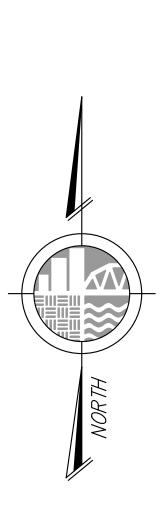
LANDING ON THE WATER AT DOBBS FERRY CONDOMINIUM

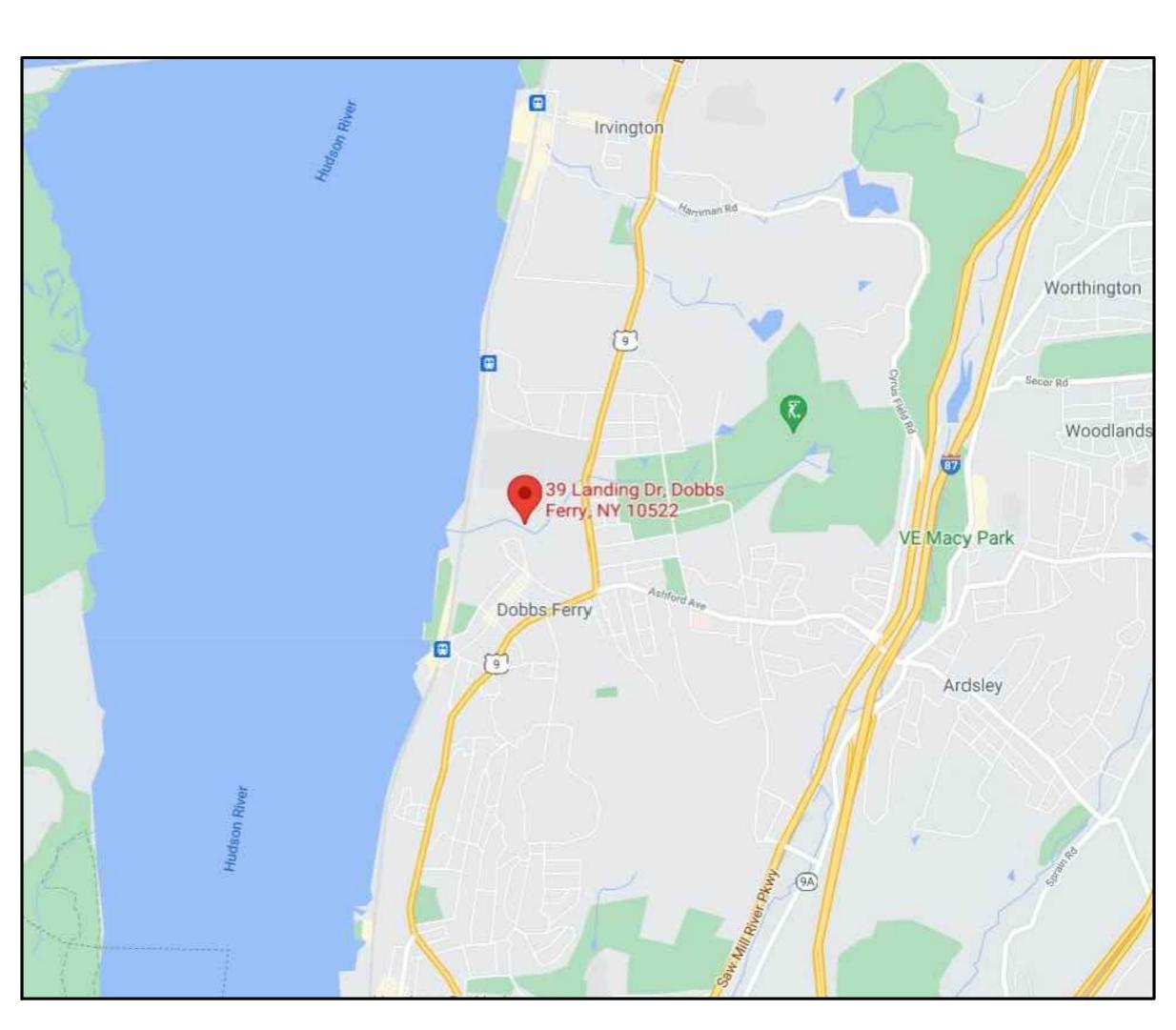
39 LANDING DRIVE, DOBBS FERRY, NY

(MEG - 210637)

RETAINING WALL CONSTRUCTION DOCUMENTS

MAY 2022





VICINITY MAP

N.T.S

LIST OF DRAWINGS

DRAWINGS PREPARED BY McLAREN ENGINEERING GROUP

COVER SHEET

C-002 GENERAL NOTES

C-050 EXISTING CONDITION PLAN

C-201 GRADING PLAN

C-500 SOIL EROSION & SEDIMENT CONTROL DETAILS

ERS SHEETS:

RW-2.0 CONSTRUCTION NOTES

RW-3.0 WALL PLAN VIEW

RW-4.0 ELEVATION VIEW

RW-5.0 CROSS SECTION

RW-6.0 - 6.1 CONSTRUCTION DETAILS

3. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 72 HOURS PRIOR TO THE START OF HIS OPERATIONS AND SHALL COMPLY WITH THE LATEST INDUSTRIAL CODE RULE 53 REGULATIONS.

GRADING NOTES

4. ALL LANDSCAPED AREAS SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL

- 5. ALL UTILITY STRUCTURE CASTINGS SHALL BE ADJUSTED AS NECESSARY TO BE FLUSH WITH PROPOSED FINISHED GRADE.
- 6. THE BUILDING PAD SHALL BE GRADED TO THE SUBGRADE ELEVATION PER BUILDING PLANS. THE BUILDING PAD SHALL BE CROWNED TO SHED WATER.
- 7. ALL EARTH EMBANKMENTS SHALL HAVE A MAXIMUM SLOPE OF 2.0 HORIZONTAL TO 1 VERTICAL. ALL ROCK EMBANKMENTS SHALL HAVE A SLOPE OF 1 HORIZONTAL TO 3 VERTICAL OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.

