

OUTDOOR LIVING AREA AT THE

F O S S N E R R E S I D E N C E

7 FAIRLAWN AVENUE, DOBBS FERRY, NY 10522

CHRISTINA GRIFFIN ARCHITECT

12 Spring Street, Hastings-on-Hudson, NY 10706



GENERAL NOTES

1. These documents remain the exclusive property of the Architect, and may not be used for any purpose whatsoever without written consent of the Architect.

2. All construction shall comply fully with the 2020 Residential code of NYS, local building code, fire department regulations, and all other agencies having jurisdiction over project.

3. Approved stamped set of building plans must be present on site for all inspections.

4. A current Westchester County licensed and insured contractor must be on file with current building permit until Certificate of Occupancy is issued. If contractor of record has been removed from the project, a stop work order will be issued until a new Westchester County licensed and insured contractor is retained.

5. General Contractor shall carry property damage insurance, public liability insurance, workman's compensation, auto insurance, and general liability as required by Federal, State, and Local Codes and as Owner requires.

6. Licensed electrician to file separate electrical permit.

7. Licensed plumber to file separate plumbing permit.

8. All health, safety, fire, zoning and environmental regulations shall be adhered to at all times by the Owner and/or occupant.

9. The contractor shall become familiar with conditions of the site, and the work as shown on the construction documents, prior to submitting a bid for construction.

10. Contractors shall coordinate all work procedures and working hours with local authorities, neighborhood associations, and any other governing authorities.

11. The contractor shall be responsible for providing all labor and materials to complete the project, in accordance with the construction documents, tested and ready for owner's use.

12. All indicated Survey material is for general reference only. The Architect assumes no responsibility for the accuracy or the correctness of any of the indicated material.
13. Contractors shall be responsible for protection of all existing and new conditions and materials with and adjacent to the construction area. Any damage caused by the execution of the work indicated or implied herein shall be repaired or replaced to the Owner's satisfaction.

14. All construction sites shall conform to the 2020 New York State Property Maintenance Code. All rubbish garbage and construction debris shall be disposed of in an onsite dumpster or removed off site immediately. Materials shall be stacked in orderly fashion as to not create a blight on the community. The village right of way must be kept clear and maintained at all times.

15. General contractor shall be responsible for the removal of construction debris, rubbish and offsite disposal in a responsible manner.

16. The contractor shall obtain all inspections, approvals and permits, and pay all necessary permit fees required by the local building department and all other agencies having jurisdiction over the project, such as plumbing, electrical & HVAC, except for the building permit, which shall be obtained by the Architect. The contractor shall obtain the certificate of occupancy for the project when construction is complete.

17. Contractor shall keep work site free from debris and accumulated refuse, and shall have sole responsibility for protecting all dangerous areas from entry by unauthorized parties.

18. Drawings may be rough scaled for estimating and general purposes, but are not to be scaled for construction locations, dimensions, or any other purposes. Dimensions shown shall govern over measurements scaled from plans. Wall dimensions are given to finished surfaces. Contractor to consult with the Architect for questions regarding final dimensions and locations.

19. All dimensions and conditions shown and assumed on the drawings must be verified at the site by contractor
20. Contractor is to design and install adequate and code approved shoring and bracing where needed to safely complete structural work. Contractor to assume full and sole responsibility for structural adequacy of the shoring and for any injuries, damages, cracks, or defects caused by shoring or bracing, and shall repair all such damage at his sole expense.

21. The Architect is not responsible for workmanship, construction methods, or any omissions or deviations from the drawings during construction.

22. Materials and products indicated on drawings shall be installed in accordance with manufacturer's requirements.

23. The drawings and notes are intended to be complete. Should anything be omitted from the drawings necessary to the proper construction of the work herein described, it shall be the duty of the contractor to notify the Architect. The builder shall visit the site and inform the Architect of any discrepancies of field conditions that may interfere with the total completion of all work included within the contract and verify all conditions prior to the ordering of materials and the start of construction.

24. Minor details not usually shown or specified, but necessary for proper and acceptable construction, installation or operation of any part of the work shall be included in the work the same as specified or indicated.

25. The contractor shall supervise and direct the work using his best skill and attention, he shall be solely responsible for all construction means, methods, sequences and procedures and for coordination of all portions of the work.

26. The use of the words "provide" or "provided" in connection with any item specified is intended to mean that such item be furnished and installed and connected where required.

27. Contractor shall maintain a sealed enclosure between work area and other areas of the residence. In addition,
28. The contractor shall do all the cutting, fitting & patching that may be required to make several parts of the work come together properly, and to fit his work, and/or receive, or be received by the work of others, as shown, or as reasonably implied on the drawings.

29. New and existing work shall come together in a seamless fashion. All new or modified surfaces shall be finished including, but not limited to taping, spackling and priming.

30. All insulation to comply with the Energy Efficiency Certificate required by 401.3 2020 Energy Conservation Construction Code of New York, prepared by the Architect.

31. If blown or sprayed insulation used, Installer of insulation to submit insulation certification to include the installed thickness of the area covered and R-value of the installed thickness shall be listed on the certificate. The insulation installer shall sign, date and post the certificate in a conspicuous location on the job site per N1101.5 of the 2020 Residential Code of New York State and submit an original signed copy for the Building Departments records.

32. All work shall be guaranteed for one year after final payment. The general contractor is to furnish written guarantees on his work and all subcontractors work against defects resulting from the use of inferior materials, equipment, or workmanship as determined solely by the Architect. All such defects are to be replaced or repaired, complete with labor and materials, at no cost to owner.

33. Substitutions of equipment or materials other than those shown on the drawings or in the specifications shall be made only upon approval of the Architect or owner as noted on the drawings or in these specifications. The contractor shall submit his substitution for approval before releasing any order for fabrication and/or

- shipments. The Architect reserves the right to disapprove such substitution, provided in his sole opinion, the item offered is not equal or detailed on the drawings, which requires any redesign of the structure, partitions, piping, redesign, and all new drawings and detailing required therefore shall, with the approval of the Architect, be prepared by the contractor at his own expense.

34. All work shall be installed so that all parts required are readily accessible for inspection, operation, maintenance and repair. Minor deviations from the drawings may be made to accomplish this, but changes of magnitude shall not be made without prior written approval from the Architect.

35. Upon completion of the work, the entire project is to be completely cleaned and the site restored to existing condition, including but not limited to the following.

a) Complete sweeping of all areas, and removal of all rubbish and debris, except that caused by the owner or others doing N.I.C. work.

b) Removal of all labels from glass, fixtures, and equipment, etc. and spray cleaning of glass and mirrors.

c) Removal of stains, and paint from glass, hardware, finished flooring, cabinets, etc.

d) Final cleaning of all chrome and aluminum metal work.

e) Restoration of property by returning shrubs to original locations, filling of all ruts and raked topsoil and repairs to damaged blacktop.

36. Finish materials and paint colors shall be reviewed and approved by the homeowner.

37. The Architect assumes no responsibility for the accuracy, or correctness of any material or drawings prepared by others and provided to the Architect.
- Energy Notes R-Values & U-Factors
2020 Residential code of NYS - Climate Zone 4A

Required

Proposed

Ceiling

Wall

Glazing

Floor

R-49

R-20

0.32 U value

R-19

R-49

R-21

0.32 U value

R-19

Design Criteria:
5750 Degree Days
15% Maximum Glazing
R402.2.1 CEILINGS WITH ATTIC SPACES
* Installing R-38 over 100% of the ceiling area requiring insulation shall be deemed to satisfy the requirement for R-49 insulation wherever the full height of uncompressed R-38 insulation extends over the wall top plate at eaves.
Certification
I, Christina Griffin, Architect A.I.A., hereby states that I have prepared these plans and specifications to the best of my knowledge in compliance with all the requirements of the 2020 Residential code of NYS.

VILLAGE OF DOBBS FERRY REQUIREMENTS

1. Should rock blasting be required, a permit application in accordance with Chapter 125 - Blasting and Explosives of the Village of Dobbs Ferry must be submitted to the Village by the applicant for review/approval.

2. The Village Engineer may require additional erosion control measures if deepened appropriate to mitigate unforeseen siltation and erosion of disturbed soils.

3. As-built plans of the any proposed driveway and drainage improvements shall be submitted to the Village Engineer for review prior to issuance of Certificate of Occupancy.

Before the site plan is signed by the Chairman of the Planning Board, the applicant shall be required to post a performance bond or other type of acceptable monetary guaranty which shall be in an amount determined by the Planning Board and the Village Engineer and in a form satisfactory to the Village Attorney.

5. All exterior lighting shall conform with Village of Dobbs Ferry Zoning Code, Section 300-41.
- INSULATION AND FENESTRATION REQUIREMENT BY COMPONENT

CLIMATE ZONE	FENESTRATION U-FACTOR ^a	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION SHGC ^{c,e}	CEILING R-VALUE	WOOD FRAME WALL R-VALUE
4A	0.32	0.55	0.40	49	20 or 13+5 ^e
	MASS WALL R-VALUE ^f	FLOOR R-VALUE	BASEMENT ^g WALL R-VALUE	SLAB ^h R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
	8/13 ^(g)	19	10/13 ^(c)	10, 2FT ^(d)	10/13 ^(c)

a. R-values are minimums. U-factors and SHGC are maximums. Where insulation is installed in a cavity that is less than the label or design thickness of the insulation, the installed R-value of the insulation shall be not less than the R-value specified in the table.

b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.

c. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation on the interior of the basement wall. "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. Alternatively, compliance with "15/19" shall be R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home.

d. R-5 insulation shall be provided under the full slab area of a heated slab in addition to the required slab edge insulation R-value for slabs, as indicated in the table. The slab edge insulation for heated slabs shall not be required to extend below the slab.

e. Reserved.

f. Reserved.

g. Reserved.

h. Alternatively, insulation sufficient to fill the framing cavity and providing not less than an R-value of R-19.

i. The first value is cavity insulation, the second value is continuous insulation. Therefore, as an example, "13+5" means R-13 cavity insulation plus R-5 continuous insulation.

j. Mass walls shall be in accordance with Section R402.2.5. The second R-value applies where more than half of the insulation is on the interior of the mass wall.

DESIGN REQUIREMENTS for the 2020 RESIDENTIAL CODE OF NEW YORK STATE CLIMATIC & GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND DESIGN					SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			ICE SHIELD UNDERLAY REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.
	SPEED (MPH)	TOPO EFFECTS	SPECIAL WIND REGION	WIND BORNE DEBRIS ZONE	WEATHERING		FROST LINE DEPTH	TERMITES					
30 PSF	120-130 MPH	NO	YES	NO	B	SEVERE	42"	MODERATE TO HEAVY	YES	N/A	2000	51.6	
- INSULATION AND FENESTRATION REQUIREMENT BY COMPONENT
- | CLIMATE ZONE | FENESTRATION U-FACTOR ^a | SKYLIGHT ^b U-FACTOR | GLAZED FENESTRATION SHGC ^{c,e} | CEILING R-VALUE | WOOD FRAME WALL R-VALUE |
|--------------|------------------------------------|--------------------------------|---|-----------------------------------|--------------------------|
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| | MASS WALL R-VALUE ^f | FLOOR R-VALUE | BASEMENT ^g WALL R-VALUE | SLAB ^h R-VALUE & DEPTH | CRAWL SPACE WALL R-VALUE |
| | 8/13 ^(g) | 19 | 10/13 ^(c) | 10, 2FT ^(d) | 10/13 ^(c) |
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e. Reserved.

