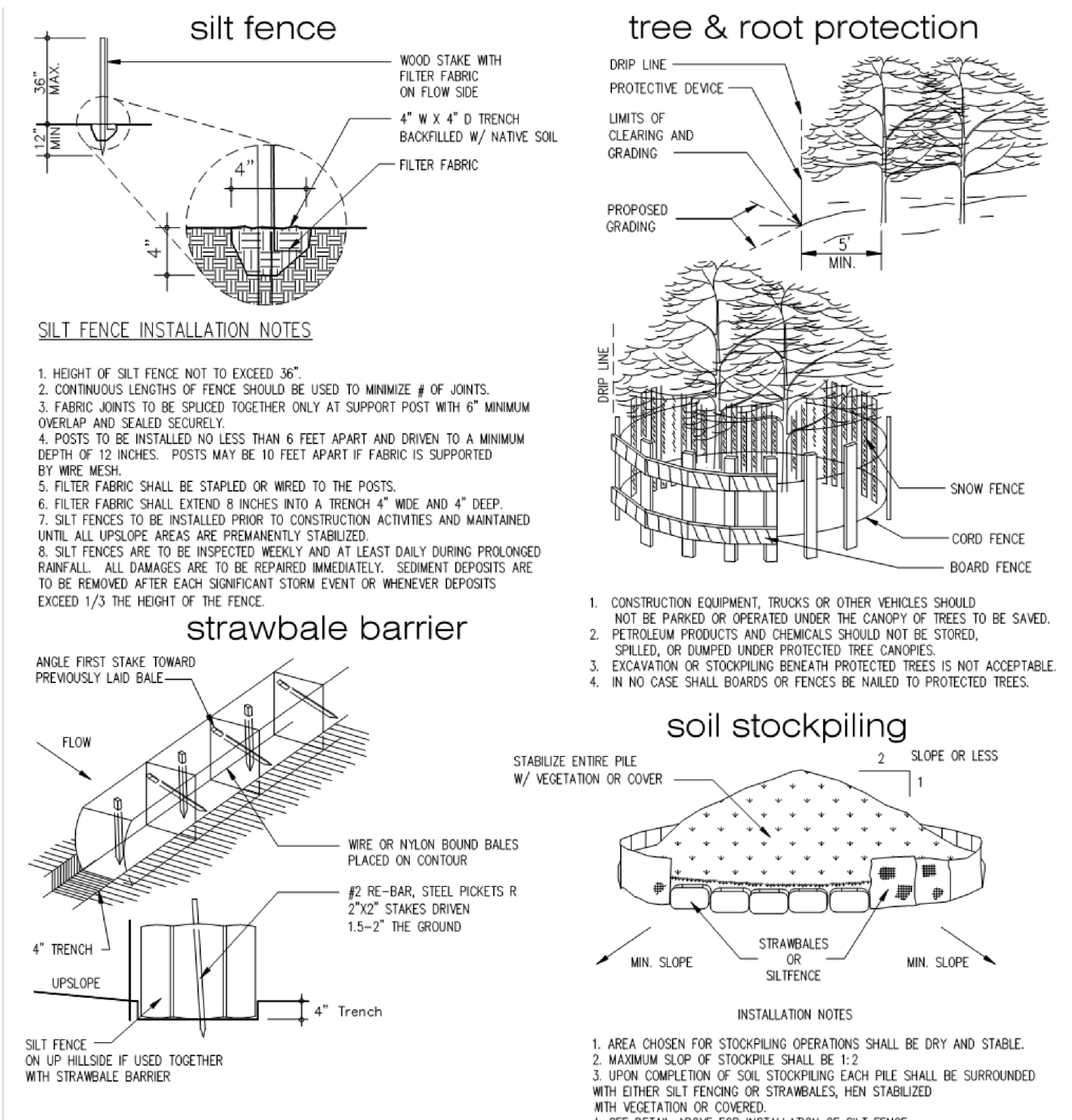


1 PROPOSED SITE PLAN  
SCALE: 1" = 10'-0"



2 SITE PROTECTION & EROSION CONTROL

**SITE PLAN NOTES**

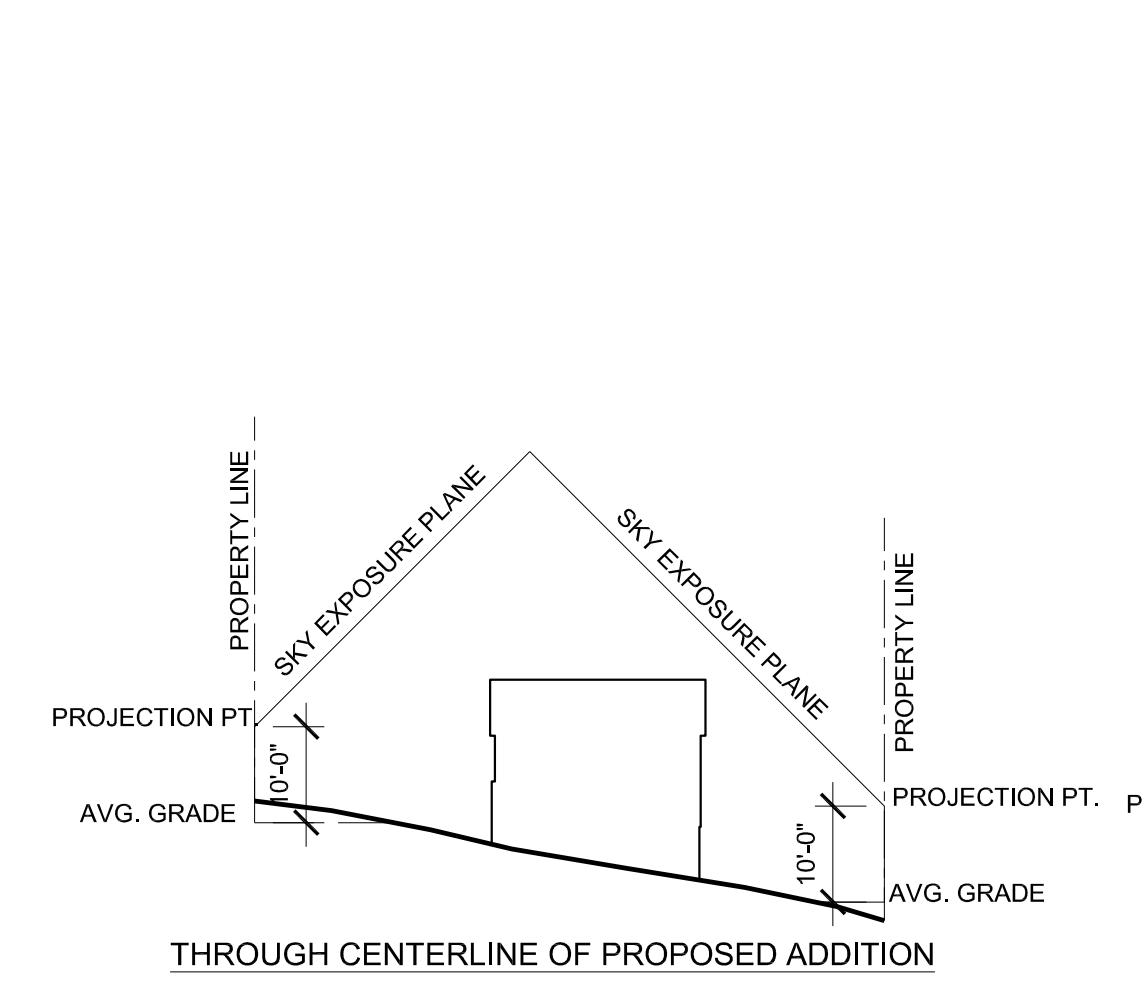
Should rock blasting be required, a permit application in accordance with Chapter 125 - Blasting and Explosives of the Village of Dobbs Ferry Code must be submitted to the Village by the applicant for review/approval.

The Village Engineer may require additional erosion control measures if deemed appropriate to mitigate unforeseen siltation and erosion of disturbed soils.

