

LANDING ON THE WATER AT DOBBS FERRY CONDOMINIUM

39 LANDING DRIVE, DOBBS FERRY, NY

(MEG - 210637)

RETAINING WALL CONSTRUCTION DOCUMENTS

MAY 2022

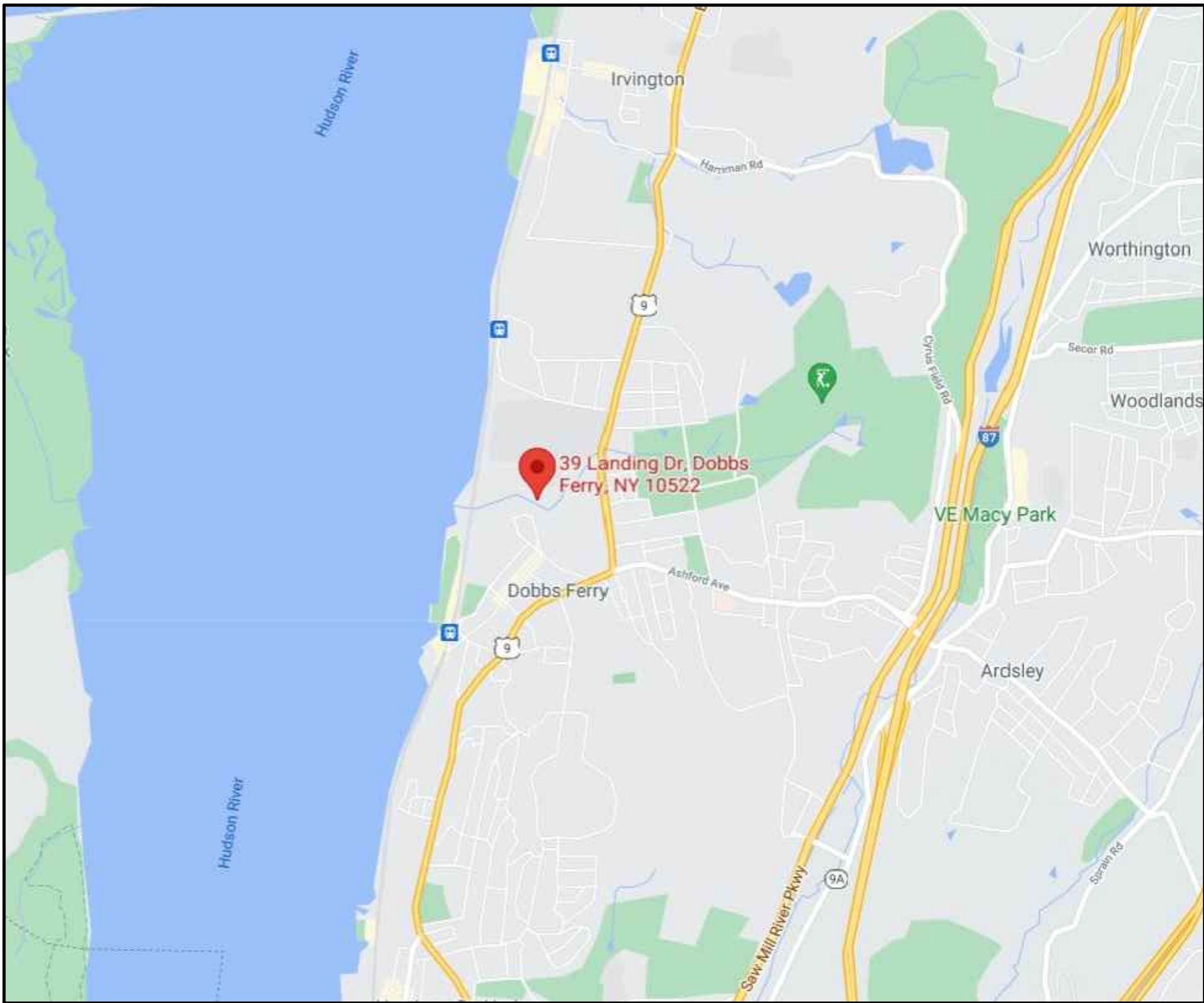
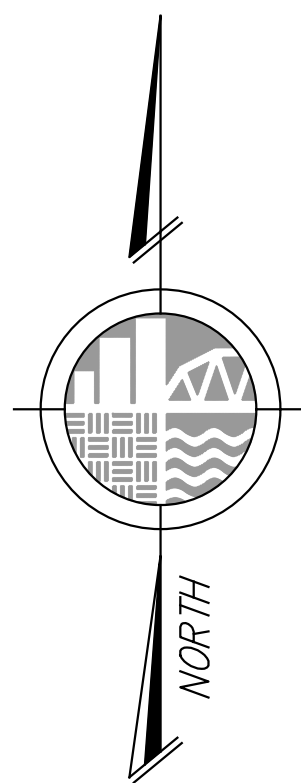
LIST OF DRAWINGS

DRAWINGS PREPARED BY McLAREN ENGINEERING GROUP

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C-050	EXISTING CONDITION PLAN
C-201	GRADING PLAN
C-500	SOIL EROSION & SEDIMENT CONTROL DETAILS

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VICINITY MAP

N.T.S

FILE NAME: P:\Proj210\210637\10_Dwgs\CADD\C-002 General Notes.dwg PLOT TIME: Tuesday, May 03, 2022 - 2:37 PM BY: Jennifer A. Cunney

- ING - IT IS A VIOLATION OF NEW YORK STATE EDUCATIONAL LAW, SECTION 7209.2, FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER THIS DOCUMENT IN ANY WAY. IF ALTERED, THE ALTERING PERSON SHALL COMPLY WITH THE REQUIREMENTS OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2

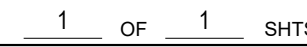
DOCUMENT IN ANY WAY. IF ALTERED, THE ALTERING PERSON SHALL COMPLY WITH THE REQUIREMENTS OF NEW YORK EDUCATIONAL LAW, SECTION 7209.2

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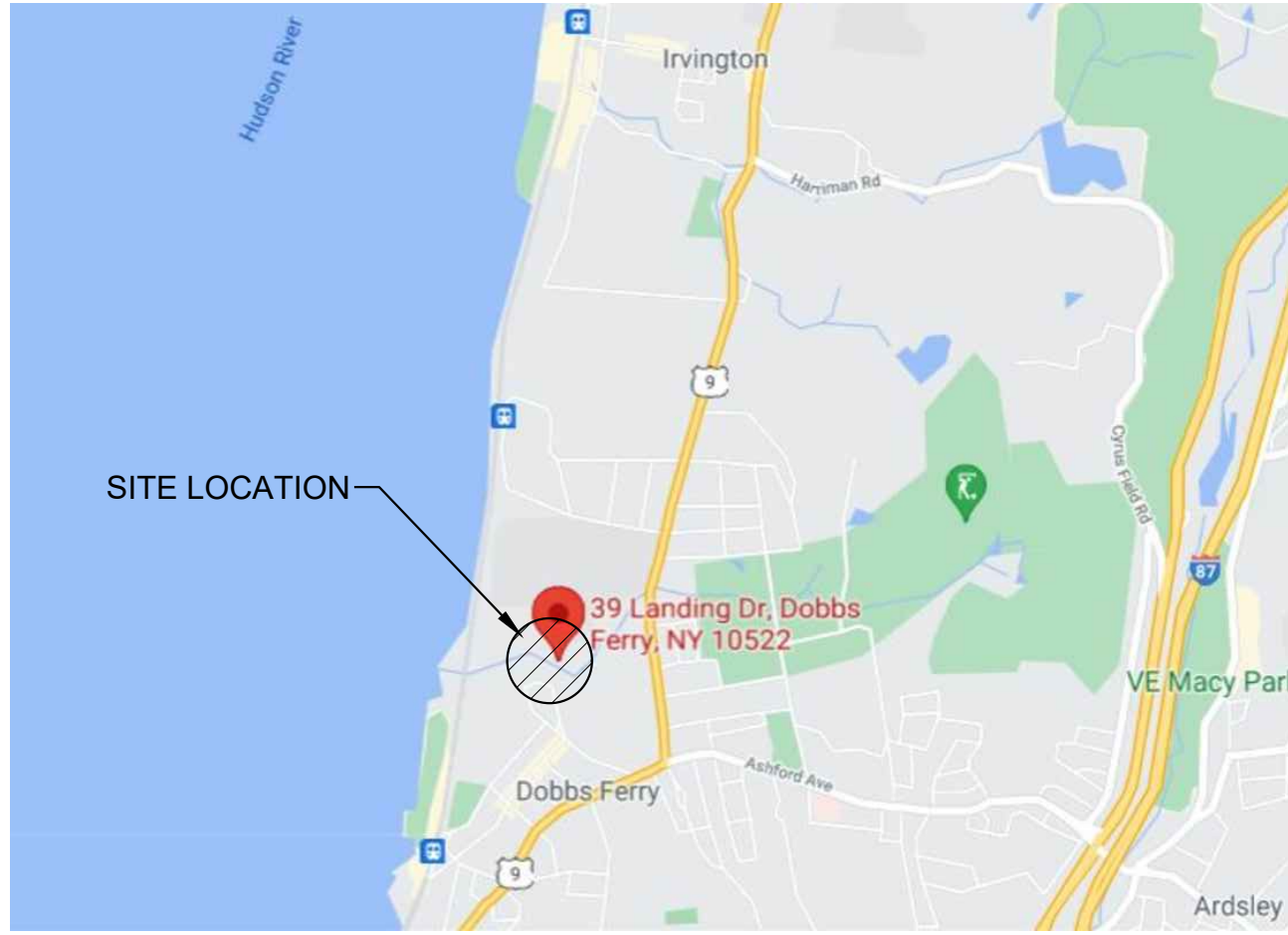
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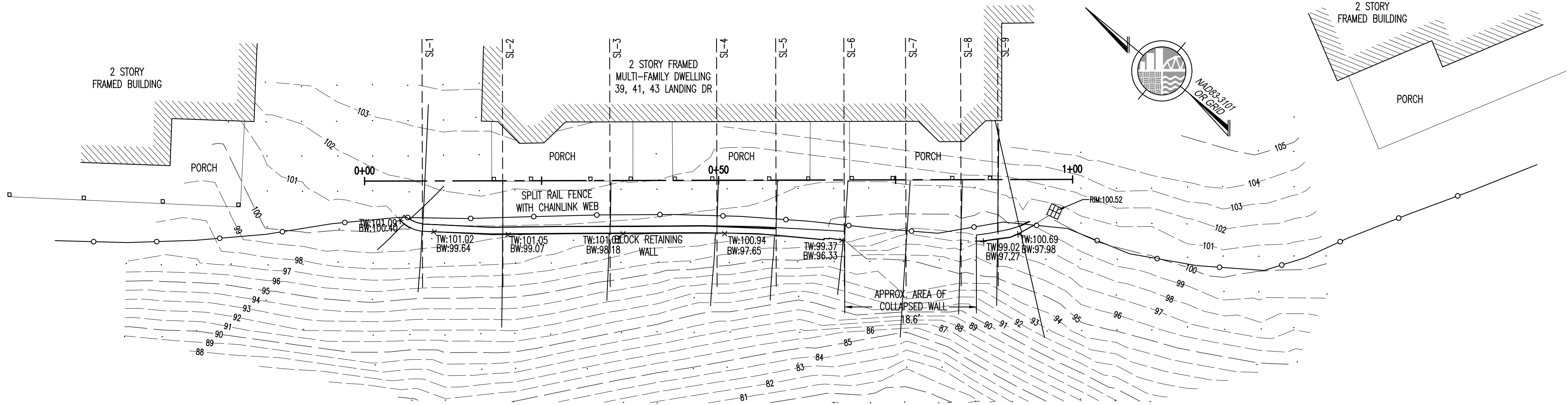
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1 OF 1 SHT

