1. ALL WORK SHALL CONFORM TO ALL LAWS, RULES, AND REGULATIONS, INCLUDING RFFFRFNCFS STANDARDS. OF THE 2020 RESIDENTIAL BUILDING CODE OF NEW YORK STATE, FIRE PREVENTION CODE, FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES. ALL MATERIALS AND EQUIPMENT USED IN THE PROJECT SHALL CONFORM TO, AND HAVE APPROVALS IN ACCORDANCE WITH THE LOCAL MUNICIPALITY, ALL REFERENCE SUBCODES, AND WITH ANY OTHER PUBLIC AUTHORITIES OR AGENCIES OR AGENCIES

HAVING JURISDICTION OVER THE PROJECT. 2. BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS NECESSARY TO OBTAIN ALL PERMITS RFOUIRED BY GOVERNING NEW YORK AGENCIES.

3. THE CONTRACTOR SHALL BE LICENSED WITHIN THE COUNTY OF WORK. 4. THE CONTRACTOR SHALL PROVIDE WORKMEN'S COMPENSATION, LIABILITY, AND PROPERTY DAMAGE INSURANCES TO LIMITS AS REQUIRED BY THE LOCAL MUNICIPALITY AND/OR OWNER. AND SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS REQUIRED BY THE LOCAL BUILDING DEPARTMENT AND ARRANGING FOR ALL REQUIRED NOTIFICATIONS, TESTINGS, INSPECTIONS, AND APPROVALS.

5. THE CONTRACTOR UPON COMPLETION OF THE WORK, SHALL APPLY AND ARRANGE FOR DEPARTMENT OF BUILDINGS INSPECTIONS AND SIGN-OFFS REQUIRED.

6. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING SITE CONDITIONS. THE CONTRACTOR SHALL CHECK AND VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT.

7. IN A RENOVATION OR RESTORATION PROJECT, ALL DIMENSIONS AND CONDITIONS SHOWN ARE APPROXIMATE, AS ALL NEW WORK MUST JOIN AND ALIGN WITH EXISTING CONDITIONS. THE CONTRACTOR SHALL DETERMINE ACTUAL FINISHED DETAILS OF CONSTRUCTION RELATING TO HEIGHTS, SIZES, ETC. BASED ON FIELD MEASUREMENTS, ALL IN ORDER TO JOIN AND ALIGN NEW

TO EXISTING WORK. 8. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED

ON THE DRAWINGS. 9. THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (PLUMBING, ELECTRICAL, ETC.)

10. PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS. 11. THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, AND REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.

12. THE CONTRACTOR SHALL PROTECT AND BE RESPONSIBLE FOR THE SITE AND ADJOINING PROPERTIES, BUILDING STRUCTURES, EQUIPMENT, CONTENTS, PAVEMENTS, SIDEWALKS, STREETS, CURBS, LANDSCAPING, UTILITIES, AND IMPROVEMENTS WITHIN THE AREA OF OPERATIONS UNDER THE CONTRACT. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY CLOSURES, GUARD RAILS, BARRICADES, ETC., TO ADEQUATELY PROTECT ALL WORKMEN, OCCUPANTS, AND THE PUBLIC FROM POSSIBLE INJURY. IF NECESSARY, TEMPORARY PROTECTION AND A CHAIN LINK FENCE SHALL BE CONSTRUCTED TO PREVENT UNAUTHORIZED ACCESS TO THE PROJECT SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY VANDALISM OR DAMAGE RESULTING FROM UNAUTHORIZED ACCESS TO THE SITE FOR THE DURATION OF THE PROJECT.

13. ALL EXITS SHALL BE KEPT READILY ACCESSIBLE AND UNOBSTRUCTED AT ALL TIMES. 14. ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED.

15. CONTRACTOR SHALL PROVIDE FOR THE LEGAL REMOVAL AND DISPOSITION OF RUBBISH AND DEBRIS, AND FOR THE GENERAL CLEANING FOR THE FOR THE DURATION OF THE PROJECT. THE SITE SHALL BE LEFT DAILY WITH ALL MATERIALS AND TOOLS STORED IN AN ORDERLY FASHION, WITH ALL AREAS BROOM SWEPT. NO ACCUMULATION OF DIRT OR DEBRIS SHALL BE PERMITTED. UPON PROJECT COMPLETION, THE CONTRACTOR SHALL LEAVE THE PREMISES FREE AND CLEAR OF ALL RUBBISH AND DEBRIS, AND IN A BROOM SWEPT CONDITION. 16. ALL EXPOSED FINISHED SURFACES SHALL BE TREATED, CLEANED, VACUUMED, OR POLISHED

IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. 17. DISTURBANCE OR DAMAGE RESULTING DIRECTLY OR INDIRECTLY FROM THE OPERATION OF THE CONTRACTOR, INCLUDING DAMAGE TO PROPERTY INCLUDING BUILDINGS, EQUIPMENT, CONTENTS, LAWNS, PLANTINGS, OR OTHER LANDSCAPE ITEMS, SHALL BE PROMPTLY RESTORED, REPAIRED, AND/OR REPLACED TO THE COMPLETE SATISFACTION OF THE ARCHITECT AND OWNER

AT NO ADDITIONAL COST TO THE OWNER. 19. UNLESS OTHERWISE PROVIDED, THE ARCHITECT AND ARCHITECT'S CONSULTANTS, INCLUDING EQUIPMENT MANUFACTURERS AND THEIR REPRESENTATIVES, SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL, DISPOSAL OF, OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE. THIS INCLUDES,

BUT IS NOT LIMITED TO: ASBESTOS, ASBESTOS PRODUCTS, POLYCHLORINATED BIPHENYL (PCB), LEAD PAINT CONTAMINANTS, OR ANY OTHER TOXIC SUBSTANCES OR CONTAMINATE. SHOULD ANY HAZARDOUS MATERIAL BE ENCOUNTERED OR SUSPECTED, THE CONTRACTOR SHALL CEASE WORK IMMEDIATELY AND REVIEW THE PROJECT CONDITIONS WITH THE ARCHITECT AND OWNER PRIOR TO PROCEEDING WITH ANY WORK OF THE CONTRACT.

20. EXCAVATION FOR UTILITY PIPING OR FOUNDATIONS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. CONTRACTOR SHALL NOTIFY THE LOCAL BUILDING DEPARTMENT AND/OR UTILITY COMPANY TO DETERMINE LOCATIONS OF ANY EXISTING UNDERGROUND UTILITIES, AND PROVIDE PROTECTION FOR SAME DURING EXCAVATION PROCEDURES.

21. THESE DRAWINGS AS ARTICLES OF SERVICE ARE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED FOR OTHER BUILDINGS, PROJECTS, OR PROPOSALS, OR PORTIONS THEREOF UNLESS SPECIFICALLY APPROVED BY THE ARCHITECT. IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF THE ARCHITECT, TO ALTER THIS DOCUMENT IN ANY WAY. THE INFORMATION, CONCEPTS, IDEAS, AND DESIGN CONTAINED IN TENANT SAFETY NOTES.

1. MEANS OF EGRESS: ALL EXISTING MEANS OF EGRESS FOR USERS OF THE BUILDING ARE TO BE MAINTAINED CLEAR AND FREE OF ALL OBSTRUCTIONS SUCH AS BUILDING MATERIALS, TOOLS,

2. FIRE SAFETY: ALL BUILDING MATERIALS STORED AT CONSTRUCTION AREA, AND/OR IN ANY

AREA OF THE BUILDING ARE TO BE SECURED IN A LOCKED AREA. ACCESS TO SUCH AREAS TO BE CONTROLLED BY THE OWNER AND/OR GENERAL CONTRACTOR. 3. DUST CONTROL: DEBRIS, DIRT, AND DUST ARE TO BE KEPT TO A MINIMUM, & CONFINED TO

THE IMMEDIATE CONSTRUCTION SITE. NO ACCUMULATION OF DEBRIS IS ALLOWED. CONSTRUCTION AREAS AND AFFECTED AREAS MUST BE KEPT ORDERLY AND BROOM SWEPT 4. NOISE AFTER HOURS: CONSTRUCTION OPERATIONS WILL BE CONFINED TO BUILDING

ALLOWABLE WORKING HOURS, 8:00 AM TO 6:00 PM, MONDAYS THROUGH SATURDAY. 5. CONSTRUCTION WORK WILL BE CONFINED TO THE PROPOSED CONSTRUCTION FLOORS OR AREAS. CONTRACTOR TO LIMIT THE AMOUNT OF DUST, DIRT, DEBRIS OR OTHER INCONVENIENCES CREATED BY THE CONSTRUCTION, TO THE IMMEDIATE CONSTRUCTION SITE.