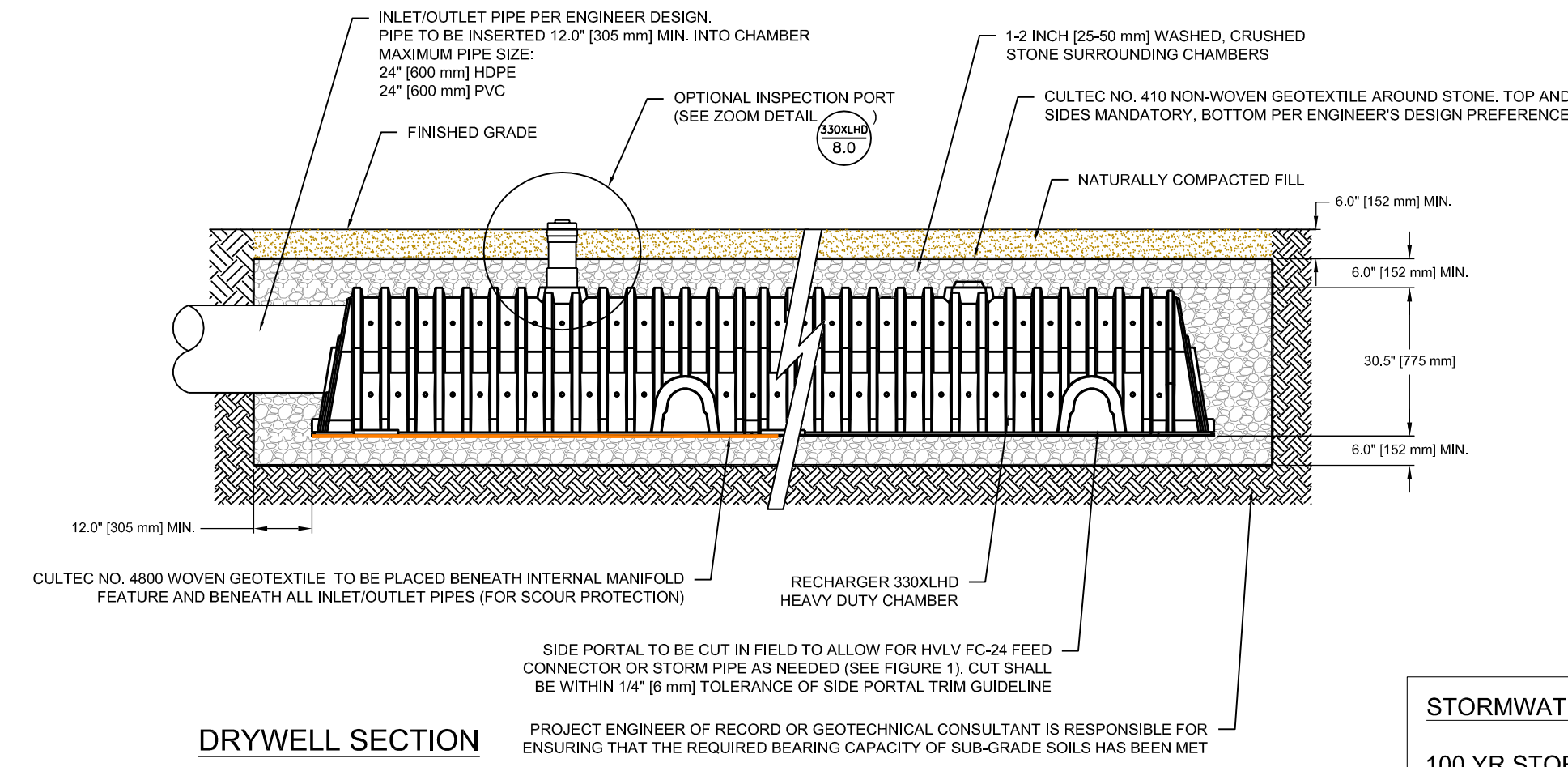
Built plans of the proposed driveway and drainage improvements shall be submitted to the Village Engineer for review prior to issuance of Certificate of Occupancy.

Fill material imported to the site shall be certified in writing by a New York Licensed Professional Engineer as clean, non-contaminated fill suitable for the intended use.

"Before the site plan is signed by the Chairman of the Planning Board, the applicant shall be required to post a performance bond or other type of acceptable monetary guaranty which shall be in an amount determined by the Planning Board and the Village Engineer and in a form satisfactory to the Village Attorney".



4 SKY EXPOSURE PLANE DIAGRAMS



DRYWELL SECTION

**STORMWATER CALCULATIONS**

100 YR STORM = 8.9" RAIN/24 HRS  
8.9/12 = .74 FT DEPTH PER SF = .74 CU.FT.

NEW IMPERVIOUS COVERAGE = 527 SF  
527 SF X .74 FT/SF = 390 CU.FT.

STORAGE REQUIRED: 390 CU.FT.

Storage Provided within CULTEC Recharger 330XLHD Stormwater Chambers and HVLV FC-24 Internal Manifold System - not including stone				
Number of Recharger 330XL RHD Stand Alone	by design			
0	pcs x	8.500	=	0 pcs
			=	0.00 feet
			=	0 m
Number of Recharger 330XL IHD Intermediates	by design			
0	pcs x	7	=	0 pcs
			=	0.00 feet
			=	0 m
Number of Recharger 330XL SHD Starters	by design			
2	pcs x	7.750	=	2 pcs
			=	15.50 feet
			=	4.7244 m
Number of Recharger 330XL EHD Ends	by design			
2	pcs x	7.750	=	2 pcs
			=	15.50 feet
			=	4.7244 m
Number of HVLV FC-24 Feed Connectors				
1	pcs x	0.500	=	1 pcs
			=	0.50 feet
			=	0.1524 m
Total footage of Recharger 330XLHD chambers			=	31.00 feet
			=	9.45 m
Total footage of HVLV FC-24 Feed Connectors			=	0.50 feet
			=	0.15 m
Storage provided within Recharger 330XLHD chambers			=	231.23 CF
			=	6.55 m <sup>3</sup>
Storage within HVLV FC-24 Feed Connectors			=	0.46 CF
			=	0.01 m <sup>3</sup>
Total Storage within CULTEC 330XLHD chambers and feed connectors			=	231.68 CF
			=	6.56 m <sup>3</sup>

Storage Provided within Entire CULTEC Stormwater System - including stone				
Bed width		11.17 feet		3.40 m
Bed length		17.50 feet		5.33 m
Bed Depth		3.54 feet		1.08 m
Total Area		195.42 sq. ft.		18.15 m <sup>2</sup>
Volume of Effective Excavation (not including additional cover)		692.10 CF		19.60 m <sup>3</sup>
Perimeter of Bed		57.33 feet		17.48 m
Total Storage within CULTEC Recharger 330XLHD chambers and feed connectors		232 CF		6.56 m <sup>3</sup>
Total Stone Required		460 CF		13.04 m <sup>3</sup>
		17 CY		
Storage provided within stone		24 tons		
		184.17 CF		5.22 m <sup>3</sup>
Total Storage within CULTEC Stormwater System			=	416 CF
			=	11.78 m <sup>3</sup>