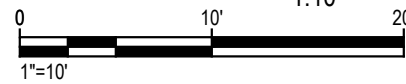
1 OF 1 SHT



Location Map
Not to Scale

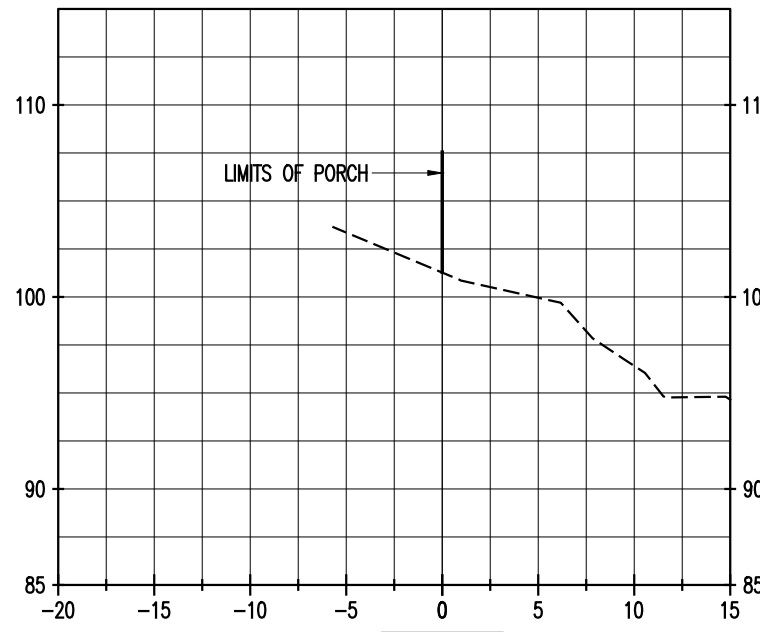


SITE PLAN

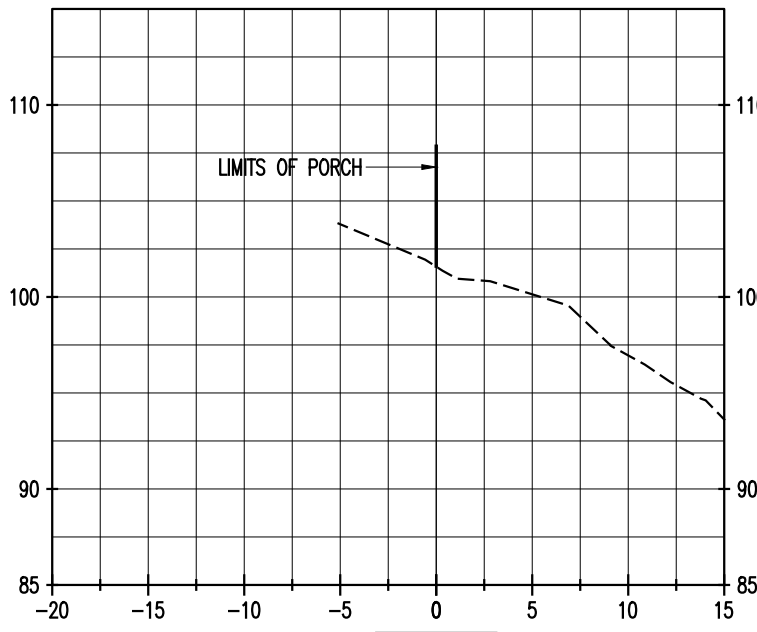


Line Legend

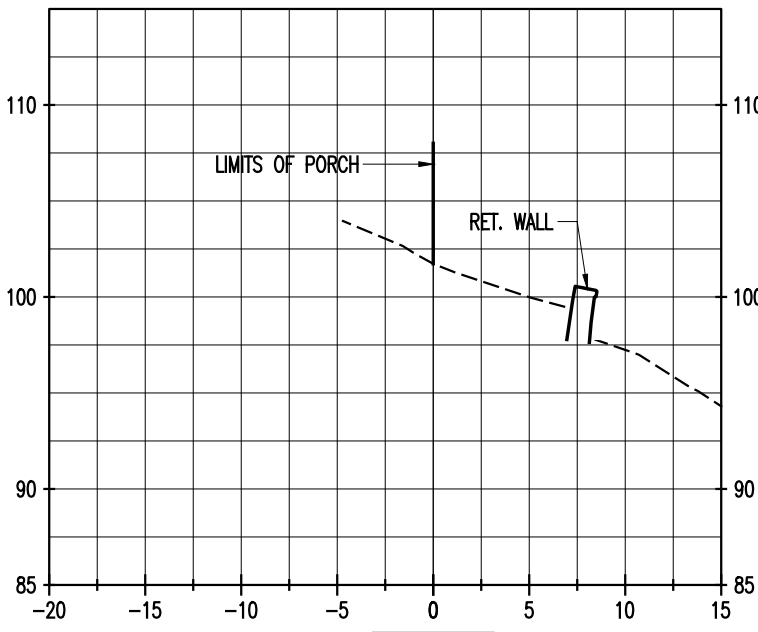
- | | | |
|-----|------|-------------------------------------|
| --- | -86- | CONTOUR LINE, MINOR |
| --- | -85- | INDEX LINE, MAJOR |
| ○ | ○ | SPLIT RAIL FENCE WITH CHAINLINK WEB |
| ▨ | | STRUCTURE |