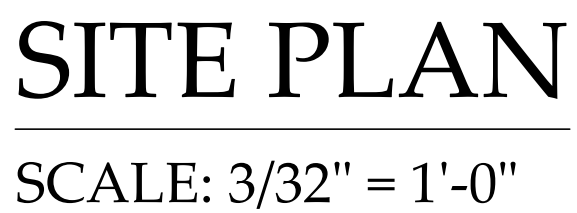
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- DESIGN REQUIREMENTS for the 2020 RESIDENTIAL CODE OF NEW YORK STATE CLIMATIC & GEOGRAPHIC DESIGN CRITERIA
- | GROUND SNOW LOAD | WIND DESIGN | | | | | SEISMIC DESIGN CATEGORY | SUBJECT TO DAMAGE FROM | | | ICE SHIELD UNDERLAY REQUIRED | FLOOD HAZARDS | AIR FREEZING INDEX | MEAN ANNUAL TEMP. |
|------------------|-------------|--------------|---------------------|------------------------|------------|-------------------------|------------------------|-------------------|-----|------------------------------|---------------|--------------------|-------------------|
| | SPEED (MPH) | TOPO EFFECTS | SPECIAL WIND REGION | WIND BORNE DEBRIS ZONE | WEATHERING | | FROST LINE DEPTH | TERMITES | | | | | |
| 30 PSF | 120-130 MPH | NO | YES | NO | B | SEVERE | 42" | MODERATE TO HEAVY | YES | N/A | 2000 | 51.6 | |
- DATES
- | | |
|----------------------------|---------|
| BUILDING PERMIT SUBMISSION | 7-15-21 |
| PLANNING BOARD SUBMISSION | 8-12-21 |
| AHRB SUBMISSION | 9-16-21 |
| PLANNING BOARD SUBMISSION | 9-29-21 |
- LIST of DRAWINGS
- | TITLE SHEET | GENERAL NOTES, CLIMATIC & GEOGRAPHIC CRITERIA, DATES, LIST OF DRAWINGS |
|--|--|
| S-1 | ZONING COMPLIANCE, LOCATION MAP, PHOTOGRAPHS OF EXISTING CONDITIONS |
| S-2 | SITE PLAN, STREETVIEWS |
| M-1 | EXTERIOR MATERIALS, COLOR SCHEME |
| M-2 | COLOR SCHEME, INSTALLATION EXAMPLES |
| A-1 | OUTDOOR AREA PLAN |
| A-2 | OUTDOOR KITCHEN PLAN |
| A-3 | EXTERIOR ELEVATIONS, FENCE DETAILS |
| A-4 | ROOF PLAN |
| E-1 | ELECTRICAL PLAN |
| L-1 | LANDSCAPE PLAN |
| DRAWINGS BY SESI CONSULTING ENGINEERS: | |
| W-1 | RETAINING WALL PLAN |
| W-2 | RETAINING WALL PROFILE |
| W-3 | RETAINING WALL DETAILS & NOTES |
| DRAWINGS BY HUDSON ENGINEERING: | |
| C-1 | STORMWATER MANAGEMENT PLAN |
| C-2 | DETAILS |





WEST ELEVATION

SCALE: 1/4" = 1'-0"



1. PATIO PAVERS /
SOAK POOL STONE
COPING -
THERMAL
BLUESTONE



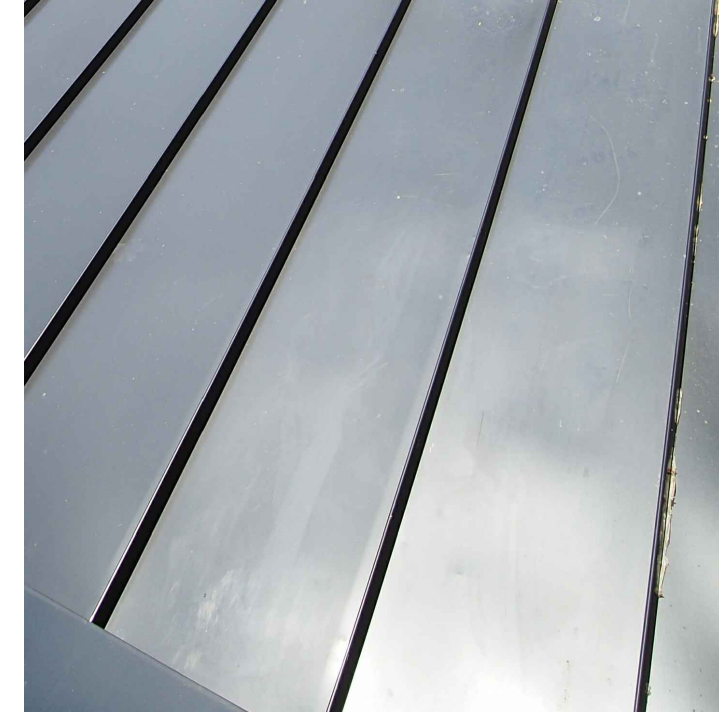
2. SOAK POOL SURROUND,
SARATOGA GRANITE BY
CHAMPLAIN STONE,
LEDGE CUT



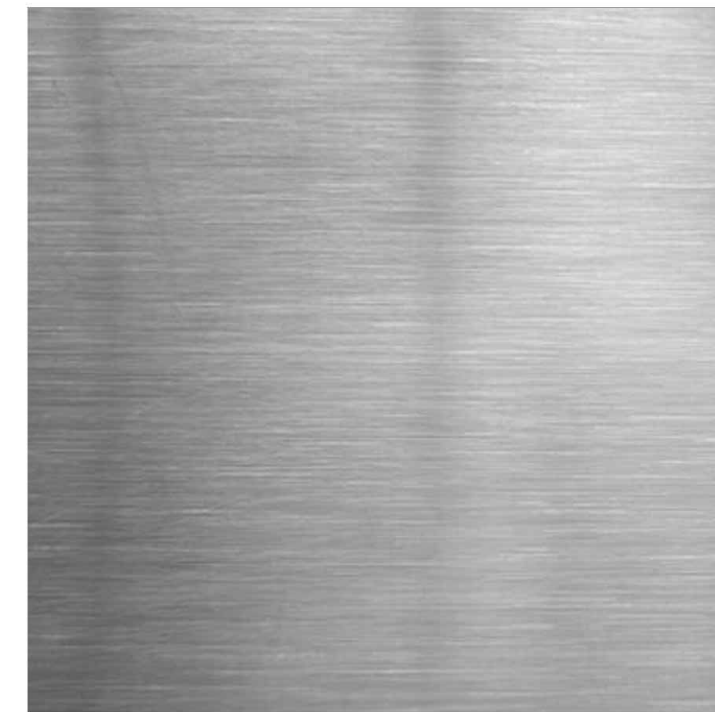
3. COLUMN ENCLOSURE,
BEAM ENCLOSURE,
FASCIA BOARD,
T & G PORCH CEILING,
EXIST. FENCE, SHIPLAP
FEATURE WALL -
CLEAR CEDAR,
STAIN FINISH



4. RECON CONCRETE
BLOCK GRAVITY WALL,
"OLD WORLD" FINISH



5. PAC-CLAD
STANDING SEAM
METAL ROOFING,
POWDERCOAT
GRAPHITE FINISH



6. OUTDOOR KITCHEN
APPLIANCES / CABINETS
BY ALFRESCO -
STAINLESS STEEL FINISH



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Date: DESIGN DWGS. 3-16-21
DATE SUBMITTED FOR PERMIT 8-12-21
DATE SUBMITTED FOR PLANNING BOARD 9-16-21
PLANNING BOARD SUBMISSION 9-26-21

Drawings Title: MATERIALS COLOR SCHEME

Scale: AS SHOWN

OUTDOOR LIVING AREA AT THE
FOSSNER RESIDENCE
7 FAIRLAWN AVE., DOBBS FERRY, NY 10522

M-1



SOUTH ELEVATION

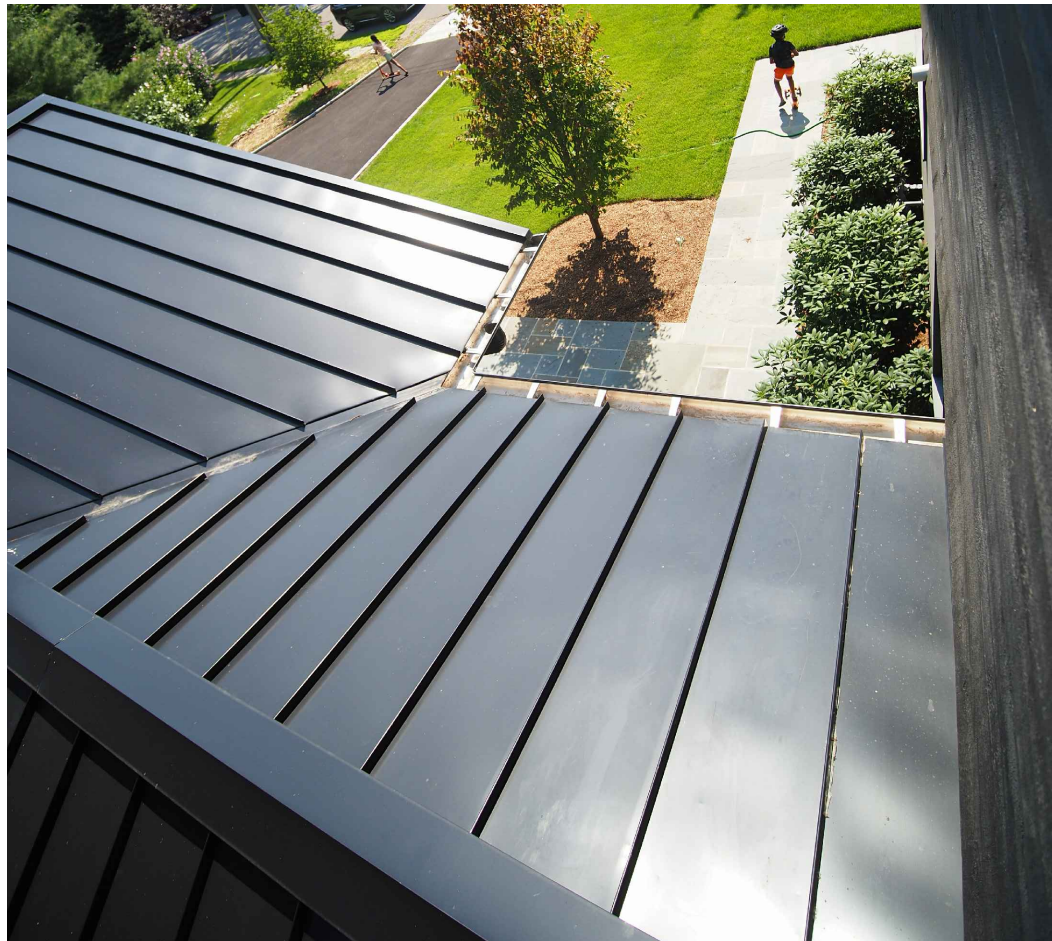
SCALE: 1/4" = 1'-0"



RAISED SOAK POOL WITH STONE SURROUND, THERMAL BLUESTONE COPING



RECON CONCRETE BLOCK GRAVITY WALL, 'OLD WORLD TEXTURE'



PAC-CLAD STANDING SEAM METAL ROOFING (GRAPHITE FINISH PROPOSED, MATTE BLACK SHOWN)