STORMWATER STORAGE CALCULATIONS PROVIDED BY CULTEC

3 DRYWELL CALCULATIONS AND DETAILS

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FILING SET 6.14.2022

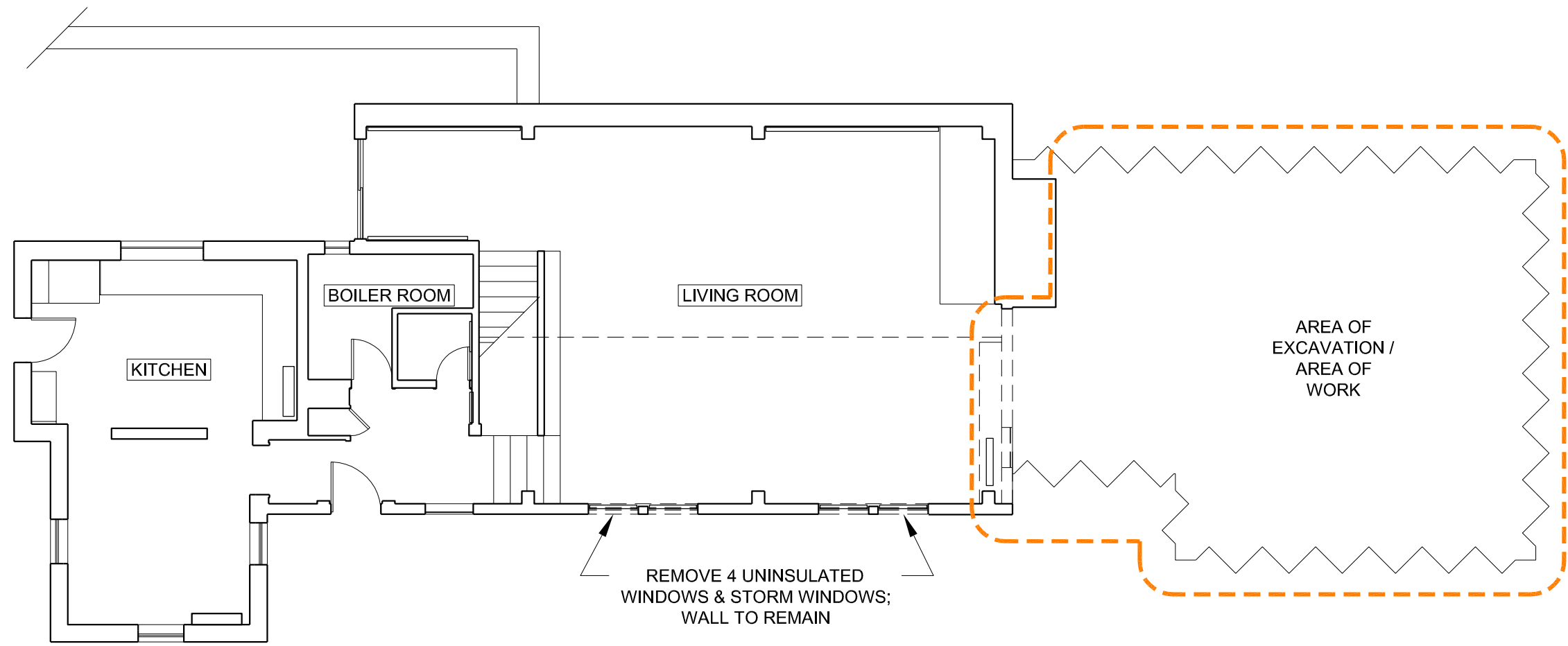
VAN DER ZANDT RESIDENCE  
ADDITION  
76 OGDEN PLACE  
DOBBS FERRY, NEW YORK 10522  
SBL: 3.130-119-3

SITE PLAN  
SITE PROTECTION & EROSION CONTROL  
DRYWELL CALCULATIONS  
SKY EXPOSURE PLANE DIAGRAMS

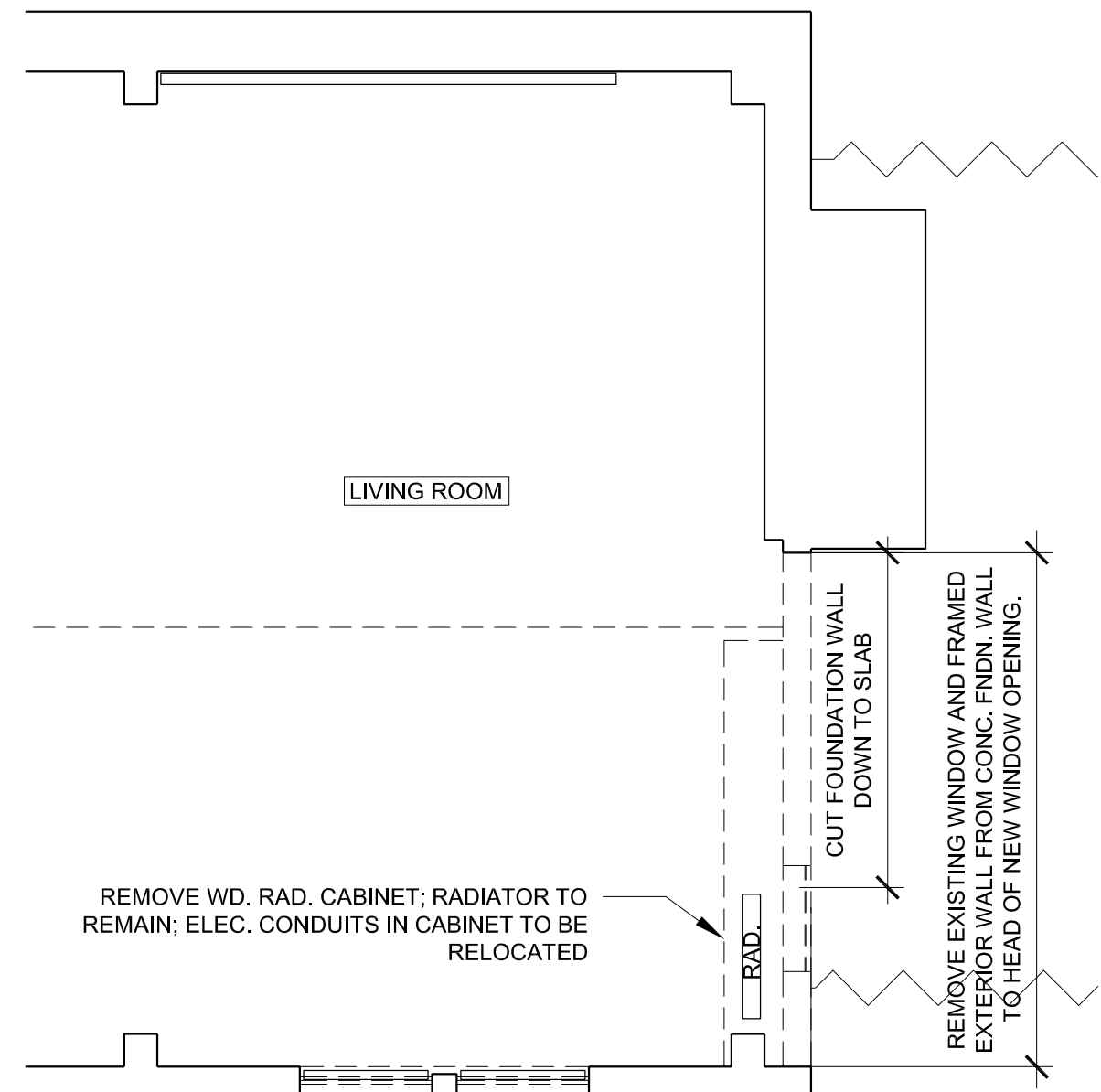
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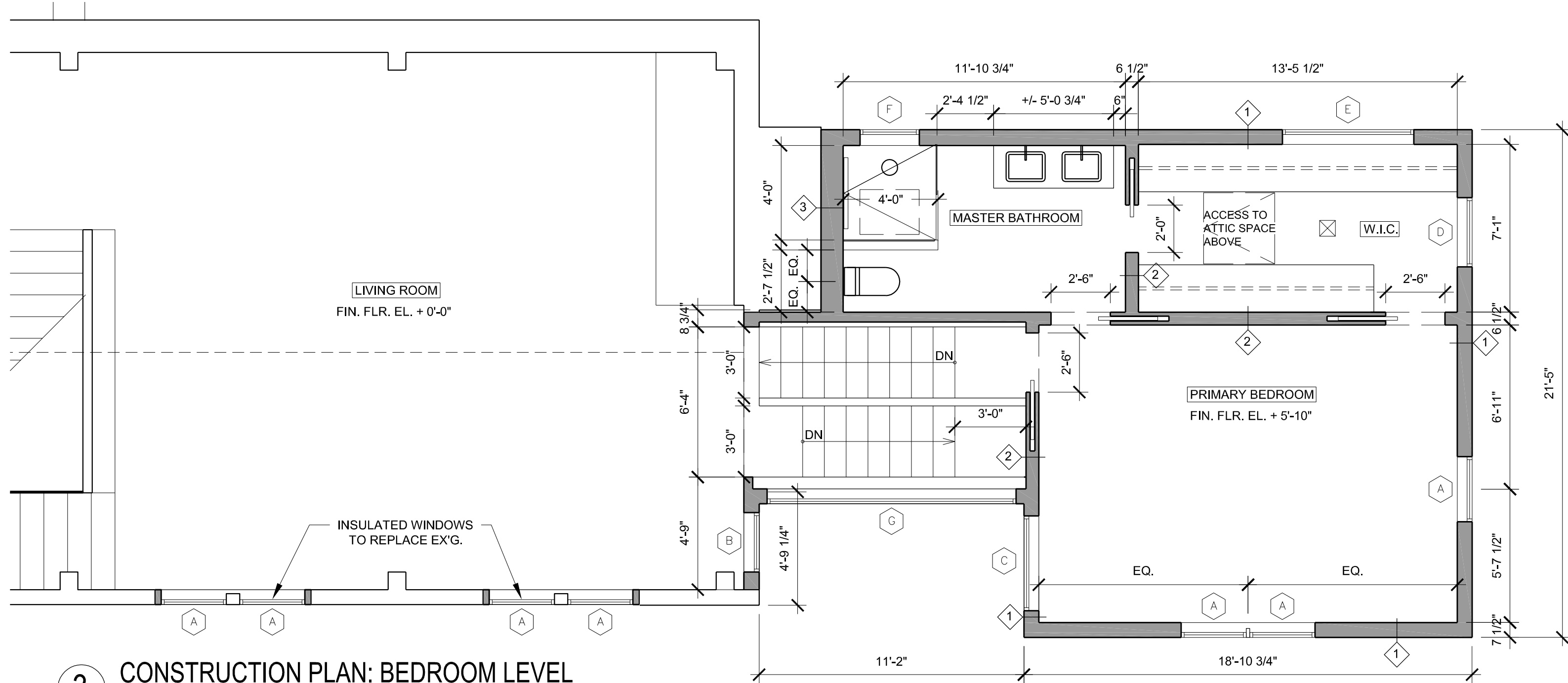