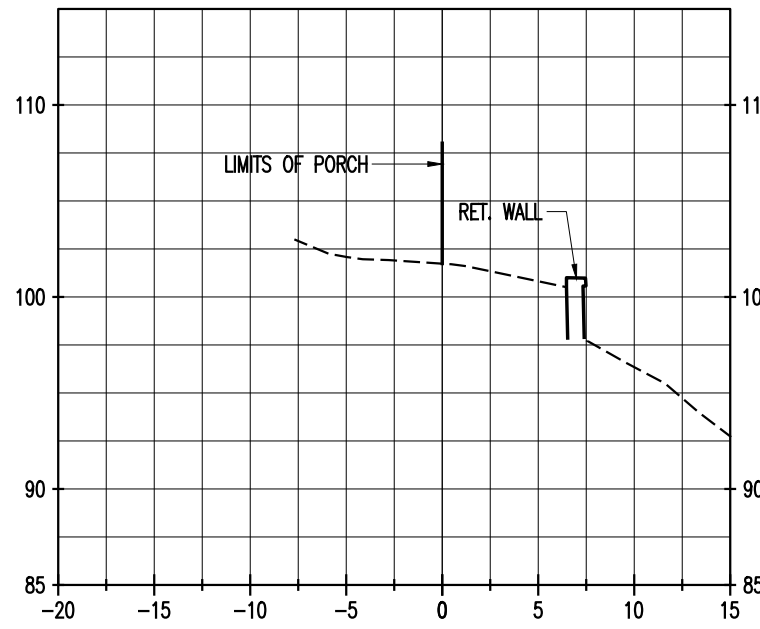
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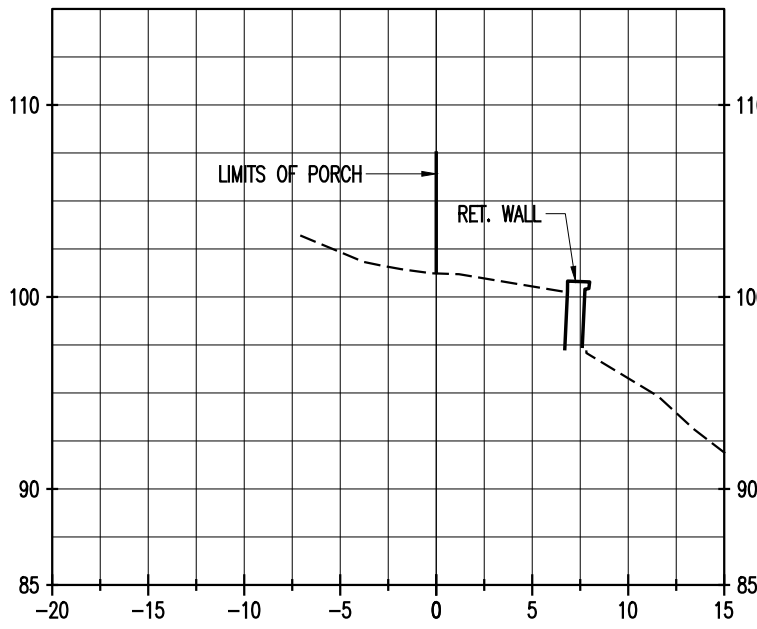
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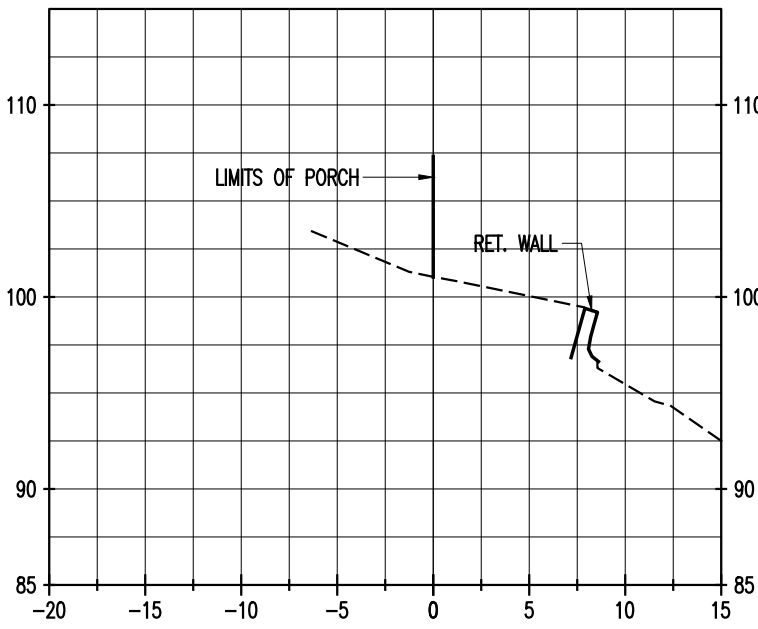
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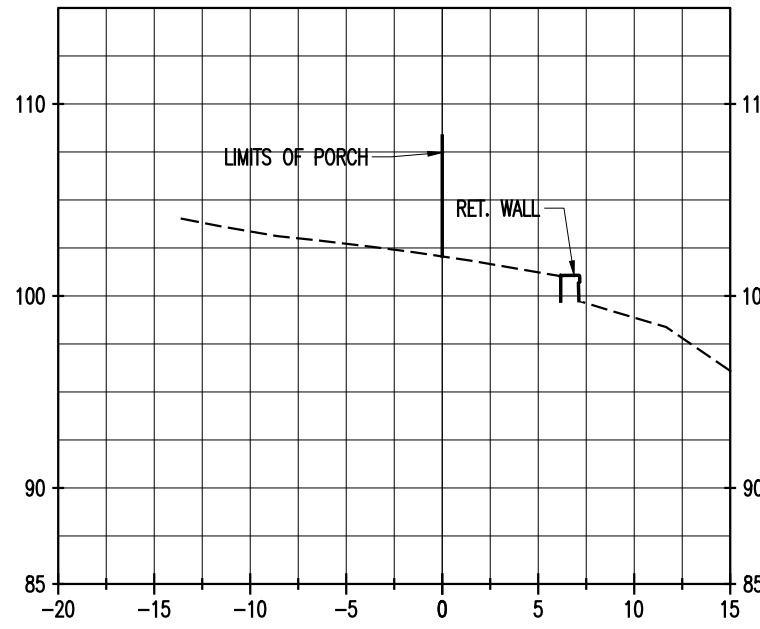
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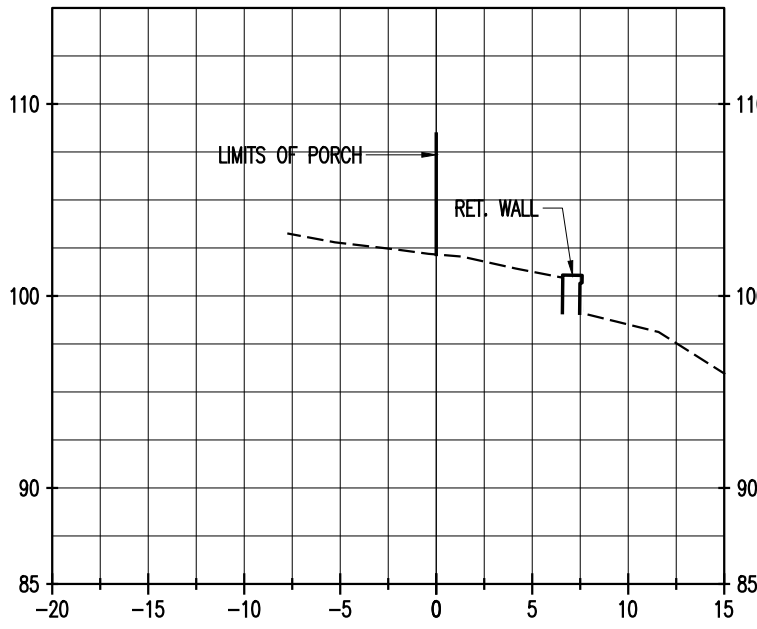
5
0+58.10



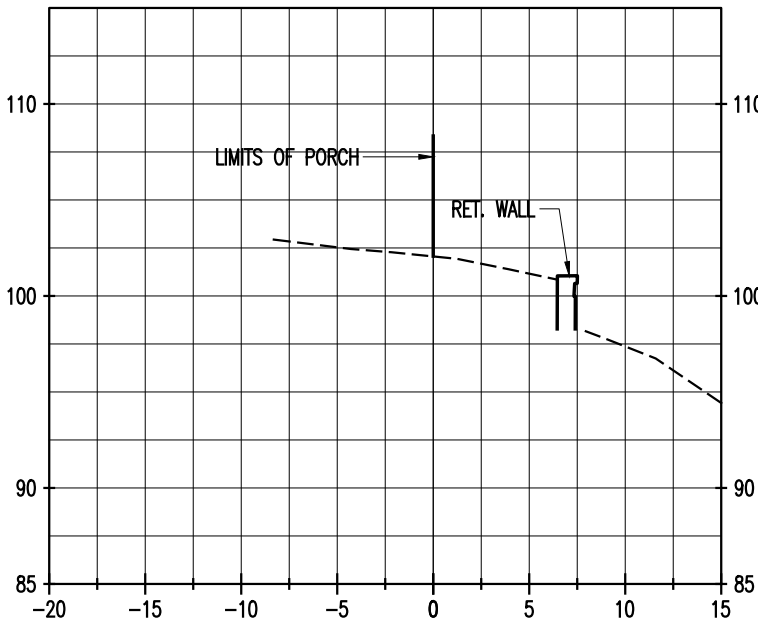
6
0+67.73



1
0+08.16



2
0+19.50



3
0+34.66

PLOT NOTES:

- M. G. McLAREN ENGINEERING & LAND SURVEYING PERFORMED THE FIELD WORK FOR A TOPOGRAPHIC SURVEY ON 2021/06/24 AND THAT REPRESENT THE CONDITIONS AT THAT TIME.
- THE CERTIFICATIONS HEREIN ARE NOT TRANSFERABLE.
- CERTIFICATIONS ON THIS SURVEY MAP SIGNIFY THAT THE MAP WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS, INC. THE CERTIFICATION IS LIMITED TO PERSONS FOR WHOM THE SURVEY PLOT IS PREPARED, TO THE CLIENT LISTED ON THIS PLOT.
- ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH A LAND SURVEYOR'S BLUE INKED OR EMBOSSED SEAL SHALL BE CONSIDERED TRUE AND VALID.
- THIS PLOT IS NOT INTENDED TO BE A BOUNDARY DETERMINATION SURVEY NOR AN ALTA/NSPS SURVEY.
- THE LOCATION OF UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS ARE NOT ALWAYS KNOWN AND OFTEN MUST BE ESTIMATED. IF ANY UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS EXIST OR ARE KNOWN, SAID IMPROVEMENTS OR ENCROACHMENTS ARE NOT COVERED BY THIS CERTIFICATE.