SOIL EROSION AND SEDIMENT CONTROL NOTES

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED IN ACCORDANCE WITH NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (NYSDEC, DIVISION OF WATER, AUGUST 2005) AND SPDES GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITY (PERMIT NO. GP-20-001).
- 2. CONSTRUCTION SHALL BE SEQUENCED IN ACCORDANCE WITH THE CONSTRUCTION SEQUENCE NOTES.
- ANY DISTURBED AREAS THAT ARE LEFT EXPOSED MORE THAN 14 DAYS, AND ARE NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL. THE SEEDING WILL BE DONE IN ACCORDANCE WITH STANDARDS, AS FOLLOWS: A. FERTILIZER: FERTILIZER SHALL BE APPLIED AT THE RATE OF 14-LBS/1000 S.F.
- OR 600 LBS./ACRE, USING 5-10-10 OR EQUIVALENT. B. SEED: ANNUAL RYEGRASS APPLIED AT THE RATE OF 30 LBS./ACRE, OR OTHER
- SELECT MIXTURE DESCRIBED IN THE STANDARDS.
- C. MULCH: SMALL GRAIN STRAW MULCH APPLIED AT A RATE OF 90-LBS./1000 S.F. OR 2 TONS/ACRE, TO BE APPLIED AND ANCHORED ACCORDING TO THE STANDARDS.
- ANY GRADED AREAS NOT SUBJECT TO FURTHER DISTURBANCE OR CONSTRUCTION TRAFFIC SHALL, WITHIN 10 DAYS OF FINAL GRADING, RECEIVE PERMANENT VEGETATIVE COVER IN COMBINATION WITH SUITABLE MULCH AS FOLLOWS:
- A. FERTILIZER: FERTILIZER APPLIED AT THE RATE OF 20-LBS./1000 S.F. USING 5-10-10 OR EQUIVALENT. SELECT MIXTURE DESCRIBED IN THE STANDARDS. B. SEED MIXTURE: TO BE PLANTED BETWEEN APRIL 1 AND MAY 15, OR BETWEEN AUGUST 15 AND OCTOBER 15.
- C. MULCH: SMALL GRAIN STRAW MULCH APPLIED AT A RATE OF 90-LBS./1000 S.F. OR 2 TONS/ACRE, TO BE APPLIED AND ANCHORED ACCORDING TO THE STANDARDS.
- 5. CUT OR FILL SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
- 6. PAVED ROADWAYS SHALL BE KEPT CLEAN AT ALL TIMES.
- 7. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL
- 8. ALL STORM DRAINAGE OUTLETS SHALL BE STABILIZED. AS REQUIRED. BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
- CONSTRUCTION FENCING SHALL BE USED TO PROTECT EXISTING TREES TO REMAIN, WETLANDS AND OTHER SENSITIVE AREAS.
- 10. IF FOR ANY REASON THE CONSTRUCTION IS HALTED FOR PROTECTED PERIODS, THE CONTRACTOR SHALL STABILIZE THE SELECT MATERIAL BY HYDRO-SEED OR OTHER MEANS. TO THE SATISFACTION OF THE ENGINEER FOR ALL AREAS DENUDE OF
- VEGETATION. 11. STORMWATER FROM DISTURBED AREAS MUST BE PASSED THROUGH A HAYBALE BARRIER OR OTHER CONTROL DEVICE BEFORE BEING DISCHARGED BEYOND DISTURBED
- AREAS OR DISCHARGED INTO INLETS OR OTHER DRAINAGE SYSTEMS. 12. DUST CONTROL - WATER SHALL BE APPLIED BY SPRINKLER OR WATER TRUCK DURING GRADING OPERATIONS TO MINIMIZE SEDIMENT TRANSPORT AND MAINTAIN ACCEPTABLE AIR QUALITY CONDITIONS. REPETITIVE TREATMENTS SHALL BE DONE AS NEEDED UNTIL GRADES ARE STABILIZED.
- 13. THE CONTRACTOR SHALL INSPECT THE EFFECTIVENESS AND CONDITION OF EROSION CONTROL DEVICES DURING STORM EVENTS, AFTER EACH RAINFALL OF ONE-HALF (1/2) INCH MAGNITUDE OR GREATER, PRIOR TO WEEKENDS AND PRIOR TO
- FORECASTED STORM. 14. THE CONTRACTOR SHALL REPAIR OR REPLACE DAMAGED EROSION CONTROL DEVICES IMMEDIATELY, AND IN NO CASE, MORE THAN TWENTY FOUR (24) HOURS AFTER
- OBSERVING SUCH DEFICIENCIES. 15. THE CONTRACTOR SHALL BE PREPARED TO IMPLEMENT INTERIM DRAINAGE CONTROLS AND EROSION CONTROL MEASURES AS MAY BE NECESSARY DURING THE COURSE OF
- 16. THE CONTRACTOR SHALL MAKE AVAILABLE ONSITE ALL EQUIPMENT, MATERIALS AND LABOR NECESSARY TO EFFECT EMERGENCY EROSION CONTROL AND DRAINAGE IMPROVEMENTS WITHIN TWENTY FOUR (24) HOURS OF ANY IMPENDING EMERGENCY SITUATION.
- 17. ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL FINAL ACCEPTANCE OF THE SITE WORK BY THE OWNER. UPON CERTIFICATION OF FINAL ACCEPTANCE, THE OWNER WILL ASSUME RESPONSIBILITY FOR THE CONTINUED MAINTENANCE OF PERMANENT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES.
- 18. THE VILLAGE OF DOBBS FERRY, NY OR THE NYSDEC OR THE SITE ENGINEER MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE THE POTENTIAL FOR ONSITE OR OFFSITE EROSION PROBLEMS THAT MAY OCCUR DURING CONSTRUCTION.
- 19. ALL STOCKPILE AREAS TO REMAIN MORE THAN 14 DAYS SHALL BE STABILIZED PER NOTE THREE ABOVE, JUTE MATTING OR SPRAY EMISSIONS ARE ACCEPTABLE SUBJECT TO APPROVAL OF THE ENGINEER.