1 EXISTING & DEMO PLAN  
SCALE: 1/8" = 1'-0"



2 PARTIAL DEMOLITION PLAN  
SCALE: 1/4" = 1'-0"

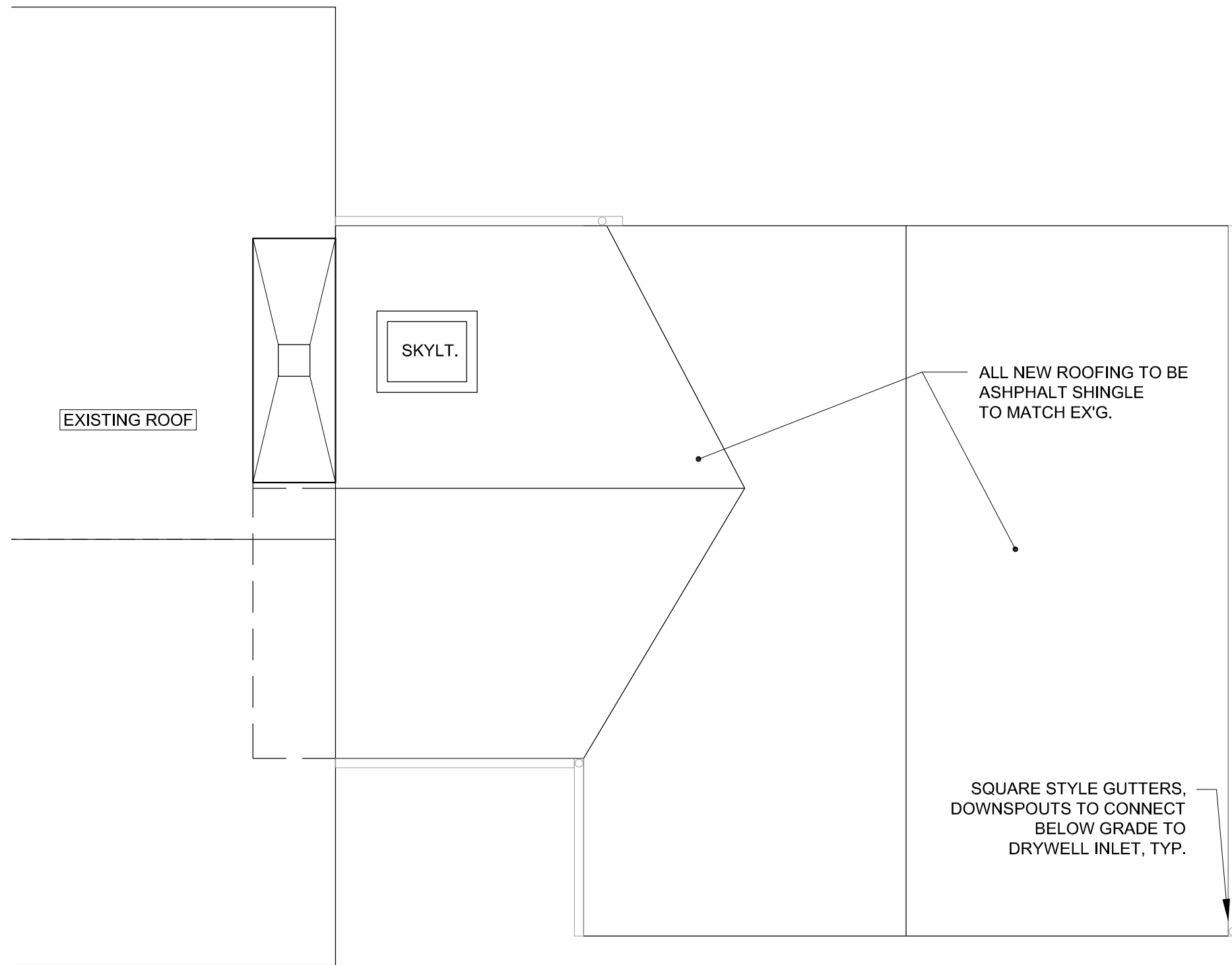


3 CONSTRUCTION PLAN: BEDROOM LEVEL  
SCALE: 1/4" = 1'-0"

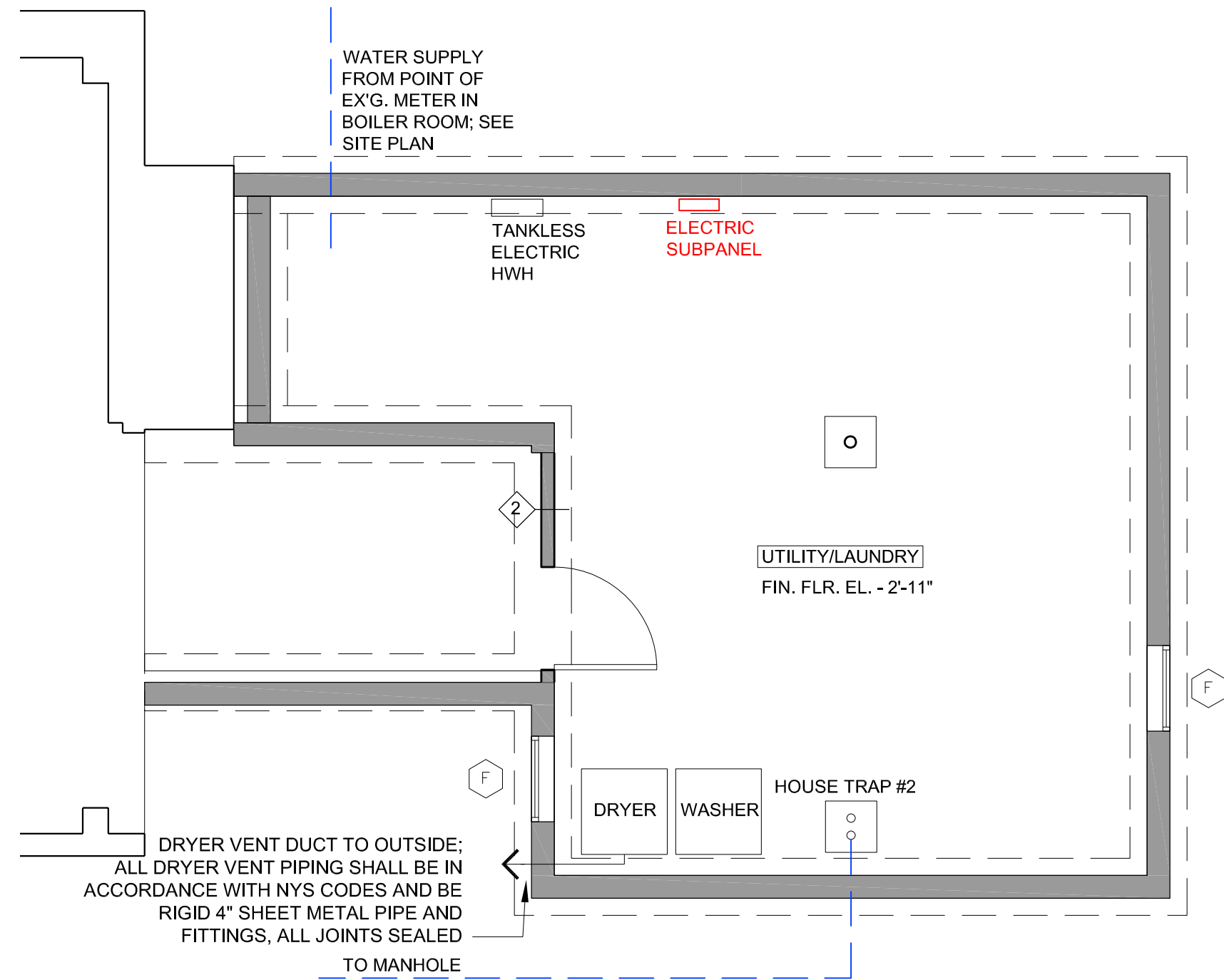
- WALL TYPE 1, EXTERIOR WALL: VERTICAL WD. SIDING (SEE DTLs.), 1/2" CDX PLYWD., 2x6 WD FRAMING @ 16" O.C., R-21 CLOSED CELL SPRAY FOAM, 1/2" GWB; IN BATHRM. ADD CEMENTITIOUS BOARD, TILE FINISH.
- WALL TYPE 2, INTERIOR PARTITION: 2X4 WD. FRAMING @ 16 O.C., OR 2X6 AT POCKET DOOR WALLS, 1/2" GWB BOTH SIDES. PROVIDE SOUND ATTENUATION BATT IN WALLS BORDERING BATH, AND CEMENTITIOUS BOARD ON BATH SIDE.
- WALL TYPE 3: 3" STL. STUDS ATTACHED TO BRICK CHIMNEY, 1/2" CDX PLYWD., 2X6 WD. FRAMING 16" O.C., R-21 CLOSED CELL SPRAY FOAM, CEMENTITIOUS BOARD, TILE FINISH