COORDINATE SYSTEM & DATUM :

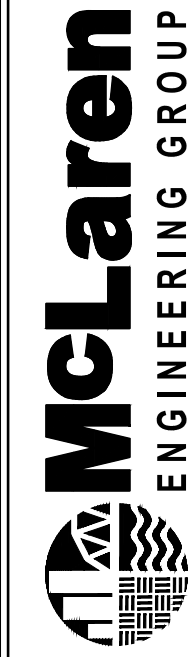
HORIZONTAL: NAD83(2011) NY STATE PLANE COORDINATES, EAST ZONE (3101) VERTICAL: NAVD-88 G18

- ABOVE BASIS FOR SURVEY OBTAINED FROM POST-PROCESSED STATIC GPS OBSERVATIONS ON 2021/06/24.
- ALL FIELD MEASUREMENTS AND THOSE REPORTED HEREON ARE GROUND DISTANCE IN US SURVEY FOOT, PER THE U.S. METRIC LAW OF 1866 DEFINED SPECIFICALLY AS: 1,200FT/3,937M.

SURVEY FIELD EQUIPMENT:

- TPS: LEICA 1" Robotic Total Station
- GPS: LEICA GNSS Network Receivers
- LEICA RTC360

DRAFT
MAY 3, 2022



PROJECT
LANDING AT DOBBS FERRY
- RETAINING WALL
VILLAGE OF DOBBS FERRY, COUNTY OF WESTCHESTER, STATE OF NEW YORK



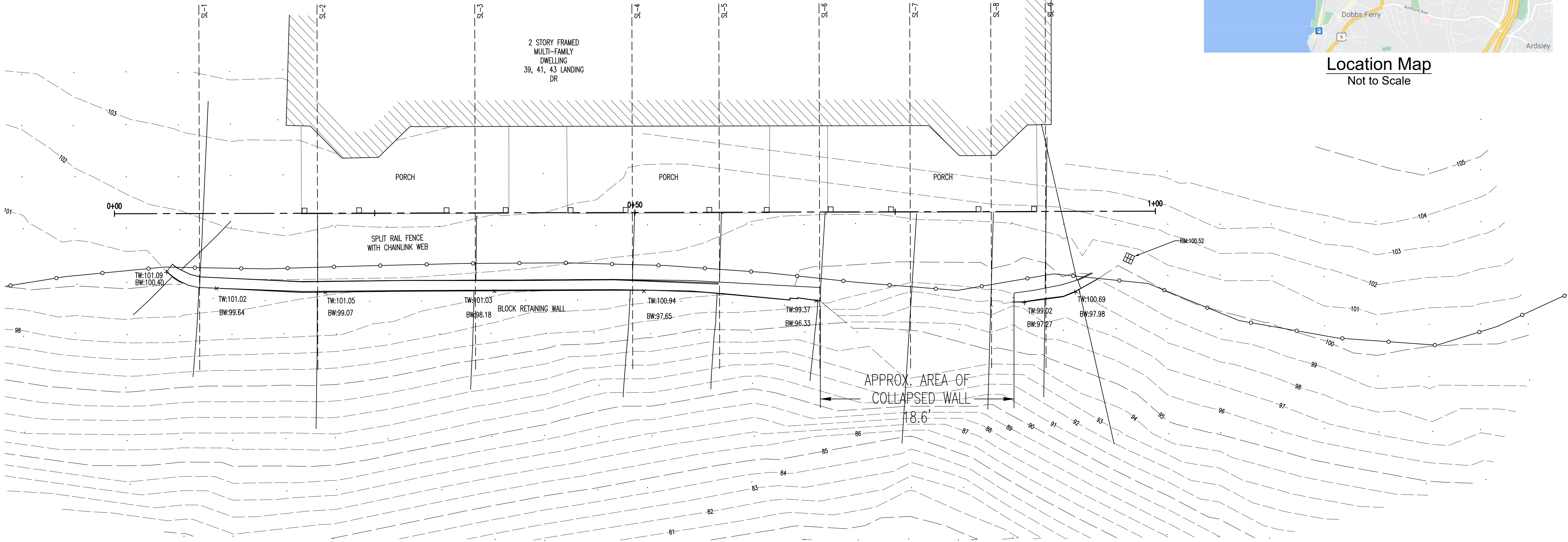
SHEET TITLE
TOPOGRAPHIC / FEATURE
SURVEY

PROJECT NO. 210637.01
SCALE AS NOTED
DATE 07/07/2021
DRAWN BY ACD
CHECKED BY LJC

DRAWING NO.
V-001
1 OF 1 SHTS

FILE NAME: P:\Proj\21063710_Dwg\CAADD\C-050_Existing Conditions Plan.dwg PLOT TIME: Tuesday, May 03, 2022, 2:39 PM BY: Jennifer A. Curney

WARNING - IT IS A VIOLATION OF NEW YORK STATE EDUCATIONAL LAW, SECTION 2209.2, FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER THIS DOCUMENT IN ANY WAY. IF ALTERED, THE ALTERING PERSON SHALL COMPLY WITH THE REQUIREMENTS OF NEW YORK EDUCATIONAL LAW, SECTION 2209.2