6. PORTIONS OF THE BUILDING WILL BE OCCUPPIED DURING THE COURSE OF CONSTRUCTION

ELECTRICAL NOTES

1. EXAMINE DRAWINGS AND BECOME FULLY INFORMED OF THE EXTENT AND CHARACTER OF WORK TO BE PERFORMED. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. 2. SUPPLY AND INSTALL ALL ITEMS, ARTICLES, MATERIALS, & OPERATIONS INCLUDING ALL

LABOR, EQUIPMENT, MATERIALS, & TOOLS NECESSARY TO COMPLETE ALL SYSTEMS SHOWN ON DRAWINGS, RENDERING A COMPLETE INSTALLATION. 3. OBTAIN ALL PERMITS REQUIRED. ARRANGE FOR INSPECTION OF THE WORK BY INSPECTION AUTHORITY, AND PAY ALL FEES. PROVIDE FINAL CERTIFICATE TO THE CLIENT/OWNER.

4. CONFORM TO THE REQUIREMENTS OF THE ELECTRICAL CODE AND THE RULES & BY-LAWS OF ALL AUTHORITIES HAVING JURISDICTION.

5. ALL MATERIAL EQUIPMENT SHALL BE NEW, UL APPROVED, BEARING THE UL STAMP, AND BE COMMERCIAL GRADE UNLESS OTHERWISE NOTED. 6. PROVIDE TEMPORARY ELECTRICAL POWER FOR THE WORK OF OTHER TRADES AS REQUIRED

BY THE GENERAL CONTRACTOR. 7. PROVIDE TYPED CIRCUIT DIRECTORIES FOR PANELBOARDS. 8. PROVIDE A CERTIFICATE OF GUARANTEE OF WORKMANSHIP AND MATERIAL FOR ONE YEAR FROM DATE OF ACCEPTANCE. SUBMIT "AS-BUILT" DRAWINGS WITH ONE SET OF MARKED UP PRINTS TO CLIENT/OWNER AFTER COMPLETION OF WORK.

SMOKE AND CARBON MONOXIDE DETECTORS WITHIN THE HOME MUST CONFORM TO IRC 314 AND 315. A COPY OF THOSE SECTIONS CAN BE OBTAINED AT THIS OFFICE.

GENERAL NOTES:

• WHERE EXTERIOR WALLS ARE OPEN OR NEW, INSULATE TO R-21 MIN. GC TO OBTAIN SIGN FROM DF BLDG DEPT INDICATING USE OF ENGINEERED WOOD/TRUSS CONSTRUCTION. GC TO MOUNT SIGN NEXT

TO ELECTRIC METER. ALL SAFETY GLASS TO BE LASER OR ACID ETCHED **DEMOLITION NOTES**

. CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY. IN A SYSTEMATIC MANNER.

2. ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.

3. NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. LEGALLY DISPOSE OF MATERIALS OFF-SITE. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION. 4. NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLESS PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED BY EITHER TEMPORARY OR NEW STRUCTURAL ELEMENTS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE.

5. REMOVE OR RELOCATE ALL WIRING, PLUMBING, AND MECHANICAL EQUIPMENT AFFECTED BY REMOVAL OF PARTITIONS. REMOVED PIPES AND OR LINES SHALL BE CUT TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISH SURFACES. AND SHALL BE PROPERLY CAPPED OR PLUGGED. MAINTAIN EXISTING UTILITIES TO REMAIN AND PROTECT AGAINST DAMAGE DURING DEMOLITION. DO NOT INTERRUPT EXISTING BUILDING UTILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY THE ARCHITECT AND/OR OWNER.

6. THE CONTRACTOR SHALL PROVIDE, ERECT, AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY DEPARTMENT OF BUILDINGS' RULES AND REGULATIONS.

7. THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF THE WORK. ALL OPENINGS SHALL BE PROTECTED FROM ALL FORMS OF WEATHER OR WATER PENETRATION. 8. OWNER ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITION OF ITEMS OR STRUCTURES TO

BE DEMOLISHED 9. SCHEDULE FREIGHT ELEVATOR HOURS OF OPERATION (AS REQUIRED), DUMPSTER LOCATION, AND EXIT ROUTE WITH ARCHITECT AND/OR OWNER IN ADVANCE.

10. DO NOT USE CUTTING TORCHES FOR REMOVALS. 11. IF UNANTICIPATED MECHANICAL, ELECTRICAL OR STRUCTURAL ELEMENTS CONFLICT WITH DEMOLITION, REPORT THE NATURE AND EXTENT OF THE CONFLICT TO THE ARCHITECT IN WRITTEN, ACCURATE DETAIL. PENDING RECEIPT OF INSTRUCTIONS, REARRANGE DEMOLITION SCHEDULE TO MAINTAIN PROGRESS.

12. IF ASBESTOS CONTAINING MATERIALS ARE ENCOUNTERED OR SUSPECTED, NOTIFY OWNER AND BUILDING MANAGEMENT. CEASE DEMOLITION WORK IN THE AFFECTED AREA UNTIL ARCHITECT AND/OR OWNER ISSUES INSTRUCTION TO RESUME WORK.

1. ALL STRUCTURAL WORK SHALL COMPLY WITH THE STATE OF NEW YORK BUILDING CODE. 2. STRUCTURAL WORK SHALL BE COORDINATED WITH THE ARCHITECTURAL DRAWINGS AND THE SPECIFICATIONS.

3. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING AND BRACING AND MAKE SAFE ALL FLOORS, ROOFS, WALLS, AND ADJACENT PROPERTY AS PROJECT CONDITIONS REQUIRE. 4. ALL FOOTINGS SHALL REST ON UNDISTURBED SOIL OF MINIMUM BEARING CAPACITY EQUAL TO 4000 PSF. THE ADEQUACY OF THE BEARING STRATUM SHALL BE VERIFIED IN THE FIELD PRIOR TO FOURING THE CONCRETE, BOTTOM OF FOOTING ELEVATIONS SHALL BE ADJUSTED AS REQUIRED IN THE FIELD.

5. ENGINEERED FILL, IF REQUIRED, SHALL BE PLACED IN 8 INCH LIFTS, COMPACTED TO 95 % MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT. 6. DO NOT PLACE BACKFILL AGAINST FOUNDATION WALLS UNTIL ALL FLOORS OR ROOFS BRACING THESE WALLS ARE IN PLACE.

7. ALL CONCRETE SHALL BE NORMAL WEIGHT AGGREGATE OF MINIMUM COMPRESSIVE STRENGTH EQUAL TO 3000 PSI AT AGE 28 DAYS. CONCRETE WORK SHALL CONFORM TO ACI 301, "SPECIFICATIONS FOR CONCRETE FOR BUILDINGS", AND ALL RECOMMENDED PRACTICES CONTAINED THEREIN SHALL BE CONSIDERED MANDATORY FOR THIS PEOJECT. 8. ALL FOUNDATION CONCRETE AND GARAGE FLOOR SLAB SHALL BE AIR-ENTRAINED

9. REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615 GRADE 60. 10. WELDED WIRE MESH CWWM SHALL CONFORM TO ASTM AI85

11. SLABS ON GROUND SHALL BE 4 INCHES THICK POURED OVER A 6-INCH LAYER OF POROUS FILL (UNLESS OTHERWISE SHOWN ON PLANS). PROVIDE 6" x 6" - W 1.4 x W 1.4 WELDED WIRE MESH 1 INCH BELOW TOP OF SLAB FABRIC PLACED . SLABS SHALL BE POURED IN ALTERNATE PANELS NOT EXCEEDING 2500 SQUARE FEET OR 80 FEET IN ANY ONE DIRECTION

12. ALL STRUCTURAL STEEL SHALL CONFORM TO THE AISC SPECIFICATIONS, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS. ALL SHAPES AND PLATES SHALL BE ASTM A36. ALL PIPES SHALL BE ASTM A53 TYPE E OR S GRADE B. 13. BOLTS SHALL BE A307, 3/4 INCH DIAMETER MINIMUM, UNLESS NOTED OTHERWISE.

14. WELDING ELECTRODES SHALL BE ASTM A233, CLASS E60XX. 15. ALL WOOD FRAMING INCLUDING DETAILS FOR BRIDGING, BLOCKING, FIRE STOPPING, ETC. SHALL CONFORM TO THE LATEST ISSUE OF THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" AND ITS SUPPLEMENTS. FRAMING SHALL BE INSTALLED IN ACCORDANCE WITH

THE NFPA "MANUAL FOR HOUSE FRAMING" AND NAILING SHALL BE IN ACCORDANCE WITH APPENDIX C OF THE BOCA CODE. 16. FRAMING LUMBER SHALL HAVE EACH PIECE GRADE STAMPED, SHALL BE SURFACE DRY (EXCEPT STUDS WHICH SHALL BE KILN DRIED) AND SHALL CONFORM TO THE FOLLOWING SPECIE AND GRADE: RAFTERS, PURLINS, JOISTS DOUGLAS FIR-LARCH #2 BEAMS, GIRDERS, HEADERS DOUGLAS FIR-LARCH #1 STUDS, COLUMN, PLATES DOUGLAS FIR-LARCH STUD GRADE

17. ALL FACTORY MANUFACTURED GLUE LAMINATED WOOD FRAMING MEMBERS SHALL BE BY 18. ALL FLUSH FRAMED CONNECTIONS SHALL BE MADE WITH APPROVED GALVANIZED STEEL JOIST OR BEAM HANGERS, MINIMUM 18 GAUGE, BY SIMPSON STRONG TIE, INSTALLED AS PER MANUFACTURERS RECOMMENDATION.