NOTE: SCHLUTER WATERPROOFING SYSTEM OVER CEMENT. BD. @ SHOWER WALLS AND BATHRM. FLR.

NOTE: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS IN FIELD; ALL DIMENSIONS ON CONSTRUCTION PLAN ARE TO FINISH.



4 ROOF PLAN  
SCALE: 1/4" = 1'-0"



5 BASEMENT CONSTRUCTION & MEP PLAN  
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE - ALL WINDOWS BE ARGON GAS TYPE DOUBLE GLAZED AND SHALL HAVE A MAXIMUM U-VALUE OF 0.27							
NO.	TYPE	INSERT OR NEW CONSTR	LOCATION	MANUF.	MODEL #	UNIT SIZE	NOTES
A	CASEMENT	INSERT/NEW CONSTR.	LIVING RM. & BEDRM.	TBD	TBD	2'-9" X 8'-0"	BEDRM. UNITS TEMPERED
B	FIXED	NEW CONSTR	LIVING ROOM			2'-6" X 9'-0"	
C	FIXED	NEW CONSTR	MASTER BEDROOM			4'-0" X 8'-0"	TEMPERED
D	AWNING	NEW CONSTR	MASTER BEDRM W.I.C.			2'-11" X 1'-6"	
E	FIXED	NEW CONSTR	MASTER BEDRM W.I.C.			5'-6" X 1'-6"	
F	AWNING	NEW CONSTR	BATHM SHWR & BSMT			2'-6" X 1'-6"	
G	FIXED	NEW CONSTR	STAIR HALL			(2)5'-0" X 3'-6"	

NOTE - WINDOW IN SHOWER AREA SHALL BE TEMPERED GLASS. ALL WINDOWS IN EX'G CONSTRUCTION TO BE MEASURED IN FIELD

SKYLIGHT IN MASTER BATHROOM SHOWER: 2'-6" X 2'-0"; MAX. U-VALUE OF 0.50; MANUFACTURER TBD

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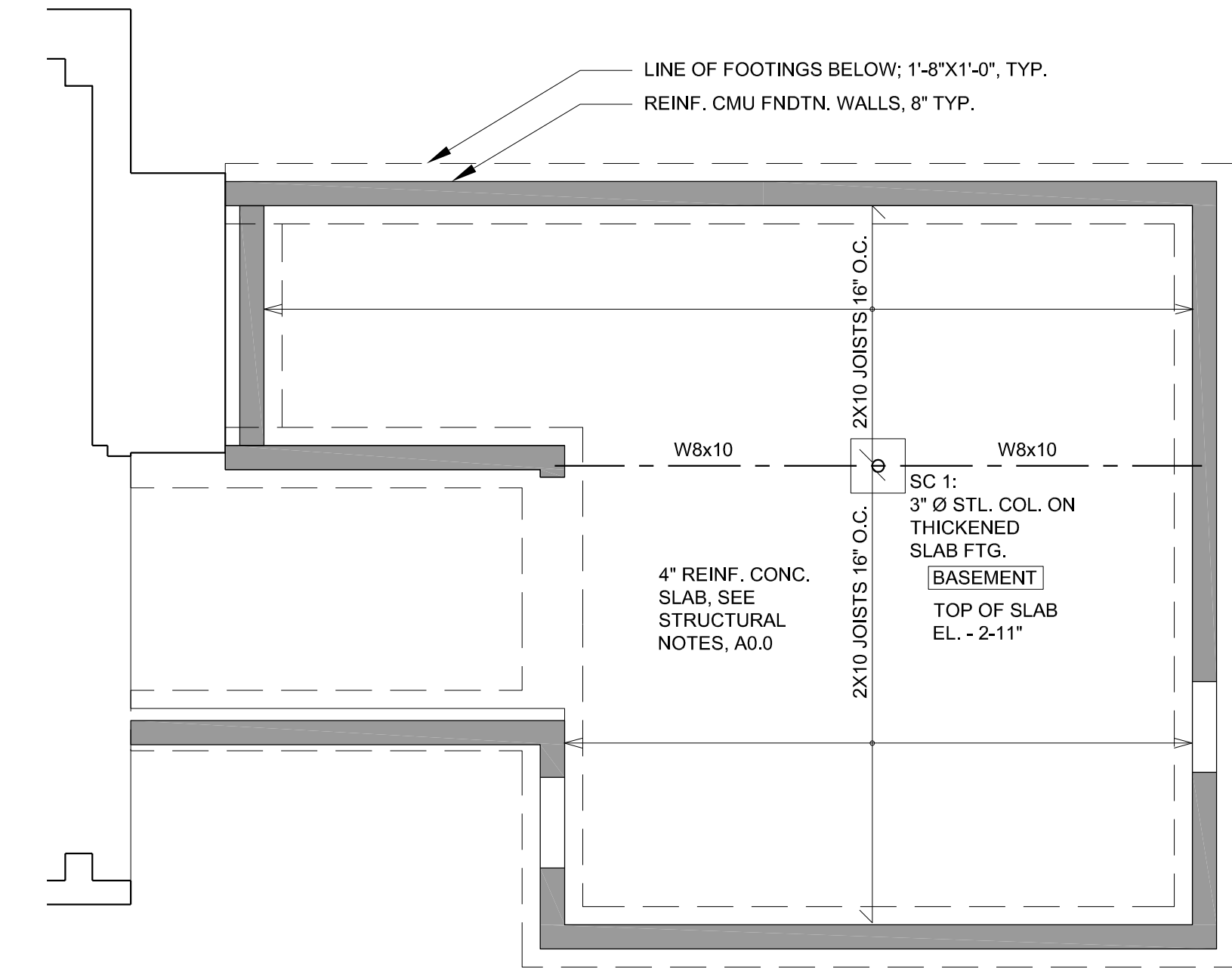
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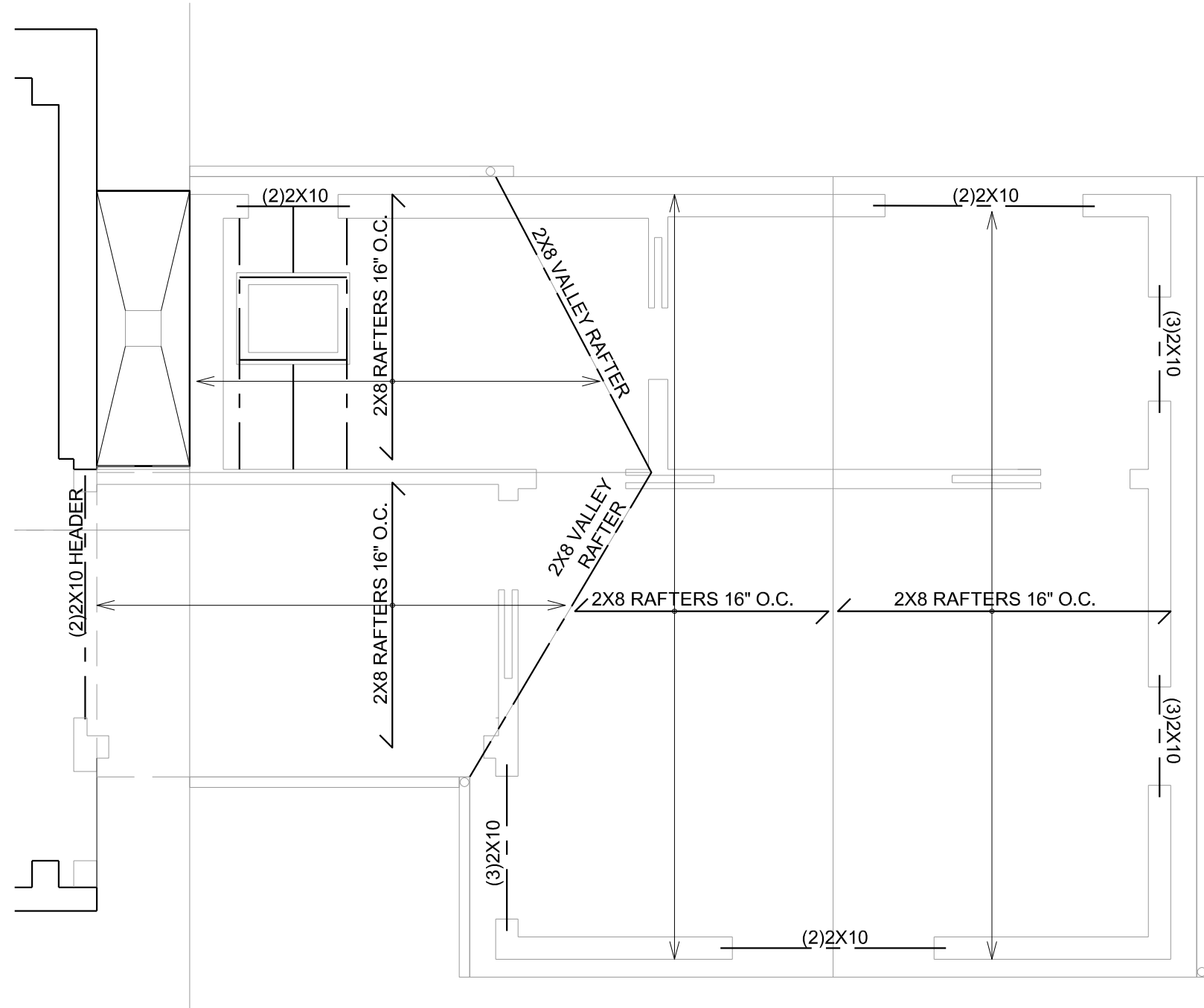
DEMOLITION & EXCAVATION PLAN  
CONSTRUCTION PLANS  
WINDOW SCHEDULE