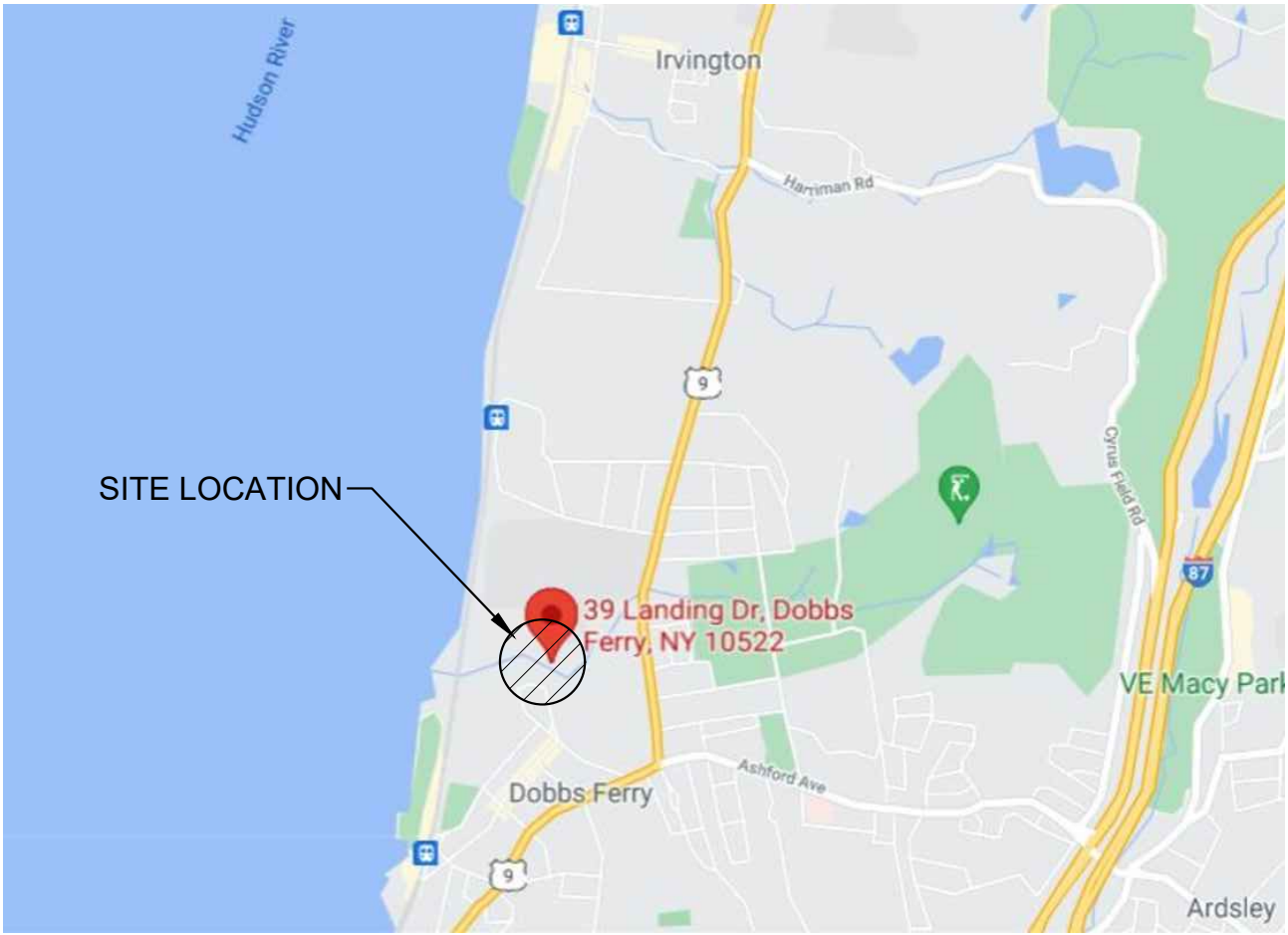
EXISTING CONDITIONS PLAN

1:5



Line Legend

- | | | |
|------|------|-------------------------------------|
| --- | -86- | CONTOUR LINE, MINOR |
| --- | -85- | INDEX LINE, MAJOR |
| ○-○- | | SPLIT RAIL FENCE WITH CHAINLINK WEB |
| | | STRUCTURE |



Location Map
Not to Scale

McLaren
ENGINEERING GROUP
M. G. McLaren Engineering and Land Surveying P.C.
530 Chestnut Ridge Road, Woodcliff Lake, NJ 07677
T: 201.775.8000 F: 201.746.8522 www.mclaren.com

PROJECT
**LANDING AT DOBBS FERRY
- RETAINING WALL**
VILLAGE OF DOBBS FERRY, COUNTY OF WESTCHESTER, STATE OF NEW YORK



SHEET TITLE
**EXISTING CONDITIONS
PLAN**

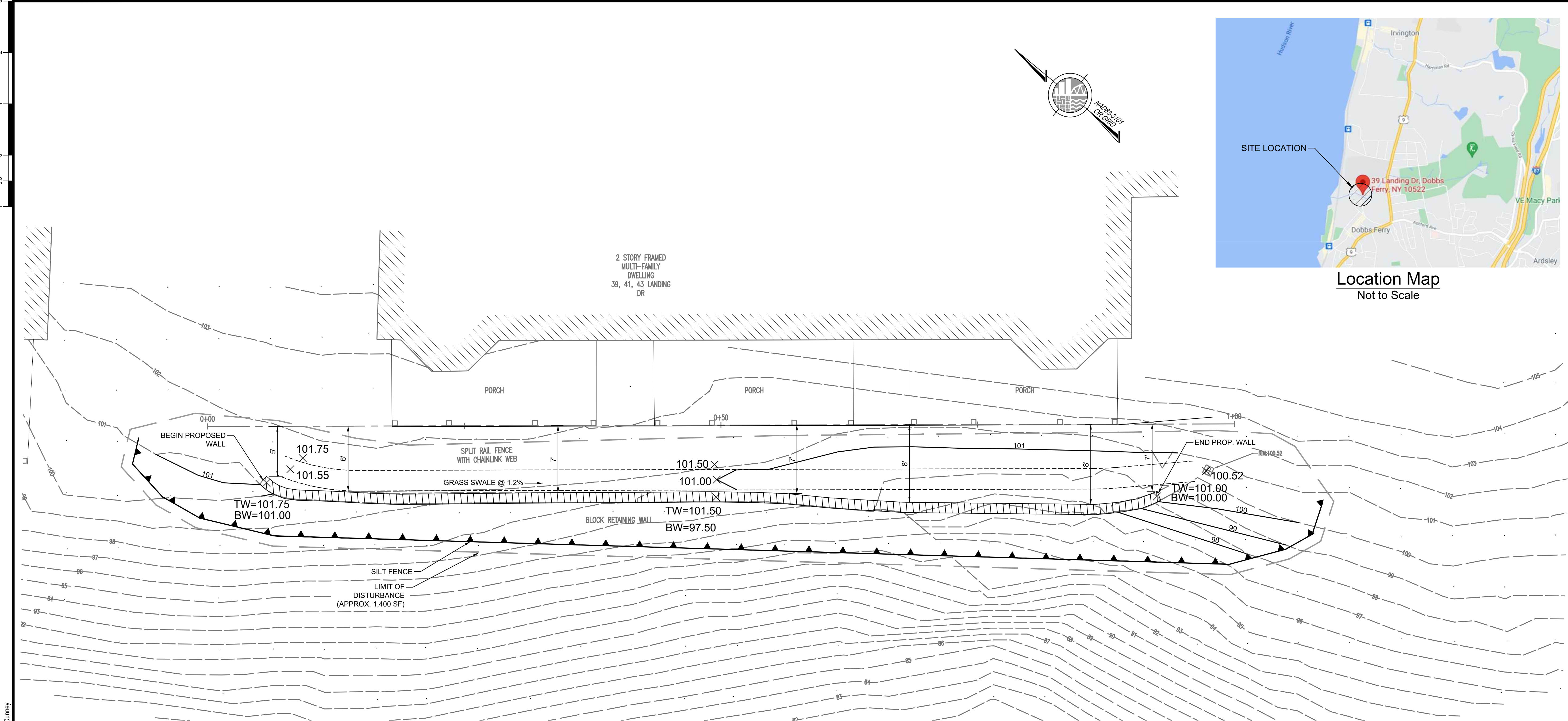
PROJECT NO. 210637.01
SCALE AS NOTED
DATE 07/07/2021
DRAWN BY LD
CHECKED BY CKT

DRAWING NO.
C-050
1 OF 1 SHTS

**DRAFT
MAY 3, 2022**

FILE NAME: P:\Proj\2021063710_Dwg\Grading Plan.dwg PLOT TIME: Tuesday, May 03, 2022 2:38 PM BY: Jennifer A. Curney

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GRADING PLAN

1:5



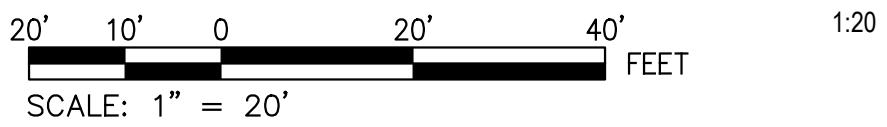
SCALE: 1" = 5'

