WHITE PLAINS NY

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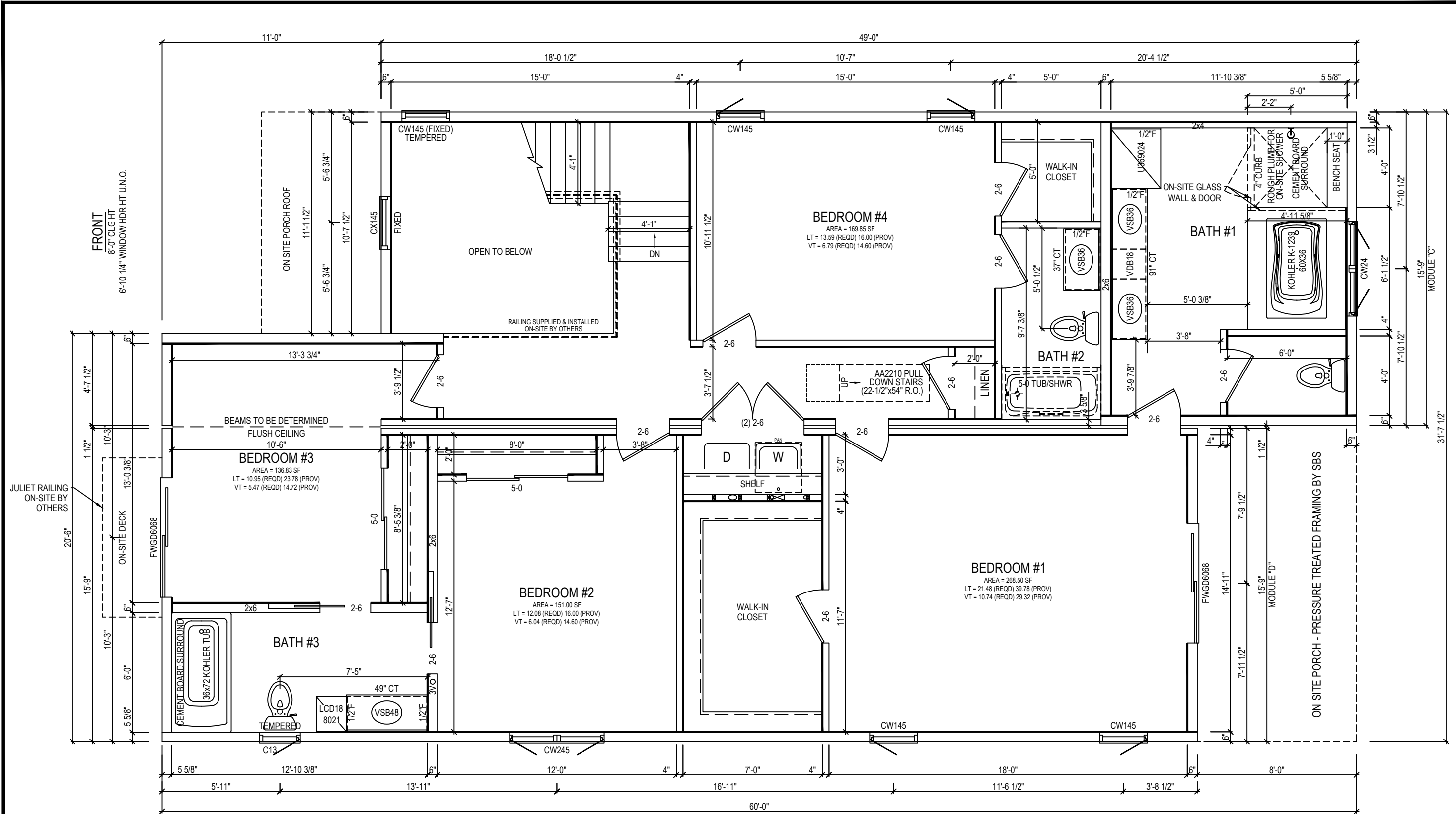
1ST FLOOR PLAN

SCALE:

