

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



611453850DED001X

Westchester County Recording & Endorsement Page

Submitter Information

Name: Robin Schemitsch Phone: 914-395-2285
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City/State/Zip: Eastchester NY 10709 Reference for Submitter: RR-W-43516-21 LB

Document Details

Control Number: **611453850** Document Type: **Deed (DED)**
Package ID: 2021052500399001002 Document Page Count: **4** Total Page Count: **5**

Parties

☐ Additional Parties on Continuation page

1st PARTY

2nd PARTY

1: ANTHONY VANO & ELIZABETH VANO 2006 INTER VIVOS - Other 1: BRAMBRINK PETRA - Individual
2: OTOOLE HUGH - Individual 2: BRAMBRINK ANSGAR - Individual

Property

☐ Additional Properties on Continuation page

Street Address: 20 LYMAN PL Tax Designation: 3.60-21-17
City/Town: GREENBURGH Village: DOBBS FERRY

Cross-References

☐ Additional Cross-Refs on Continuation page

1: 2: 3: 4:

Supporting Documents

1: RP-5217 2: TP-584

Recording Fees

Mortgage Taxes

Statutory Recording Fee: \$40.00
Page Fee: \$25.00
Cross-Reference Fee: \$0.00
Mortgage Affidavit Filing Fee: \$0.00
RP-5217 Filing Fee: \$125.00
TP-584 Filing Fee: \$5.00
RPL 291 Notice Fee: \$10.00
Total Recording Fees Paid: **\$205.00**

Document Date:
Mortgage Amount:

Basic: \$0.00
Westchester: \$0.00
Additional: \$0.00
MTA: \$0.00
Special: \$0.00
Yonkers: \$0.00
Total Mortgage Tax: **\$0.00**

Transfer Taxes

Consideration: \$660,000.00
Transfer Tax: \$2,640.00
Mansion Tax: \$0.00
Transfer Tax Number: 30704

Dwelling Type: Exempt: ☐
Serial #:

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 06/10/2021 at 04:04 PM
Control Number: **611453850**
Witness my hand and official seal

Timothy C. Idoni

Timothy C. Idoni
Westchester County Clerk

Record and Return To

☐ Pick-up at County Clerk's office

RECORD AND RETURN TITLE AGENCY
7 DEMSPEY PLACE


EASTCHESTER, NY 10709

Westchester
3.60
21
17

BARGAIN AND SALE DEED WITH COVENANT AGAINST GRANTOR'S ACTS (INDIVIDUAL OR CORPORATION)

FORM 8002 (short version), FORM 8007 (long version)

CAUTION: THIS AGREEMENT SHOULD BE PREPARED BY AN ATTORNEY AND REVIEWED BY ATTORNEYS FOR SELLER AND PURCHASER BEFORE SIGNING.

 **THIS INDENTURE**, made ^{as of} the 9th day of June, 2021,

BETWEEN Hugh O'Toole as Trustee of the Anthony Vano and Elizabeth Vano 2006 Inter Vivos Trust, of 20 Lyman Place, Dobbs Ferry, New York 10522,

party of the first part, and

Petra Brambrink and Ansgar Brambrink, husband and wife, of 73 Havemeyer Road, Irvington, New York 10533,

party of the second part;

WITNESSETH, that the party of the first part, in consideration of Ten Dollars and No Cents (\$10.00) and other valuable consideration paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever;

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the Town of Greenburgh, County of Westchester, State of New York, more particularly described in Schedule A attached hereto;

Being the same premises described in the deed to Hugh O'Toole as Trustee of the Anthony Vano and Elizabeth Vano 2006 Inter Vivos Trust dated October 17, 2006 and recorded December 6, 2006 under Control Number 462990343;

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof,

TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises,

TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.


AND the party of the first part, covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose.

Section: 3.60, Block: 21, Lot: 17

The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

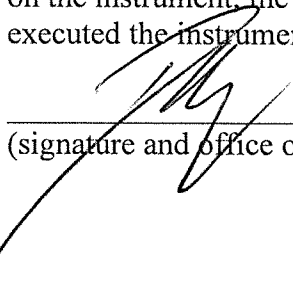

By: Hugh O'Toole, Trustee

IN PRESENCE OF:

Acknowledgment by a Person Within New York State (RPL § 309-a)

STATE OF CONNECTICUT)
COUNTY OF NEW HAVEN) ss.:

On the 1ST day of JUNE in the year 2021, before me, the undersigned, personally appeared **Hugh O'Toole as Trustee of the Anthony Vano and Elizabeth Vano 2006 Inter Vivos Trust**, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he executed the same in his capacity(ies), and that by his signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.


(signature and office of individual taking acknowledgment)

Duane M Gray
Notary Public, State of Connecticut
My Commission Expires Sept 30, 2024

Bargain and Sale Deed

Title No. RR-W-43516-21

Hugh O'Toole as Trustee of the
Anthony Vano and Elizabeth Vano
2006 Inter Vivos Trust
To
Petra Brambrink and Ansgar Brambrink

Section 3.60
Block 21
Lot 17

County or Town Westchester, Greenburgh
Street Address 20 Lyman Place
Dobbs Ferry, New York 10522

**RECORDED AT THE REQUEST OF
RECORD & RETURN TITLE AGENCY**

TITLE# RR-W-43516-21

THRU: ☐ AMT ☐ FA ☐ ORT
☒ STIC ☐ STG

Return By Mail To:



Record and Return Title Agency, Inc.
7 Dempsey Place
Eastchester, NY 10709

Reserve This Space For Use Of Recording Office

Section: 3.60, Block: 21, Lot: 17

SCHEDULE A

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the Village of Dobbs Ferry, Town of Greenburgh, County of Westchester and State of New York, known and designated as Lots Nos. 11 and 12 on a certain map entitled "Subdivision of Oradell Manor, Village of Dobbs Ferry, Town of Greenburgh, Westchester County, N.Y., made by Wulff Engineering Co., Tarrytown, N.Y.", dated April 1926 and filed in the Office of the Register, now Clerk, Division of Land Records of Westchester County, on July 23, 1926, as Map No. 3024, which said lots are more particularly bounded and described as follows:

BEGINNING at a point on the northerly side of Lyman Place at the intersection of the dividing line between Lots Nos. 12 and 13, as shown on said map, which point of beginning is distant 192 feet westerly from the corner formed by the intersection of said northerly side of Lyman Place with the westerly side of Luzern Road; thence running northerly and along said dividing line between Lots Nos. 12 and 13 as shown on said map, 115.58 feet, to property of Five Boroughs Realty Co.; thence running westerly along said property of the Five Boroughs Realty Co., on a course South 87 degrees 45 minutes 00 seconds West, 23.66 feet; thence running North 87 degrees 56 minutes 30 seconds West, 72.51 feet to the division line between Lots Nos. 10 and 11 as shown on said map; thence running southerly and along the division line between Lots Nos. 10 and 11, 110.70 feet to the said northerly side of Lyman Place; and thence running easterly along said northerly side of Lyman Place, 96 feet to the point or place of beginning.