SARATOGA GRANITE BY CHAMPLAIN STONE, LEDGE CUT

MATERIAL INSTALLATION EXAMPLES

SCALE: NTS



EAST ELEVATION

SCALE: 1/4" = 1'-0"

OUTDOOR LIVING AREA AT THE
FOSSNER RESIDENCE
7 FAIRLAWN AVE., DOBBS FERRY, NY 10522

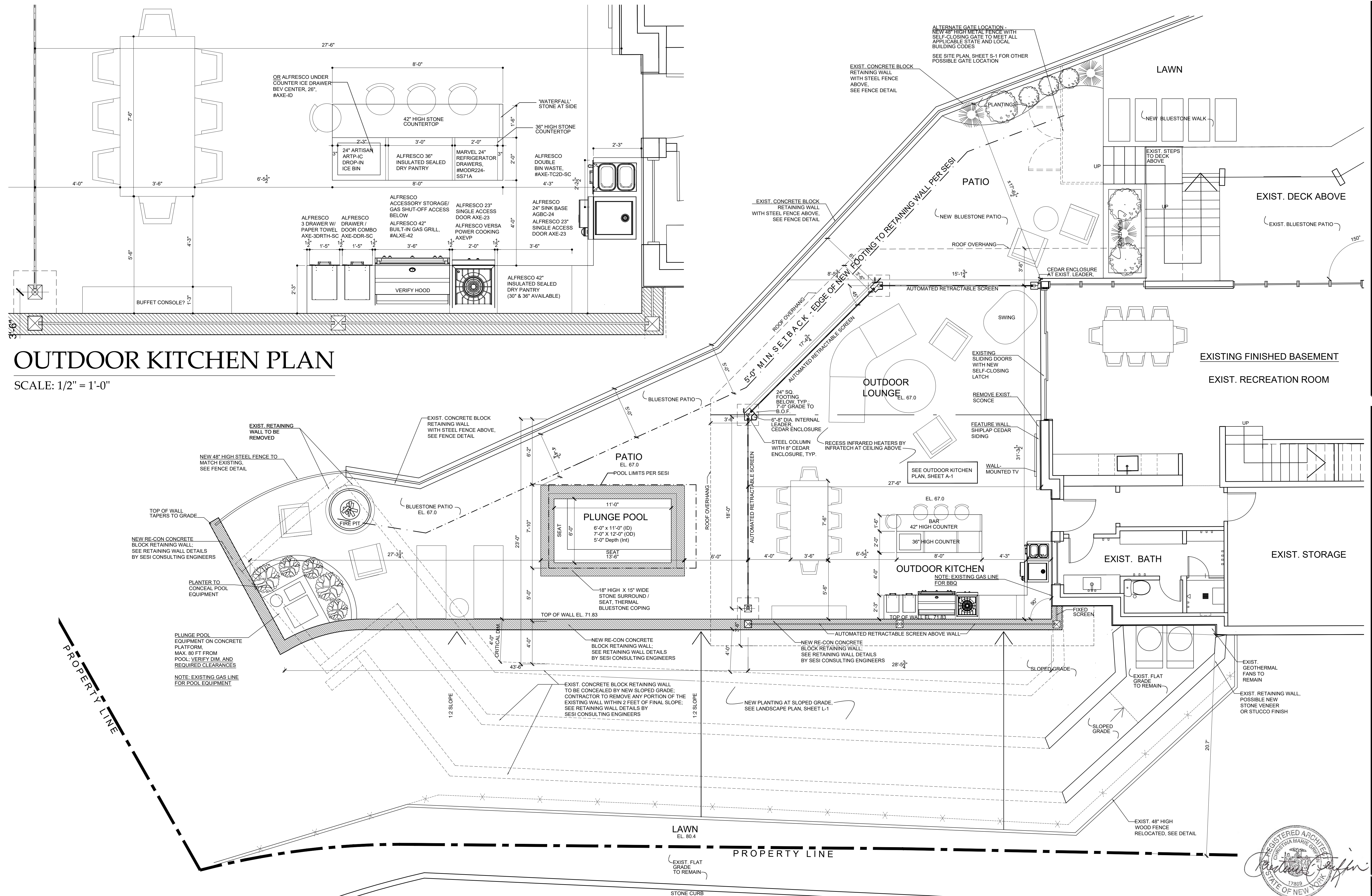
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Date: 3-16-21
DESIGN DWGS. 3-16-21
COLOR SCHEME 7-7-21
PLANNING BOARD SUBMISSION 8-12-21
DATE SUBMITTED 9-16-21
PLANNING BOARD SUBMISSION 9-29-21

Scale: AS SHOWN



M-2



FOSSNER RESIDENCE
7 FAIRLAWN AVE., DOBBS FERRY, NY 10522

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DESIGN DWGS 3-24-21
DESIGN DWGS 6-10-21
DESIGN DWGS 7-7-21
BUILDING PERMIT SUBMISSION 7-15-21
PLANNING BOARD SUBMISSION 8-12-21
AHRB SUBMISSION 9-16-21
PLANNING BOARD SUBMISSION 9-23-21

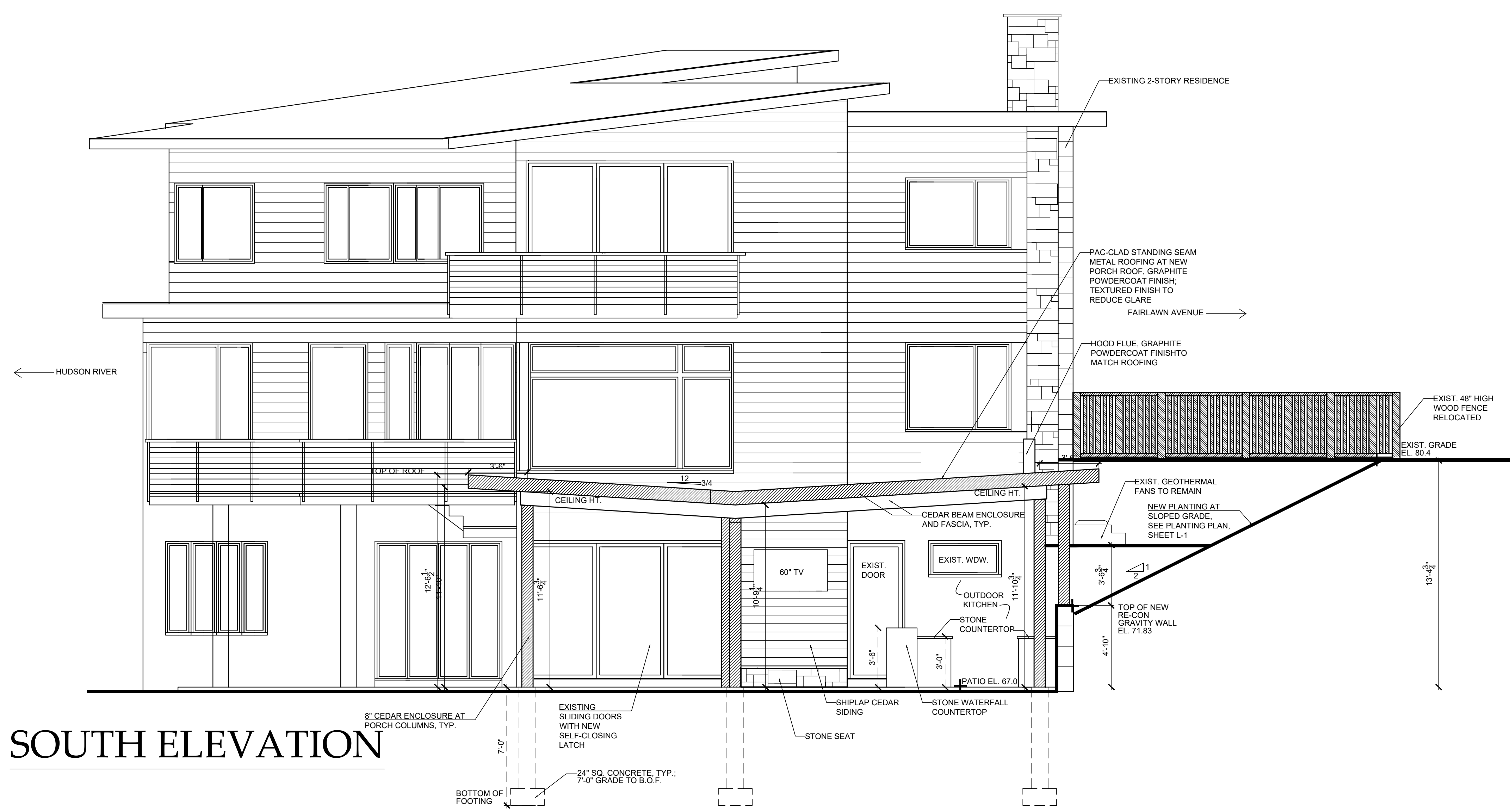
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AS SHOWN