NTS

SHEET:

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WHITE PLAINS NY

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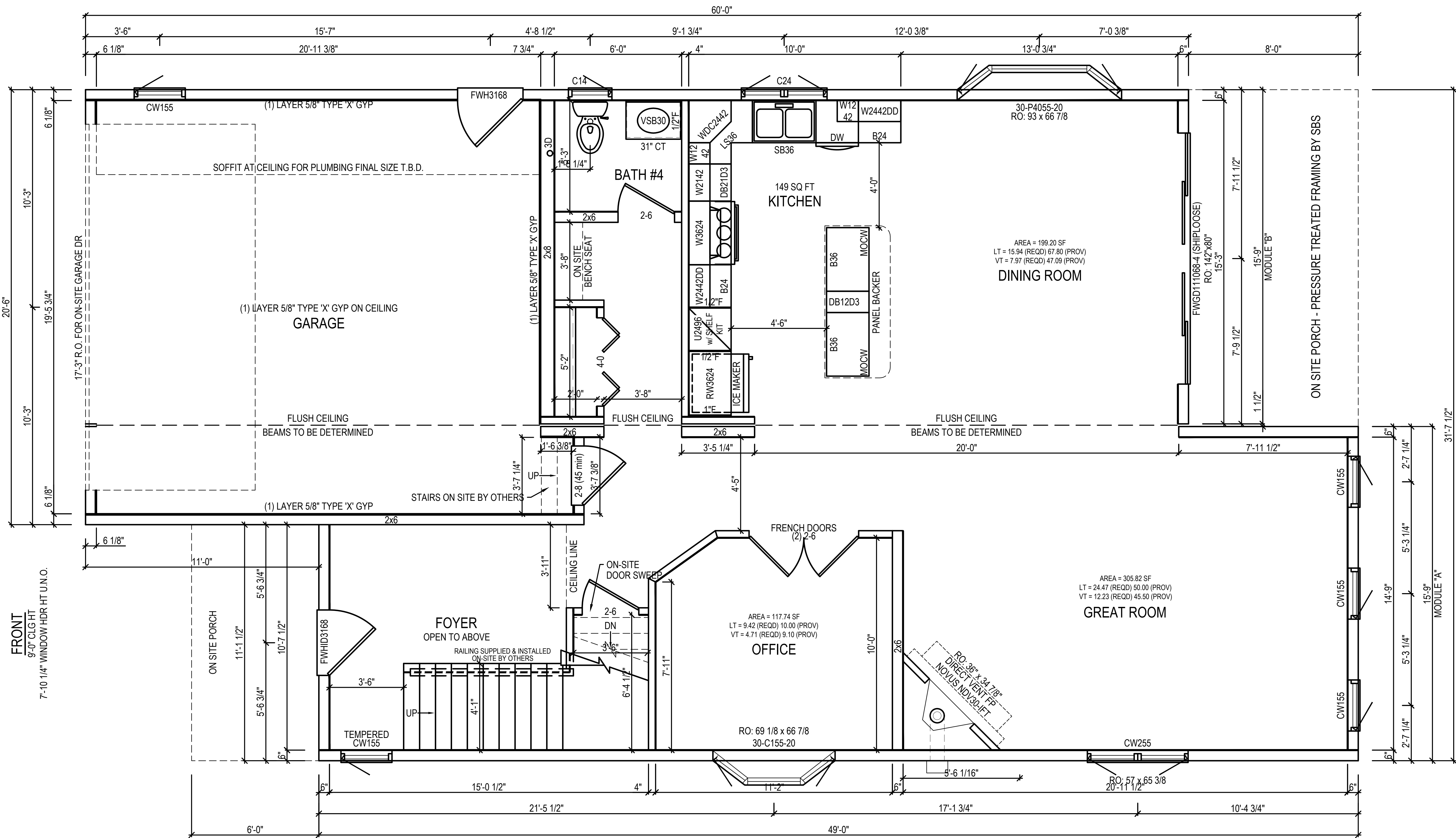
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2ND FLOOR PLAN