LEGEND

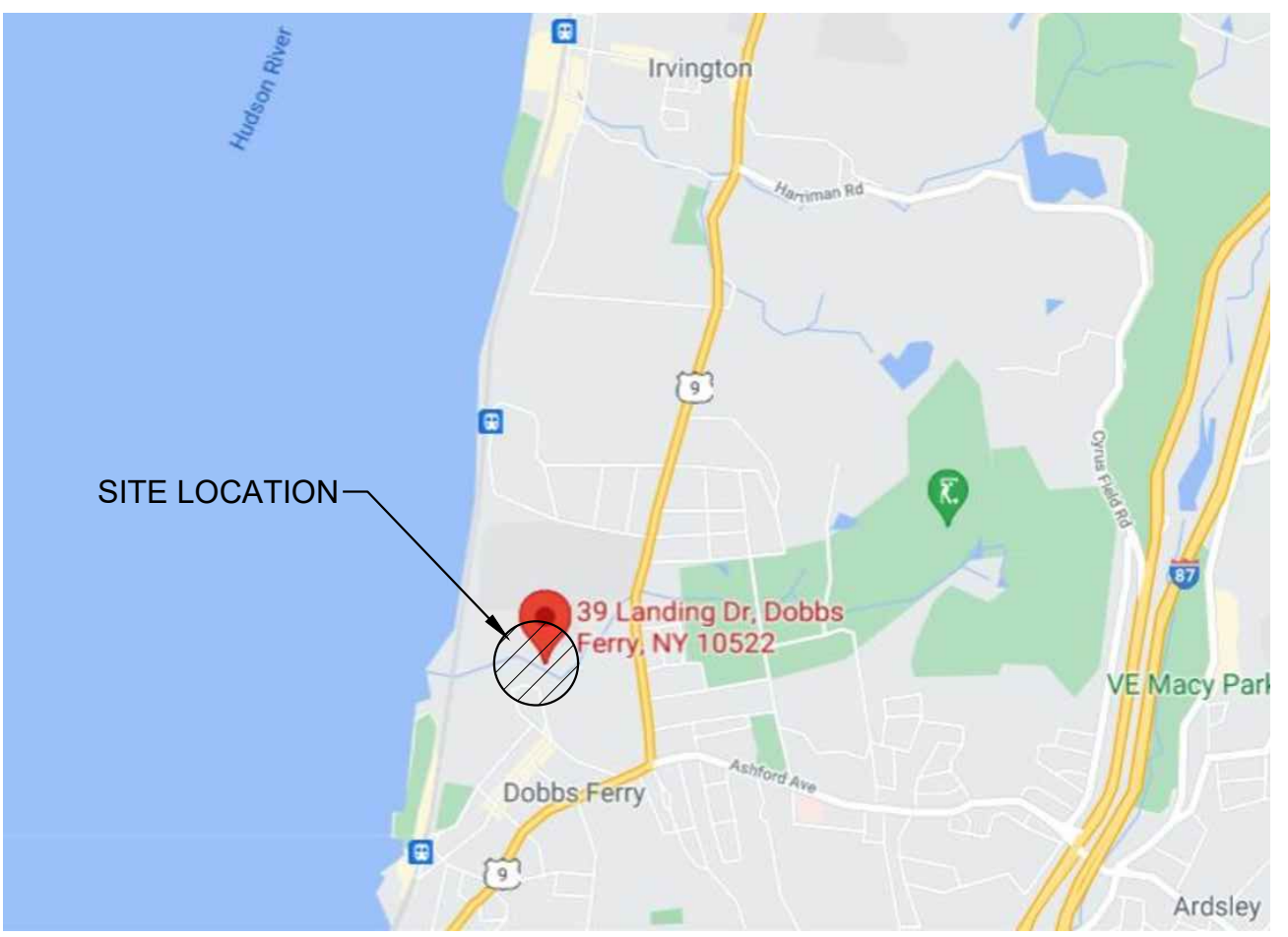
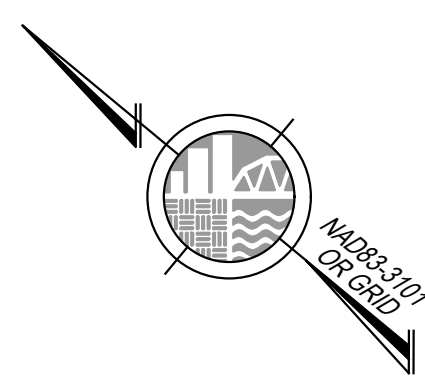
- 104 --- EXISTING MINOR CONTOUR
- 105 --- EXISTING MAJOR CONTOUR
- 111 --- PROPOSED CONTOURS
- PROPOSED EDGE OF SWALE
- × 234.75 SPOT GRADE
- × TW=234.75
BW=234.25 TOP OF WALL - BOTTOM OF WALL



STABILIZED CONSTRUCTION ENTRANCE



SCALE: 1" = 20'



Location Map
Not to Scale

PROJECT NO. 210637.01	
SCALE AS NOTED	
DATE 07/07/2021	
DRAWN BY LD	
CHECKED BY CKT	
DRAWING NO. C-201	
1 OF 1 SHTS	
REVISION	
DATE	
BY	

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- RETAINING WALL**
VILLAGE OF DOBBS FERRY, COUNTY OF WESTCHESTER, STATE OF NEW YORK

STATE OF NEW YORK
SEAL OF THE STATE OF NEW YORK
LAND SURVEYOR
M. G. McLaren

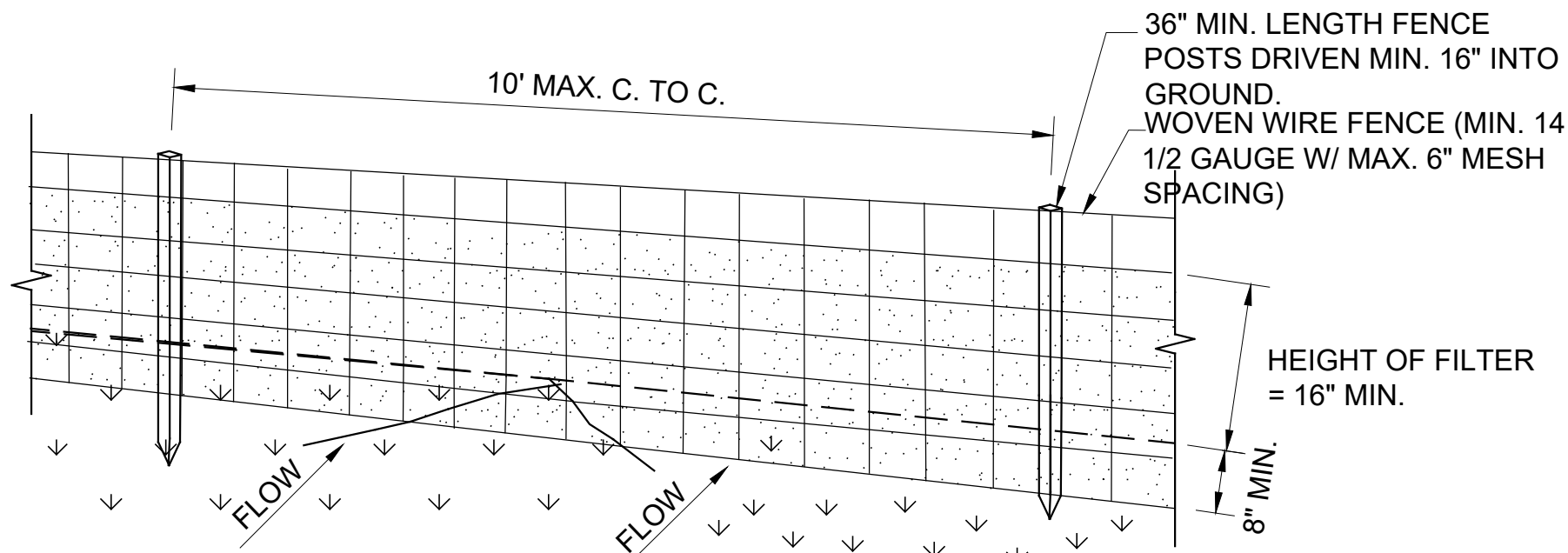
SHEET TITLE
GRADING PLAN

DRAFT
MAY 3, 2022

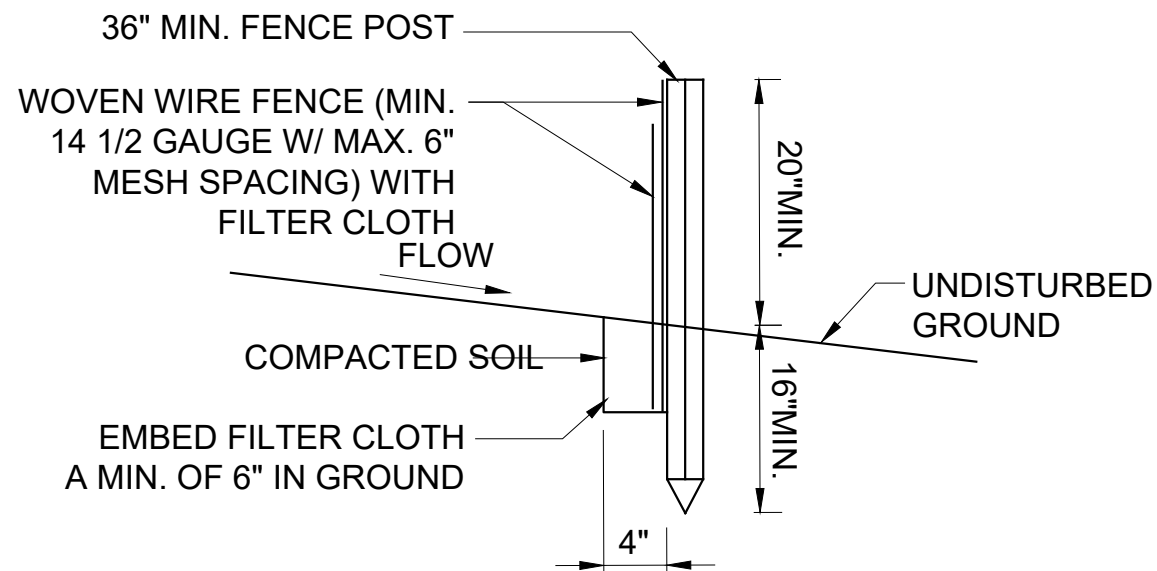
COPYRIGHT © 2021, McLAREN ENGINEERING GROUP

FILE NAME: P:\Proj\10210637110_Dwg\CAODC-500 Soil Erosion and Sediment Control Details.dwg PLOT TIME: Tuesday, May 03, 2022 - 2:38 PM BY: jennifer A. Cumey