DWG. #

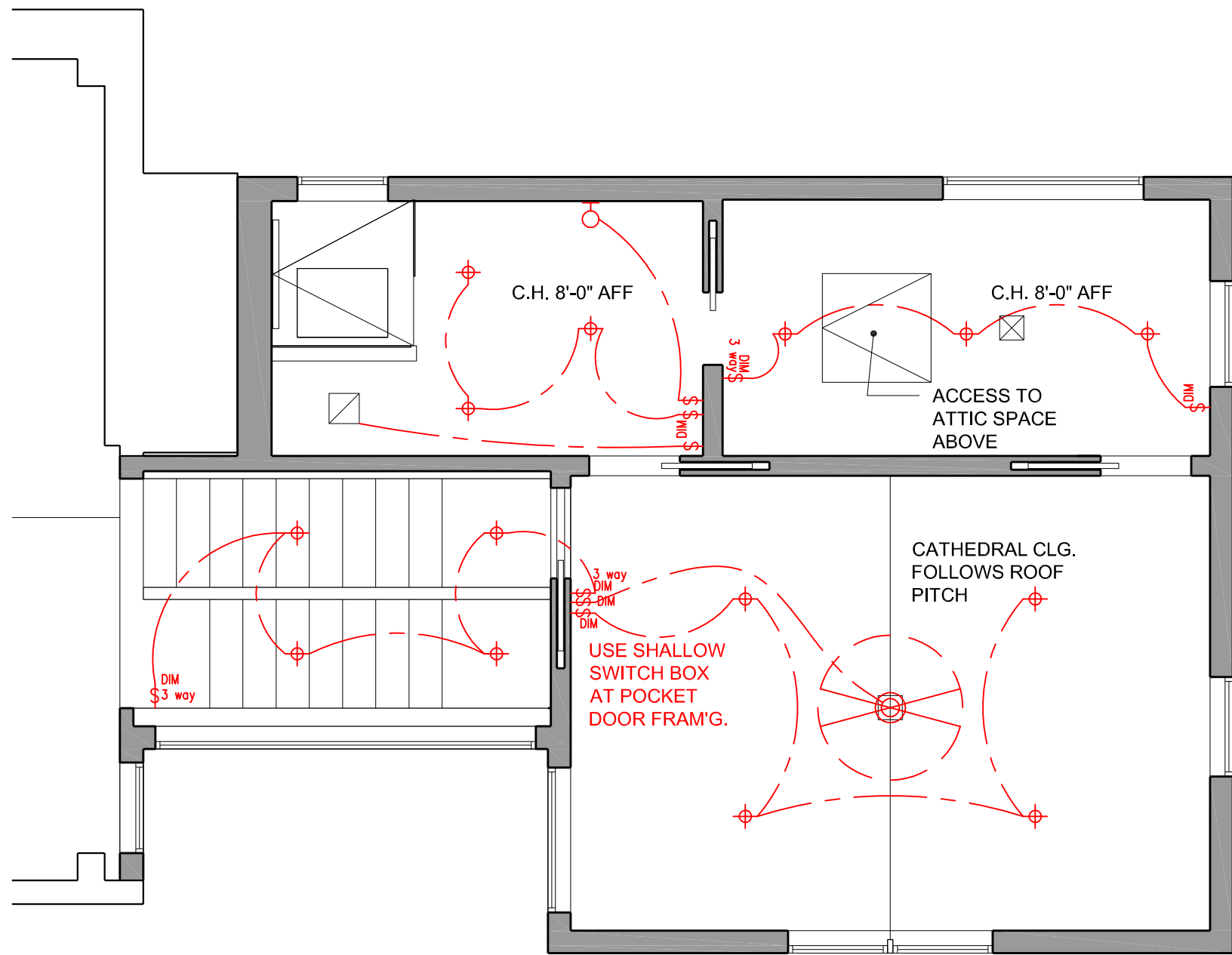
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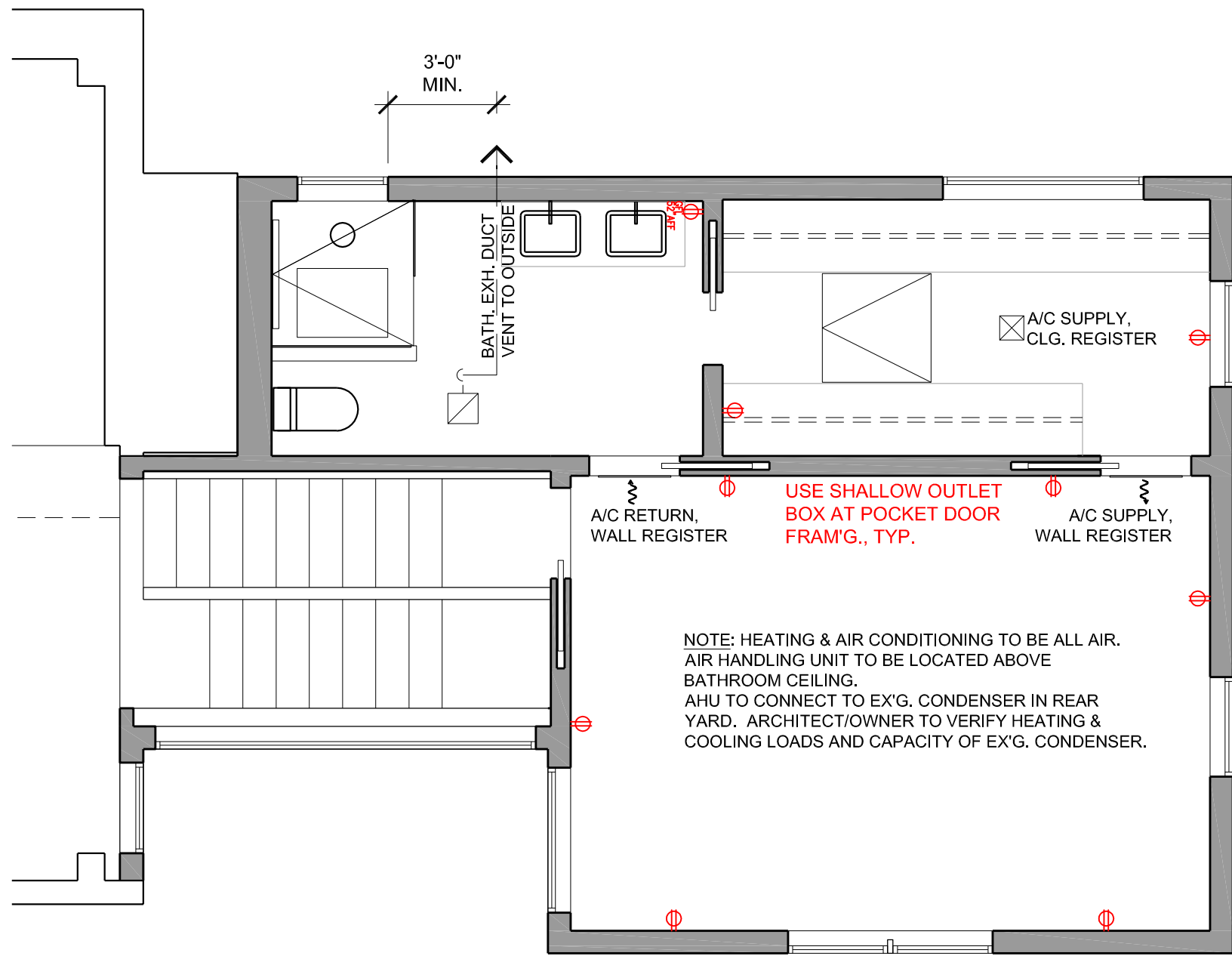
1 STRUCTURAL PLAN: FOUNDATION & FLOOR FRAMING  
SCALE: 1/4" = 1'-0"