CONSTRUCTION SEQUENCE

IN ACCORDANCE WITH THE NYSDEC SPDES GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITY (PERMIT NO. GP-20-01), THE PROJECT IS LIMITED TO A MAXIMUM DISTURBED AREA OF 1.0 ACRE. THE CONTRACTOR MAY ALTER THE CONSTRUCTION SEQUENCE ONLY WITH PRIOR APPROVAL BY THE ENGINEER. AREAS COVERED WITH GRAVEL. BUILDING SUBBASE MATERIAL OR TEMPORARY EMULSION OR STABILIZATION SHALL BE CONSIDERED AS STABILIZED. TEMPORARY STABILIZATION MUST BE MAINTAINED AT ALL TIMES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RECORDS TO INSURE THE 1 ACRE DISTURBANCE LIMIT IS MET. PROVIDING AND MAINTAINING ALL TEMPORARY STABILIZATION TO MEET THE NYSDEC REQUIREMENTS SHALL BE INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL MAINTAIN THROUGHOUT THE ENTIRE CONSTRUCTION CONTRACT.

CONSTRUCTION PHASING

- 1. PHASE I CONSTRUCTION ACCESS ROAD INSTALL SEDIMENT BARRIERS ADJACENT TO ALL AREAS TO BE DISTURBED. INSTALL STABILIZED CONSTRUCTION ENTRANCE. THE ACCESS ROAD TO THE PROPOSED STAGING AREA SHALL BE INSTALLED. CONTRACTOR SHALL MAINTAIN A GRAVEL ACCESS ROAD OR PROVIDE FINAL ROAD WITH ASPHALT BASE COURSE STABILIZE ALL SLOPE AREAS IMMEDIATELY UPON COMPLETION. IMPLEMENT DUST CONTROL MEASURES AS REQUIRED.
- 2. PHASE II CLEARING AND GRUBBING, TOPSOIL STRIPPING AND STOCKPILING -INSTALL SEDIMENT BARRIERS IN DISTURBED AREAS. INSTALL SEDIMENT BARRIERS AROUND AND ESTABLISH TEMPORARY VEGETATIVE COVER ON TOPSOIL STOCKPILES. IMPLEMENT DUST CONTROL MEASURES AS REQUIRED CONSTRUCT DETENTION POND/TEMPORARY SEDIMENT BASIN. SEDIMENT CONTROL MEASURES. MAINTAIN DUST CONTROL MEASURES AS REQUIRED.
- 3. PHASE III RETAINING WALL INSTALLATION COMPLETE ROUGH GRADING AND BEGIN INSTALLATION. MAINTAIN TEMPORARY MEASURES AND SEDIMENT TRAPS UNTIL STORM INLET SEDIMENT TRAPS ARE ESTABLISHED AND OPERATIONAL. INSTALL INLET AND OUTLET PROTECTION AT DRAINS. ESTABLISH TEMPORARY VEGETATIVE COVER ON DISTURBED AREAS AS REQUIRED AND PERMANENT VEGETATIVE COVER IN AREAS OF NO FURTHER DISTURBANCE. IMPLEMENT DUST CONTROL MEASURES AS REQUIRED.
- 4. PHASE IV CLEAN-UP REMOVE SEDIMENT BARRIERS AFTER ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.

STANDARD FOR DUST CONTROL

THE ON SITE-MANAGEMENT OF DUST TO MINIMIZE MIGRATION OFF-SITE OR TO SITE AREAS THAT HAVE BEEN STABILIZED OR COMPLETED.

TO PREVENT THE OFF-SITE MIGRATION OF DUST FROM EXPOSED SOIL.

CONDITION WHERE PRACTICE APPLIES:

THIS PRACTICE IS APPLICABLE TO AREAS WHERE SOILS ARE SUBJECT TO WINDBORN MIGRATION OR TRACKING TO OFF-SITE AREAS AND RESOURCES.

WATER QUALITY ENHANCEMENT:

SEDIMENTS DEPOSITED AS "DUST" ARE OFTEN FINE COLOIDAL MATERIAL WHICH IS EXTREMELY DIFFICULT TO REMOVE FROM WATER ONCE IT BECOMES SUSPENDED. USE OF THIS STANDARD WILL HELP TO CONTROL THE GENERATION OF DUST FROM CONSTRUCTION SITES AND SUBSDQUENT MIGRATION AND DEPOSITION INTO LOCAL SURFACE WATER RESOURCES.

THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:

MULCHES - APPLICATION OF MULCHES FOR TEMPORARY AND PERMENT SOIL STABLILIATION.

TEMPORARY AND/OR PERMENT VEGETATIVE COVER - APPLY TO DISTURBED AREAS.

SPRAY-ON ADHESIVES ON MINERAL SOILS - AS SUMMARIZED IN THE "DUST CONTROL MATERIALS" TABLE BELOW. SPRAY ON ADHESIVES ARE NOT EFFECTIVE ON MUCK SOILS.

DUST CONTROL MATERIALS

<u>MATERIAL</u>	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS
ANIONIC ASPHALT EMULSION	7:1	COURSE SPRAY	ACRE 1200
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300
POLYACRYLAMIDE (PAM) – SPRAY ON	APPLY ACCORDING TO INSTRUCTIONS.	MANUFACTURER'S MAY ALSO BE USED AS AN	

POLYACRYLAMIDE ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE (PAM) - DRY SPREAD AND PRECIPITATE SUSPENDED COLLOIDS.

ACIDULATED SOY BEAN COURSE SPRAY 1200 SOAP STICK

TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.

SPRINKLING - SITE IS SPRINKLED UNTI THE SURFACE IS WET.

BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.

CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS, OR ACCUMULATION AROUND PLANTS.

