

FERGUSON RESIDENCE

ISSUED FOR AHRB
8 SEPTEMBER 2023

SCOPE OF WORK

BUILDING ALTERATIONS: CONSTRUCTION OF BALCONY OVER EXISTING FRONT PORCH. REPLACEMENT OF WINDOWS AND SOLARIUM STRUCTURE AT REAR PATIO. INTERIOR RENOVATION OF KITCHEN AND DINING ROOM. ARCHITECTURAL, STRUCTURAL, ELECTRICAL AND PLUMBING WORK PROPOSED PER PLANS FILED HEREWITH. NO CHANGE IN USE, EGRESS OR OCCUPANCY UNDER THIS APPLICATION.

PROPERTY OVERVIEW

SITE ADDRESS: 26 MAGNOLIA DRIVE,
DOBBS FERRY, NY
PARCEL #: 3.160-144-19
ZONING DISTRICT: OF-5
OCCUPANCY CLASSIFICATION: 210-ONE FAMILY YEAR-ROUND RESIDENCE

APPLICABLE CODES¹

VILLAGE OF DOBBS FERRY, NY
2020 RESIDENTIAL CODE OF NYS
2020 PLUMBING CODE OF NYS
2020 ENERGY CONSERVATION CODE OF NYS
2017 NATIONAL ELECTRICAL CODE
2020 NYS TRENCH ENERGY CODE

¹ALL WORK IS DESIGNED AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LISTED APPLICABLE CODES.

SYMBOL LEGEND

	NORTH ARROW
	TITLE X-XXX "x" = 1'-0"
	EXTERIOR ELEVATION
	BUILDING/WALL SECTION
	DETAIL SECTION
	PLAN DETAIL
	INTERIOR ELEVATION TAG
	INTERIOR ELEVATION
	SPOT ELEVATION
	ROOM NAME/NUMBER
	REVISION TAG
	DOOR TAG
	PARTITION TAG
	MILLWORK TAG
	MATERIAL TAG

DRAWING LIST

SHEET #	REV.	TITLE	SHEET NUMBER
G-000	.00	COVER SHEET	G-000
G-001	.00	ZONING ANALYSIS & SITE WORK	G-001
G-002	.00	ENERGY CONSERVATION	G-002
AD-200	.00	DEMOLITION FLOOR PLAN	AD-200
AD-300	.00	DEMOLITION ELEVATIONS	AD-300
A-200	.00	CONSTRUCTION FLOOR PLAN	A-200
AC-200	.00	STRUCTURAL & REFLECTED CEILING PLAN	AC-200
A-300	.00	CONSTRUCTION ELEVATIONS	A-300
A-900	.00	FRAMING DETAILS	A-900

REGULATORY NOTES:

- ALL WORK SHALL BE DONE AND INSTALLED IN COMPLIANCE WITH ALL LAWS, RULES AND REGULATIONS OF THE LOCAL MUNICIPALITY, AND SHALL COMPLY WITH THE LATEST EDITION OF THE 2020 NEW YORK STATE RESIDENTIAL CODE, NEW YORK STATE FIRE PREVENTION CODE, INCLUDING ALL REFERENCE STANDARDS. ALL MATERIALS AND EQUIPMENT USED IN THE PROJECT SHALL CONFORM TO, AND HAVE APPROVALS IN ACCORDANCE WITH THE LOCAL MUNICIPALITY, ALL REFERENCED SUBCODES, AND WITH ANY OTHER PUBLIC AUTHORITIES OR AGENCIES HAVING JURISDICTION OVER THE PROJECT.
- CONSTRUCTION SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL CODES, ORDINANCES, RULES AND REGULATIONS. CONTRACTOR SHALL ARRANGE FOR ALL NECESSARY PERMITS AND INSPECTIONS INCLUDING THE OCCUPANCY CERTIFICATE.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES AND REGULATIONS OF PUBLIC AUTHORITY HAVING JURISDICTION FOR THE SAFETY OF PERSONS OR PROPERTY & TO PROTECT THEM FROM DAMAGE, INJURY OR LOSS.
- THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH THE STIPULATIONS OF LOCAL AUTHORITIES.

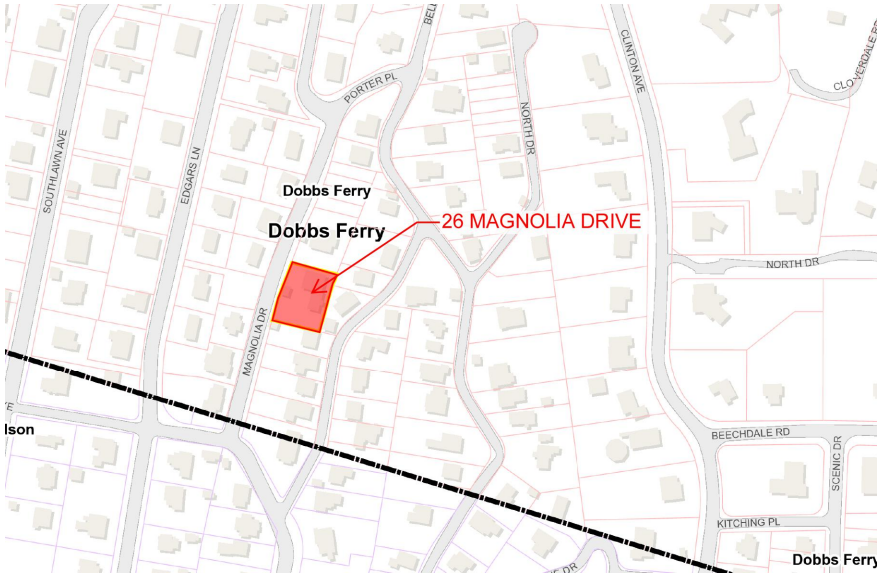
LICENSE & INSURANCE:

- GENERAL CONTRACTOR TO BE LICENSED WITHIN THE COUNTY OF WORK AND SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES AND BUILDING MANAGEMENT.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE DIGITALLY AND HARDCOPIES ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE LOCAL BUILDING DEPARTMENT.
- CONTRACTOR SHALL PURCHASE AND MAINTAIN SUCH INSURANCE AS WILL PROTECT HIM/HER RESULT FROM THE CONTRACTORS OPERATIONS, WHETHER BE HIMSELF/HERSELF, SUB-CONTRACTOR, OR BY ANY OF THEM FOR WHOSE ACTS ANY OF THEM MAY BE LIABLE.
- CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR ALL THE ACTS AND OMISSIONS OF ALL HIS EMPLOYEES AND SUB-CONTRACTORS, THEIR AGENTS AND ALL OTHER PERSONS PERFORMING ANY OF THE WORK.
- THE CONTRACTOR SHALL PROVIDE WORKMEN'S COMPENSATION, LIABILITY AND PROPERTY DAMAGE INSURANCES TO LIMITS AS REQUIRED BY THE LOCAL AUTHORITIES AND/OR OWNER.

FILING & PERMITTING:

- ALL REQUIRED AND NECESSARY PERMITS SHALL BE SECURED FROM ALL MUNICIPAL AGENCIES HAVING JURISDICTION AT THE COST AND EXPENSE OF THE CONTRACTOR AND PRIOR TO START OF WORK.
- CONTRACTOR SHALL GIVE ALL NOTICES, BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS REQUIRED BY AND ARRANGING FOR ALL REQUIRED NOTIFICATIONS, TESTING, INSPECTIONS, AND APPROVALS.
- CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH THE STIPULATION OF LOCAL AUTHORITIES IN ORDER TO OBTAIN NECESSARY APPROVALS OF ALL COMPLETED WORK AS REQUIRED BY ADMINISTRATIVE CODE AND ALL REQUIRED AGENCIES.
- THE CONTRACTOR, UPON COMPLETION OF THE WORK SHALL ARRANGE FOR DEPARTMENT OF BUILDINGS INSPECTIONS AND SIGN-OFFS AS REQUIRED.
- THE CONTRACTOR OR PERSON WHO SUPERVISED THE WORK IS REQUIRED TO BE PRESENT AT FINAL INSPECTION WITH THE BUILDING DEPARTMENT INSPECTOR.
- ALL PLUMBING WORK SHALL CONFORM TO RULES AND REGULATIONS OF THE MOST CURRENT NYS PLUMBING CODE. THE FINAL CERTIFICATE OF APPROVAL MUST BE PRESENTED TO THE OWNER PRIOR TO FINAL PAYMENT.
- PLUMBING WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES. UPON COMPLETION, PLUMBER SHALL ARRANGE FOR AND OBTAIN THROUGH THE DEPARTMENT OF BUILDINGS ALL REQUIRED PERMITS, INSPECTIONS AND REQUIRED SIGN OFFS.
- ALL ELECTRIC WORK SHALL CONFORM TO RULES AND REGULATIONS OF THE INTERNATIONAL BUILDING CODE, THE NATIONAL ELECTRIC CODE AND N.Y. STATE BOARD OF FIRE UNDERWRITERS. THE FINAL CERTIFICATE OF APPROVAL MUST BE PRESENTED TO THE OWNER.
- ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES. UPON COMPLETION, ELECTRICIAN SHALL ARRANGE FOR AND OBTAIN THROUGH THE BUREAU OF ELECTRICAL CONTROL ALL REQUIRED PERMITS, INSPECTIONS AND REQUIRED SIGN OFFS.

LOCATION MAP



NO LIABILITY TO HAZARDOUS MATERIALS

UNLESS OTHERWISE PROVIDED, THE ARCHITECT AND ARCHITECT'S CONSULTANTS, INCLUDING EQUIPMENT MANUFACTURERS AND THEIR REPRESENTATIVES, SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL, DISPOSAL OF, OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE. THIS INCLUDES, BUT IS NOT LIMITED TO ASBESTOS, ASBESTOS PRODUCTS, POLYCHLORINATED BIPHENYL (PCB), LEAD PAINT CONTAMINANTS OR ANY OTHER TOXIC SUBSTANCES OR CONTAMINATE. SHOULD ANY HAZARDOUS MATERIAL BE ENCOUNTERED, THE CONTRACTOR SHALL CEASE WORK IMMEDIATELY AND REVIEW THE PROJECT CONDITIONS WITH THE ARCHITECT AND OWNER PRIOR TO PROCEEDING WITH ANY WORK OF THE CONTRACT.

OWNERSHIP OF DOCUMENTS PER EDUCATIONAL LAW 7209 ARTICLE 145

THESE DRAWINGS AS ARTICLES OF SERVICE ARE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED FOR OTHER BUILDINGS AND PURPOSES UNLESS SPECIFICALLY APPROVED BY THE ARCHITECT. IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER THIS DOCUMENT IN ANY WAY.

PROTECTION & GOOD HOUSEKEEPING NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
- ANY DAMAGE TO PUBLIC PROPERTY CAUSED BY THE PROJECT SHALL BE RESTORED TO ITS ORIGINAL CONDITION BEFORE COMPLETION.
- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH THE REQUIREMENTS OF "SAFETY OF PUBLIC AND PROPERTY DURING CONSTRUCTION OPERATIONS" AND SHALL BE HELD RESPONSIBLE FOR THE SAFE MAINTENANCE AS PRESCRIBED THEREIN UNTIL COMPLETION OF WORK.
- DISTURBANCE OR DAMAGE RESULTING DIRECTLY OR INDIRECTLY FROM THE OPERATION OF THE GENERAL CONTRACTOR SHALL BE PROMPTLY RESTORED, REPAIRED AND/OR REPLACED TO THE COMPLETE SATISFACTION OF THE ARCHITECT AND OWNER.
- GENERAL CONTRACTOR SHALL PROVIDE FOR THE LEGAL REMOVAL AND DISPOSITION OF RUBBISH AND DEBRIS. AND FOR THE GENERAL CLEANING FOR THE DURATION OF THE PROJECT. UPON COMPLETION, THE CONTRACTOR SHALL LEAVE THE PREMISES FREE AND CLEAR OF ALL RUBBISH AND DEBRIS, AND IN A BROOM SWEEP CONDITION.
- CONTRACTOR SHALL PROPERLY CLEAN UP DURING PROCESS OF WORK. CONTRACTOR, UPON COMPLETION OF WORK, SHALL LEAVE PREMISES CLEAN, NEAT AND ORDERLY.

ENERGY CONSERVATION NOTES

- THIS DESIGN IS IN COMPLIANCE WITH REQUIREMENTS OF 2020 NYS TRECH RESIDENTIAL CODE OF THE STATE OF NEW YORK AND 2020 RESIDENTIAL CODE OF THE STATE OF NEW YORK.
- CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH 2020 NYS TRECH RESIDENTIAL CODE OF THE STATE OF NEW YORK AND 2020 RESIDENTIAL CODE OF THE STATE OF NEW YORK.
- A CONTINUOUS AIR BARRIER SHALL BE INSTALLED, SEALING ALL SEAMS, OPENINGS, AND PENETRATIONS OF THE BUILDING AND SHALL BE SEALED WITH CAULKING MATERIALS OR CLOSED WITH GASKETING SYSTEMS COMPATIBLE WITH THE CONSTRUCTION MATERIALS AND LOCATION.
- ALL NEW FIXTURES AND APPLIANCES SHALL COMPLY WITH ENERGY STAR GUIDELINES.