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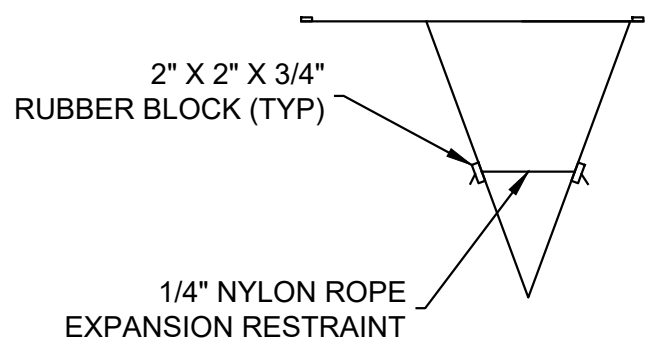
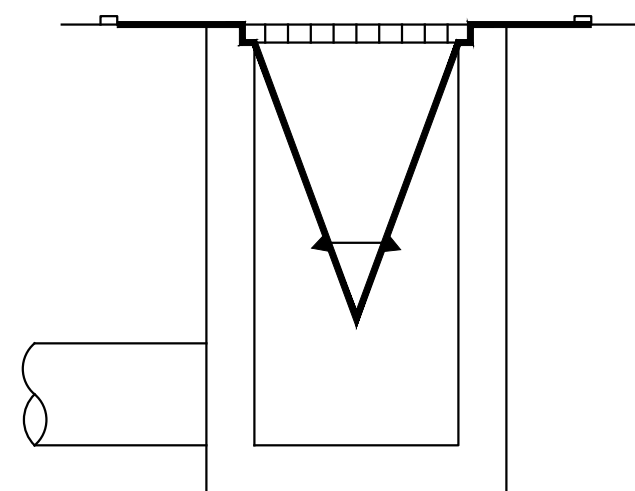
PERSPECTIVE VIEW



SECTION VIEW

CONSTRUCTION SPECIFICATIONS

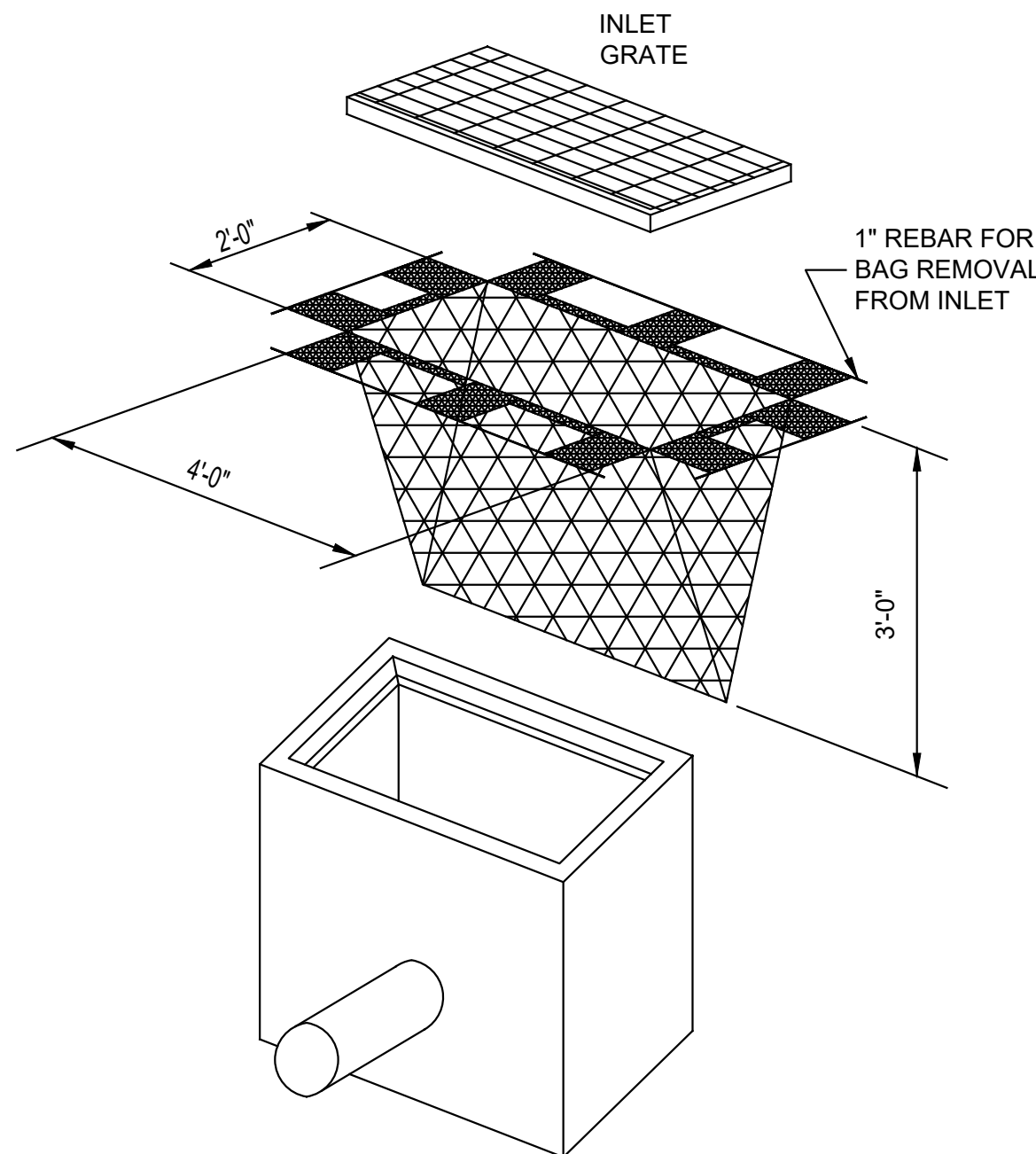
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED.
- FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.



ELEVATION VIEW

CONSTRUCTION SPECIFICATIONS

- MAXIMUM DRAINAGE AREA = 1/2 ACRE.
- INLET PROTECTION IS NOT REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS REQUIRED FOR ALL INSTALLATIONS.