STONE - COVER SURFACE WITH CRUSHED STONE OR COURSE GRAVEL.

CONSTRUCTION TRAFFIC CONTROL — ESTABLISH STABILIZED CONSTRUCTION ROADWAYS AND MINIMIZE CONSTRUCTION TRAFFIC ON UNSTABILIZED AREAS.

ROCK CRUSHING OPERATIONS - PROVIDE WATER SUPPLY FOR DUST CONTROL.

SOIL AND SEDIMENT CONTROL PLAN - COMPLY WITH SEDIMENT AND EROSION CONTROL PLAN.

MAINTENANCE OF SITE MEASURES - MAINTAIN SEDIMENT AND DUST CONTROL MEASURES. REMOVE TRACKED SEDIMENT FROM PUBLIC ROADWAYS AND STABILIZED ON-SITE ROADWAYS.

ERS RETAINING WALL NOTES

THE FOLLOWING IS REQUIRED WHERE THE OWNER OR LOCAL MUNICIPALITY REQUIRES ERS TO CERTIFY THE WALL CONSTRUCTION IS IN COMPLIANCE WITH THE WALL PLANS:

1.) REINFORCED FILL SHALL BE TESTED AND APPROVED BY ERS PRIOR TO AND THROUGHOUT CONSTRUCTION. SEE SHEET RW-2.0 FOR GRADATION, ATTERBERG LIMIT, LIFT THICKNESS, SHEAR

STRENGTH, AND OTHER REQUIREMENTS. 2.) THE FOUNDATION SHALL BE INSPECTED AND FOUNDATION BEARING CAPACITY SHALL BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER OR GEOTECHNICAL ENGINEER APPROVED BY THE LOCAL

3.) COMPACTION TEST PER CURRENT INDUSTRY STANDARDS SHALL BE PERFORMED ON A MINIMUM FREQUENCY OF 1 TEST FOR EVERY 200 SQUARE FEET OF WALL AREA CONSTRUCTED, NOT TO EXCEED

2-FT VERTICAL IN FILL PLACEMENT. COMPACTION LIFT THICKNESS AND MINIMUM COMPACTION DENSITY SHALL CONFORM TO THE REQUIREMENTS OUTLINED ON SHEET RW-2.0.

4.) REINFORCED FILL AND RETAINED FILL PLACED IN CONJUNCTION WITH THE WALL CONSTRUCTION SHALL BE PLACED AND COMPACTED WITHIN +/-2% OF OPTIMUM MOISTURE CONTENT. SEE SHEET RW-2.0.

5.) THE PROJECT GEOTECHNICAL ENGINEER OR THIRD-PARTY, QUALITY ASSURANCE ENGINEER, SHALL PROVIDE WRITTEN CERTIFICATION THAT THE WALLS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH ERS PLANS, INCLUDING BUT NOT LIMITED TO WALL GEOMETRY, FILL MATERIAL TYPE, SOIL STRENGTHS, SOIL COMPACTION, AND GEOGRID TYPE(S) AND LENGTH(S).

RETAINING WALL (RW) CONSTRUCTION ADDRESSED BY THESE DRAWINGS ARE PART OF A SIGNIFICANTLY LARGER PROJECT BEING BUILT BY THE GENERAL CONTRACTOR, WHO HAS SEPARATELY RETAINED AN EARTHWORK GRADING CONTRACTOR TO ASSIST IN DEVELOPING

THE SITE FOR THE OWNER. THE OWNER HAS RETAINED A PROJECT GEOTECHNICAL ENGINEER TO ADVISE IT ON MATTERS RELATIVE TO CONSTRUCTION AND WHO WILL BE PROVIDING QUALITY ASSURANCE TESTING AND OBSERVATION OF THE RW CONSTRUCTION WORK FOR

THE OWNER. OUTLINED BELOW IS A BRIEF SUMMARY OF THE RESPONSIBILITIES OF EACH OF THE PARTIES REQUIRED BY THE RW CONSTRUCTION, AS OUTLINED IN THESE DRAWINGS, TO ENSURE A QUALITY