ARCHITECTURAL DRAWING NOTES:

- IN ALTERATION OR RENOVATION PROJECT, ALL DIMENSIONS AND CONDITIONS SHOWN IN PLANS ARE APPROXIMATE, AS ALL NEW WORK MUST JOIN AND ALIGN WITH EXISTING CONDITIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK, SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
- WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
- LARGER SCALE DETAILS SHALL HAVE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
- CONTRACTOR SHALL VISIT THE SITE, CHECK AND VERIFY CONDITIONS, FAMILIARIZE HIMSELF/HERSELF WITH EXISTING CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED AND CORRELATE HIS/HER OBSERVATIONS WITH THE REQUIREMENTS OF THE PLANS. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER IMMEDIATELY.
- EACH CONTRACTOR WILL BE HELD RESPONSIBLE FOR HIS/HER WORK. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE BUILDINGS AND WILL BE RESPONSIBLE FOR THE JOINING OF WORK OF ALL TRADES.
- THE GENERAL CONTRACTOR SHALL DO ALL CUTTING, PATCHING, AND REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.
- THE CONTRACTOR SHALL LAYOUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES: PLUMBING, ELECTRICAL, ETC.

ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL CODES AND REGULATIONS HAVING JURISDICTION OVER THIS SITE LOCATION.

ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT. THESE DRAWINGS MUST NOT BE SCALED.

THE DESIGN AND CONTRACT DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED, ALTERED, OR REUSED WITHOUT THE ARCHITECT'S WRITTEN APPROVAL.

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8 SEPTEMBER 2023

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NO.	DESCRIPTION	DATE

Project:

FERGUSON RESIDENCE

26 MAGNOLIA DRIVE
DOBBS FERRY, NY 10522

gkcARCH PROJECT NO. 23-001

Scale:
AS NOTED
CAD File Name:
G-000 COVER SHEET.DWG

COVER SHEET

G-000.00

EXHIBIT 4: REAR

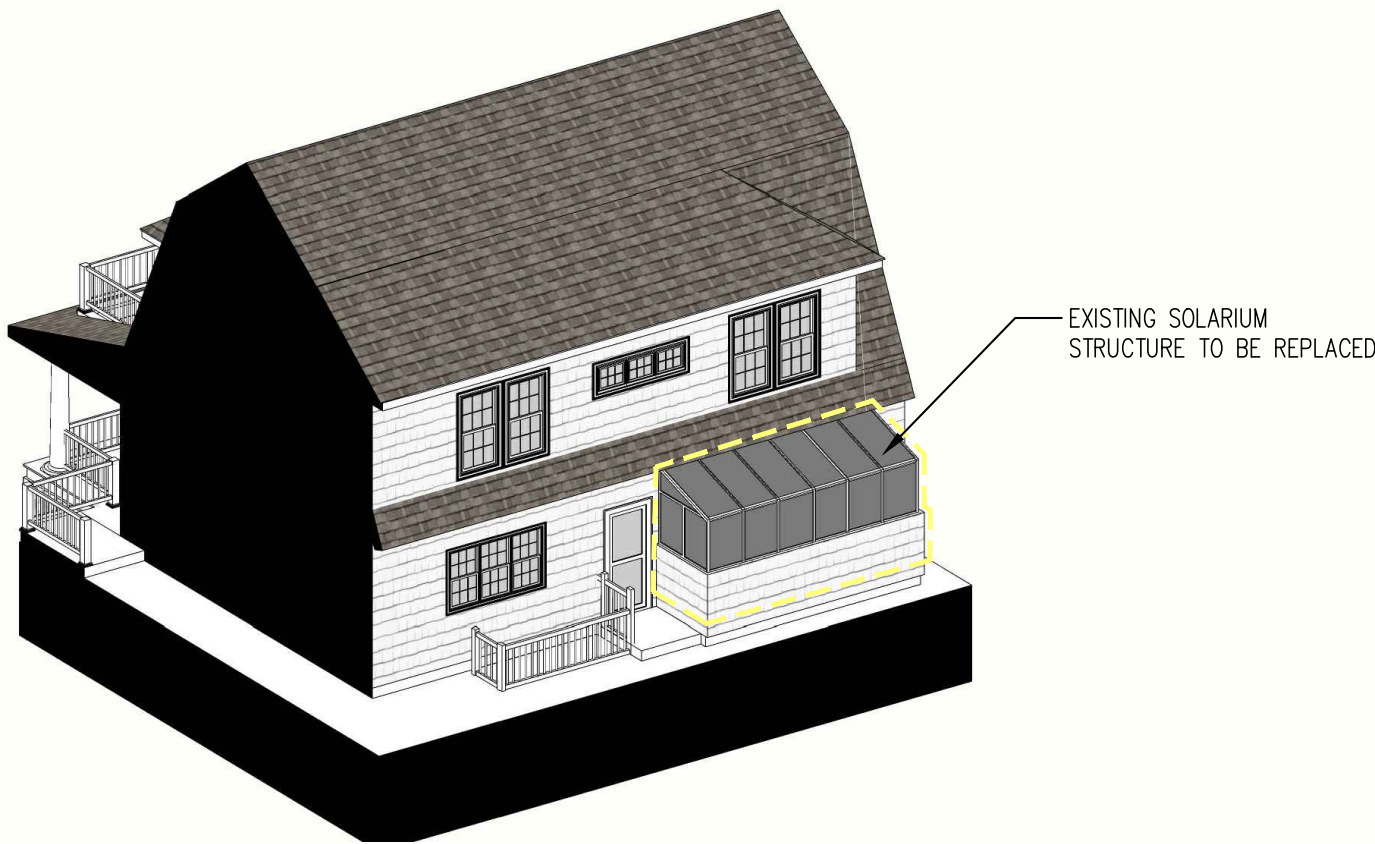


EXHIBIT 2: FRONT

1 PROPOSED DESIGN
G-000 NO SCALE

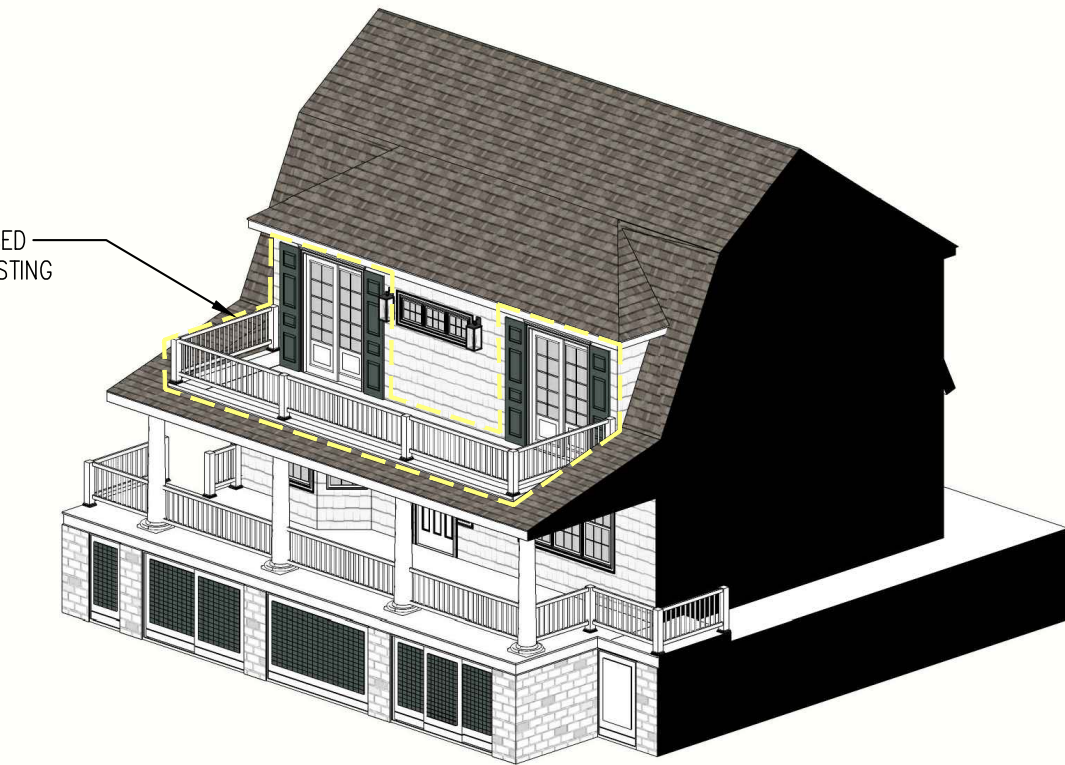


EXHIBIT 3: REAR

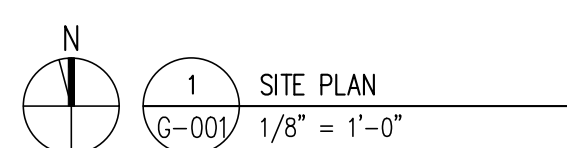
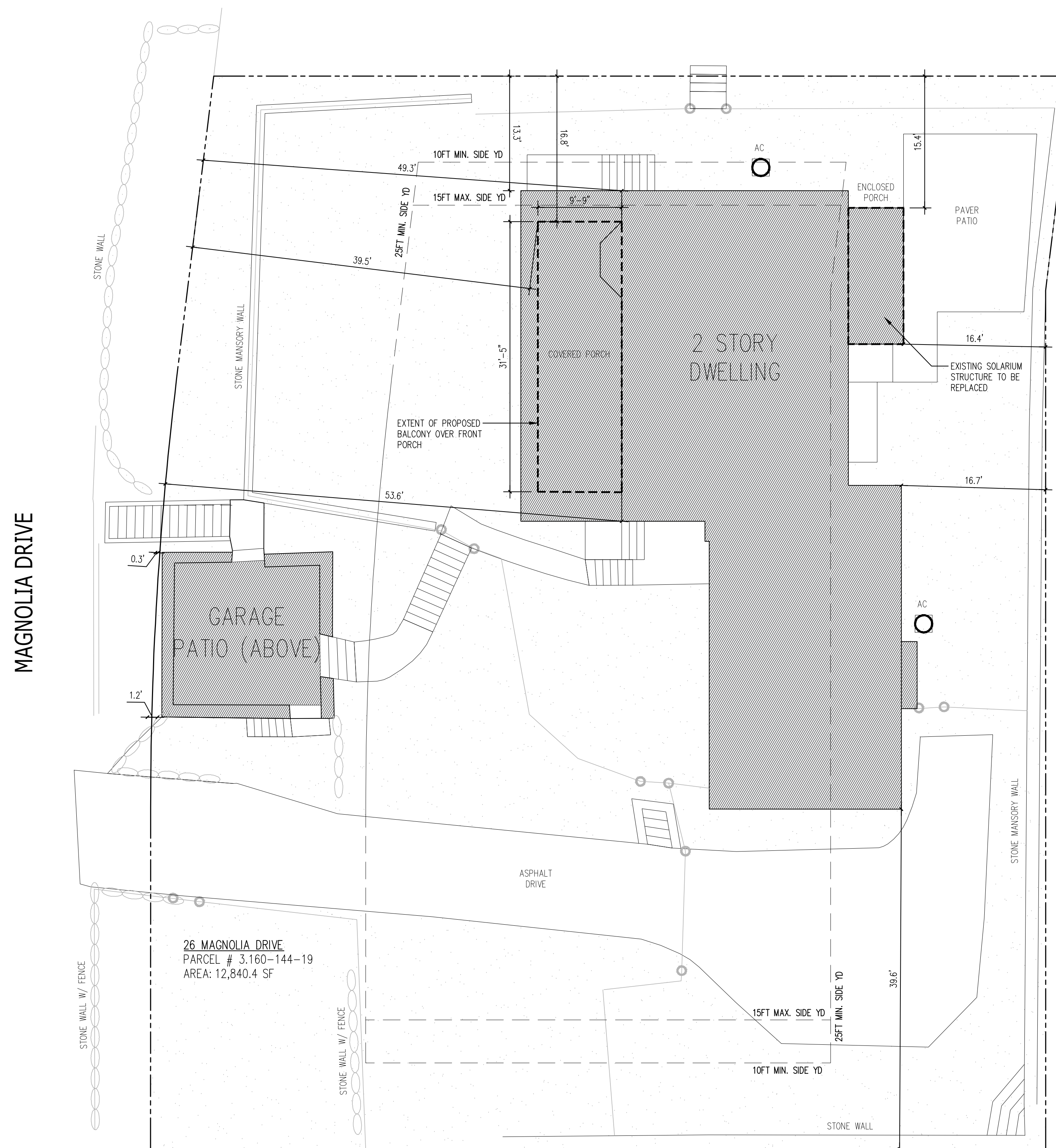