Scale:
AS SHOWN

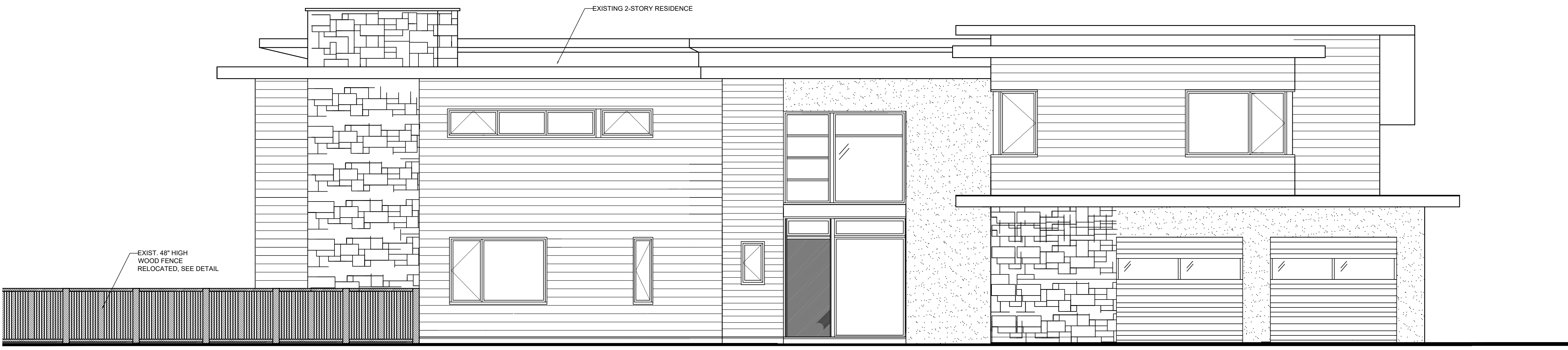
A-1

OUTDOOR AREA PLAN

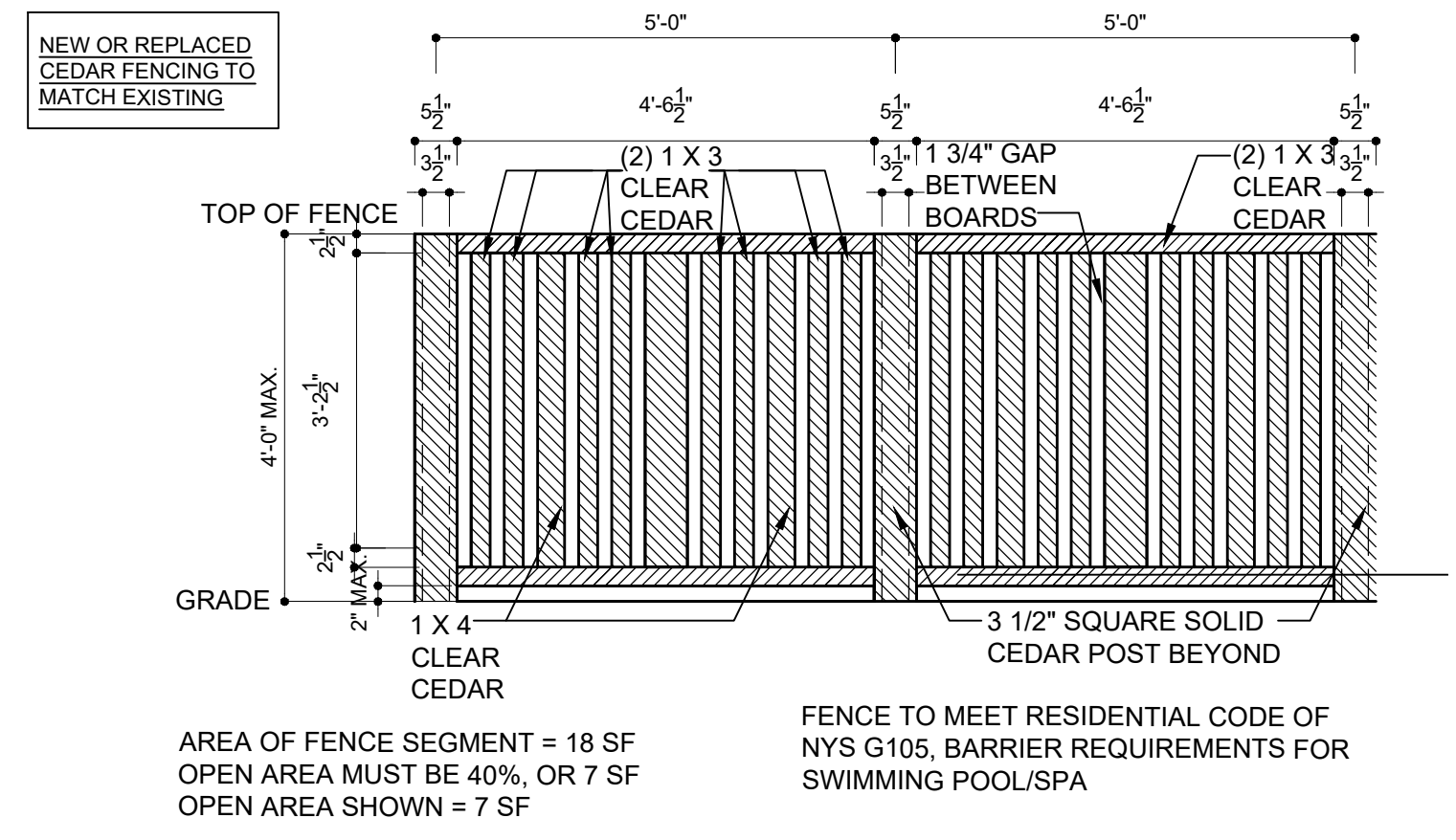
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION



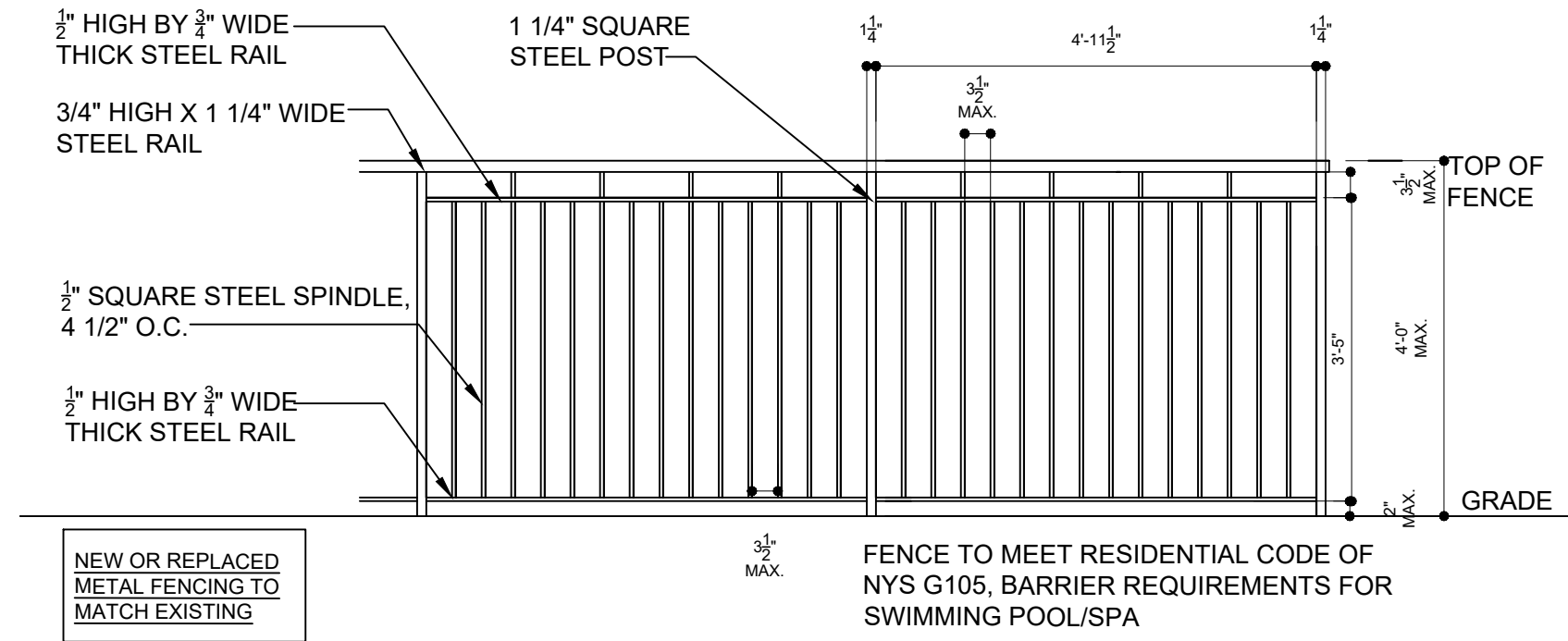
EAST ELEVATION



CEDAR FENCE DETAIL

SCALE: 1/2" = 1'-0"

ALL STEEL TO HAVE A FACTORY-APPLIED PAINT FINISH, DARK BRONZE TO BE APPROVED BY OWNER



METAL FENCE DETAIL

SCALE: 1/2" = 1'-0"

OUTDOOR LIVING AREA AT THE
FOSSNER RESIDENCE
7 FAIRLAWN AVE., DOBBS FERRY, NY 10522

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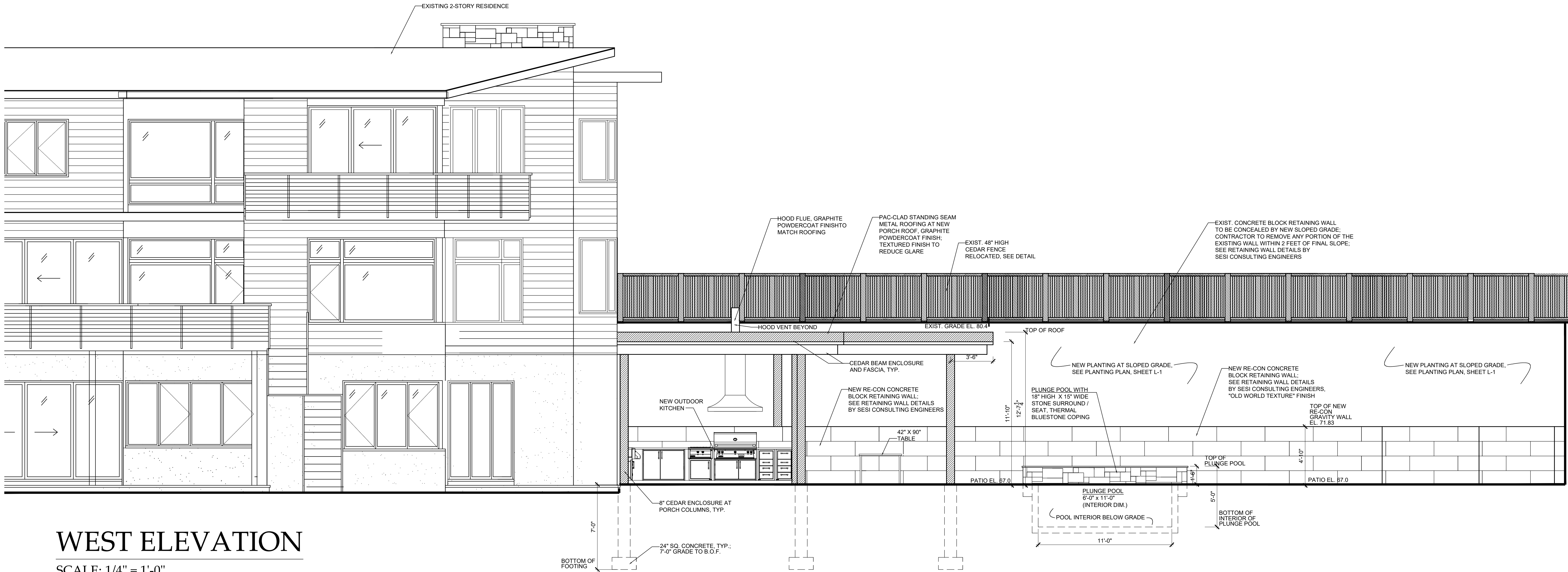
Design Title
EXTERIOR ELEVATIONS