- GENERAL/EARTHWORK CONTRACTOR SHALL BE RESPONSIBLE FOR OVERALL SITE GRADING AND STORM WATER CONTROL, BEFORE, DURING, AND AFTER RW CONSTRUCTION, UNTIL THE PERMANENT PAVING AND STORM WATER DRAINAGE CONTROLS ARE ALL IN PLACE AND OPERATIONAL. DAMAGE TO EXISTING RW CONSTRUCTION BY POORLY CONTROLLED STORM WATER DRAINAGE SHALL NOT BE THE RESPONSIBILITIES THE RW CONTRACTOR OR RW DESIGNER.
- GENERAL/EARTHWORK CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENTATION CONTROL, BEFORE, DURING, AND AFTER RW CONSTRUCTION.
- OWNER AND/OR GENERAL CONTRACTOR SHALL PROVIDE SURVEYING SERVICES SUFFICIENT TO LOCATE THE WALL, HORIZONTALLY AND VERTICALLY ON THE SITE FOR CONSTRUCTION PURPOSES.
- GENERAL/EARTHWORK CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A BEARING SURFACE AT THE BOTTOM RETAINING WALL ELEVATION THAT MEETS THE BEARING REQUIREMENTS SHOWN ON THESE DRAWINGS. THE BEARING SURFACE AND ALL AREAS INTO WHICH THE RW CONTRACTOR WILL PLACE AND COMPACT FILL MUST BE CLEARED, GRUBBED AND ALL DELETERIOUS SOILS AND/OR ORGANIC MATTER REMOVED TO PROJECT GEOTECHNICAL ENGINEER'S SATISFACTION, AS PROVIDED IN THEIR DAILY PROJECT REPORTING.
- THE OWNER'S PROJECT GEOTECHNICAL ENGINEER SHALL OBSERVE AND PROVIDE WRITTEN APPROVAL THAT THE "ALLOWABLE" BEARING CAPACITY AT THE BOTTOM RETAINING WALL ELEVATION AND WITHIN THE ENTIRE REINFORCED (GEOGRID) ZONE IN EACH LOCATION MEETS OR EXCEEDS THE MINIMUM REQUIREMENTS SHOWN ON THESE DRAWINGS. THE RW CONTRACTOR WILL NOT BEGIN CONSTRUCTION WITHOUT THE APPROVAL.
- THE OWNER AND/OR GENERAL CONTRACTOR SHALL PROVIDE THE FILL SOILS TO THE RW CONTRACTOR TO UTILIZE FOR RW CONSTRUCTION. THOSE FILL SOILS SHOULD BE TESTED PRIOR TO STARTING RW CONSTRUCTION, AND PERIODICALLY THROUGHOUT THE PROJECT, TO ENSURE THEY MEET THE SPECIFICATION OUTLINED HEREIN. RW CONTRACTOR WILL NOTIFY THE OWNER'S GEOTECHNICAL ENGINEER AND/OR THE GENERAL/EARTHWORK CONTRACTOR WHEN A CHANGE IN FILL SOIL APPEARANCE, CONSISTENCY, OR GRADATION LOOKS TO BE DETRIMENTAL, OR HAS REASON TO BELIEVE THE SOIL BEING PROVIDED DOES NOT MEET THE PROJECT SPECIFICATIONS. HOWEVER, THE OWNER'S GEOTECHNICAL ENGINEER SHALL BE RESPONSIBLE FOR DETERMINING WHETHER THE FILL MATERIALS MEET AND ARE PLACED ACCORDING TO THE SPECIFICATIONS IN THESE DRAWINGS.
- THE OWNER AND/OR PROJECT GEOTECHNICAL ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING SUFFICIENT DATA THROUGHOUT THE RW CONSTRUCTION TO SATISFY THE REQUIREMENTS OF THE LOCAL GOVERNING AUTHORITY TO SECURE APPROVAL OF THE RETAINING WALL CONSTRUCTION AND ULTIMATELY THE "CERTIFICATE OF OCCUPANCY" FOR THE BUILDING ITSELF.

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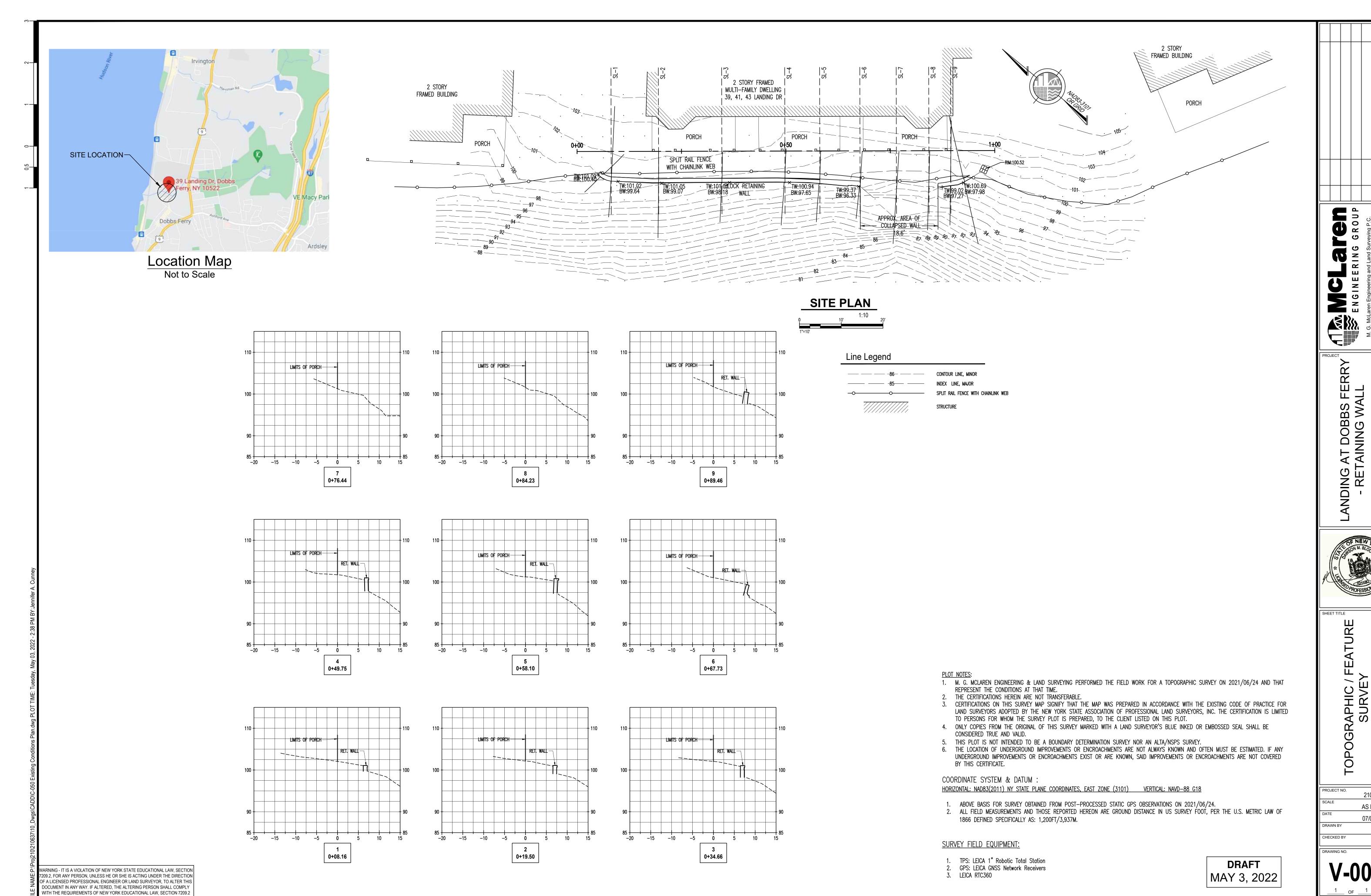