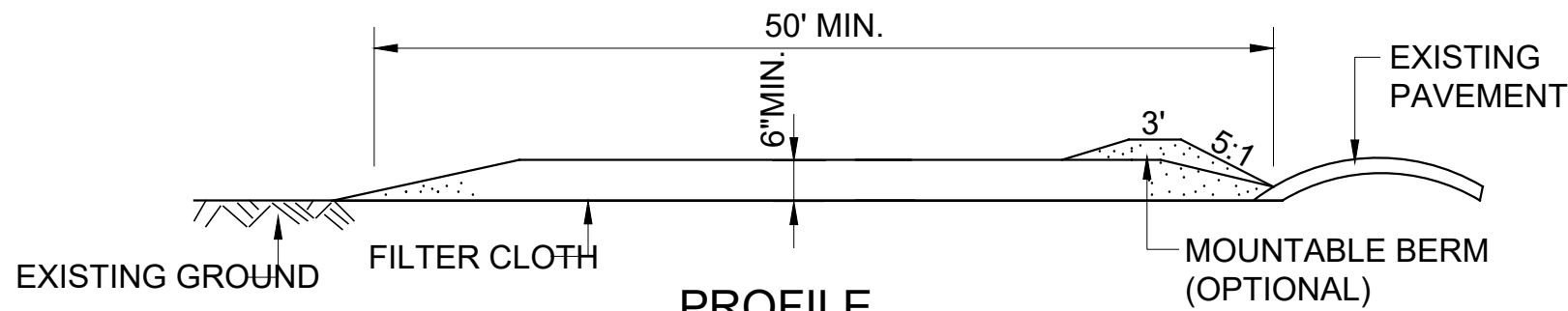


ISOMETRIC VIEW

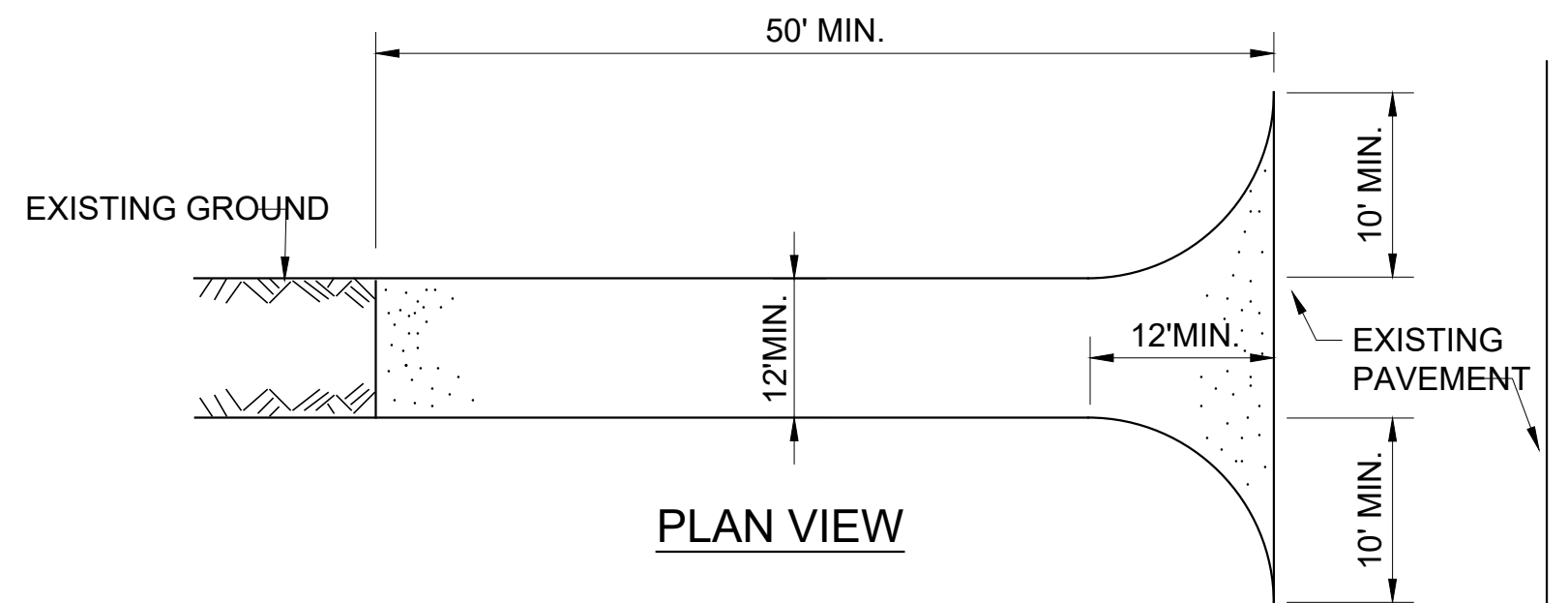
CURB

SILT SACK DETAIL

N.T.S.



PROFILE



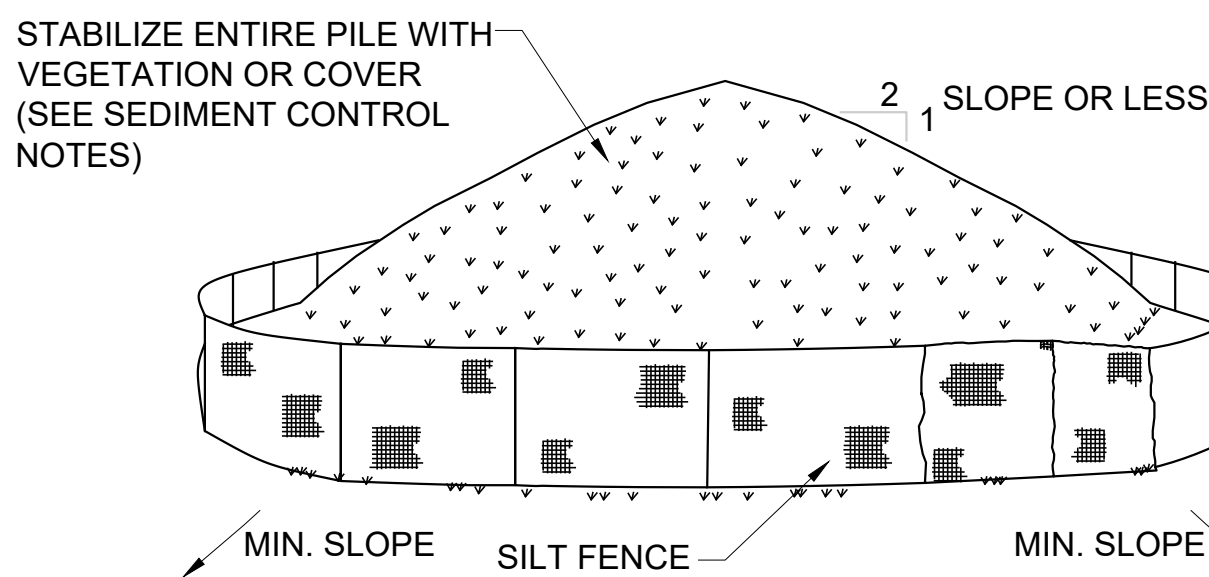
PLAN VIEW

CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- IF WASHING IS USED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE

N.T.S.

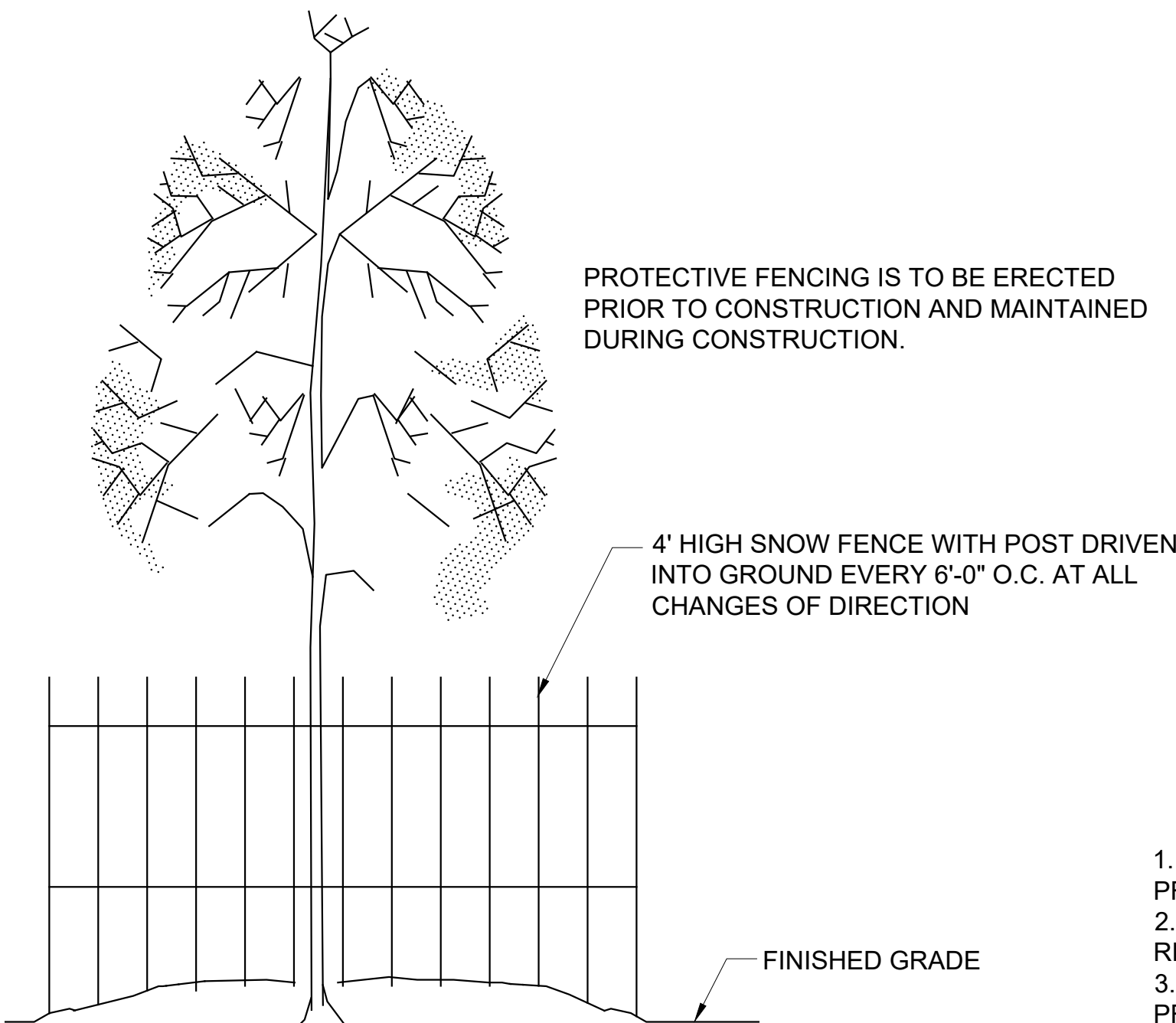


INSTALLATION NOTES

- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
- MAXIMUM SLOPE OF STOCKPILE SHALL BE 2:1.
- UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
- SEE DETAIL ON THIS DRAWING FOR INSTALLATION OF SILT FENCE.

SOIL STOCKPILING

N.T.S.



CONSTRUCTION SPECIFICATIONS

- NO CONSTRUCTION ACTIVITY IS PERMITTED WITHIN THE PROTECTIVE FENCING.
- AS CONSTRUCTION NEARS COMPLETION THE FENCING WILL BE REMOVED.
- AT THE COMPLETION OF CONSTRUCTION ALL TREES WILL BE PRUNED AS NECESSARY TO CORRECT ANY DAMAGE RESULTING FROM CONSTRUCTION ACTIVITY.

TEMPORARY TREE PROTECTION DETAIL

N.T.S.

DRAFT
MAY 3, 2022

NO.	DATE	REVISION	BY

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PROJECT
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VILLAGE OF DOBBS FERRY, COUNTY OF WESTCHESTER, STATE OF NEW YORK



SHEET TITLE

**SOIL EROSION &
SEDIMENT CONTROL
DETAILS**

PROJECT NO.	210637.01
SCALE	AS NOTED
DATE	07/07/2021
DRAWN BY	LD
CHECKED BY	CKT

DRAWING NO.
C-500
1 OF 1 SHTS