Date
3-16-21

DESIGN DWGS. 3-16-21
PERMIT SUBMISSION 8-12-21
PLOT SUBMISSION 10-16-21
PUNCHING DIMENSIONS 10-16-21

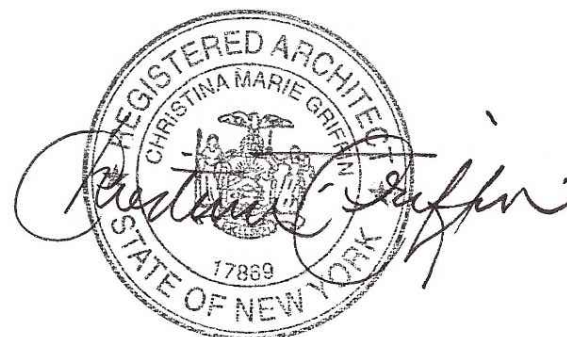
Scale:
AS SHOWN





WEST ELEVATION

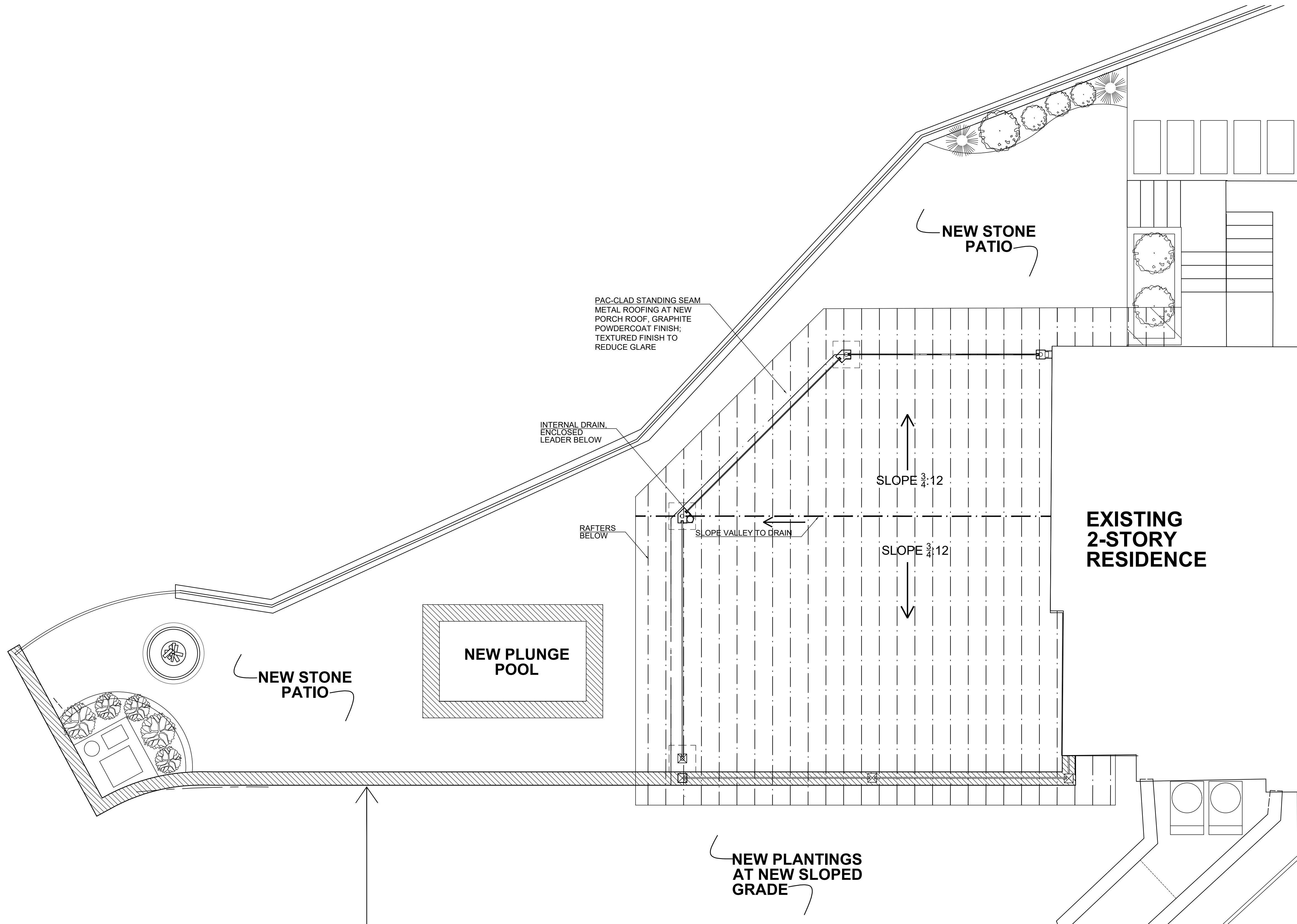
SCALE: 1/4" = 1'-0"



Drawing Title EXTERIOR ELEVATIONS	Date
	DESIGN DWGS. 3-16-21
	DESIGN DWGS. 7-7-21
	ATRE SUBMISSION 8-12-21
	ATRE SUBMISSION 9-16-21
Scale: AS SHOWN	PLANNING BOARD SUBMISSION 3-24-21

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OUTDOOR LIVING AREA AT THE
FOSSNER RESIDENCE
7 FAIRLAWN AVE., DOBBS FERRY, NY 10522

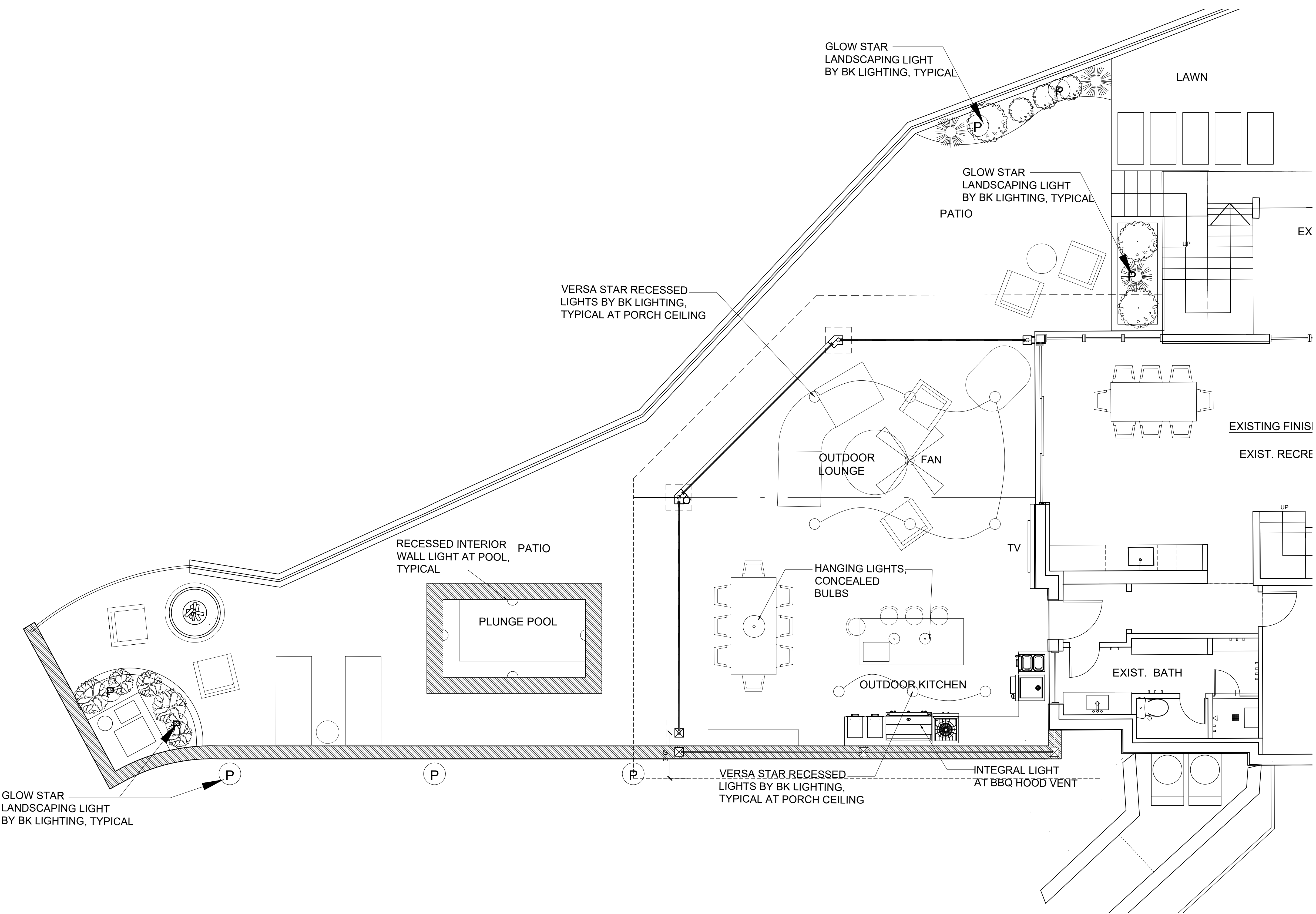


ROOF PLAN
SCALE: 1/4" = 1'-0"



Drawing Title ROOF PLAN	Date PLANNING BOARD SUBMISSION 9-28-21	Christina Griffin Architect PC 10 Spring Street Hastings-on-Hudson, New York 10706 914.478.0799 www.christinagriffinarchitect.com
	Scale: AS SHOWN	

OUTDOOR LIVING AREA AT THE
FOSSNER RESIDENCE
7 FAIRLAWN AVE., DOBBS FERRY, NY 10522



ELECTRICAL PLAN - EXTERIOR LIGHT FIXTURES

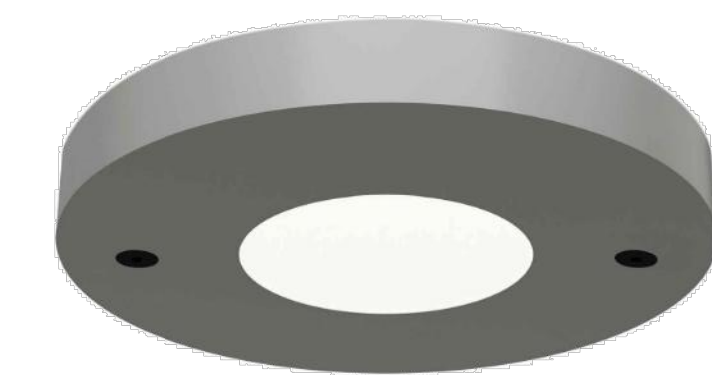
SCALE: 1/4" = 1'-0"

ELECTRICAL LEGEND

	DUPLEX		HARDWIRED SMOKE DETECTOR
	QUAD OUTLET		MONOXIDE DETECTOR
	BRASS FLOOR OUTLET		HEAT DETECTOR
	DIRECT LINE		SPEAKER OUTLET
	TELEPHONE/DATA OUTLET		THERMOSTAT
	GROUND FAULT INTERRUPTER OUTLET		HARDWIRED DOOR BELL
	SWITCH		GRADE LEVEL LANDSCAPE LIGHT
	DIMMER		FLOOD LIGHTS
	EXISTING		CAT5 TELEPHONE OUTLET
	RECESSED LT FIX		CAT5 COMPUTER OUTLET/ RJ6 RECEPTACLE
	LED 3" DIA. RECESSED LT. FIXTURE		HVAC GRILLE
	LED 3" DIA. ADJUSTABLE RECESSED LT. FIXTURE		ADJUSTABLE RECESSED LIGHT FIXTURE
	TRACK LT FIX		RECESSED SHOWER LIGHT FIXTURE
	CLG MTD LT FIX		UNDER CAB. LT FIX
	WALL MTD LT FIX		UNDER CAB. LT FIX
	PORCELAIN LT FIX		FLUORESCENT LT FIX
	PENDANT LT FIX		CEILING FAN
	LOW VOLTAGE PENDANT LT FIX		CEILING FAN W/ LT FIX
	EXHAUST FAN		
	GRADE LEVEL, LOW VOLTAGE LT. FIX WIRE TO 300 WATT TRANSFORMER		
	EXHAUST FAN/ LT FIX		