210637.01 AS NOTED 07/07/2021

DRAFT MAY 3, 2022

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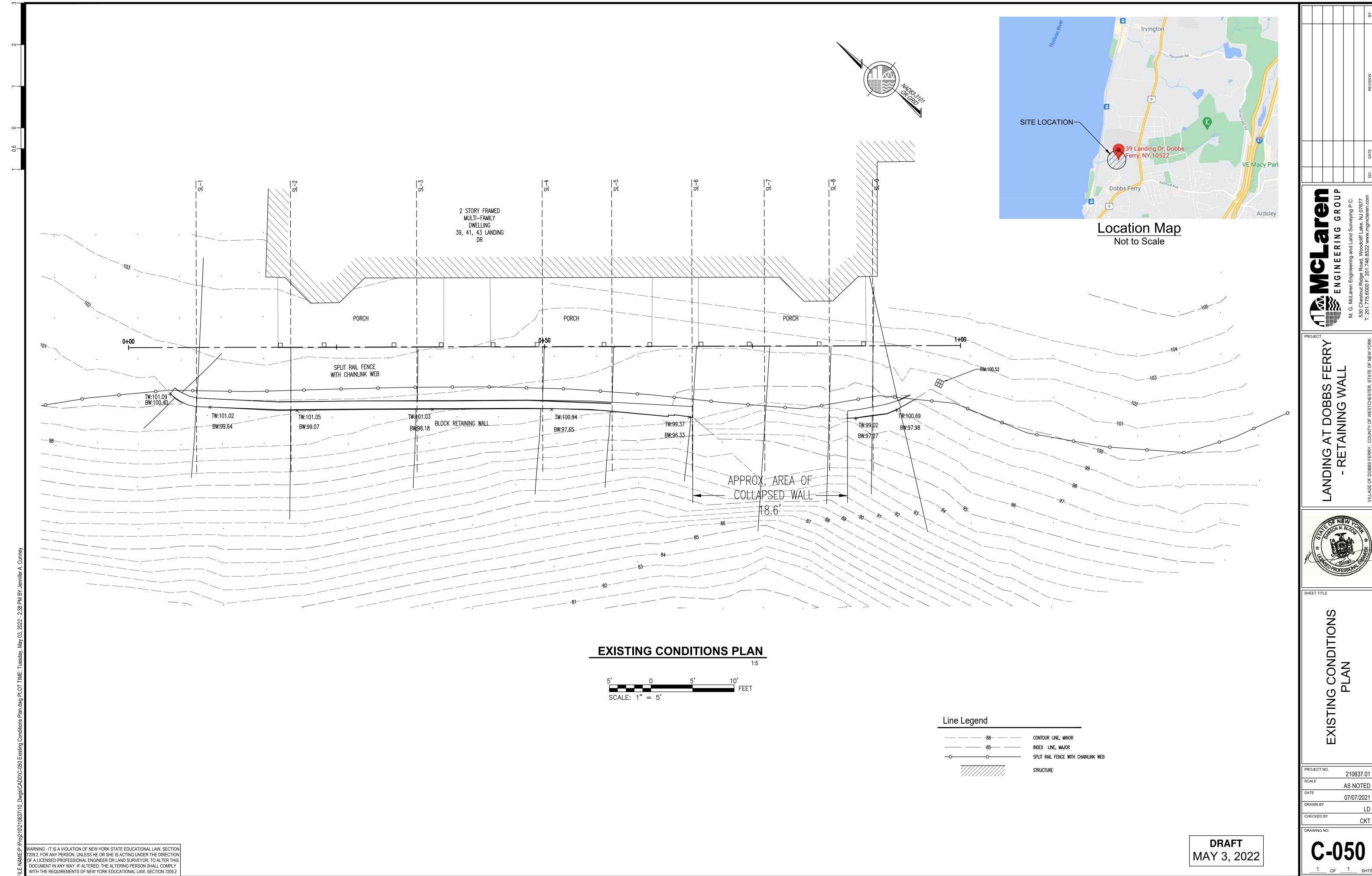
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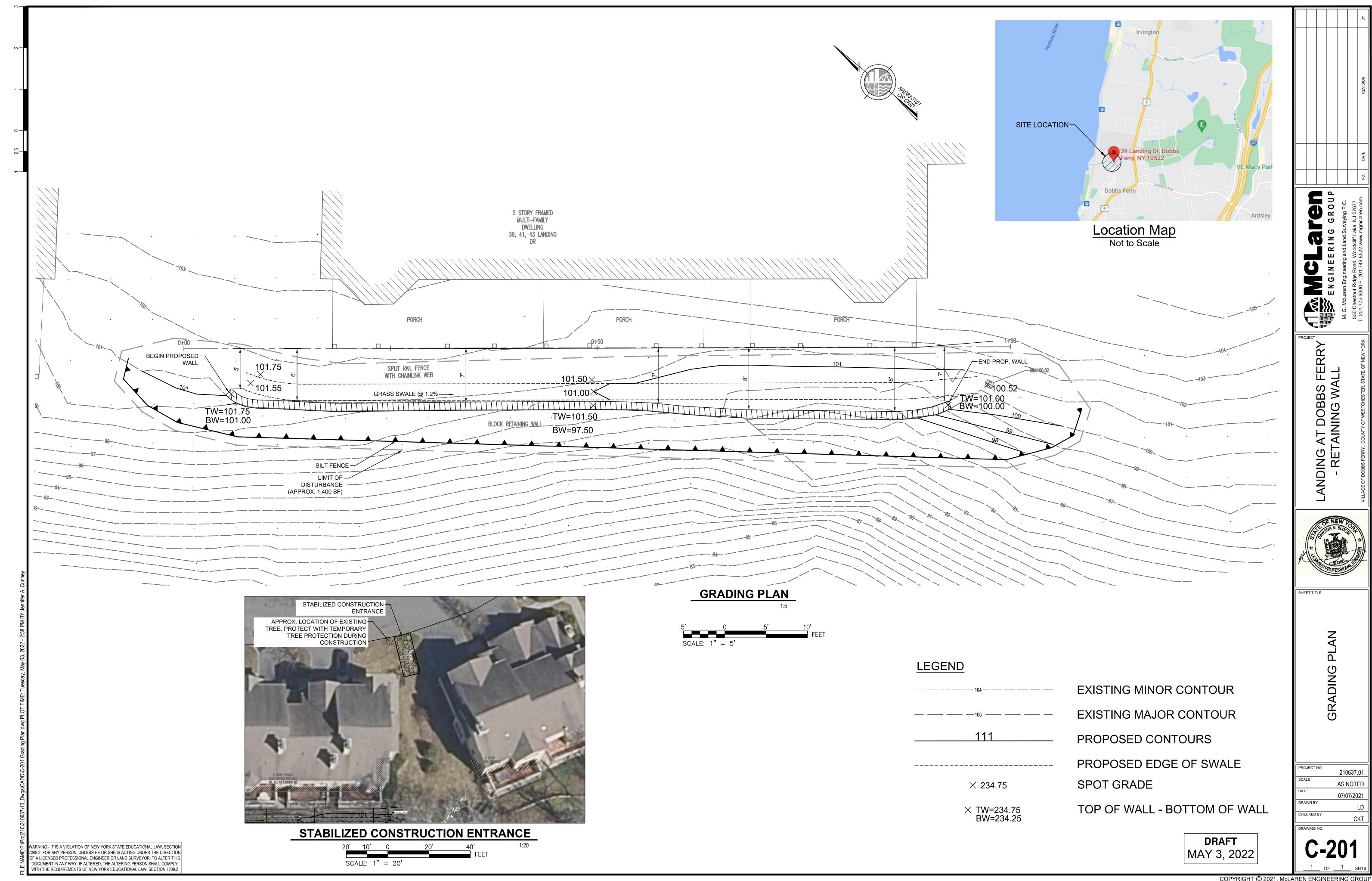
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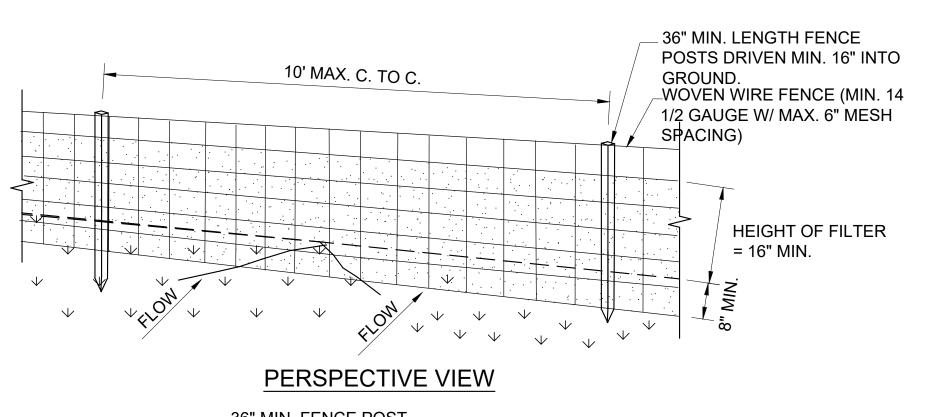
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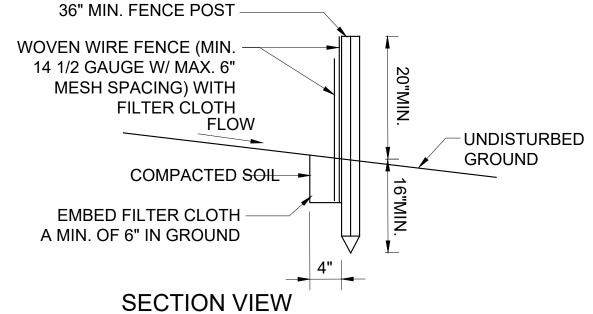
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CONSTRUCTION **SPECIFICATIONS**