19. WHERE FRAMING LUMBER IS FLUSH FRAMED TO A ENGINEERED BEAM, GLU LAM FLITCH PLATE OR STEEL BEAM, SET THESE BEAMS 1/2 INCH CLEAR BELOW TOP OF FRAMING LUMBER TO ALLOW FOR SHRINKAGE 20. STUD BEARING WALLS SHALL BE 2" x 6" AT 16" ON CENTER AT THE EXTERIOR 21. ALL

ADDITIONAL STUDS. 22. AT THE ENDS OF ALL BEAMS AND GIRDERS PROVIDE A BUILT UP COLUMN WHOSE WIDTH IS AT LEAST EQUAL TO THE WIDTH OF THE MEMBER IT IS SUPPORTING AND WHOSE DEPTH MATCHES THE DEPTH OF THE ADJACENT STUDS. POST DOWN TO FOUNDATION, U.O.N. 23. USE DOUBLE STUDS AT THE END OF ALL WALLS AND WALL OPENINGS.

RAFTERS AND JOISTS SHALL ALIGN DIRECTLY WITH STUDS BELOW. WHERE REQUIRED INSTALL

24. USE DOUBLE HEADERS AND TRIMMERS AT ALL FLOOR OPENINGS WHERE BEAMS ARE NOT 25. LAP ALL PLATES AT CORNERS AND AT THE INTERSECTION OF PARTITIONS, PROVIDE

HEADERS OVER ALL 26. UNLESS OTHERWISE NOTED, PROVIDE OPENINGS AS FOLLOWS: INTERIOR WALLS (2) - 2" x 10" EXTERIOR WALLS (3) - 2" x 10"

27. STAGGER ALL SPLICES A MINIMUM OF 32". 28. BRIDGING FOR SPANS UP TO 14 FEET, PROVIDE ONE ROW. BRIDGING FOR SPANS OVER 14 FEET, PROVIDE TWO ROWS.

29. BUILT UP BEAMS SHALL BE SPIKED WITH (2) - 16d NAILS AT 16" ON CENTER. 30. PLYWOOD SHALL BE APA GRADE STAMPED AND SHALL NOT EXCEED THE SPANS INTENDED FOR USE ON THE GRADE STAMP. ALL PLYWOOD SHALL BE MADE WITH EXTERIOR GLUE AND SHALL HAVE THE FOLLOWING THICKNESS': ROOFS 1/2" FLOORS 3/4" WALLS 1/2" 1. ALL PLYWOOD SHALL BE GLUE NAILED TO FLOOR JOISTS USING AN APA APPROVED ADHESIVE. (B.F. GOODRICH PL 400 OR EQUAL)

32. USE HURRICANE ANCHORS BY SIMPSON STRONG TIE AT THE ENDS OF ALL RAFTERS. 33. LINTELS SHALL BE INSTALLED OVER ALL NEW OPENINGS IN MASONRY WALLS AS FOLLOWS: MASONRY OPENING LINTEL 4'-0" OR LESS L4 x 3 $\frac{1}{2}$ " x 5/16" 4'-1" TO 5'-0 L5 x 3 $\frac{1}{2}$ " x 5/16" a) 3 1/2 LEGS ARE HORIZONTAL b) PROVIDE ONE 'L' FOR EACH 4" OF WALL THICKNESS c) MINIMUM BEARING 6" EACH END

34. LIVE LOAD SCHEDULE ROOF 30 PSF SECOND FLOOR 40PSF FIRST FLOOR 40PSF

ALL PLUMBING AND GAS PIPING WORK SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF NEW YORK STATE PLUMBING CODE, AND ALL OTHER APPLICABLE COUNTY AND MUNICIPAL CODES.

2. PLUMBING CONTRACTOR TO EXAMINE PROPOSED LAYOUT WITH REGARD TO EXISTING FIELD CONDITIONS, AND NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN ARCHITECTURAL

SIGN-OFFS.

DRAWINGS AND FIELD CONDITIONS. 3. PLUMBING CONTRACTOR SHALL INFORM ARCHITECT OF ANY REVISIONS TO THE PLANS DUE TO FIELD CONDITIONS OR COMPLIANCE WITH REQUIREMENTS OF THE APPLICABLE CODES. 4. PLUMBING CONTRACTOR SHALL ARRANGE AND OBTAIN INSPECTIONS AND ALL REQUIRED

Stretch Energy Code — Climate Zone 4 — Table 402.1.2

	Min. Req'd U-factor or R-value	Proposed at new construction
Ceiling	R-49	R-49
Walls	R-21, 20+5, 13+10	R-21
Floor	R-30	R-30
Bsmt or Crawl Space	R-15 cont. $/$ $R-19$ non-cont.	R-15 cont. $/$ $R-19$ non-cont.
Slab on Grade	R-10 4'depth	R-10 4'depth
Windows	0.27	0.27
Skylights	0.50	0.50

ABBREVIATIONS SIMILAR SPECIFICATIONS HEIGHT HOT WATER **ENCLOSURE** APPL. ICEMAKER ŠŤĀĪNĪLESS STEE P-LAM PLASTIC LAMINATE PLYWD PLYWOOD INFORMATION TRASH RECEPTACLE FOUNDATION JOIST HANGER PRESSURE TREATED
PAINTED
REFLECTED CEILING PLAN
REFRIGERATOR TYPICAL

. UNLESS OTHERWISE NOTED VINYL COMPOSITION TILE VERIFY IN FIELD BETWEEN FINISH FLOOR BLDG BLKG BM. B.O. BR PTD RCP REF REQ'D FL., FLR. BUILDING BLOCKING FOOTING BEAM GALVANIZED BY OTHERS BRICK REQUIRED WOOD GENERAL CONTRACTOR DWGS DWR WINDOW DRAWINGS GLASS DRAWER MICROWAVE CABT. CABINET

Uniform Design Loads (p.s.f.)

	Dead Load	Live Load	DL & LL
1st Floor	10	40	50
2nd Floor	10	30	40
Ext. Wall	12		12
Int. Wall	8		8
Ceiling	10		10
Deck	6	45 45	51
Roof	15	45	60

Certification I, Elizabeth van der Zandt, Architect certify that these plans and specifications, to the best of my knowledge, comply with the New York State Energy Conservation Elizabeth van der Zandt, R.A. PLUMBING RISER DIAGRAM 1 FXISTING FIXTURE 2 NEW FIXTURE - FXIST'G LOCATION 3 NEW FIXTURE - NEW LOCATION VENT LINE ___ IN MANHOLË,

DRAWING LIST:

WALL TYPES

■ ■ SHORING WALL

EXISTING TO REMAIN

REMOVE EXISTING

REVISION CLOUD

A0.0 COVER SHEET A0.1 PROPOSED SITE PLAN

A3.0 BUILDING SECTIONS, DETAILS

A1.0 EXISTING & DEMOLITION, CONSTRUCTION PLANS A1.1 PLANS: STRUCTURAL, MEP, LIGHTING & RCP

A2.0 EXISTING EXTERIOR ELEVATIONS A2.1 PROPOSED EXTERIOR ELEVATIONS

AERIAL SITE LOCATION MAP SCALE: N.T.S.

76 OGDEN P

3, 130-119-3

ZONING CALCULATIONS			
LOCATION	76 OGDEN PLACE		
ZONING DISTRICT	OF-6		
SBL #	3.130-119-3		
	REQUIRED	EXISTING	PROPOSED
USE	ONE FAMILY	ONE FAMILY	NO CHANGE
LOT SIZE	5,000 SF MIN.	10,226 GROSS/8,713.2 NET	NO CHANGE
LOT WIDTH	50'	133.5'	NO CHANGE
LOT DEPTH	100'	95'(S); 67.1'(N)	NO CHANGE
FRONT YARD	20'	14'	NO CHANGE
REAR YARD	25'	20.7'	NO CHANGE
SIDE YARD ONE	10'	7.3'	NO CHANGE
SIDE YARD TWO	10'	60'	33.3'
SIDE YARDS TOTAL	20'	67.3'	40.6
BUILDING COVERAGE	27%	21.7%	27.8%
IMPERVIOUS COVERAGE	54%	29%	35%
BUILDING HEIGHT	35' TO RIDGE	19' TO RIDGE	NO CHANGE

TAX LOT

EDGE OF MACADAM

TAX LOT

133.55



GROSS LOT AREA = 10,226 SF

EXISTING SITE PLAN SCALE: N.T.S.