2 STRUCTURAL PLAN: ROOF  
SCALE: 1/4" = 1'-0"



3 LIGHTING & RCP  
SCALE: 1/4" = 1'-0"



4 BEDROOM LEVEL MEP PLAN  
SCALE: 1/4" = 1'-0"

- ELECTRIC & LIGHTING LEGEND**  
DEVICES - DIVA BY LUTON U.O.N.
- OUTLETS NOT SHOWN, F&I LOCATION & QTY PER ELECTRIC CODE U.O.N.
- ⊕ DUPLEX OUTLET 15" AFF U.O.N.
  - ⊕ DEDICATED DUPLEX OUTLET 15" AFF U.O.N.
  - ⊕ QUAD OUTLET 15" AFF U.O.N.
  - ⊕ LIGHT SWITCH - MATCH HGT. OF EX'G U.O.N.
  - ⊕ DIMMER SWITCH
  - ⊕ USE ELV DIMMER AS REQ'D
  - ⊕ SURFACE MTD LIGHT
  - ⊕ PENDANT LIGHT
  - ⊕ WALL SCONCE
  - ⊕ RECESSED I.C. TYPE LED LIGHT 3000K MAX - COORD LOCATION
  - ⊕ FAN - VENT TO EXTERIOR
  - ⊕ SMOKE DETECTOR W 10 YR. LITHIUM BATTERY U.O.N.
  - ⊕ CO/SMOKE DETECTOR W 10 YR. LITHIUM BATTERY U.O.N.
  - ⊕ TV POWER AND SIGNAL OUTLET
  - ⊕ PROGRAMMABLE THERMOSTAT
  - ⊕ MOUNT @ 60" AFF U.O.N.

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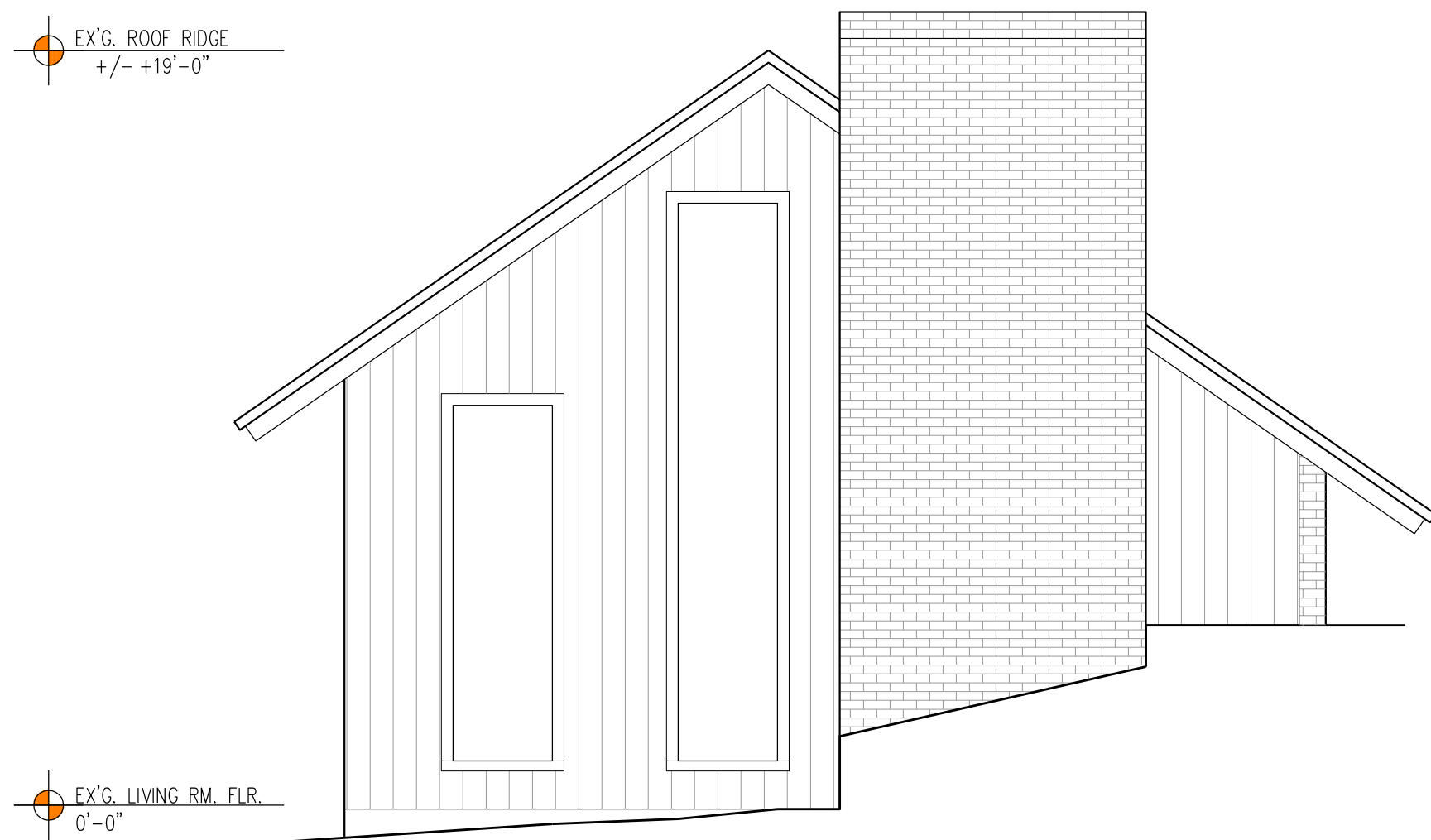
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STRUCTURAL/FRAMING PLANS  
LIGHTING & RCP  
MEP PLANS