- 1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL
- EITHER "T" OR "U" TYPE OR HARDWOOD.

MIN. SLOPE

A

C-500

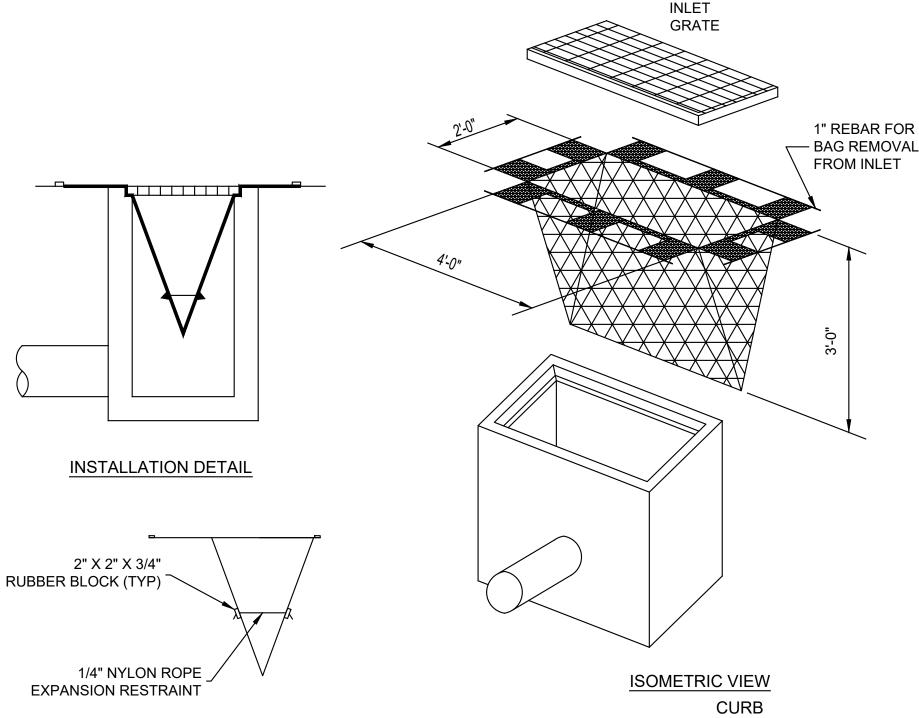
- 2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID
- SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED.
- FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT. 4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.