GLOW STAR LANDSCAPE LIGHT BY BK LIGHTING, STYLE "K"
2 1/2" DIAMETER, 6 3/4" HIGH
SATIN BRONZE FINISH



VERSAR STAR RECESSED LIGHT BY BK LIGHTING, 5" DIAMETER, SATIN BRONZE FINISH

CHRISTINA GRIFFIN ARCHITECT

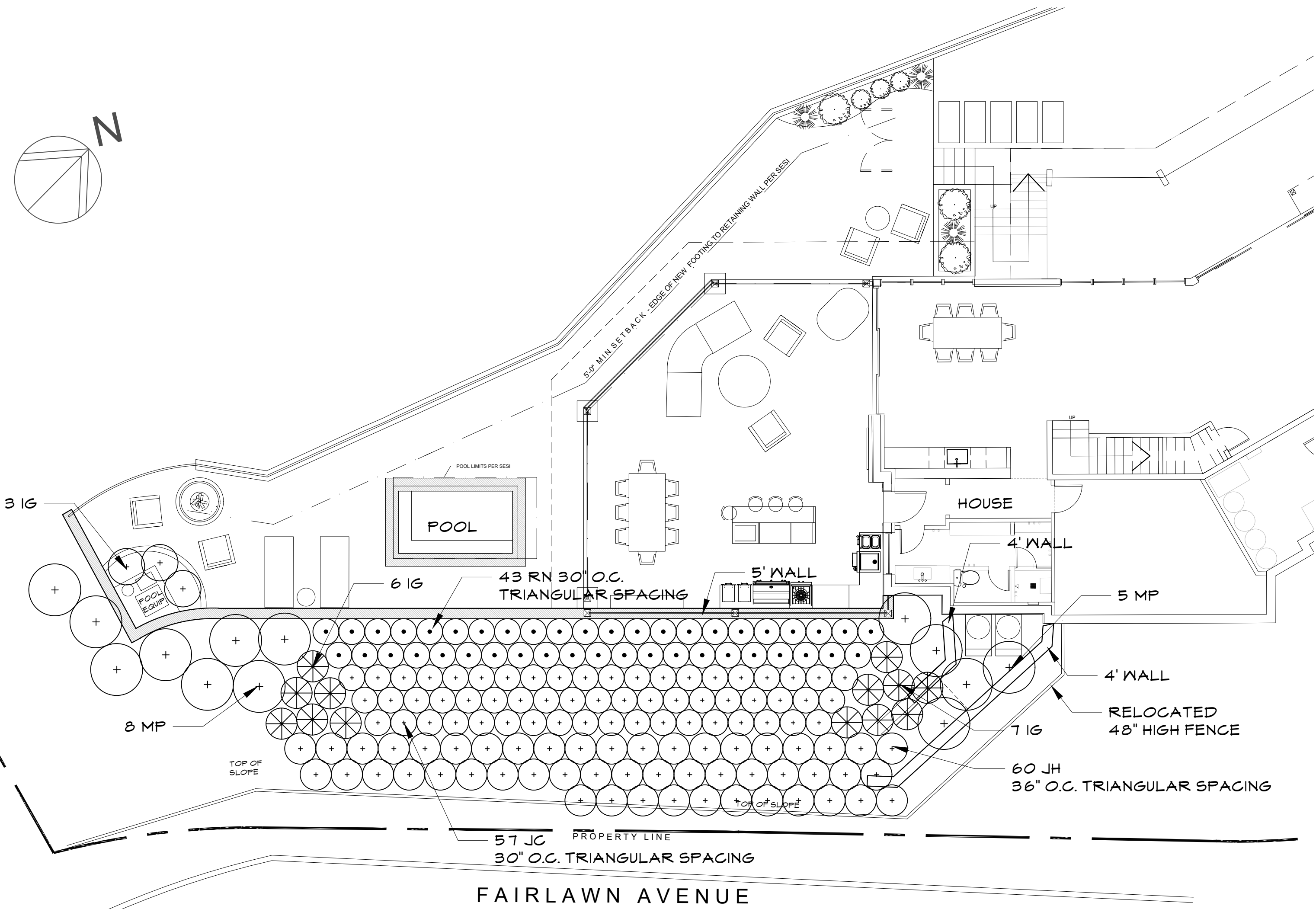
10 Spring Street
Hastings-on-Hudson, New York 10706
914.478.0799
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Date: 9-16-21
Drawing Title: ELECTRICAL PLAN

Scale: AS SHOWN

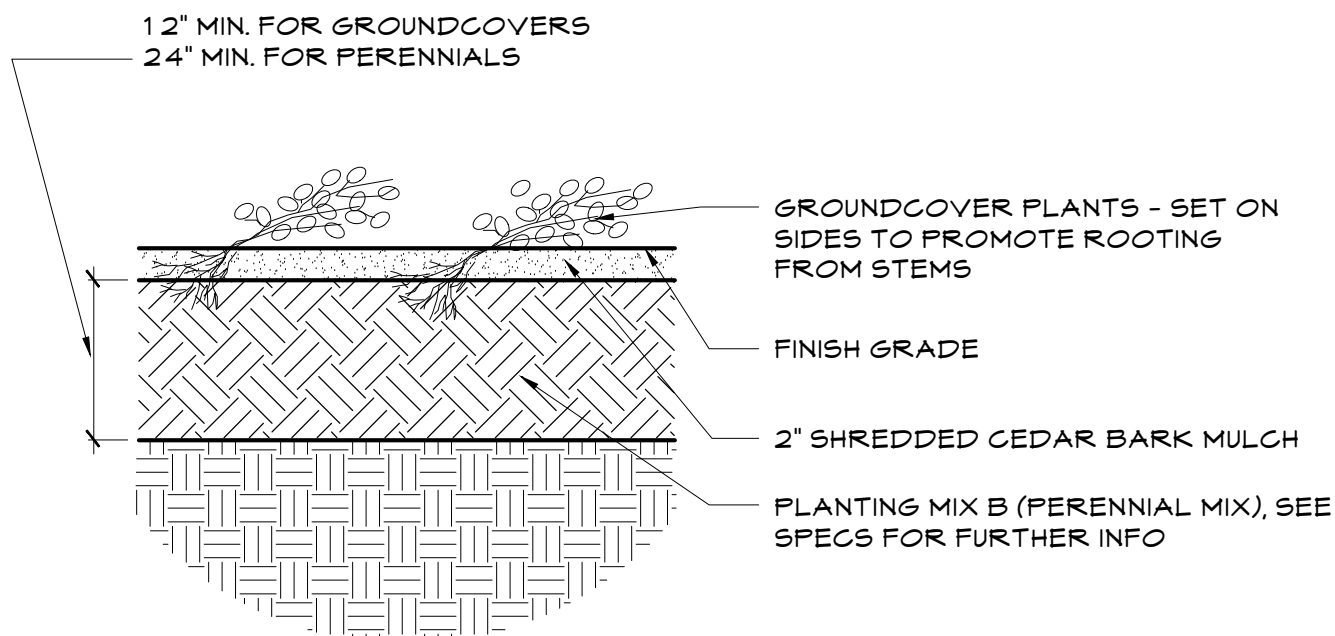


E-1

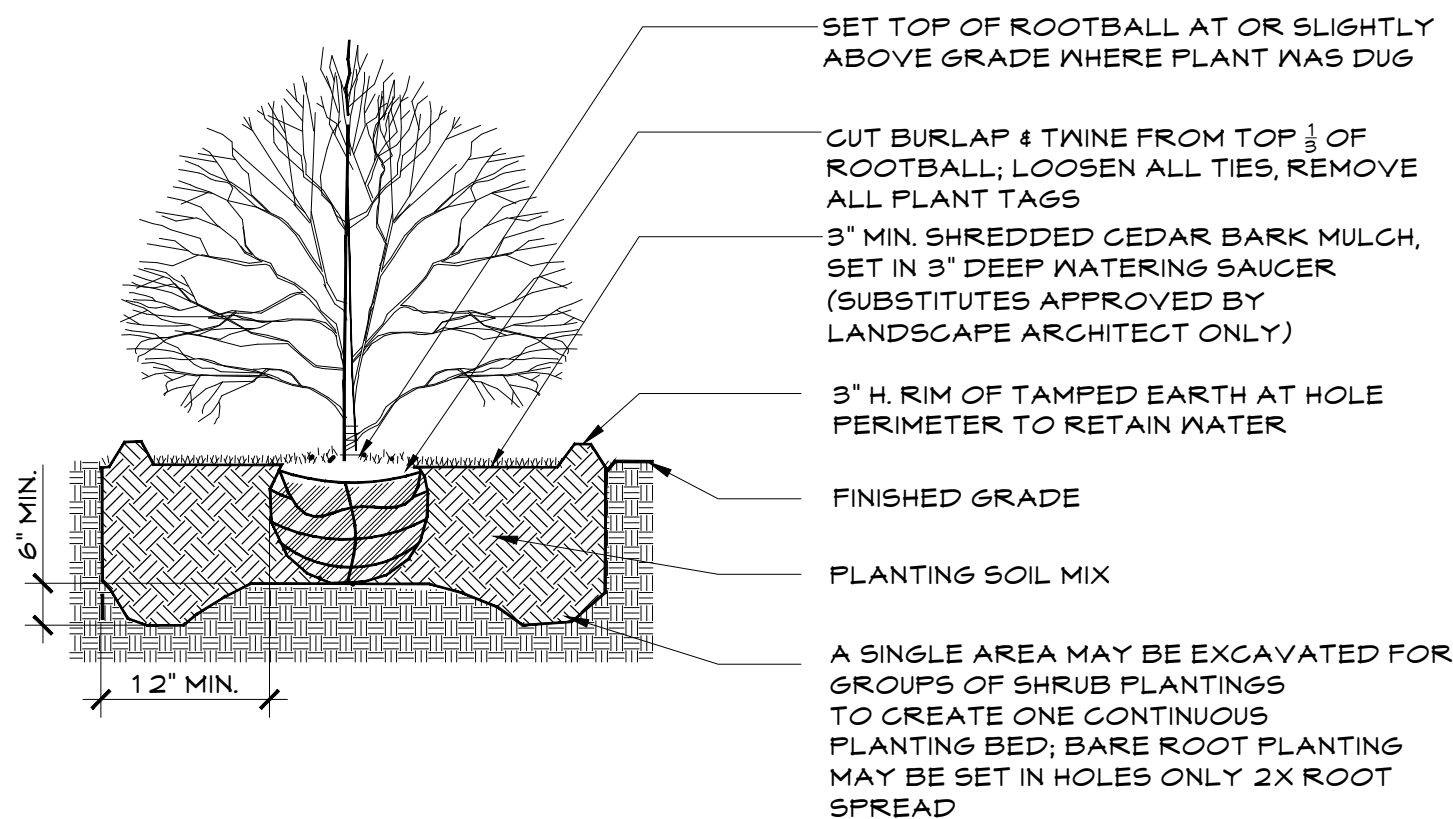


1 PLAN
SCALE: 3/8" = 1'-0"

PLANT LIST					
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
16	IG	Ilex glabra 'Compacta'	Compact Inkberry	7 GAL.	Container
57	JC	Juniperus conferta 'Blue Pacific'	Blue Pacific Juniper	3 GAL.	Container
60	JH	Juniperus horizontalis 'Plumosa'	Creeping Juniper	7 GAL.	Container
5	KL	Kalmia latifolia	Mountain Laurel	7 GAL.	Nursey-grown, Container
8	MP	Myrica pensylvanica	Northern Bayberry	4'-5' HT	B&B
43	RN	Rosa x 'Noala'	Coral Flower Carpet® Rose	2 GAL.	Container