SCALE:  
NTS

SHEET:  
**2b**







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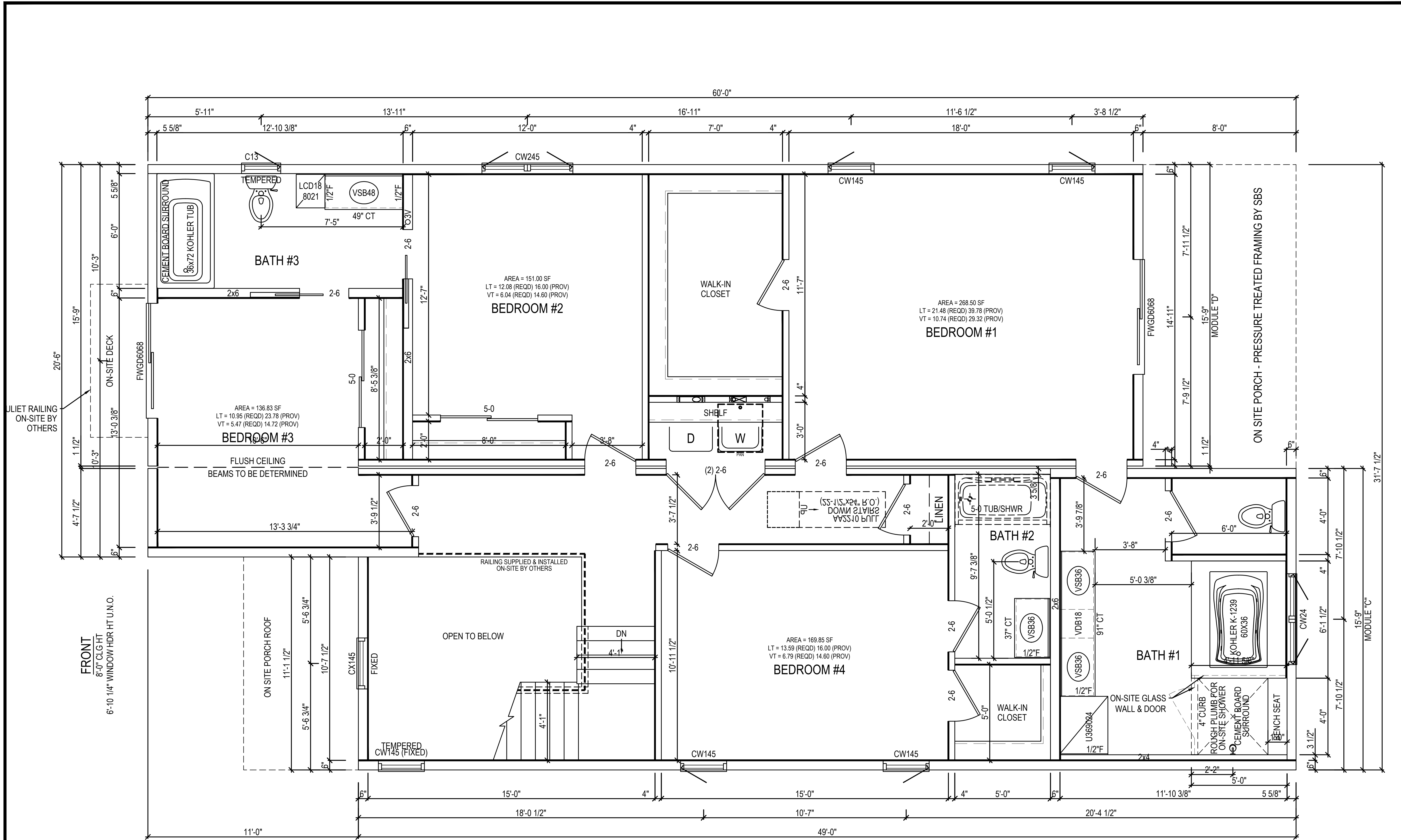
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DRAWING:  
1ST FLOOR PLAN

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NTS

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