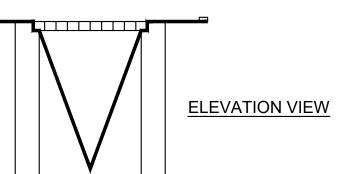
SILT FENCE

MIN. SLOPE

C-500

5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.





CONSTRUCTION SPECIFICATIONS

1. MAXIMUM DRAINAGE AREA = 1/2 ACRE. 2. INLET PROTECTION IS NOT REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS REQUIRED FOR ALL INSTALLATIONS.

SILT SACK DETAIL

STABILIZED CONSTRUCTION ENTRANCE

9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

FILTER CLOTH

PROFILE

PLAN VIEW

CONSTRUCTION

SPECIFICATIONS

2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT

4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE

5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.

6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION

THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE

7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT

SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED

8. IF WASHING IS USED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS

1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.

MINIMUM LENGTH WOULD APPLY). 3. THICKNESS - NOT LESS THAN SIX (6) INCHES.

TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.

RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

50' MIN.

EXISTING GROUND

EXISTING GROUND

INGRESS OR EGRESS OCCURS.

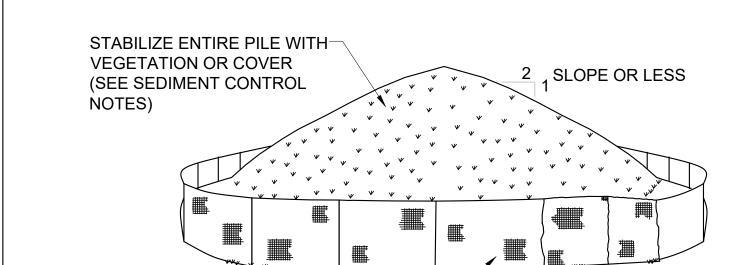
TRACKING OR FLOWING OF

SEDIMENT TRAPPING DEVICE.

ONTO PUBLIC

INTO AN APPROVED

ENTRANCES SHALL BE PIPED ACROSS

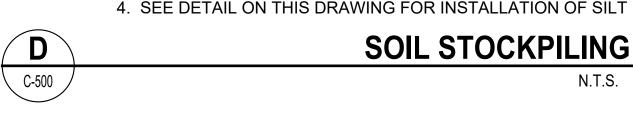


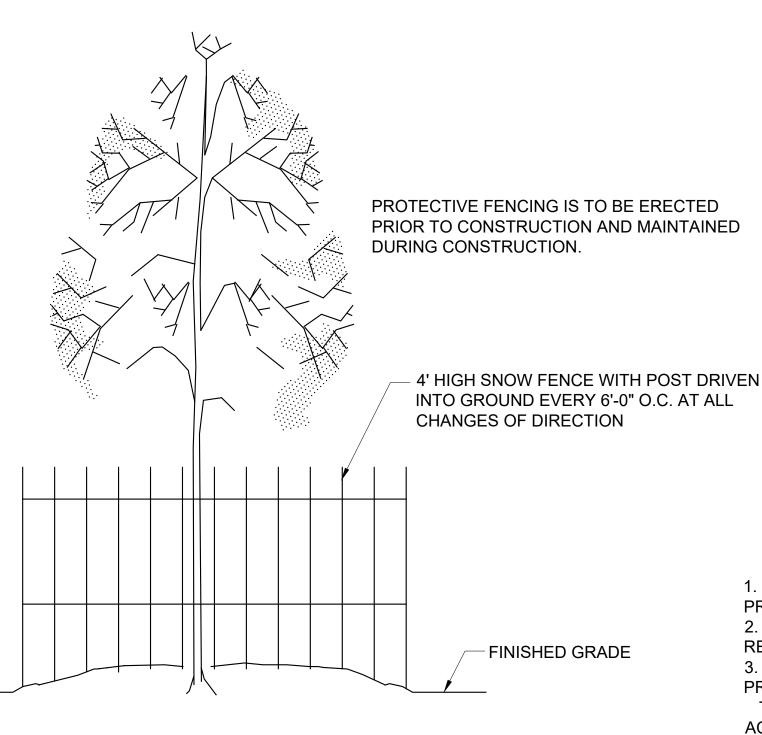
INSTALLATION NOTES

- 1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
- 2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 2:1.

SILT FENCE

- 3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
- 4. SEE DETAIL ON THIS DRAWING FOR INSTALLATION OF SILT FENCE.





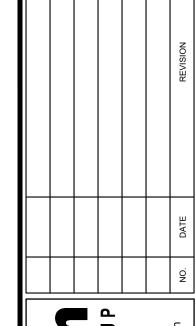
CONSTRUCTION **SPECIFICATIONS**

C-500

- 1. NO CONSTRUCTION ACTIVITY IS PERMITTED WITHIN THE PROTECTIVE FENCING.
- 2. AS CONSTRUCTION NEARS COMPLETION THE FENCING WILL BE
- 3. AT THE COMPLETION OF CONSTRUCTION ALL TREES WILL BE PRUNED AS NECESSARY
- TO CORRECT ANY DAMAGE RESULTING FROM CONSTRUCTION

TEMPORARY TREE PROTECTION DETAIL

DRAFT MAY 3, 2022



EXISTING

EXISTING

PAVEMENT

-MOUNTABLE BERM

(OPTIONAL)

PAVEMENT

ERRY DOBBS DIN R



210637.01

9.2, FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER THIS DarphiUMENT IN ANY WAY. IF ALTERED, THE ALTERING PERSON SHALL COMPLY

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