EXHIBIT 1: FRONT



ZONING ANALYSIS

ZONING DATA						
LOCATION:	DOBBS FERRY, NY					
ADDRESS:	26 MAGNOLIA DRIVE					
PARCEL #:	3.160-144-19					
ZONING DISTRICT:	OF-5 [210 - ONE FAMILY YEAR-ROUND RESIDENCE]					
DIMENSIONAL REQUIREMENTS	REQUIRED / PERMITTED		EXISTING		PROPOSED	
	MAIN BLDG	ACCESSORY BLDG	MAIN BLDG	ACCESSORY BLDG	MAIN BLDG	ACCESSORY BLDG
LOT SIZE [SF]	7,500 SF		12,840 SF		-	
MINIMUM LOT WIDTH [FT]	75 FT		125 FT		-	
MINIMUM LOT DEPTH [FT]	100 FT		100 FT		-	
YARD SETBACK						
MINIMUM FRONT	25 FT	-	49.3 FT	0.3 FT	39.5 FT	NO CHANGES
MINIMUM REAR	25 FT	-	16.4 FT	-	16.4 FT	-
MINIMUM ONE SIDE	10 FT	-	13.3 FT	-	16.8 FT	-
MINIMUM TWO SIDES	25 FT	-	52.9 FT	-	52.9 FT	-
MAXIMUM HEIGHT						
RIDGE	30 FT	-	NO CHANGES			
EAVE	28 FT	-	NO CHANGES			
# OF STORIES	2 ½	-	NO CHANGES			
BLDG FLOOR AREA	3,813 SF		NO CHANGES			
MAXIMUM FAR	0.297		NO CHANGES			
MAXIMUM LOT COVERAGE						
BUILDINGS	25%	3,210 SF	NO CHANGES			
IMPERVIOUS SURFACES	44%	5,650 SF	NO CHANGES			



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[illegible]

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AS NOTED
CAD File Name:
G-001 ZONING ANALYSIS & SITE WORK.DWG

ZONING ANALYSIS & SITE WORK

G-001.00

CLIMATIC AND GEOGRAPHIC NOTES

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA													
GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			CLIMATE ZONE	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDOUS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	WIND SPEED	TOPO EFFECT	SPECIAL WIND REGION	WIND-BORN DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITE					
30 PSF	^A SPECIAL WIND REGION	NO	YES	NO	C	SEVERE	3'-6"	MODERATE TO HEAVY	4A	YES	NO	2000	51.6

A. 115MPH TO 120MPH, THE SPECIAL WIND REGION SHOULD SERVE AS A WARNING TO DESIGN PROFESSIONALS IN EVALUATING WIND LOADING CONDITIONS. WIND SPEEDS HIGHER THAN THE DERIVED VALUES TAKEN FROM SECTION 1609 OF THE IBC AND FIGURE R301.1(A) OF THE IRC ARE LIKELY TO OCCUR AND SHOULD BE CONSIDERED IN DESIGN.

ENERGY NOTES – PRESCRIPTIVE METHOD [NYSIRECH RESIDENTIAL CODE 2020 TABLE R402.1.2]

INSULATION & FENESTRATION REQUIREMENTS BY COMPONENT ^A										
PROJECT CLIMATE ZONE	FENESTRATION ^F	SKYLIGHT U-FACTOR ^F	GLAZED FENESTRATION SHGC ^F	CEILING R-VALUE	WOOD FRAME WALL ^F R-VALUE	MASS WALL ^F R-VALUE	FLOOR R-VALUE	BASEMENT WALL ^F R-VALUE	SLAB ^F R-VALUE & DEPTH	CRAWL SPACE WALL ^F R-VALUE
4	0.27	0.50	0.4	49	21 INT. OR 20+5/13+10	15/20	30 ^G	15/19	10, 4FT	15/19

- A. R-VALUES ARE MINIMUMS. U-FACTORS AND SHGC ARE MAXIMUMS. WHERE INSULATION IS INSTALLED IN A CAVITY THAT IS LESS THAN THE LABEL OR DESIGN THICKNESS OF THE INSULATION, THE INSTALLED R-VALUE OF THE INSULATION SHALL BE NOT LESS THAN THE R-VALUE SPECIFIED IN THE TABLE.
- B. INT. [INTERMEDIATE FRAMINGS] DENOTES STANDARD FRAMING 16 INCHES ON CENTER. HEADERS SHALL BE INSULATED WITH A MINIMUM OF R-10 INSULATION.
- C. THE FIRST VALUE IS CAVITY INSULATION, THE SECOND VALUE IS CONTINUOUS INSULATION, THEREFORE, AS AN EXAMPLE, '13+10' MEANS R-13 CAVITY INSULATION PLUS R-10 CONTINUOUS INSULATION.
- D. MASS WALLS SHALL BE IN ACCORDANCE WITH SECTION R402.2.5. THE SECOND R-VALUE APPLIES WHEN MORE THAN HALF THE INSULATION IS ON THE INTERIOR OF THE MASS WALL.
- E. 15/19 MEANS R-15 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME OR R-19 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL.
- F. R-10 CONTINUOUS INSULATION SHALL BE PROVIDED UNDER THE FULL SLAB AREA OF A HEATED SLAB IN ADDITION TO THE REQUIRED SLAB EDGE INSULATION R-VALUE FOR SLABS AS INDICATED IN THE TABLE. THE SLAB EDGE INSULATION FOR HEATED SLABS SHALL NOT BE REQUIRED TO EXTEND BELOW THE SLAB.
- G. ALTERNATIVELY, INSULATION SUFFICIENT TO FILL THE FRAMING CAVITY AND PROVIDING NOT LESS THAN AN R-VALUE OF R-19.
- H. THE FENESTRATION U-FACTOR COLUMN EXCLUDES SKYLIGHTS. THE SHGC COLUMN APPLIES TO ALL GLAZED FENESTRATION.

BATT INSULATION R-VALUE REFERENCE

NOMINAL LUMBER SIZE	CAVITY DEPTH ^F	INSULATION R-VALUES WHEN COMPRESSED IN FRAMING CAVITY ^A											
2x12	11-1/4"	37	38										
2x10	9-1/4"	32	35	28									
2x8	7-1/4"	27	29	25	27	24							
2x6	5-1/2"			21	22	20	19	21	18				
2x4	3-1/2"						14	15	13				
2x3	2-1/2"									11	10	8.9	8.0
2x2	1-1/2"										6.6	6.1	5.7
2x1	3/4"											3.3	3.3
PRODUCT R-VALUE ^E		R-38	R-38C	R-30	R-30C	R-25	R-22	R-21	R-19	R-15	R-13	R-11	R-8
LABEL THICKNESS	12"	10-1/4"	9-1/2"	8-1/4"	8"	6-3/4"	5-1/2"	6-1/4"	3-1/2"	3-1/2"	3-1/2"	2-1/2"	

- A. FOR REFERENCE ONLY. SOME PRODUCTS CAN REACT DIFFERENTLY TO CAVITY INSTALLATION AND COMPRESSION.
- B. ACTUAL CAVITY DEPTH TO BE VERIFIED.
- C. ACTUAL PRODUCT RATINGS TO BE VERIFIED BY CONTRACTOR.
- D. WHERE SECTION R402.1.2 REQUIRES R-49 INSULATION IN THE CEILING, INSTALLING R-38 OVER 100 PERCENT OF THE CEILING AREA REQUIRING INSULATION SHALL BE DEEMED TO SATISFY THE REQUIREMENT FOR R-49 WHEREVER THE FULL HEIGHT OF THE UNCOMPRESSED R-38 INSULATION EXTENDS OF THE UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES AS PER ECNYS R402.2.1.

INSULATION TYPE R-VALUE

DEPTH	R-VALUE ^E	TYPE	PRODUCT/MANUFACTURER
1"	R-5	EXTRUDED POLYSTYRENE [XPS] RIGID FOAM INSULATION	FOAMULAR 150 BY OWENS CORNING
1-1/2"	R-7.5		
2"	R-10		
2-1/2"	R-12.5		
3"	R-15		
3-1/2"	R-15		
5-1/2"	R-21		
6-1/4"	R-19	FIBERGLASS BATT INSULATION ^A	PINK NEXT GEN FIBERGLAS BY OWENS CORNING
6-3/4"	R-22		
8"	R-25		
8-1/4"	R-30C		
9-1/2"	R-30		
10-1/4"	R-38C		
12"	R-38		
VARIABLE ^G	R-4.48/IN	SPRAYED POLYURETHANE FOAM INSULATION: OPEN CELL	800 LIGHT DENSITY OPEN CELL FOAM INSULATION BY THERMOSEAL
VARIABLE ^G	R-6.9/IN	SPRAYED POLYURETHANE FOAM INSULATION: CLOSED CELL	2000 MEDIUM DENSITY CLOSED CELL FOAM INSULATION BY THERMOSEAL

- A. REFER TO BATT INSULATION R-VALUE REFERENCE FOR VALUES WHEN COMPRESSED.
- B. ACTUAL PRODUCT RATINGS TO BE VERIFIED BY CONTRACTOR.
- C. CONFIRM MAXIMUM THICKNESS LIMITATIONS FOR CURED FOAM WITH MANUFACTURER.

NATURAL LIGHT & VENTILATION COMPLIANCE

NATURAL LIGHT & VENTILATION REQUIREMENT ^{1,2}							
ROOM #	ROOM NAME	AREA (NSF)	LIGHT REQUIRED	LIGHT PROVIDED	VENT REQUIRED	VENT PROVIDED	NOTES
101	DINING ROOM	179	14.32	35.07	7.16	27.09	
102	KITCHEN	303	24.24	92	12.12	18.29	
200	CORRIDOR	142	N/A	8.25	N/A	9.99	NOT HABITABLE ROOM
201	BEDROOM 1	153	12.24	26.42	6.12	15.12	
202	BEDROOM 2	123	9.84	26.82	4.92	17.10	
203	BEDROOM 3	197	15.76	26.42	7.88	15.12	
205	BATHROOM	67	5.36	8.25	2.68	9.99	R303.3

¹ REFER TO DOOR/WINDOW SCHEDULE

² R303.1 HABITABLE ROOMS

HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8 PERCENT OF THE FLOOR AREA OF SUCH ROOMS. NATURAL VENTILATION SHALL BE THROUGH WINDOWS, DOORS, LOUVERS OR OTHER APPROVED OPENINGS TO THE OUTDOOR AIR. SUCH OPENINGS SHALL BE PROVIDED WITH READY ACCESS OR SHALL OTHERWISE BE READILY CONTROLLABLE BY THE BUILDING OCCUPANTS. THE MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE 4 PERCENT OF THE FLOOR AREA BEING VENTILATED.

EXCEPTIONS:

- THE GLAZED AREAS NEED NOT BE OPENABLE WHERE THE OPENING IS NOT REQUIRED BY SECTION R310 AND A WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM IS INSTALLED IN ACCORDANCE W/ SECTION M1505.
- THE GLAZED AREAS NEED NOT BE INSTALLED IN ROOMS WHERE EXCEPTION 1 IS SATISFIED AND ARTIFICIAL LIGHT IS PROVIDED THAT IS CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOT-CANDELES [65 LUX] OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL.
- USE OF SUNROOM AND PATIO COVERS, AS DEFINED IN SECTION R202, SHALL BE PERMITTED FOR NATURAL VENTILATION IF IN EXCESS OF 40 PERCENT OF THE EXTERIOR SUNROOM WALLS ARE OPEN, OR ARE ENCLOSED ONLY BY INSECT SCREENING.

R303.3 BATHROOMS

BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING AREA IN WINDOWS OF NOT LESS THAN 3 SF, ONE-HALF OF WHICH SHALL BE OPENABLE.

EXCEPTION: THE GLAZED AREAS SHALL NOT BE REQUIRED WHERE ARTIFICIAL LIGHT AND A LOCAL EXHAUST SYSTEM ARE PROVIDED. THE MINIMUM LOCAL EXHAUST RATES SHALL BE DETERMINED IN ACCORDANCE WITH SECTION M1505. EXHAUST AIR FROM THE SPACE SHALL BE EXHAUSTED DIRECTLY TO THE OUTDOORS.