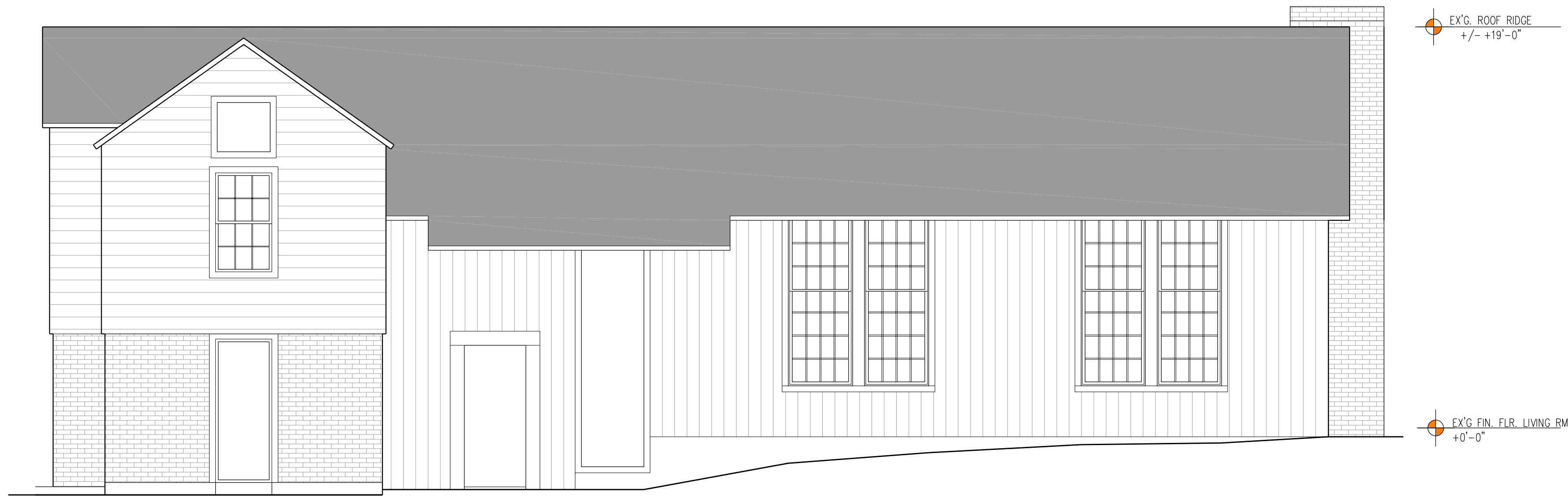
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1 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

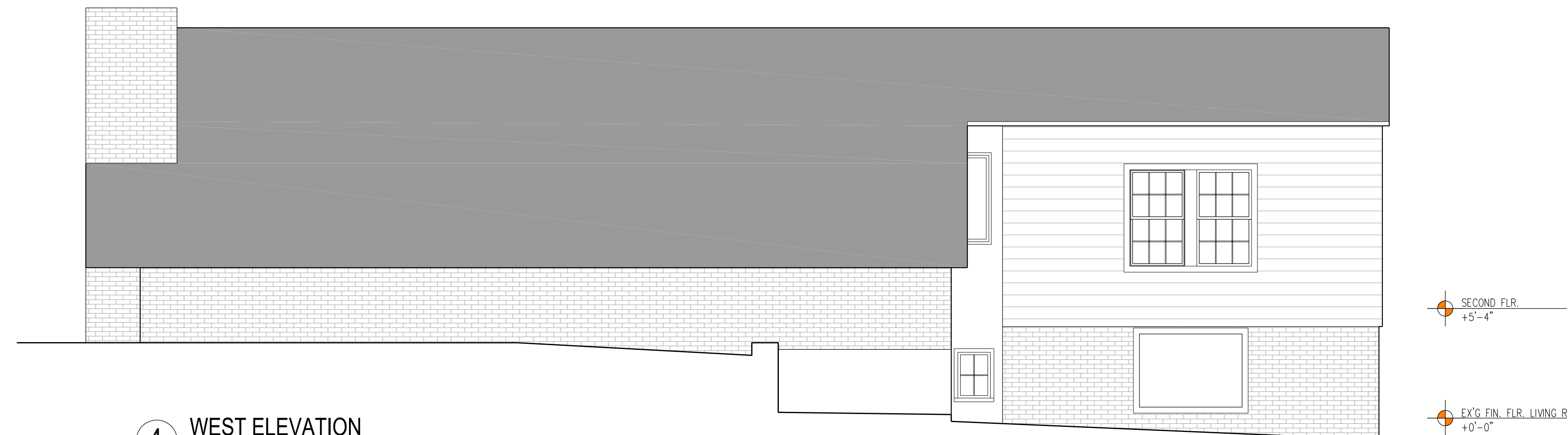


2 EAST ELEVATION  
SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

NOTE: NO WORK PROPOSED  
ON SOUTH SIDE OF HOUSE



4 WEST ELEVATION  
SCALE: 1/4" = 1'-0"

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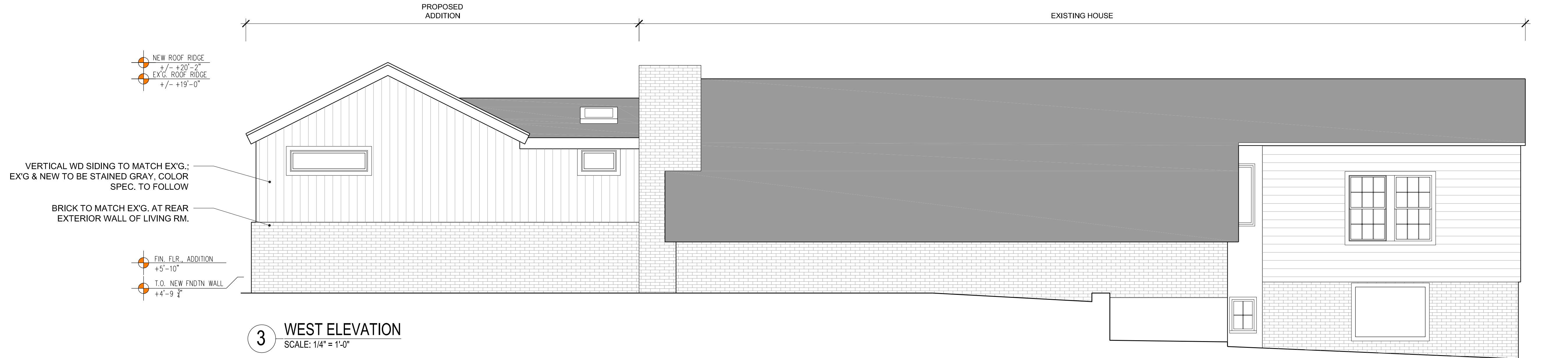
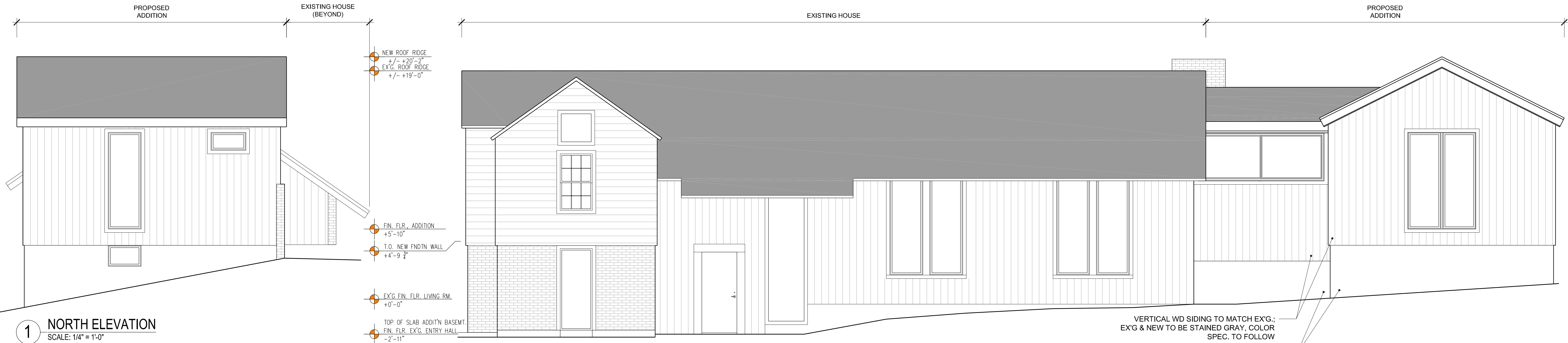
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EXTERIOR ELEVATIONS: EXISTING

DWG. #  
**A2.0**





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EXTERIOR ELEVATIONS: PROPOSED

DWG. #

A2.1