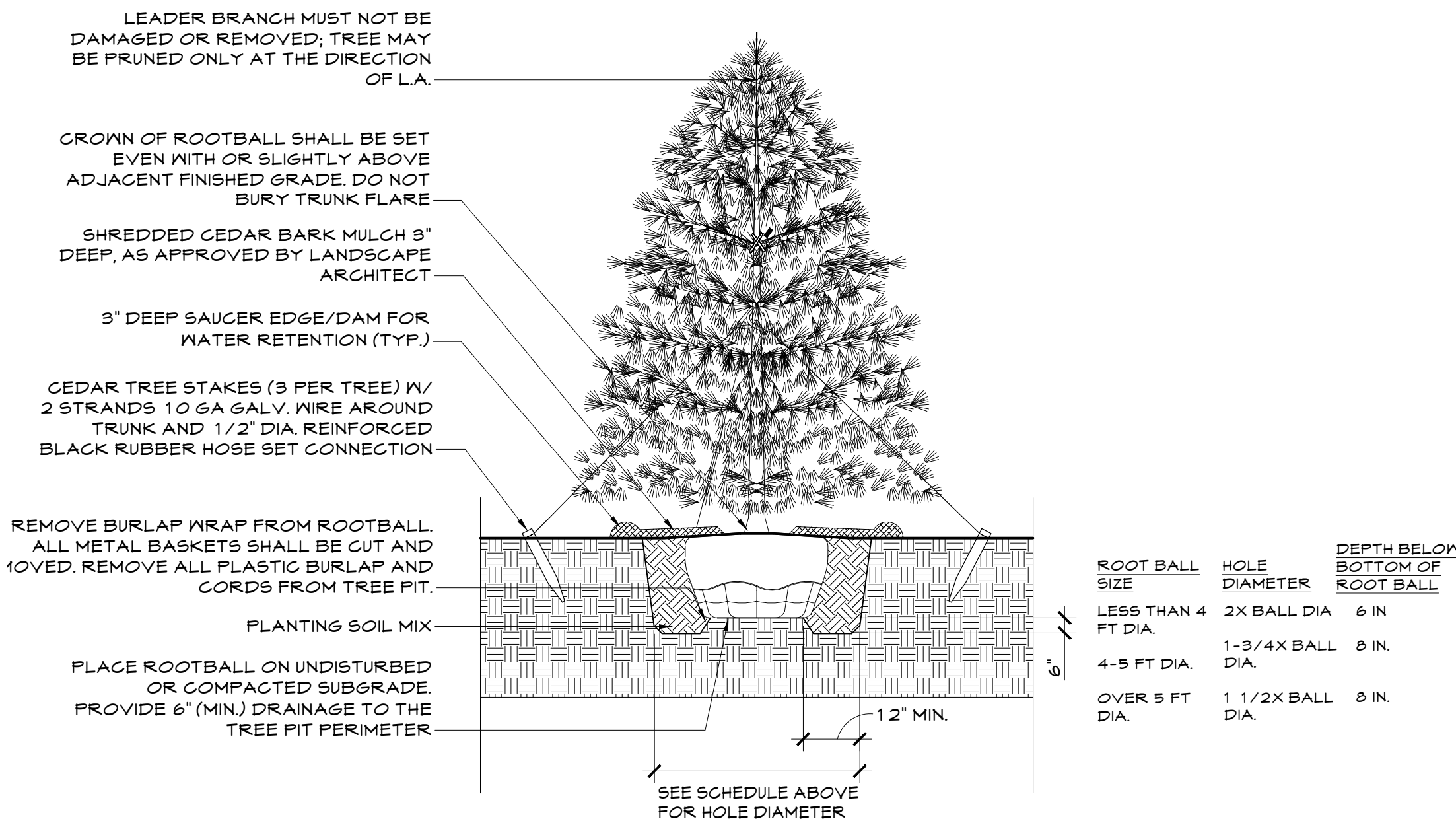


2 GROUNDCOVER /PERENNIAL PLANT BED
SCALE: 1/2" = 1'-0"



3 SHRUB PLANTING
SCALE: 1/2" = 1'-0"

- PLANTING NOTES:
1. Use extreme caution to protect utilities.
 2. All plant material shall be nursery grown unless otherwise noted.
 3. The contractor shall familiarize himself with the location of mechanical equipment and utilities existing or proposed in the area to be planted and shall, where necessary, relocate plants at the direction of the Landscape Architect.
 4. Quantities given in the plant list are for reference only. The contractor shall verify all quantities shown on the list and shall be responsible for furnishing all materials required to complete the plans.
 5. The contractor shall verify all grades, dimensions, and existing conditions and report any discrepancies to the Landscape Architect.
 6. Locations of new plants shall be staked by the contractor and approved by the landscape architect before proceeding with the work.
 7. All plants shall be subject to the Landscape Architect's inspection and approval at the nursery and at the site before any planting work is begun.
 8. All beds and tree saucers and other areas noted shall receive 2 inch (minimum) of approved mulch (shredded cedar).
 9. Contractor shall guarantee all plant material for one year from time of Landscape Architect's final written approval.
- Top soil mix shall include:
3 parts screened topsoil
1 part sand
1 part humus
5 lbs. Superphosphate per cu. Yd. of mix
10. Contractor responsible for restoring all areas disturbed due to planting operations.



4 EVERGREEN TREE PLANTING
SCALE: 1/2" = 1'-0"

General Notes

2	Planning Board Resubmission	9/29/21
1	Planning Board Submission	8/12/21
No.	Revision/Issue	Date

IQ

Imbiano -Quigley
Landscape Architects
31 Mamaroneck Ave
White Plains, New York 10601
admin@iqlandscape.com
(914) 232-0200

Project Name

Fossner Residence
7 Fairlawn Avenue
Dobbs Ferry, NY, 10522

Drawing Title

Planting Plan

Scale
1/8" = 1'-0"

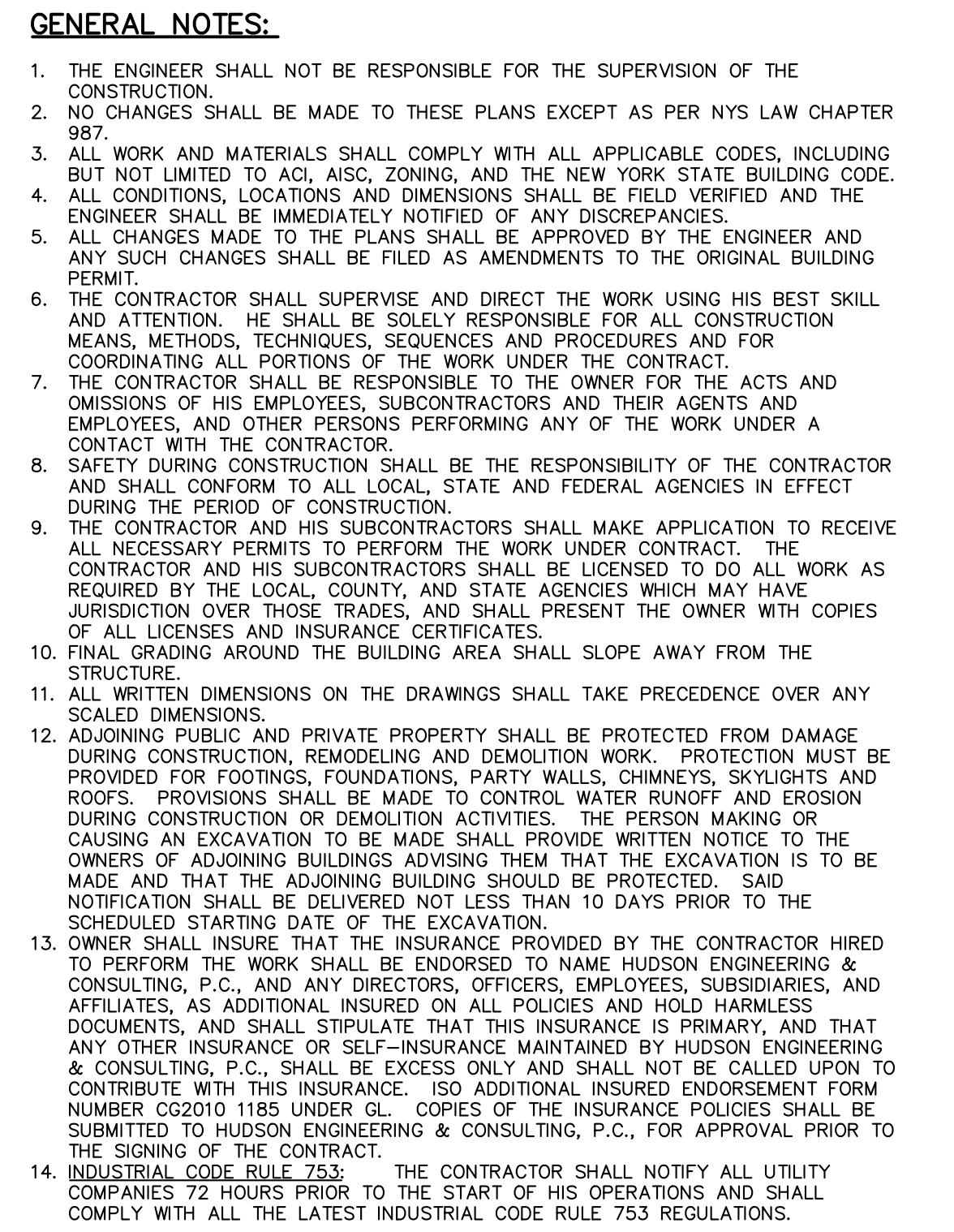
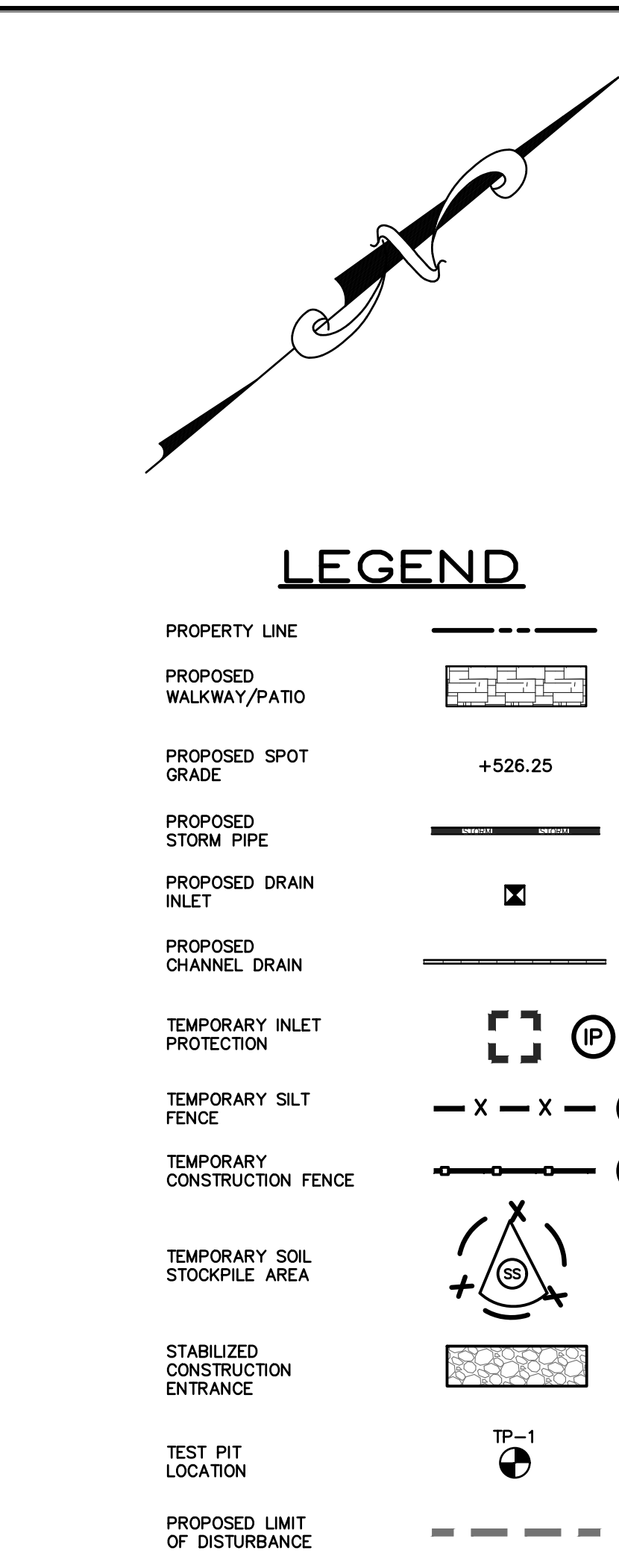
Date
September 29, 2021