ELIZABETH VAN DER ZANDT **ARCHITECT** 646.270.3494 liz@evdzarchitect.com

PB APPLICATION 9.15.2022 ZBA APPLICATION 8.22.2022 **BUILDING PERMIT**

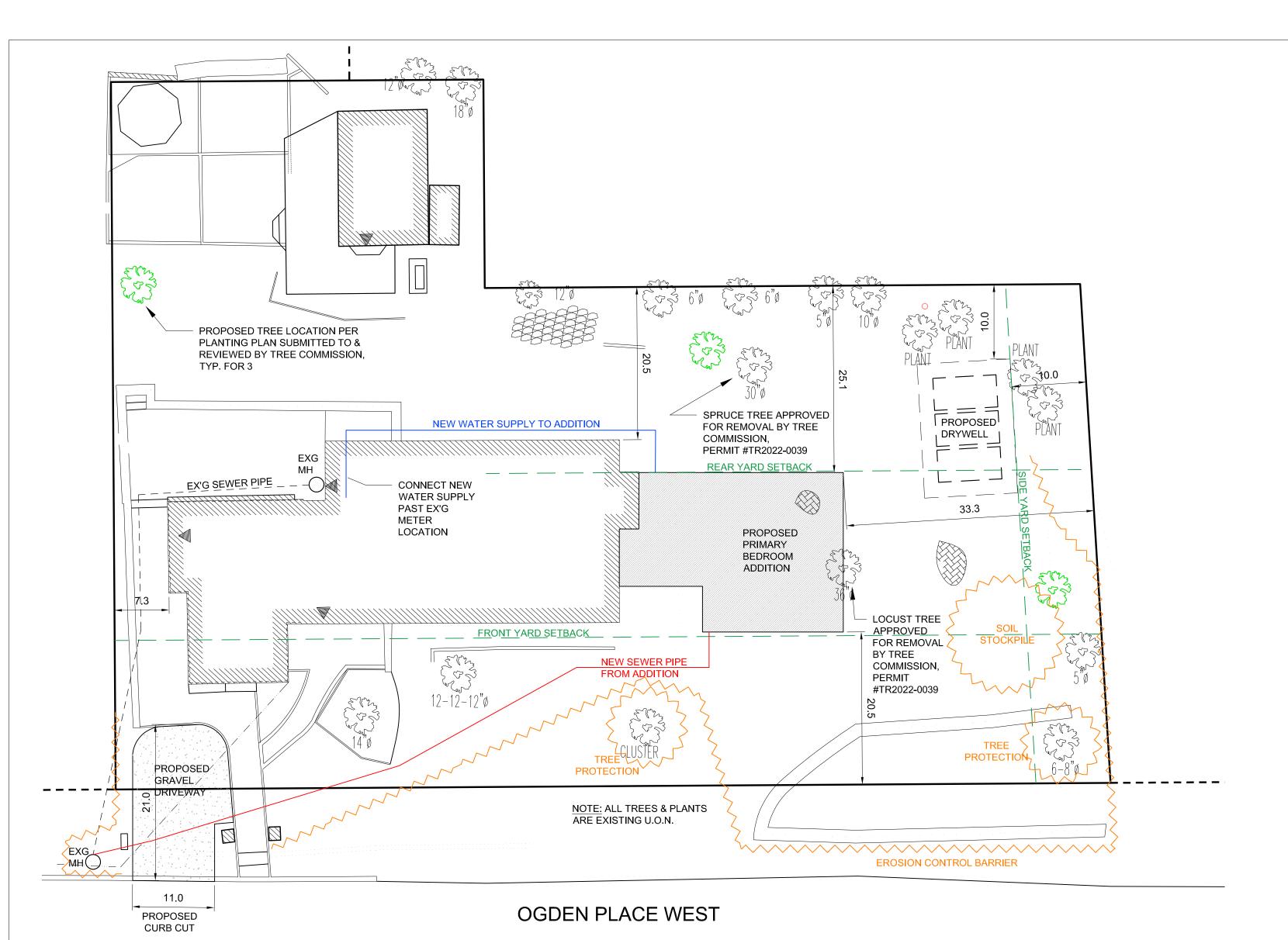
FILING SET 6.14.2022

A(05; 19. AND 0

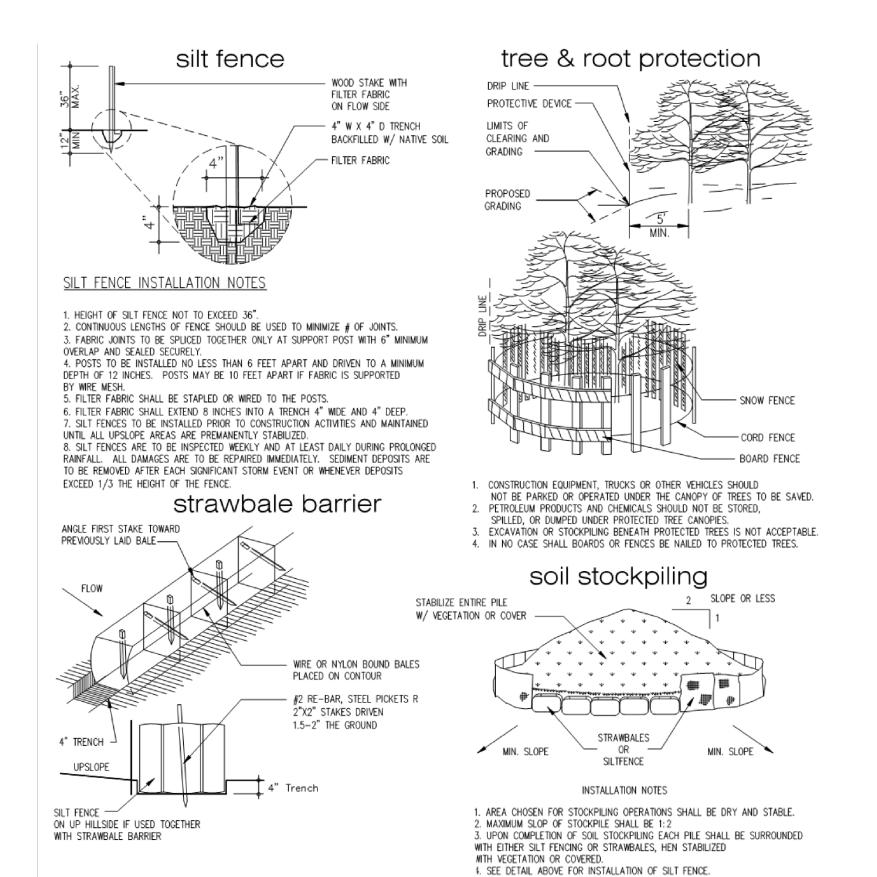
SAS $\geq Z \Box$

DWG.#

SOO



PROPOSED SITE PLAN



SITE PLAN NOTES

Should rock blasting be required, a permit application in accordance with Chapter 125 - Blasting and Explosives of the Village of Dobbs Ferry Code must be submitted to the Village by the

The Village Engineer may require additional erosion control measures if deemed appropriate to mitigate unforeseen siltation and erosion of disturbed soils.

Built plans of the proposed driveway and drainage improvements shall be submitted to the Village Engineer for review prior to issuance of Certificate of Occupancy.

Fill material imported to the site shall be certified in writing by a New York Licensed Professional Engineer as clean, non-contaminated fill suitable for the intended use.

"Before the site plan is signed by the Chairman of the Planning Board, the applicant shall be required to post a performance bond or other type of acceptable monetary guaranty which shall be in an amount determined by the Planning Board and the Village Engineer and in a form satisfactory to the Village Attorney".

 INLET/OUTLET PIPE PER ENGINEER DESIGN. PIPE TO BE INSERTED 12.0" [305 mm] MIN. INTO CHAMBER 1-2 INCH [25-50 mm] WASHED, CRUSHED MAXIMUM PIPE SIZE: STONE SURROUNDING CHAMBERS 24" [600 mm] HDPE 24" [600 mm] PVC - CULTEC NO. 410 NON-WOVEN GEOTEXTILE AROUND STONE. TOP AND OPTIONAL INSPECTION PORT (SEE ZOOM DETAIL SIDES MANDATORY, BOTTOM PER ENGINEER'S DESIGN PREFERENCE FINISHED GRADE NATURALLY COMPACTED FILL — 6.0" [152 mm] MIN. 6.0" [152 mm] MIN 30.5" [775 mm] 6.0" [152 mm] MIN. 12.0" [305 mm] MIN. CULTEC NO. 4800 WOVEN GEOTEXTILE TO BE PLACED BENEATH INTERNAL MANIFOLD — RECHARGER 330XLHD -FEATURE AND BENEATH ALL INLET/OUTLET PIPES (FOR SCOUR PROTECTION) HEAVY DUTY CHAMBER SIDE PORTAL TO BE CUT IN FIELD TO ALLOW FOR HVLV FC-24 FEED -CONNECTOR OR STORM PIPE AS NEEDED (SEE FIGURE 1). CUT SHALL BE WITHIN 1/4" [6 mm] TOLERANCE OF SIDE PORTAL TRIM GUIDELINE

> PROJECT ENGINEER OF RECORD OR GEOTECHNICAL CONSULTANT IS RESPONSIBLE FOR — DRYWELL SECTION ENSURING THAT THE REQUIRED BEARING CAPACITY OF SUB-GRADE SOILS HAS BEEN MET

STORMWATER CALCULATIONS 100 YR STORM = 8.9" RAIN/24 HRS 8.9/12 = .74 FT DEPTH PER SF = .74 CU.FT.