NEW DOORS SCHEDULE

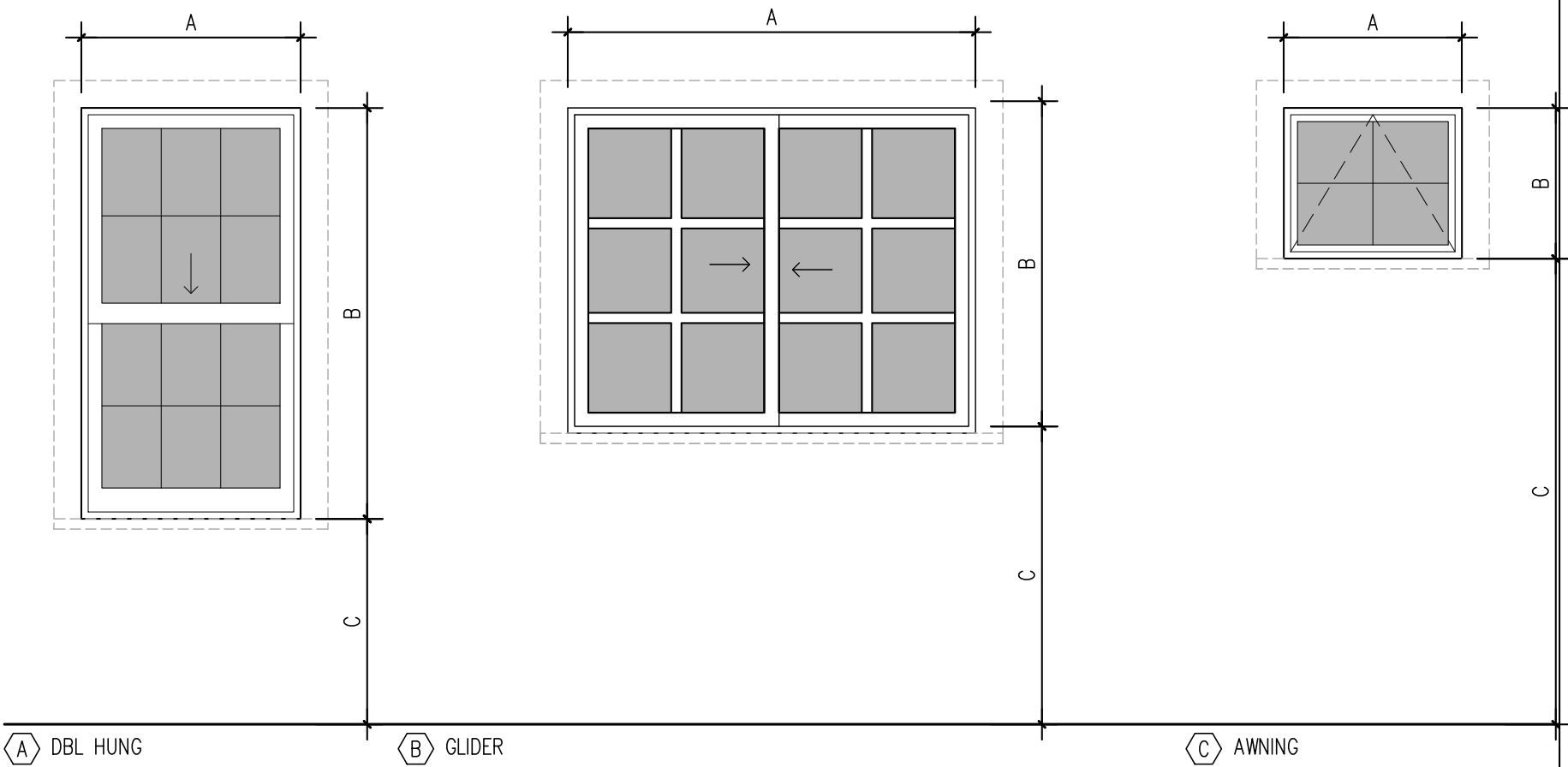
DOOR SCHEDULE ¹²										
DOOR NUMBER	LOCATION	TYPE	WIDTH (A)	HEIGHT (B)	SHGC ^C	U-FACTOR ^F	HARDWARE FUNCTION	MATERIAL	FRAME OPENING	NOTES
D102.1-1	COAT CLOET	B	5'-0"	6'-8"	N/A	N/A	DUMMY	WD	NEWN	3
D104-1	LIVING ROOM	C	3'-0"	6'-8"	N/A	N/A	PASSAGE	WD	NEW	3
DEXT.3-1	BALCONY	D	6'-0"	6'-8"	0.14-0.26	0.19-0.20	ENTRY	WD & GL	MODIFIED	4,5,6,7
DEXT.3-2	BALCONY	D	6'-0"	6'-8"	0.14-0.26	0.19-0.20	ENTRY	WD & GL	MODIFIED	4,5,6,7

- ALL NEW GLAZED FENESTRATION TO COMPLY WITH INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT.
- CONTRACTOR SHALL CONFIRM FINAL DIMENSIONS OF ANY OFCI DOORS PRIOR TO ORDERING.
- INTERIOR DOORS TO BE 1-3/8" THICK SOLID WOOD CORE BD [2 PANELS].
- CONTRACTOR SHALL INSULATE FRAMING CAVITY ON ALL FOUR SIDES OF WINDOW/THREE SIDES OF DOOR WITH EXPANDABLE INSULATE.
- ALL EXTERIOR OPENINGS TO RECEIVE GRACE VYCOR SELF-ADHERED FLASHING OR APPROVED EQUAL.
- AIR INFILTRATION RATE OF EXTERIOR DOORS SHALL NOT BE GREATER THAN 0.25 CFM/SF.
- EXTERIOR DOORS TO BE MARVIN SIGNATURE ULTIMATE OR APPROVED EQUAL.

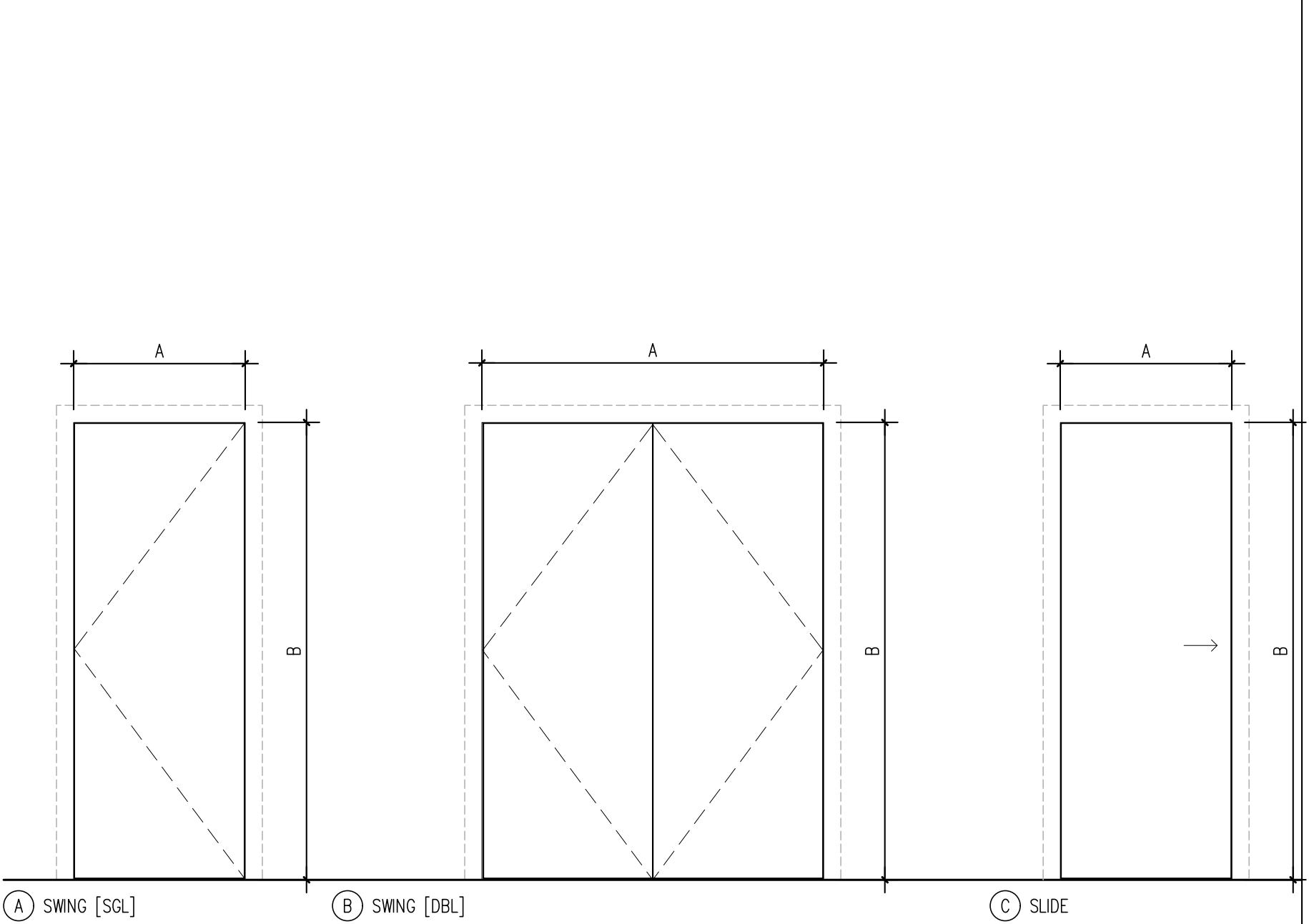
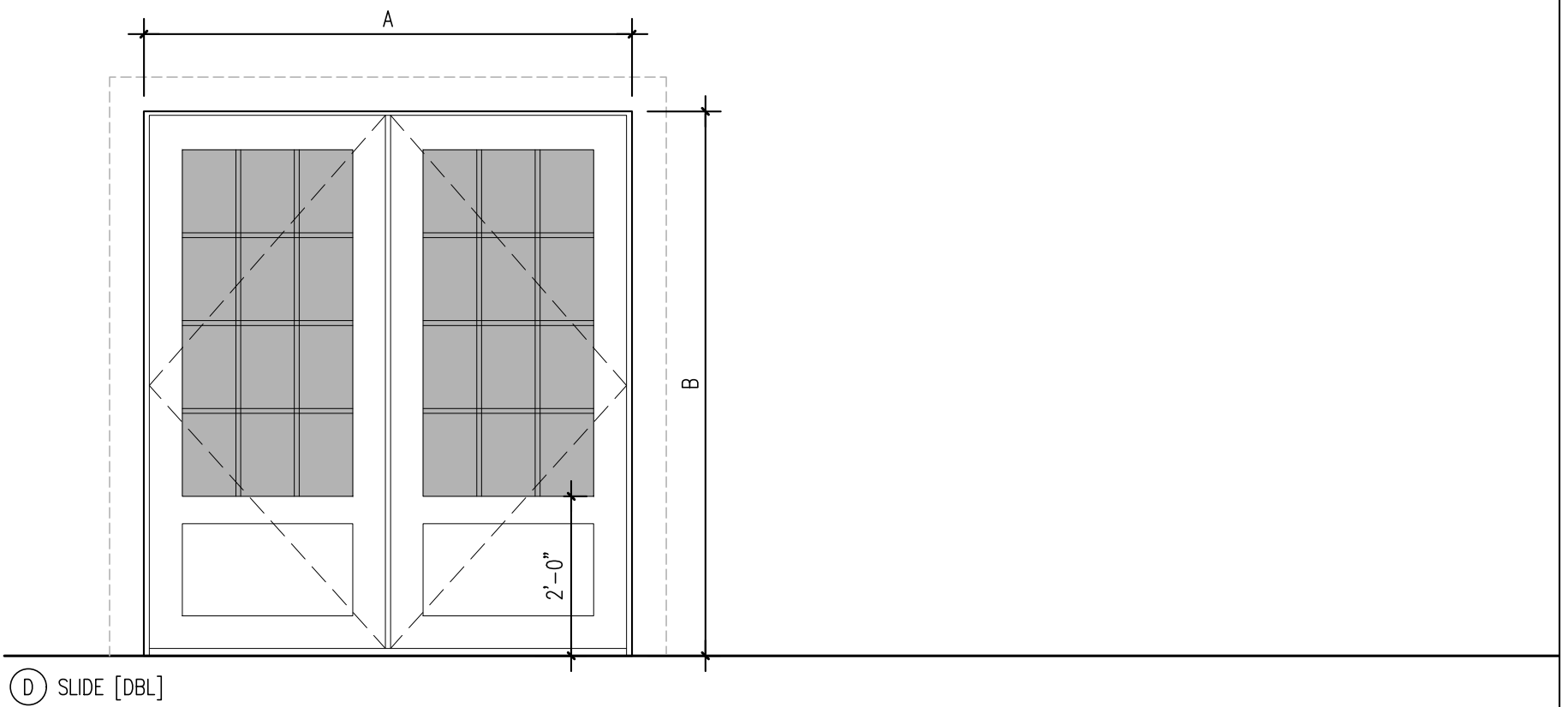
NEW WINDOWS SCHEDULE

WINDOW SCHEDULE 12345											
WINDOW NUMBER	LOCATION	TYPE	WIDTH [A]	HEIGHT [B]	SILL HEIGHT [C]	LIGHT	VENT	SHGC	U-FACTOR	FRAME OPENING ^F	NOTES
W101-1:3	DINING ROOM	C	24"	20"	66"	2.75	3.33	0.14-0.39	0.19-0.20	EXISTING	
W102-1	KITCHEN	B	60"	31"	48"	11.0	6.41	0.27	0.25	NEW	7
W102-3:4	KITCHEN	C	30"	31"	48"	4.80	5.94	0.27	0.25	NEW	7
W200-1:3	CORRIDOR	C	24"	20"	60"	2.75	3.33	0.14-0.39	0.19-0.20	EXISTING	
W201-1	BEDROOM 1	A	32"	60"	30"	8.94	5.70	0.13-0.41	0.15-0.20	EXISTING	
W202-1	BEDROOM 2	A	32"	60"	30"	8.94	5.70	0.13-0.41	0.15-0.20	EXISTING	
W202-2:3	BEDROOM 2	A	32"	60"	30"	8.94	5.70	0.13-0.41	0.15-0.20	EXISTING	
W203-1	BEDROOM 3	A	32"	60"	30"	8.94	5.70	0.13-0.41	0.15-0.20	EXISTING	
W205-1:3	BATHROOM	C	24"	20"	60"	2.75	3.33	0.14-0.39	019-0.20	EXISTING	

- ALL NEW GLAZED FENESTRATION TO COMPLY WITH INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT.
- CONTRACTOR MUST CONFIRM FINAL DIMENSIONS OF ALL WINDOWS PRIOR TO ORDERING.
- CONTRACTOR SHALL INSULATE FRAMING CAVITY ON ALL FOUR SIDES OF WINDOWS WITH EXPANDABLE INSULATION WITH NO LESS THAN MINIMUM REQUIRED R-VALUE PER INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENTS'.
- NEW/REPLACEMENT WINDOWS BY MARVIN SIGNATURE ULTIMATE SERIES OR APPROVED EQUAL UNO.
- ALL NEW WINDOWS IN EXISTING OPENINGS ARE REPLACEMENT TYPE. DIMENSIONS MUST BE CONFIRMED BY CONTRACTOR PRIOR TO ORDERING.
- WINDOW BY SOLARIUM MANUFACTURER.



2 WINDOW TYPES
G-002 1/2" = 1'-0"



1 DOOR TYPES
G-002 1/2" = 1'-0"

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NO. DESCRIPTION DATE

Project:
FERGUSON RESIDENCE
26 MAGNOLIA DRIVE
DOBBS FERRY, NY 10522

gkARCH PROJECT NO. 23-001

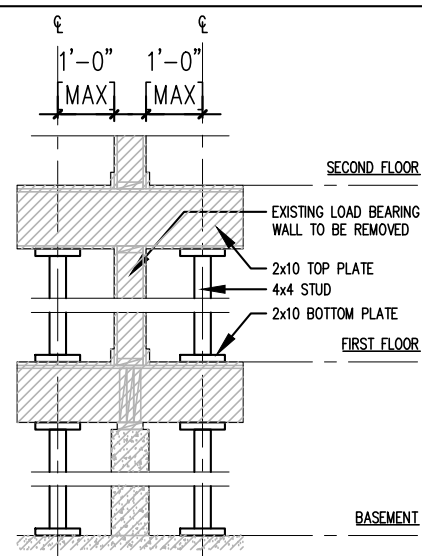
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G-002 ENERGY CONSERVATION.DWG

ENERGY CONSERVATION

G-002.00

DEMOLITION LEGEND

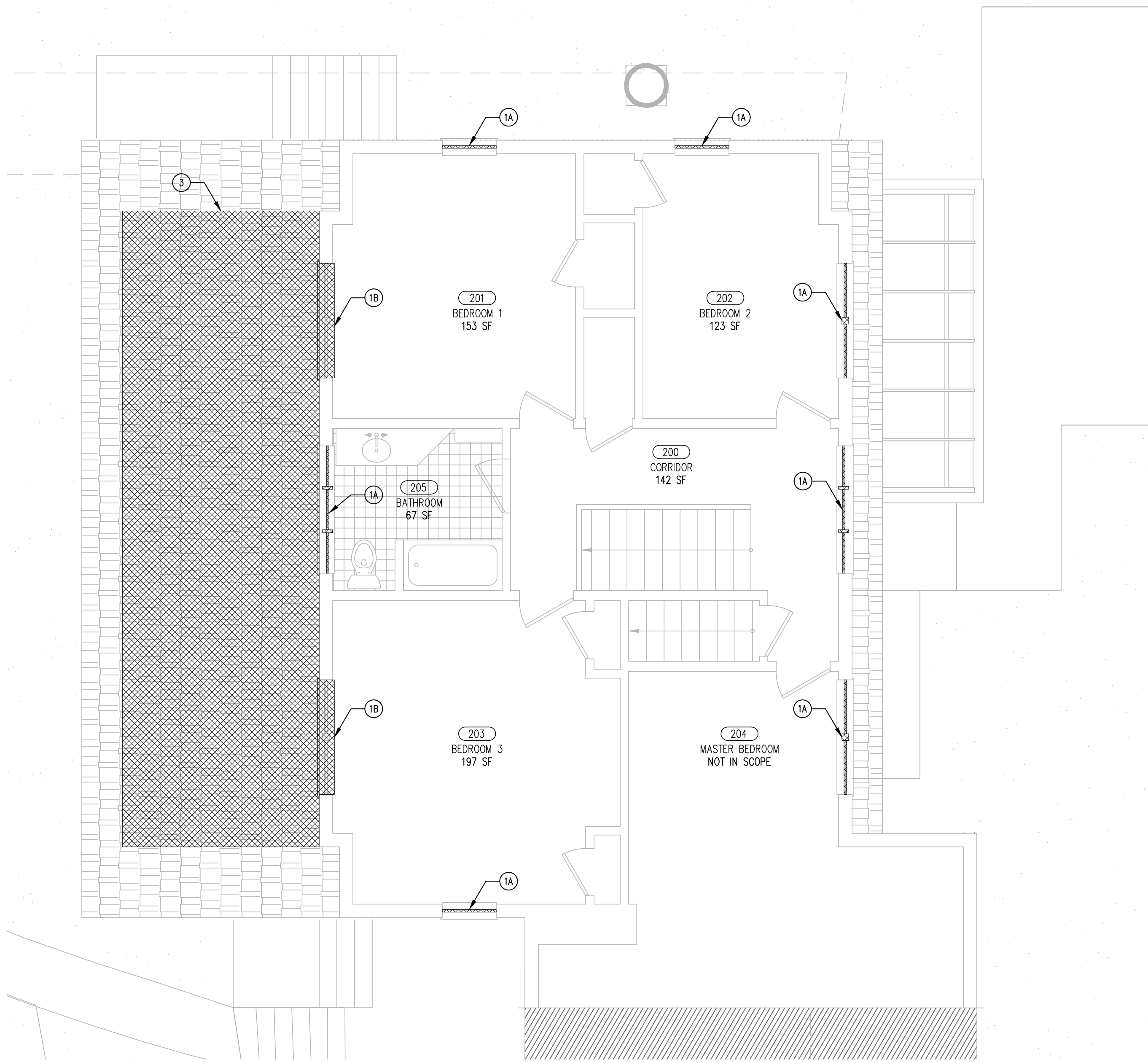
- EXISTING CONSTRUCTION TO REMAIN
- NON-BEARING FRAMED WALLS TO BE REMOVED. PATCH & REPAIR AFFECTED CEILING AND FLOOR FINISHES AS REQUIRED.
- DOOR & FRAME TO BE REMOVED.



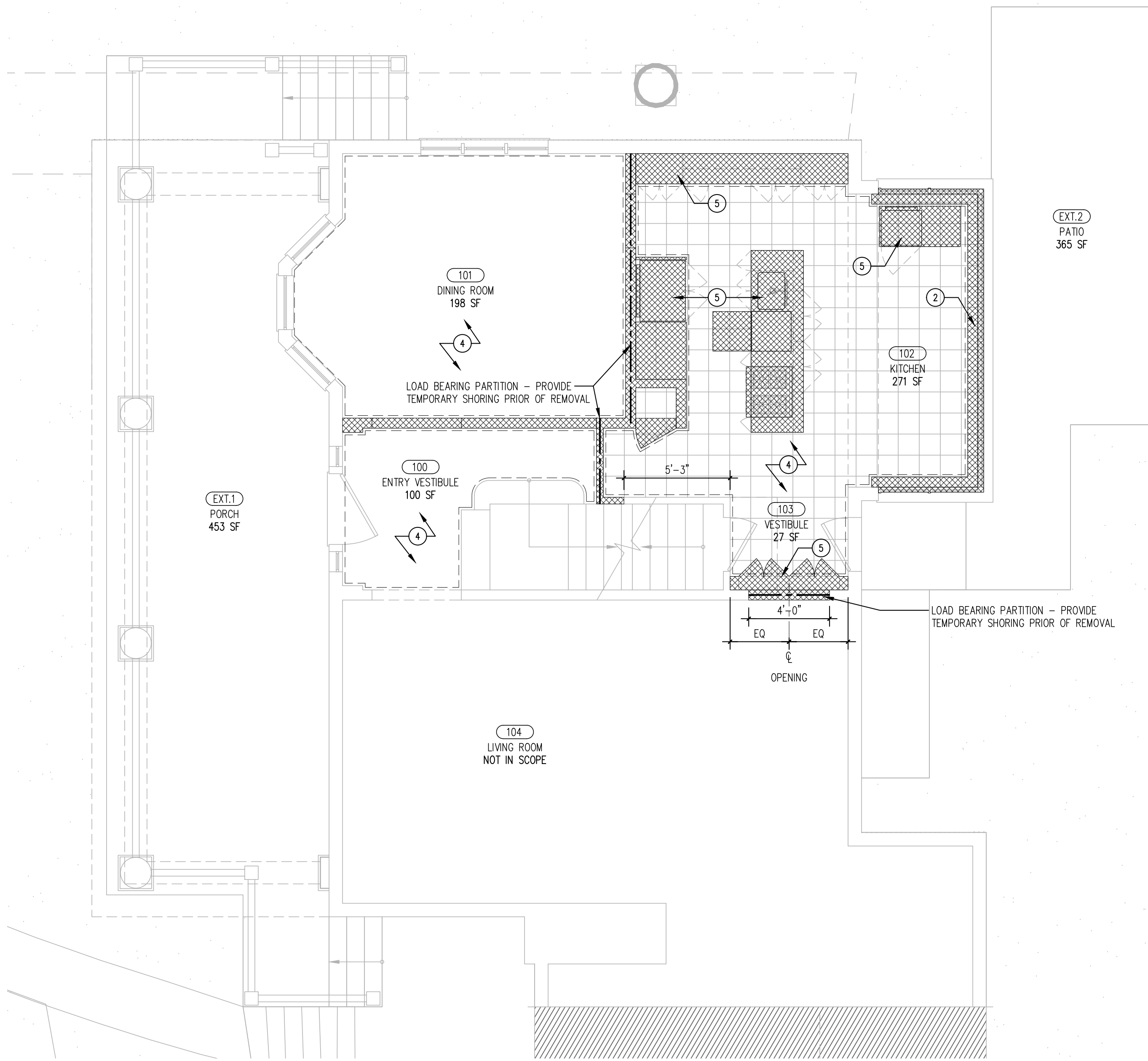
TEMPORARY SHORING DETAIL

NOTES:

1. PROVIDE SHORING FROM BASEMENT TO ROOF RAFTERS ON BOTH SIDES OF BEAMS TO BE REMOVED. SHORING TO STACK ON TOP OF EACH OTHER.
2. SHORING STUDS TO BE SPACED TO MATCH AND ALIGN WITH FLOOR JOISTS ABOVE.



2 SECOND FLOOR PLAN
AD-200 1/4" = 1'-0"



1 FIRST FLOOR PLAN
AD-200 1/4" = 1'-0"

DEMOLITION NOTES

1. CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER.
2. ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.
3. NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION.
4. NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLESS PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED BY EITHER TEMPORARY SHORING OR NEW STRUCTURAL ELEMENTS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE.
5. REMOVE OR RELOCATE ALL WIRING AND PLUMBING AFFECTED BY REMOVAL OF PARTITIONS. REMOVED PIPES AND/OR LINES SHALL BE CUT TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISH SURFACES, AND SHALL BE PROPERLY CAPPED OR PLUGGED.
6. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIER AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED.
7. THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF THE WORK. ALL OPENINGS IN ANY WALL OR ROOF SHALL BE PROTECTED FROM ALL FORMS OF WEATHER OR WATER PENETRATION.
8. ALL APPLIANCES TO BE REMOVED AND PLACED IN BASEMENT FOR OWNER USE/DISPOSAL.