NEW IMPERVIOUS COVERAGE = 527 SF 527 SF X .74 FT/SF = 390 CU.FT.

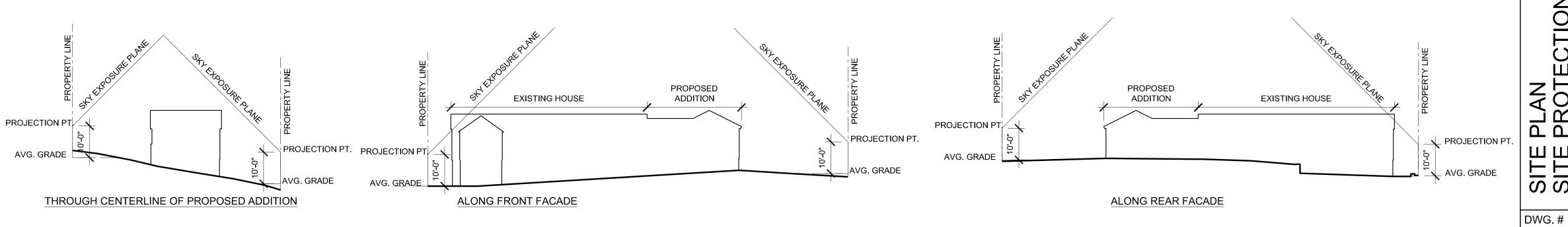
STORAGE REQUIRED: 390 CU.FT.

			not i	ncluding sto	ne	
Number of Recharger 330XL RHD Sta	and Alone by	design		=	0 pcs	
	0	pcs x	8.500	=	0.00 feet	0 m
Number of Recharger 330XL IHD Inte	ermediates by	y design		=	0 pcs	
	0	pcs x	7	=	0.00 feet	0 m
Number of Recharger 330XL SHD Starters by design				=	2 pcs	
	2	pcs x	7.750	=	15.50 feet	4.7244 m
Number of Recharger 330XL EHD End	ds by design			=	2 pcs	
	2	pcs x	7.750	=	15.50 feet	4.7244 m
Number of HVLV FC-24 Feed Connectors				=	1 pcs	
	1	pcs x	0.500	=	0.50 feet	0.1524 m
Total footage of Recharger 330XLHD	chambers			=	31.00 feet	9.45 m
Total footage of HVLV FC-24 Feed Connectors				=	0.50 feet	0.15 m
Storage provided within Recharger 330XLHD chambers				=	231.23 CF	6.55 m ³
Storage within HVLV FC-24 Feed Connectors				=	0.46 CF	0.01 m ³

Storage Provided within Entire CULTEC St	cormwater System - <i>including s</i>	tone
Bed width	11.17 feet	3.40 m
Bed length	17.50 feet	5.33 m
Bed Depth	3.54 feet	1.08 m
Total Area	195.42 sq. ft.	18.15 m ²
Volume of Effective Excavation (not including additional cover)	692.10 CF	19.60 m ³
Perimeter of Bed	57.33 feet	17.48 m
Total Storage within CULTEC Recharger 330XLHD chambers and feed connectors	232 CF	6.56 m ³
Total Stone Required	460 CF	13.04 m ³
	17 CY	
	24 tons	
Storage provided within stone	184.17 CF	5.22 m ³
Total Storage within CULTEC Stormwater System =	416 CF	11.78 m ³

STORMWATER STORAGE CALCULATIONS PROVIDED BY CULTEC

DRYWELL CALCULATIONS AND DETAILS



SKY EXPOSURE PLANE DIAGRAMS

ELIZABETH VAN DER ZANDT **ARCHITECT** 646.270.3494 liz@evdzarchitect.com

PB APPLICATION 9.15.2022 ZBA APPLICATION 8.22.2022

BUILDING PERMIT

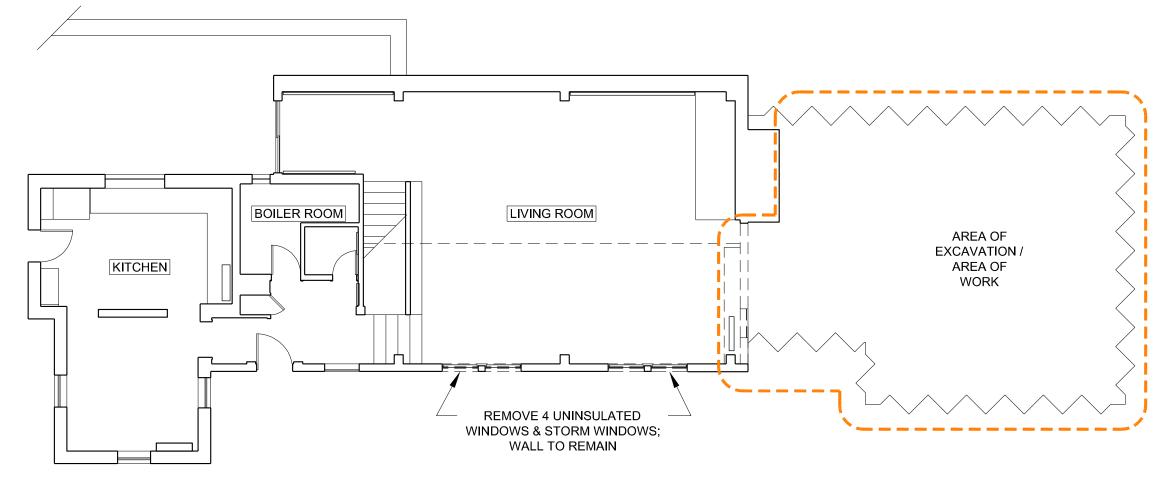
FILING SET 6.14.2022

IDENCE DITION PLACE K 10522 K 10522 ANDT

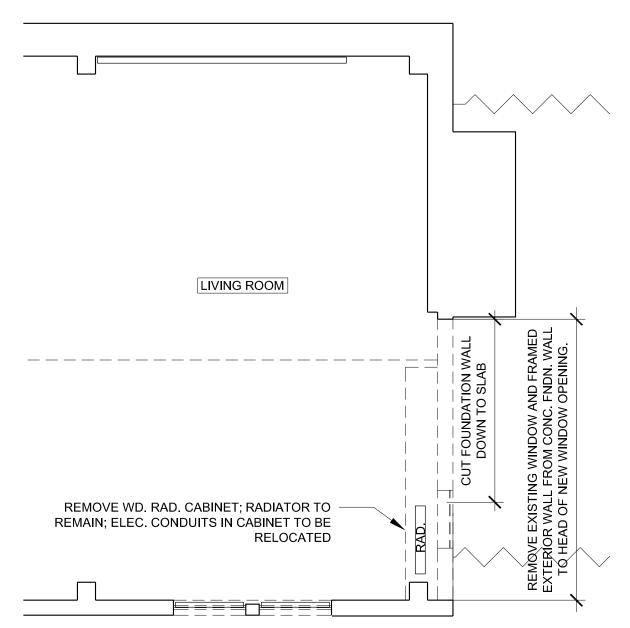
NO

 $S \square S$

2 SITE PROTECTION & EROSION CONTROL



EXISTING & DEMO PLAN



PARTIAL DEMOLITION PLAN 2 PARTIAL DI SCALE: 1/4" = 1'-0"

NO.	TYPE	INSERT OR NEW CONSTR	LOCATION	MAI	NUF.	MODE	EL #	UI	NIT SIZE	NOTES
Α	CASEMENT	INSERT/NEW CONSTR.	LIVING RM. & BEDRM.	TBI	D	TBD		2'-9" X	8'-0"	BEDRM. UNITS TEMPEREI
В	FIXED	NEW CONSTR	LIVING ROOM					2'-6" X	9'-0"	
С	FIXED	NEW CONSTR	MASTER BEDROOM					4'-0" X	8'-0"	TEMPERED
D	AWNING	NEW CONSTR	MASTER BEDRM W.I.C.					2'-11" X	1'-6"	
Ε	FIXED	NEW CONSTR	MASTER BEDRM W.I.C.					5'-6" X	1'-6"	
F	AWNING	NEW CONSTR	BATHM SHWR & BSMT					2'-6" X	1'-6"	
G	FIXED	NEW CONSTR	STAIR HALL		/		/	(2)5'-0"	X 3'-6"	