DEMOLITION KEYED NOTES

1. REMOVE DOORS/WINDOWS AS INDICATED:
 - 1.A. FRAME, CASING & TRIMS TO REMAIN.
 - 1.B. FRAME, CASING & TRIMS TO BE REMOVED.
2. REMOVE ALUMINUM & GLASS SOLARIUM STRUCTURE.
3. REMOVE ROOF AND ROOF STRUCTURE BENEATH.
4. REMOVE FLOORING AS INDICATED.
5. REMOVE KITCHEN CABINETRY, PLUMBING FIXTURES, FITTINGS & APPLIANCES.

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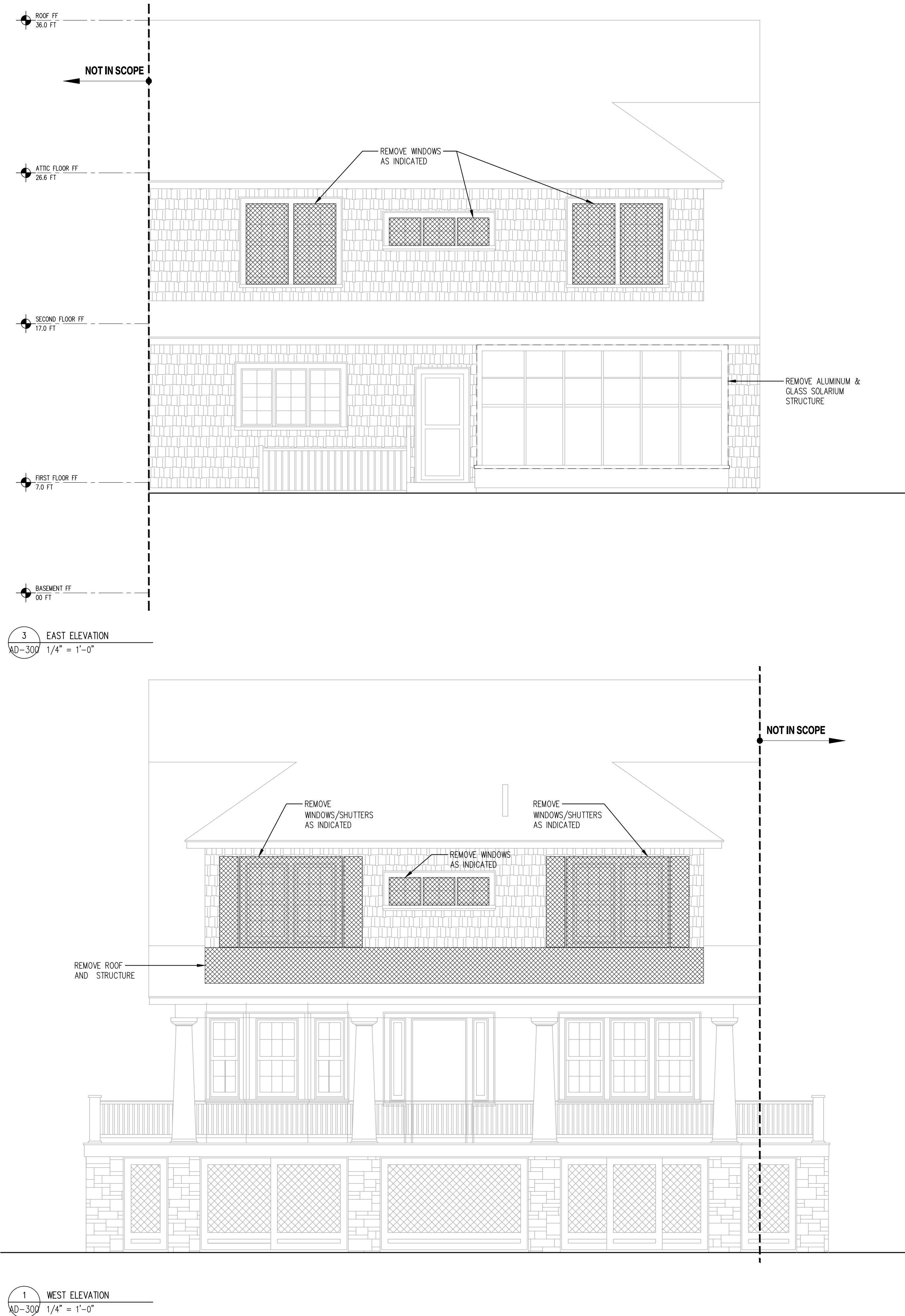
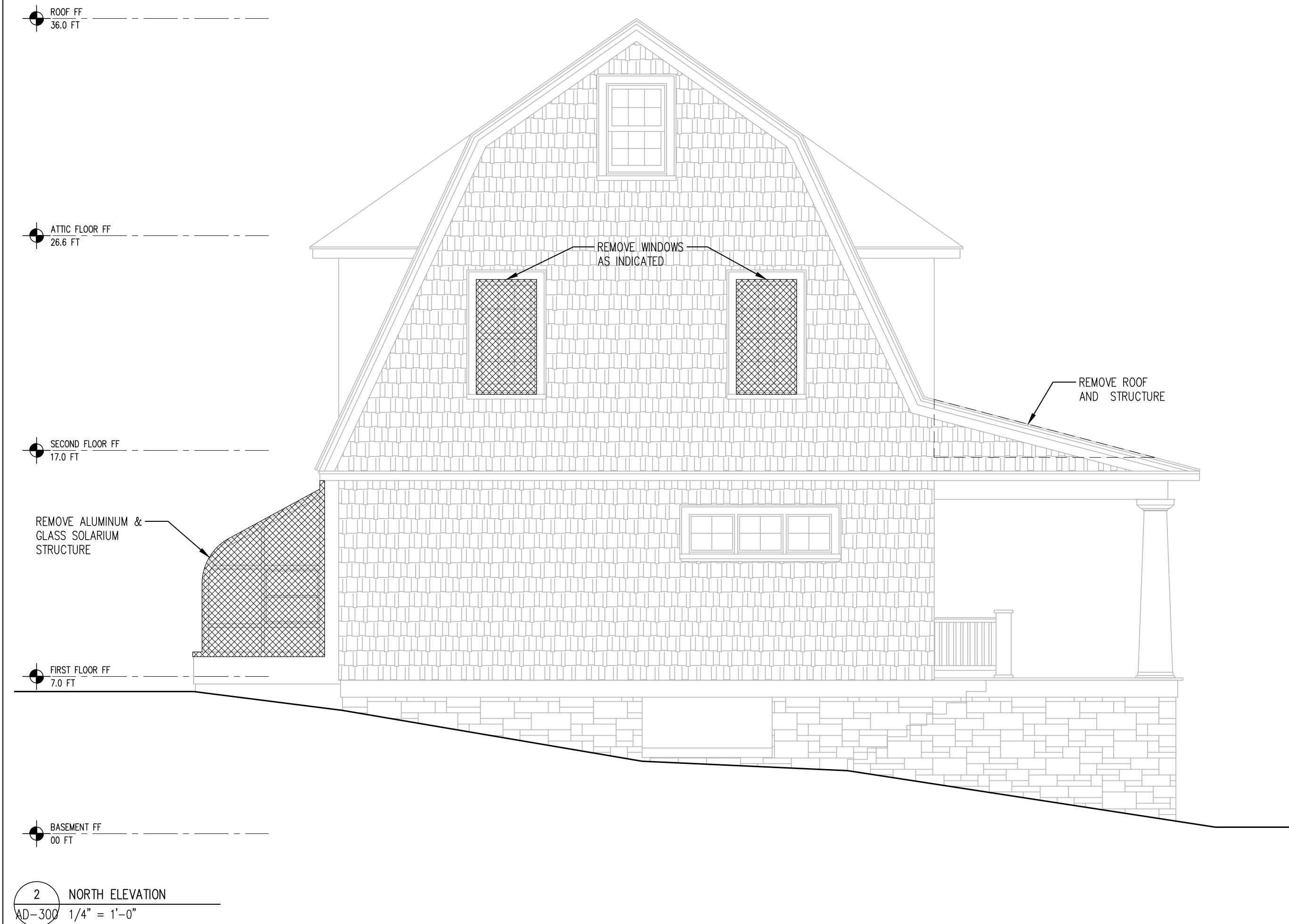
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DOBBS FERRY, NY 10522

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AD-200 DEMOLITION FLOOR PLAN.DWG

DEMOLITION FLOOR PLAN

AD-200.00



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AD-300 DEMOLITION ELEVATIONS.DWG

DEMOLITION ELEVATIONS

AD-300.00

EXISTING CONSTRUCTION TO REMAIN

NEW CONSTRUCTION:

MIL/MD STUDS WITH: (1) LAYER 5/8" TYPE "X" GWS

BOTH SIDES AND INTERNAL SOUND INSULATION,

UNLESS NOTED. USE WR [GREENBOARD] TYPE X AT

ALL WALLS ADJACENT TO PLUMBING FIXTURES.

SCREWED AND GLUED PER LEVEL 5 Gypsum

ASSOCIATION STANDARDS. USE MOLD RESISTANT AT

ALL SUB-GRADE LEVELS AND NON-CONDITIONED

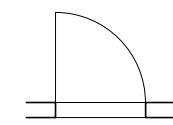
SPACES [MOLD-TIGHT BY USE OR EQUAL]. USE

CONCRETE BOARD ON WET AREAS.

PROVIDE CORNER BEADS, CASING BEADS AND TRIM

AS REQUIRED TAPE AND SPACKLE ALL JOINTS, 3

COATS, FEATHERED.



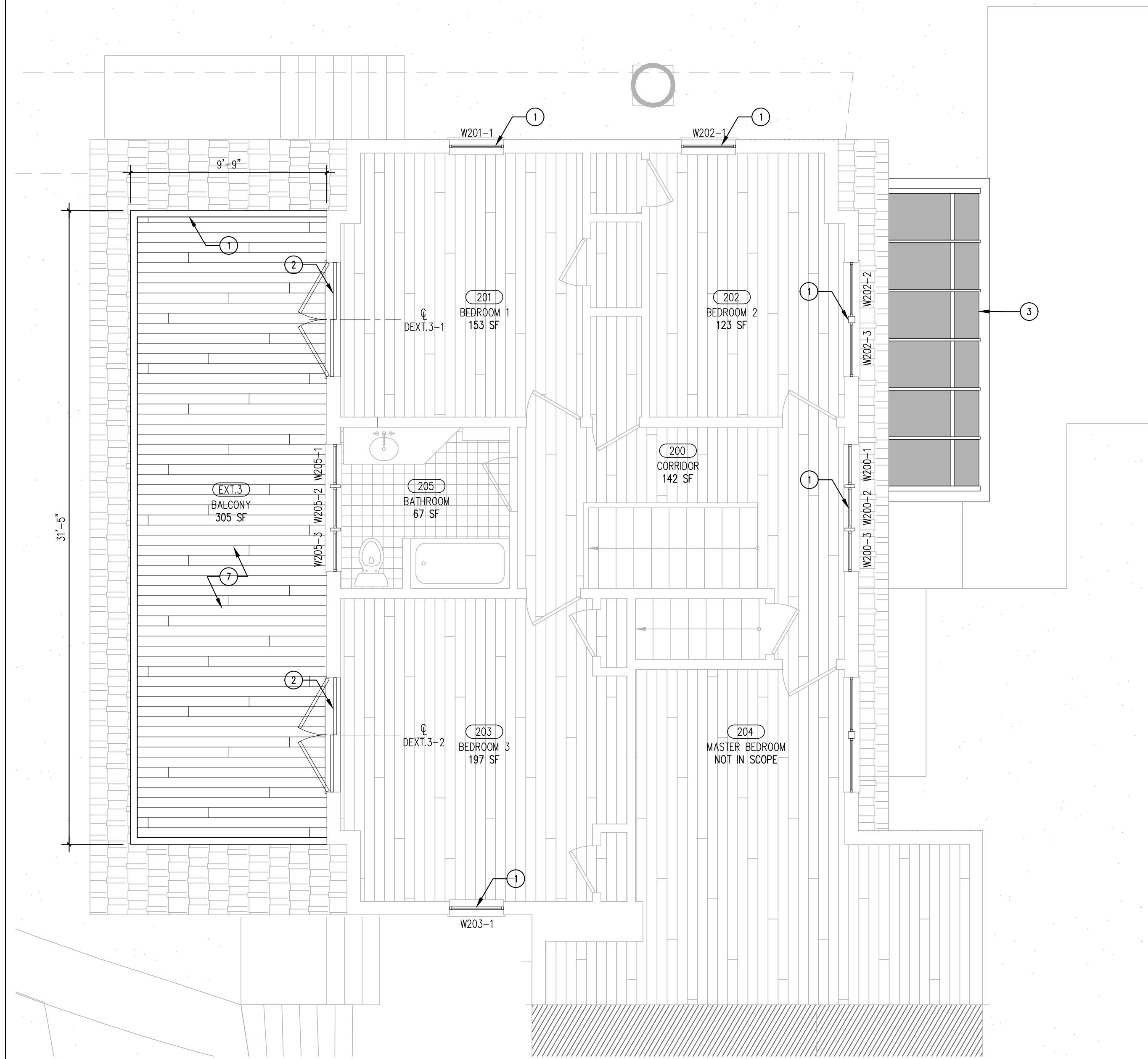
NEW DOOR & FRAME ON 1 HOUR FIRE-RATED WALL SHALL
COMPLY WITH NEW YORK STATE - BUILDING CODE SECTION 715
[REFER TO TABLE 715.4]