SKYLIGHT IN MASTER BATHROOM SHOWER: 2'-6" X 2'-0"; MAX. U-VALUE OF 0.50; MANUFACTURER TBD

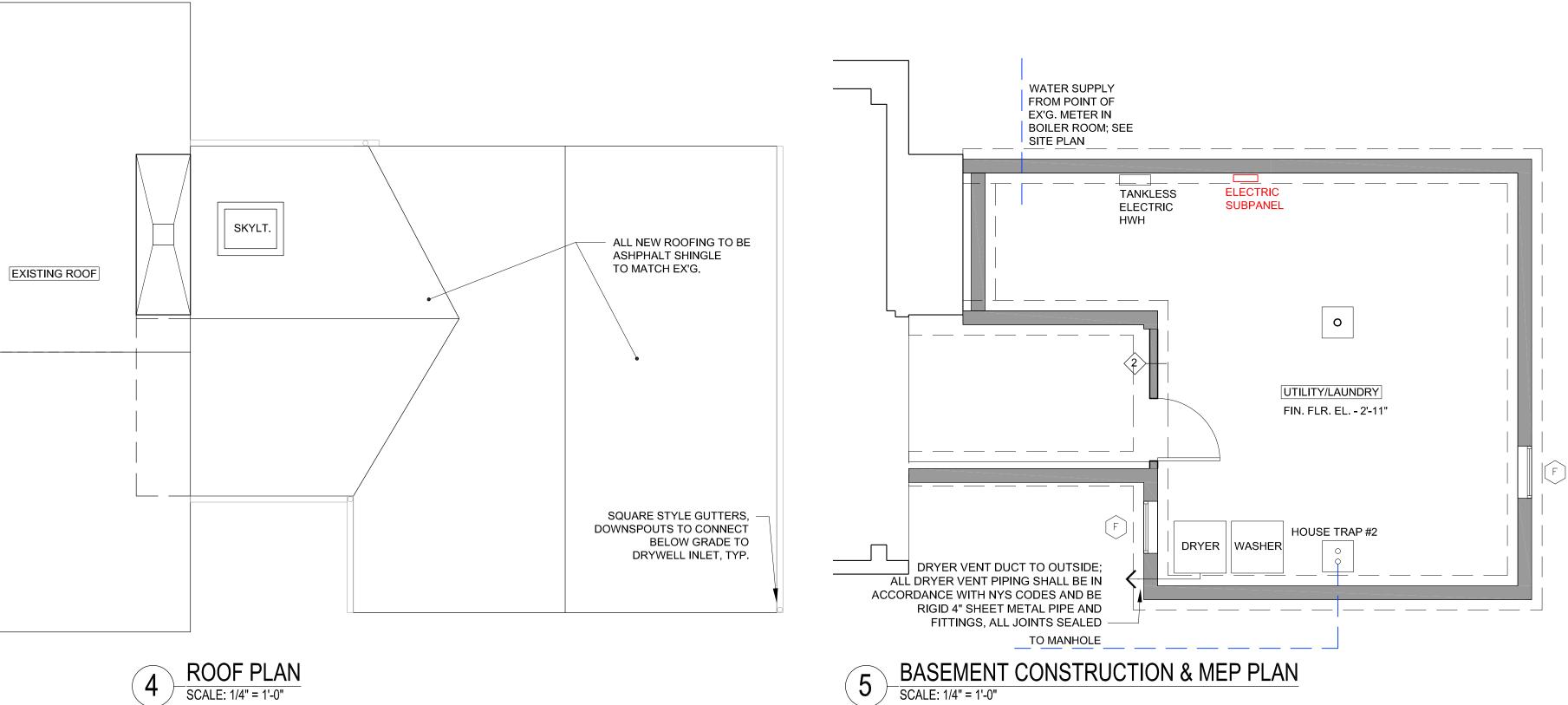
11'-10 3/4" 13'-5 1/2" +/- 5'-0 3/4" ACCESS TO W.I.C. ATTIC SPACE ABOVE LIVING ROOM FIN. FLR. EL. + 0'-0" PRIMARY BEDROOM FIN. FLR. EL. + 5'-10" INSULATED WINDOWS TO REPLACE EX'G. A 11'-2" 18'-10 3/4" CONSTRUCTION PLAN: BEDROOM LEVEL

WALL TYPE 1, EXTERIOR WALL: VERTICAL WD. SIDING (SEE DTLS.), $\frac{1}{2}$ " CDX PLYWD., 2x6 WD FRAMING @ 16" O.C., R-21 CLOSED CELL SPRAY FOAM, $\frac{1}{2}$ " GWB; IN BATHRM. ADD CEMENTITIOUS BOARD, TILE FINISH.

WALL TYPE 2, INTERIOR PARTITION: 2X4 WD. FRAMING @ 16 O.C., OR 2X6 AT POCKET DOOR WALLS, $\frac{1}{2}$ " GWB BOTH SIDES. PROVIDE SOUND ATTENUATION BATT IN WALLS BORDERING BATH, AND CEMENTITIOUS BOARD ON BATH SIDE.

WALL TYPE 3: 3" STL. STUDS ATTACHED TO BRICK CHIMNEY, $\frac{1}{2}$ " CDX PLYWD., 2X6 WD. FRAMING 16" O.C., R-21 CLOSED CELL SPRAY FOAM, CEMENTITIOUS BOARD, TILE FINISH

NOTE: SCHLUTER WATERPROOFING SYSTEM OVER CEMENT. BD. @ SHOWER WALLS AND BATHRM. FLR.



BASEMENT CONSTRUCTION & MEP PLAN SCALE: 1/4" = 1'-0"