F-1 EXIST WD FL
PATCH, SAND &
REFINISH

F-2 NEW WD FL
TO MATCH
EXISTING

F-3 NEW PORCELAIN
FLOOR TILE

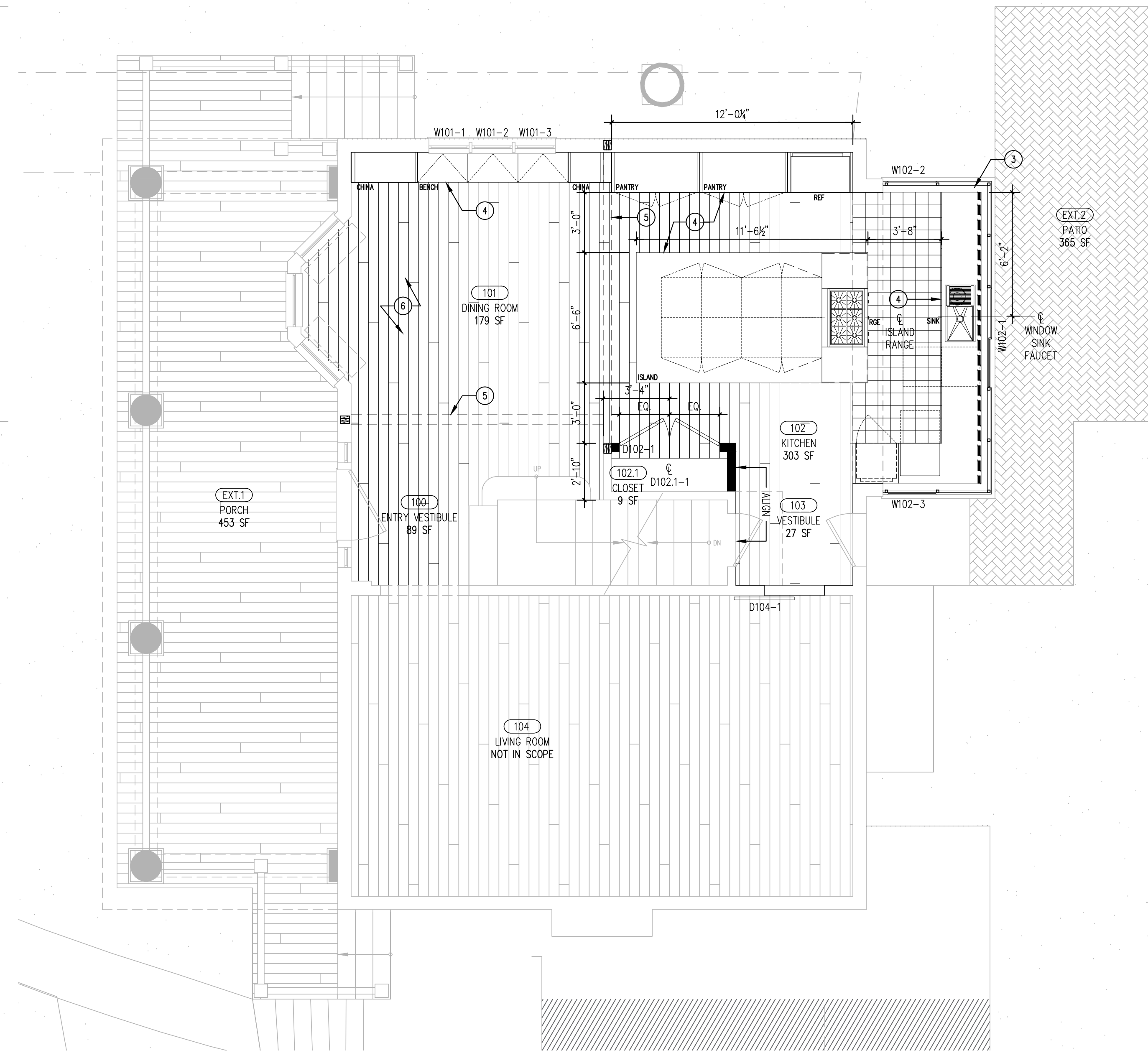
----- W-1 CERAMIC TILE BACKSPLASH





2 SECOND FLOOR PLAN
A-200 $1/4" = 1'-0"$

1. UNLESS NOTED OTHERWISE ALL GYPSUM WALLBOARDS TO BE 1/2 TYPE X USE WR [GREENBOARD] TYPE X AT ALL WALLS ADJACENT TO PLUMBING FIXTURES, SCREENED AND GLUED PER LEVEL 5 GYPSUM ASSOCIATION STANDARDS. USE MOLD RESISTANT AT ALL SUB-GRADE LEVELS AND NON-CONDITIONED SPACES [MOLD-TOUGH BY USG OR EQUAL].
2. PROVIDE CORNER BRACES, CASING BRACES AND TRIM AS REQUIRED. TAPE AND SMOOTH ALL JOINTS, 3 COATS, FEATHERED.
3. UNLESS NOTED OTHERWISE ALL FINISHED CEILINGS TO REMAIN. PATCH & REPAIR AS REQUIRED ANY INCIDENTAL WORK INCLUDING ALTERED ROOM LAYOUTS, LIGHT FIXTURES AND HVAC DUCTWORK.
4. ANY BEAM/STUD BUILT-UP OF [3] OR MORE TO BE MECHANICALLY FASTENED TOGETHER.
5. ALL SFG. TO BE LASER OR CTD ETC.

1. PAINTS, COATING AND PRIMERS NOT TO EXCEED VOC CONTENT LIMITS PER GREEN SEAL STANDARD GC-11, PAINTS, EDITION 3.1, JULY 2013:
- 1.1. FLAT PAINT: 50g/L FLAT
- 1.2. NON-FLAT PAINT: 150g/L NON-FLAT
2. WOOD FINISHES, FLOOR COATINGS, STAINS, SEALERS AND SHELLACs NOT TO EXCEED VOC CONTENT LIMITS PER SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1113, ARCHITECTURAL COATINGS, JUNE 3, 2011:
- 2.1. VARNISH: 275g/L
- 2.2. LAQUER: 275g/L
- 2.3. SHELLAC: 730g/L CLEAR, 550 g/L PIGMENTED
- 2.4. SEALERS: 100g/L WATERPROOFING, 275g/L SANDING, 100g/L ALL OTHERS
3. CARPET ADHESIVES NOT TO EXCEED VOC CONTENT OF 500g/L
4. NO MATERIALS SHALL CONTAIN ADDED UREA FORMALDEHYDE





FIRST FLOOR PLAN
 1/4" = 1'-0"

1. REPLACEMENT WINDOW IN EXISTING OPENING.
2. NEW DOOR IN ENLARGED OPENING. PROVIDE & INSTALL EXTERIOR AND INTERIOR TRIMS TO MATCH EXISTING.
3. NEW ALUMINUM & GLASS SOLARIUM STRUCTURE. PROVIDE & INSTALL NEW FLASHING AS REQ'D.
4. NEW KITCHEN MILLWORK CABINETRY, COUNTERTOP, PLUMBING FIXTURES & FITTINGS.
5. NEW SUPPORT HEADER & POSTS AT ENLARGED OPENING – SEE AC-200.
6. INSTALL NEW HWD FLOORING OVER EXISTING SUBSTRATE.
7. INSTALL DECK FLOORING OVER NEW FLOOR STRUCTURE – SEE AC-200.

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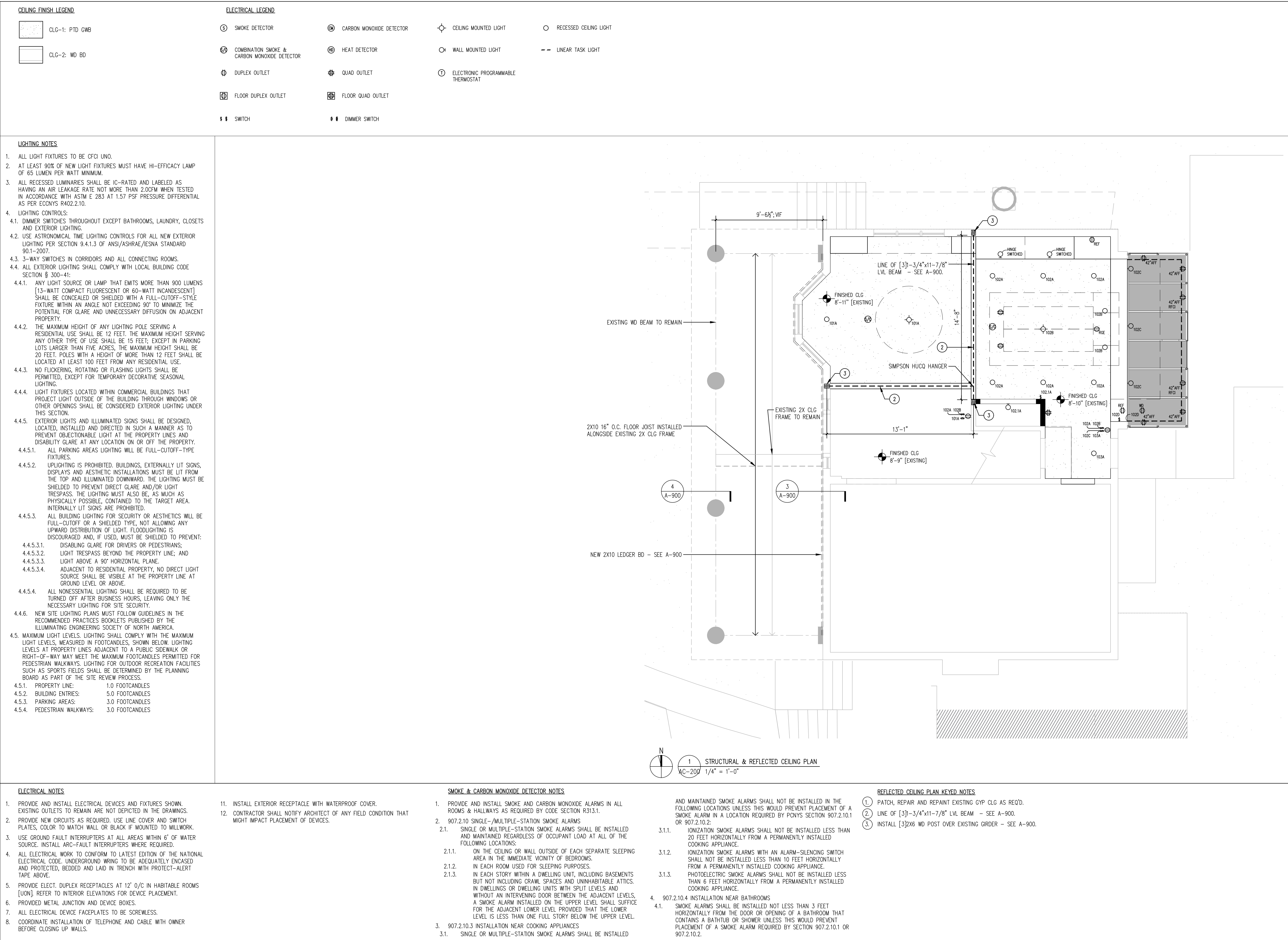
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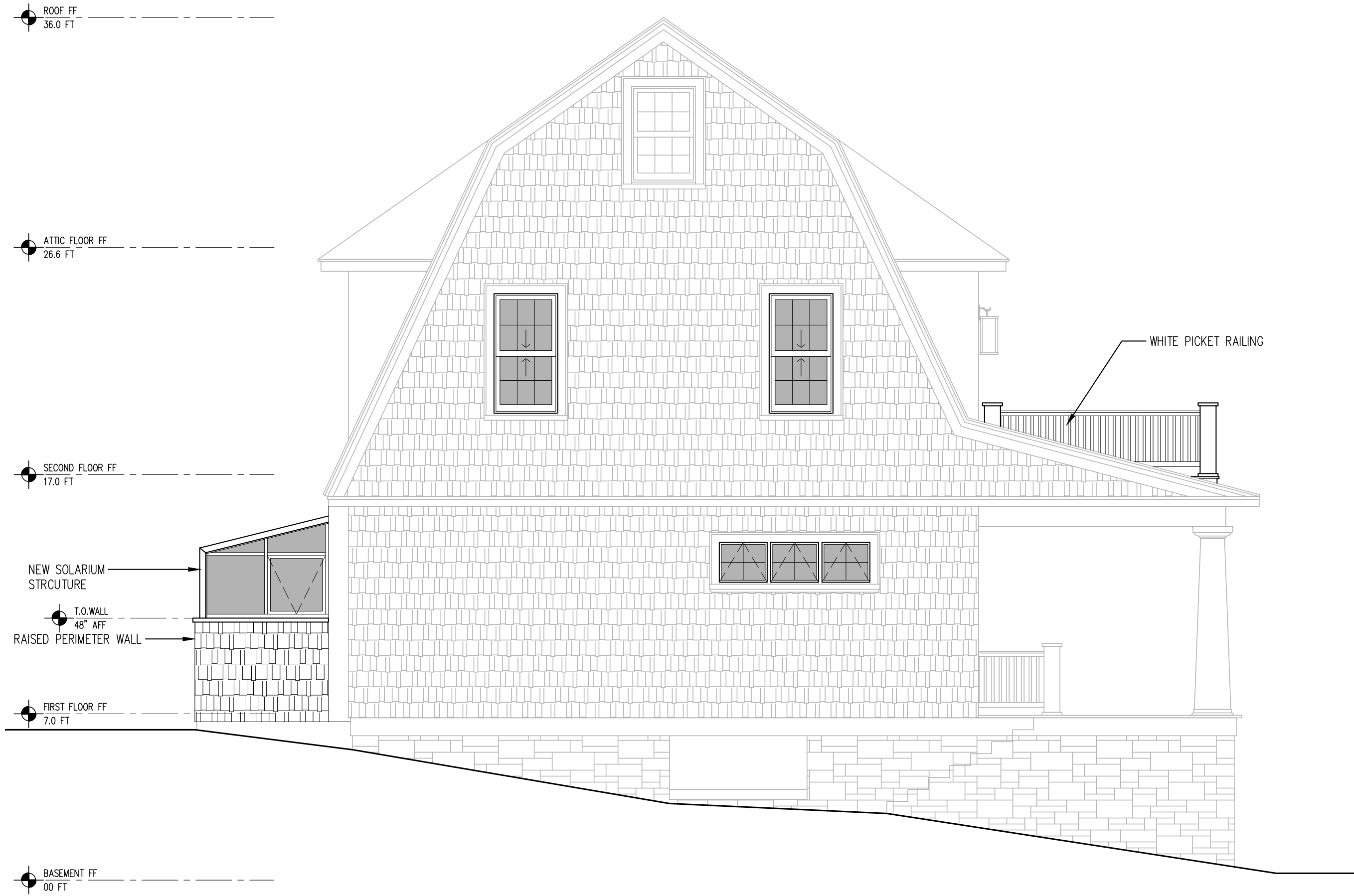
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A-200 CONSTRUCTION FLOOR PLAN.DWG