DEMOLITION & EXCAVATION CONSTRUCTION PLANS WINDOW SCHEDULE DWG.#

ELIZABETH

ARCHITECT

646.270.3494

VAN DER ZANDT

liz@evdzarchitect.com

PB APPLICATION 9.15.2022

ZBA APPLICATION 8.22.2022

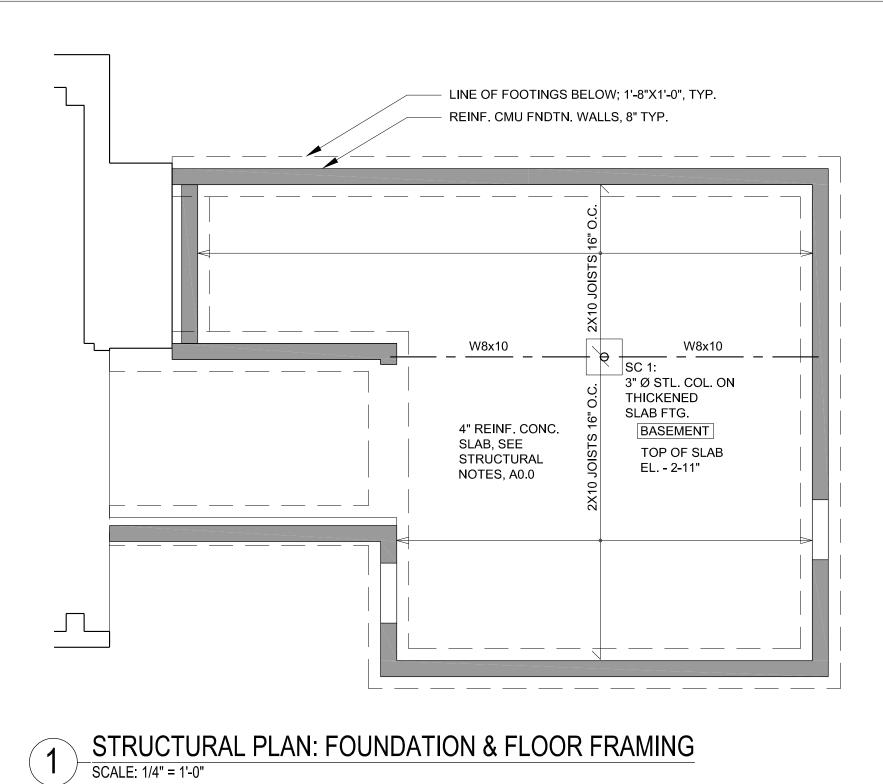
FILING SET 6.14.2022

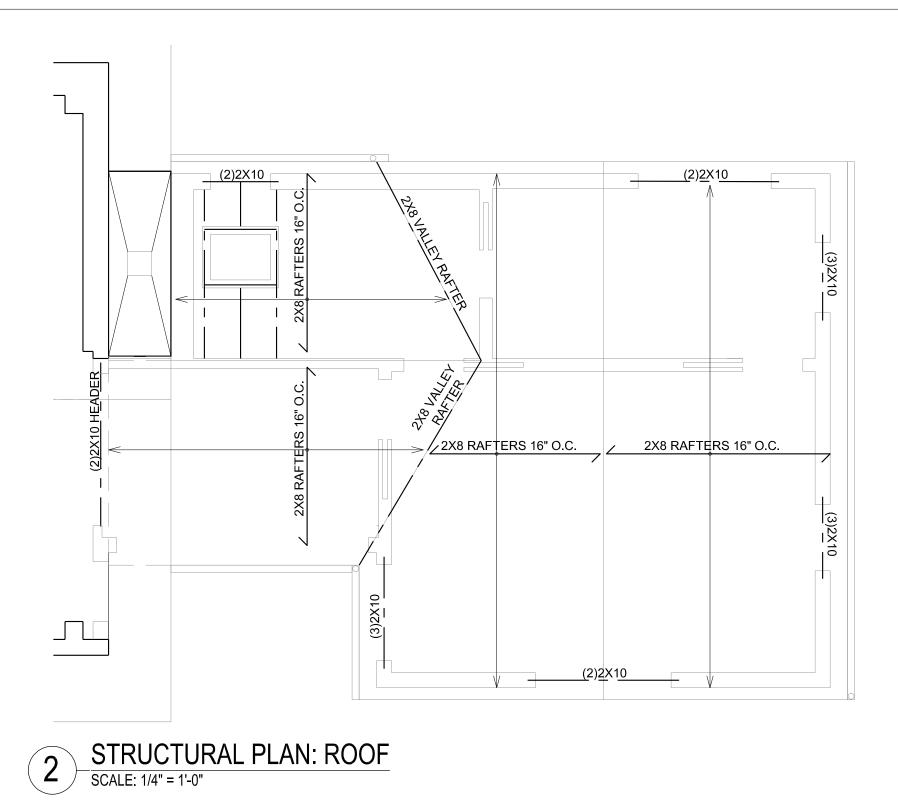
DOBBS

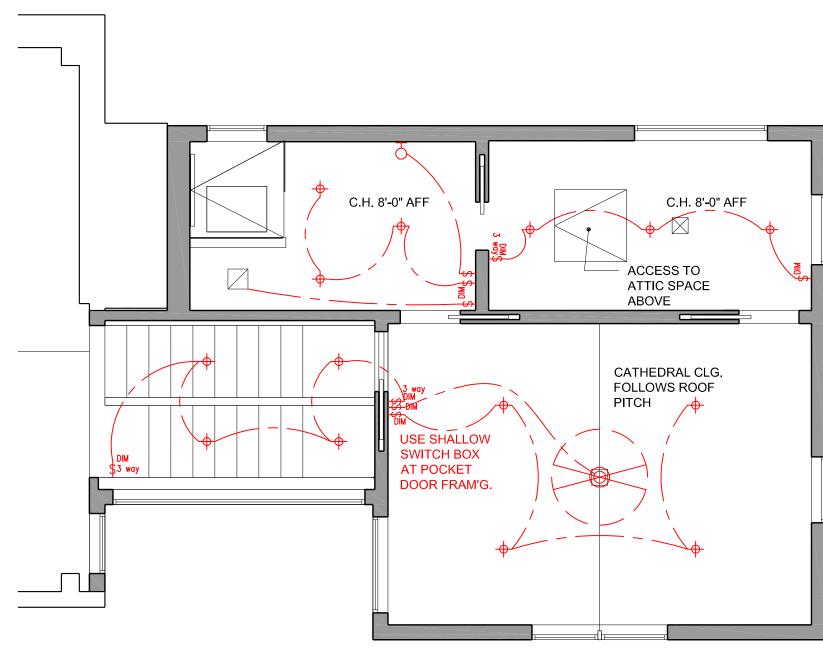
BUILDING PERMIT

NOTE: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS IN FIELD;

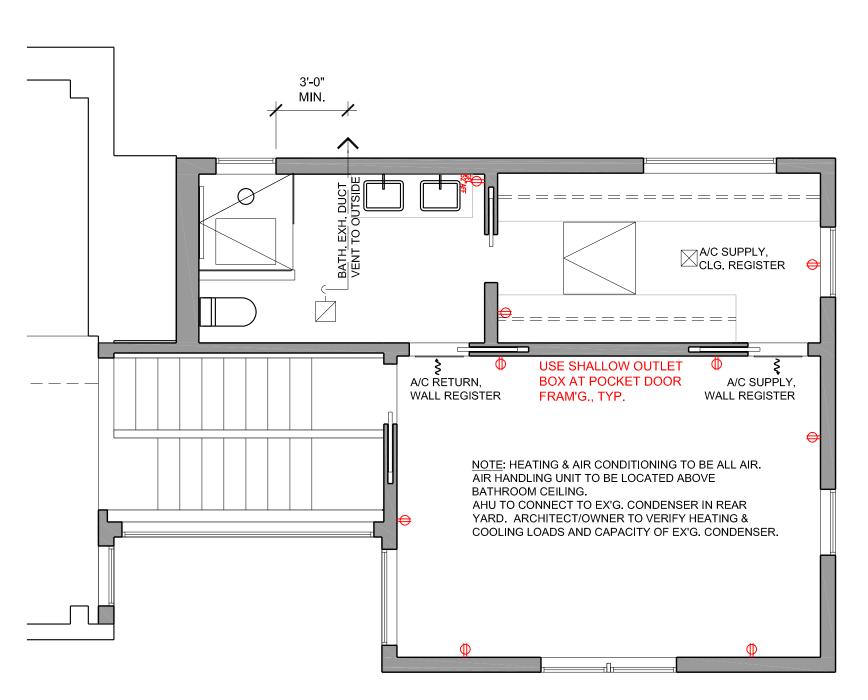
ALL DIMENSIONS ON CONSTRUCTION PLAN ARE TO FINISH.











4 BEDROOM LEVEL MEP PLAN SCALE: 1/4" = 1'-0"



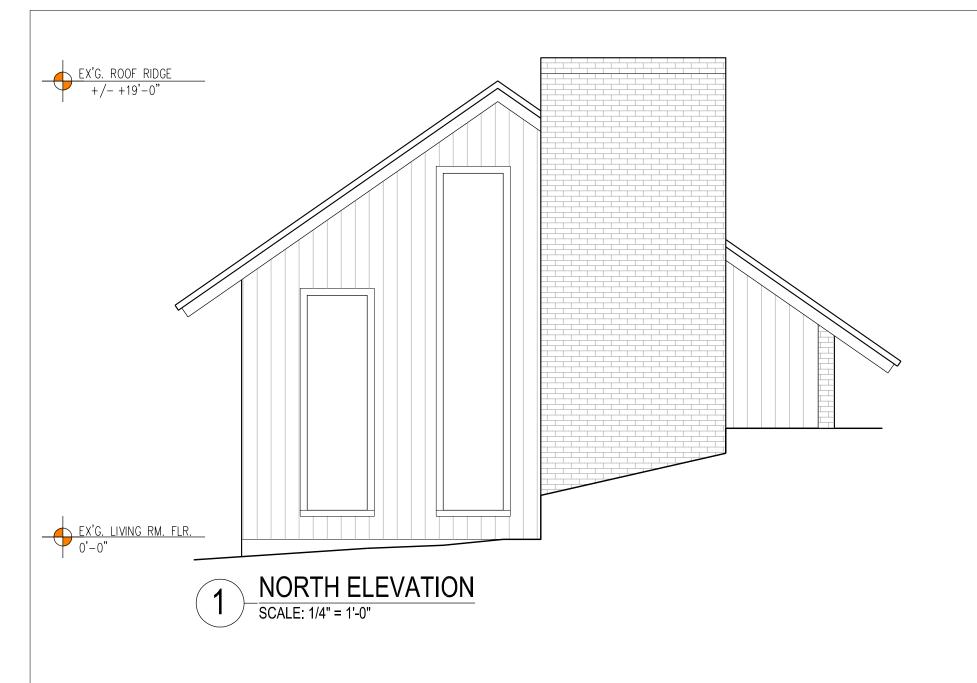
PB APPLICATION 9.15.2022
BUILDING PERMIT
FILING SET 6.14.2022