CONSTRUCTION FLOOR PLAN

A-200.00

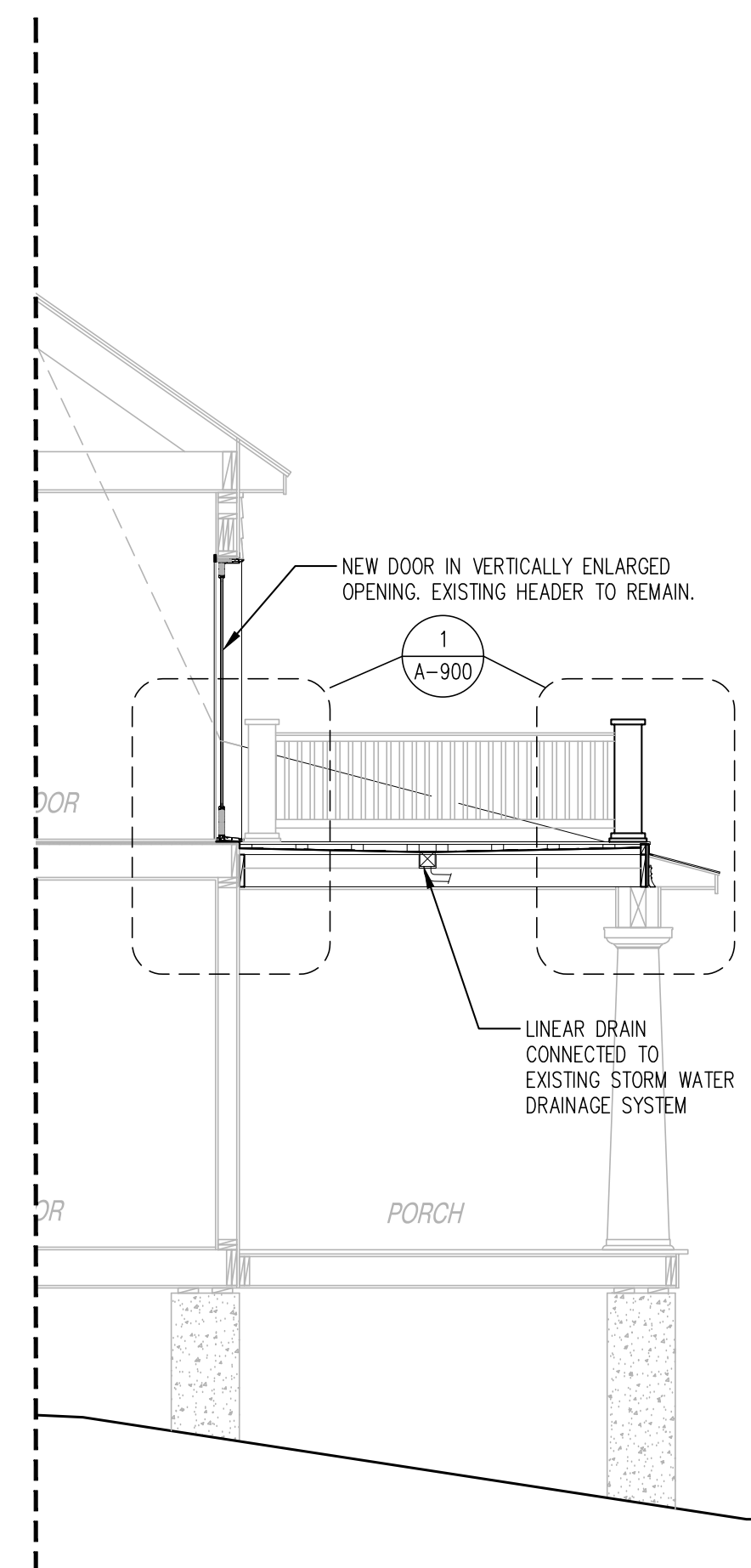


5 MATERIALS FINISHES
A-300 1/4" = 1'-0"



2 NORTH ELEVATION
A-300 1/4" = 1'-0"

4 BALCONY SECTION
A-300 1/4" = 1'-0"



3 EAST ELEVATION
A-300 1/4" = 1'-0"



1 WEST ELEVATION
A-300 1/4" = 1'-0"



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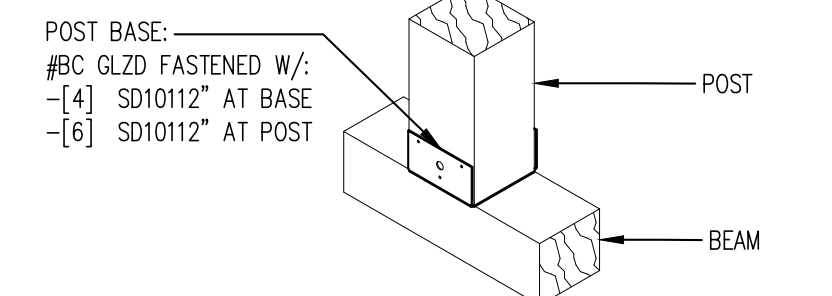
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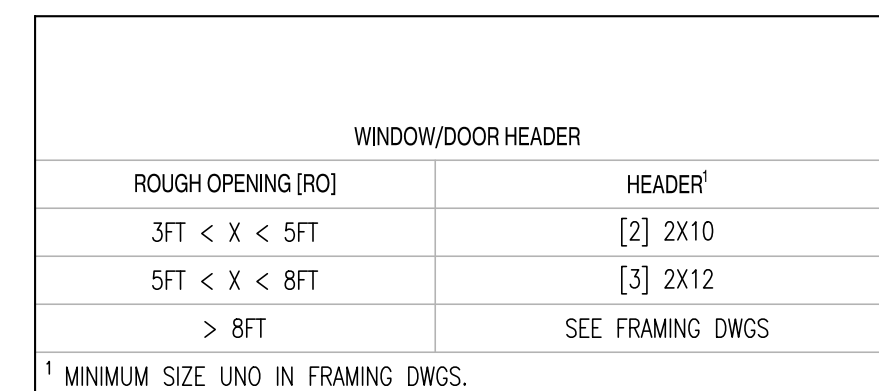
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A-300 CONSTRUCTION ELEVATIONS.DWG

CONSTRUCTION ELEVATIONS

A-300.00



2 CONNECTION DETAILS
A-900 $3/4" = 1'-0"$



1	HEADERS
A-900	3/4" = 1'-0"

HEADER SCHEDULE		
ROUGH OPENING	HEADER	NOTES
$3' < X < 5'$	[2] 2X12	UNO
$5' < X < 8'$	[3] 2X12	UNO
$> 8'$	PER FRAMING PLANS	

6. CONTRACTOR SHALL MAKE SPECIAL PROVISIONS AND PROVIDE PROTECTION AS REQUIRED FOR COLD OR HOT WEATHER CONCRETE AND MASONRY WORK, IN CONFORMANCE WITH THE APPROPRIATE TECHNICAL ASSOCIATIONS.
7. LOADS: FLOOR LOAD, SNOW LOAD, AND WIND LOAD HAVE BEEN ANALYZED IN CONFORMANCE WITH THE BUILDING CODE OF NEW YORK STATE AND ASCE-7 WHERE APPROPRIATE.
8. ALL WOOD FRAMING PERMANENTLY EXPOSED TO WEATHER SHALL BE PRESSURE TREATED [PTWD].
9. TYPICAL REINFORCING IN STRUCTURAL SLAB SHALL BE EPOXY COATED #6 REBAR @ 16" O.C. EACH WAY, TOP AND BOTTOM.
10. PROVIDE A MINIMUM CLEARANCE OF 2" BETWEEN WOOD FRAMING AND ALL CHIMNEY/FIREPLACES.
11. ANY BEAM/STUD BUILT-UP OF [3] OR MORE TO BE MECHANICALLY FASTENED TOGETHER.

4.1.2. FC = 750 PSI
4.1.3. FV = 285 PSI
4.1.4. E = 2,000,000 PSI.

MULTIPLE SECTIONS SHALL BE FASTENED TOGETHER WITH A MINIMUM OF TWO ROWS OF 16D NAILS AT 12" O.C., AND AS RECOMMENDED BY THE MANUFACTURER.

5. ALL BEARING STUD WALLS SHALL HAVE CROSSKITS AT MID-HEIGHT OR 4'-6" O.C. MINIMUM.

6. PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS [NON-BEARING ABOVE].

7. USE DOUBLE MEMBERS AT ALL JAMBS AND HEADS OF ALL OPENINGS. USE DOUBLE JOISTS [MIN.] BELOW ALL NON-BEARING STUD WALLS PARALLEL TO SPANS AND PROVIDE SOLID BLOCKING BETWEEN JOISTS BELOW ALL NON-BEARING STUD WALLS PERPENDICULAR TO JOIST SPANS. USE DOUBLE SILLS AND CAP PLATES FOR ALL BEARING WALLS.

8. EXTERIOR LUMBER & HARDWARE:

- 8.1. ALL LUMBER SHALL BE PRESERVATIVELY TREATED IN ACCORDANCE
AWPA STANDARDS #2 GRADE SOUTHERN PINE LUMBER.
- 8.2. ALL SPECIFIED HARDWARE SHALL BE IS FROM SIMPSON STRONG-TIE
SHALL HOT-DIPPED ZINC-COATED GALVANIZED OR STAINLESS STEEL
SCREWS, BOLTS, WASHERS, NUTS, AND NAILS SHALL BE HOT-DIPPED
ZINC-COATED GALVANIZED STEEL OR STAINLESS STEEL.

A-900.00