ELIZABETH

VAN DER ZANDT RESIDENCE ADDITION 76 OGDEN PLACE DOBBS FERRY, NEW YORK 10522

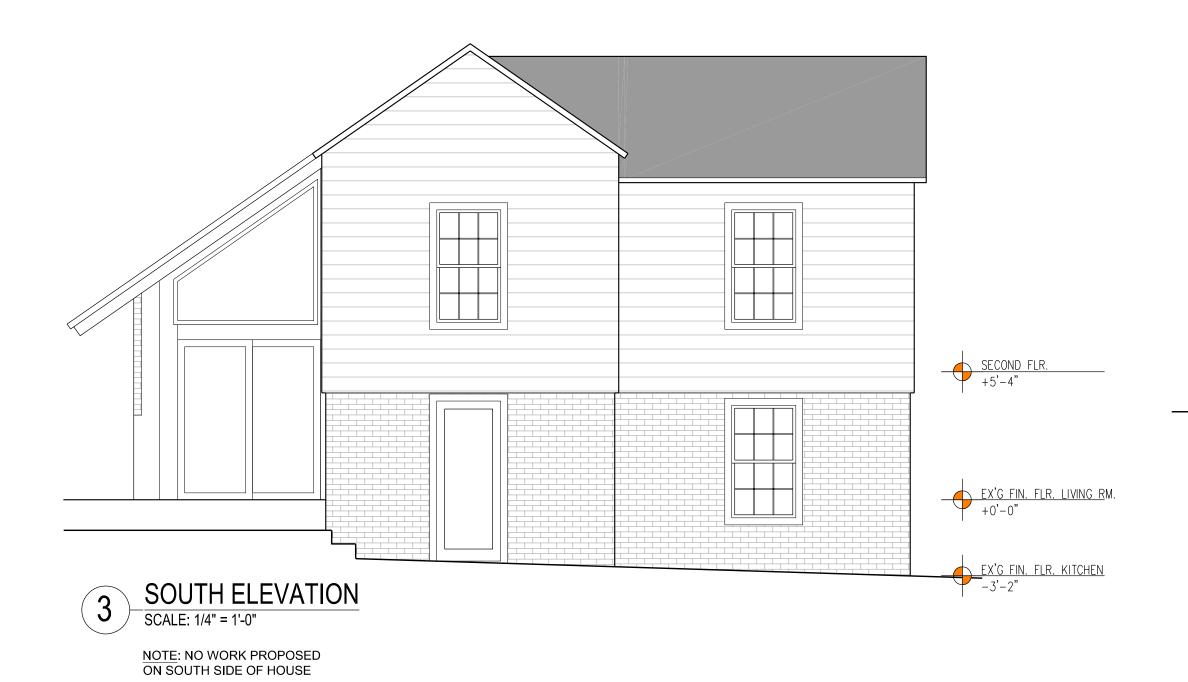
STRUCTURAL/FRAMING PLANS LIGHTING & RCP MEP PLANS

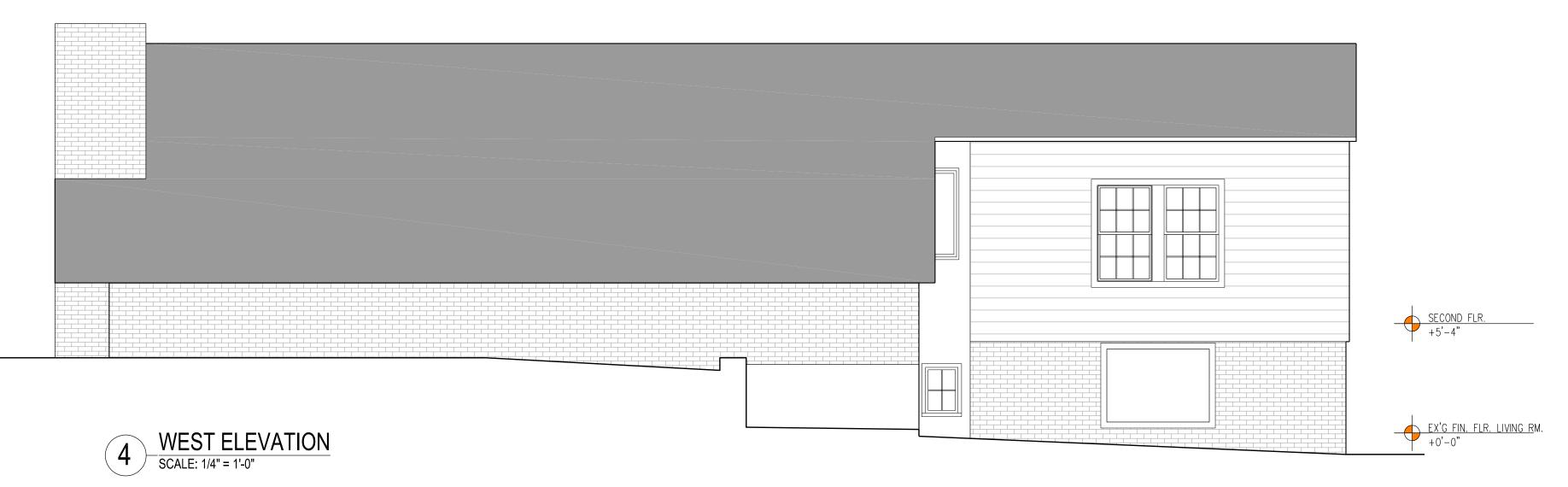
DWG.#





2 EAST ELEVATION
SCALE: 1/4" = 1'-0"





EXTERIOR ELEVATIONS: EXISTING

ELIZABETH

ARCHITECT

VAN DER ZANDT

646.270.3494 liz@evdzarchitect.com

PB APPLICATION 9.15.2022

BUILDING PERMIT FILING SET 6.14.2022

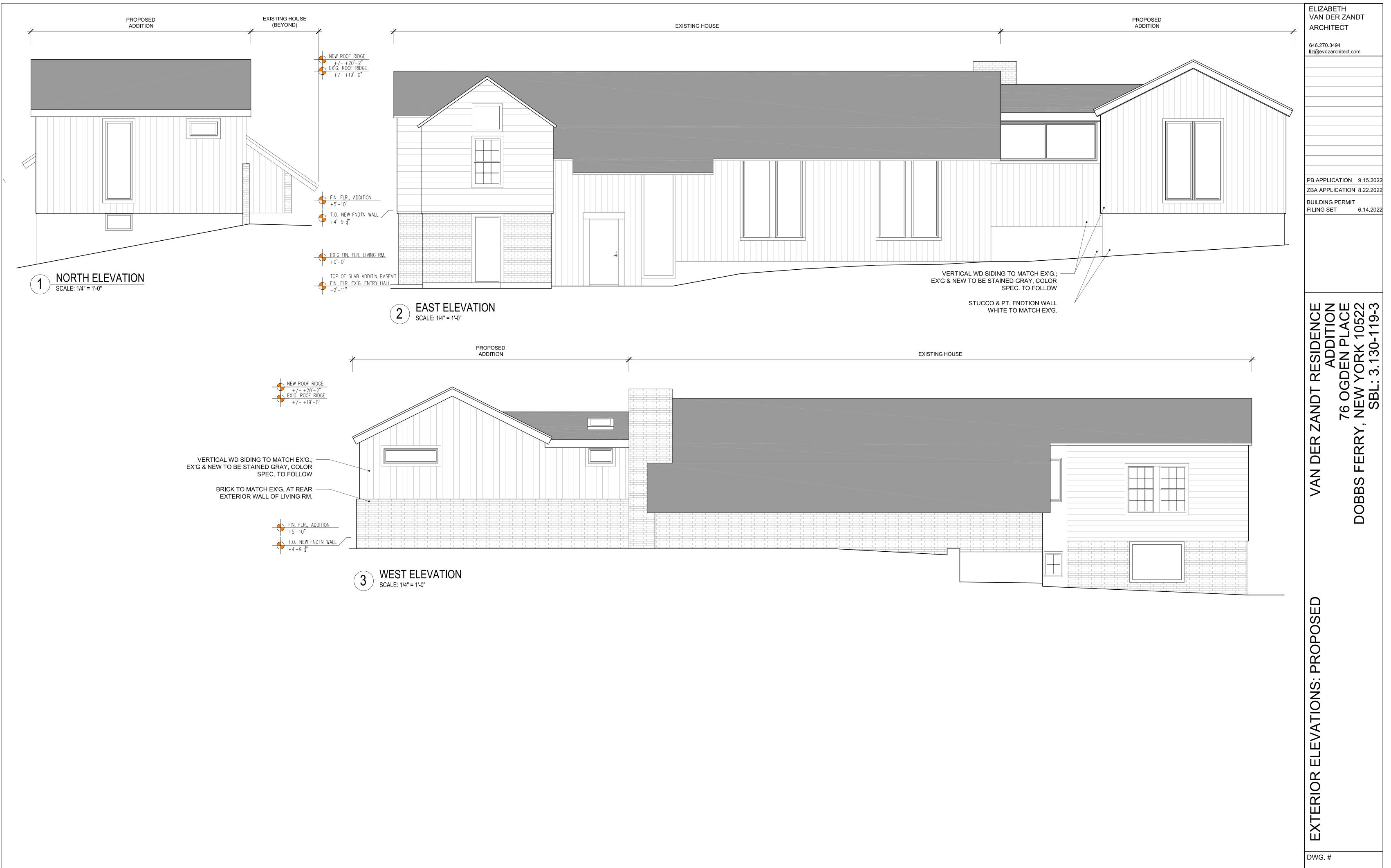
N DER ZANDT RESIDENCE ADDITION 76 OGDEN PLACE FERRY, NEW YORK 10522 SBL: 3.130-119-3

VAN

FERRY,

DOBBS

DWG.#



A2.1