Drawn By
AM

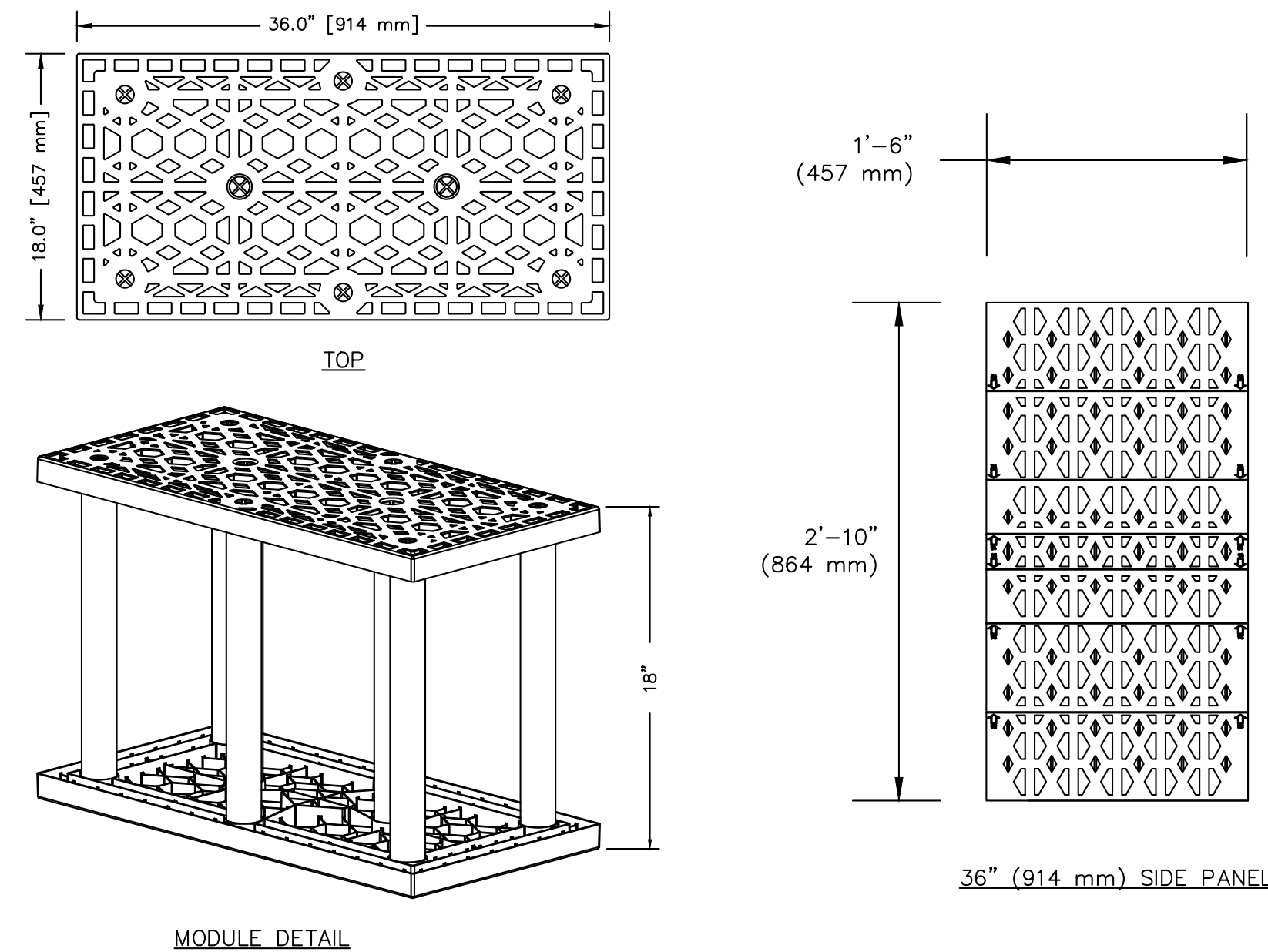
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Sheet No.

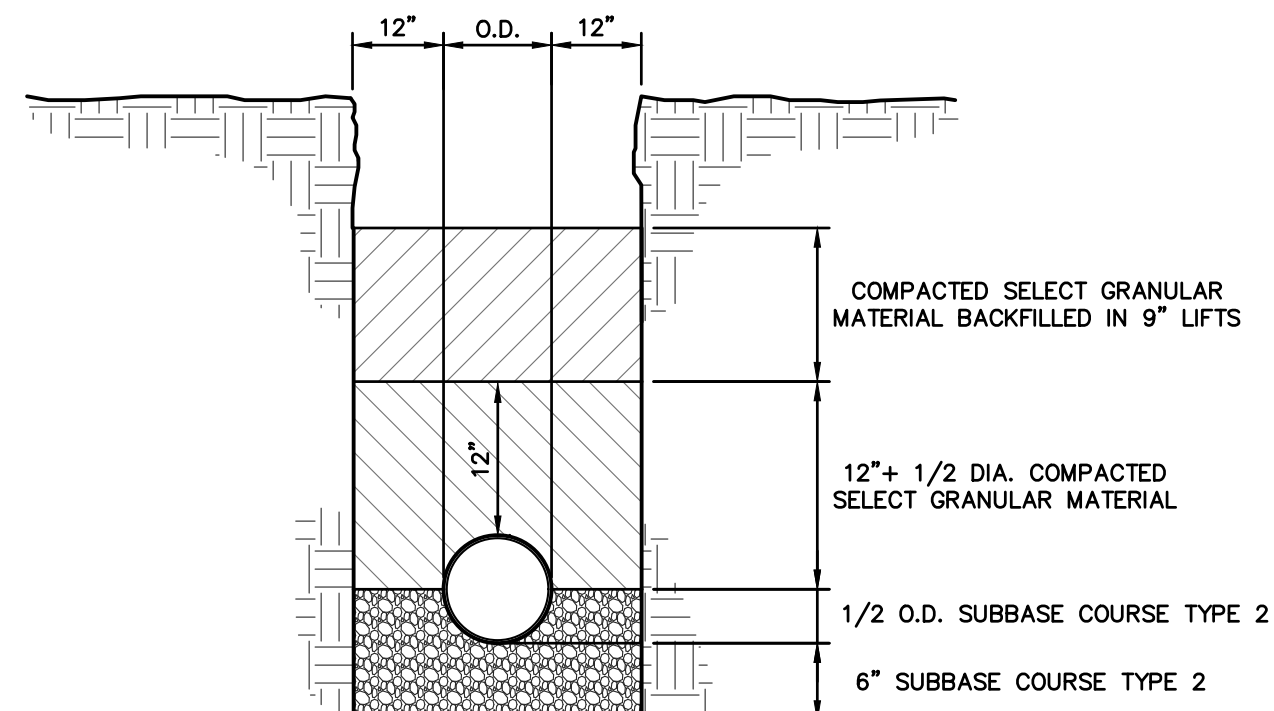
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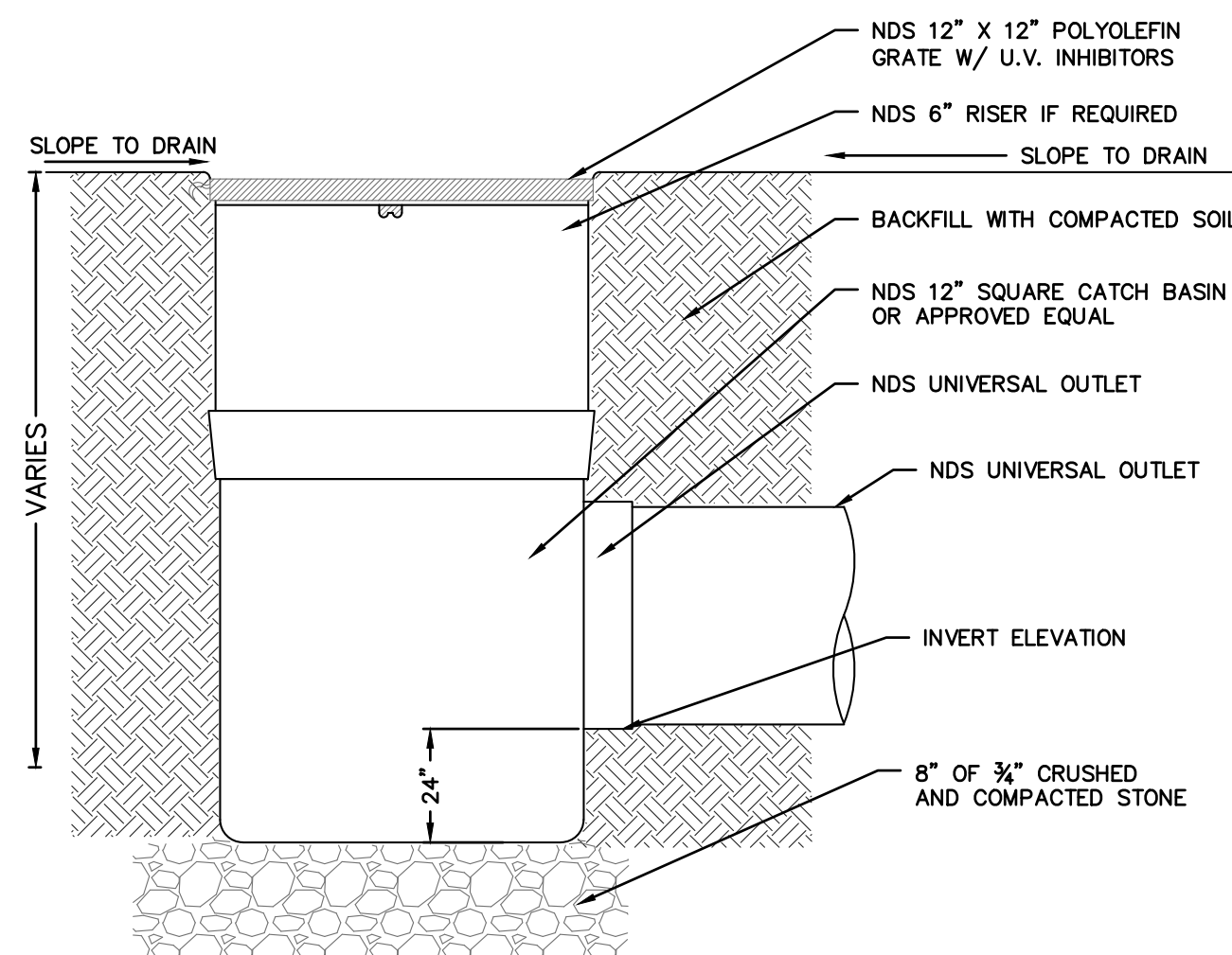
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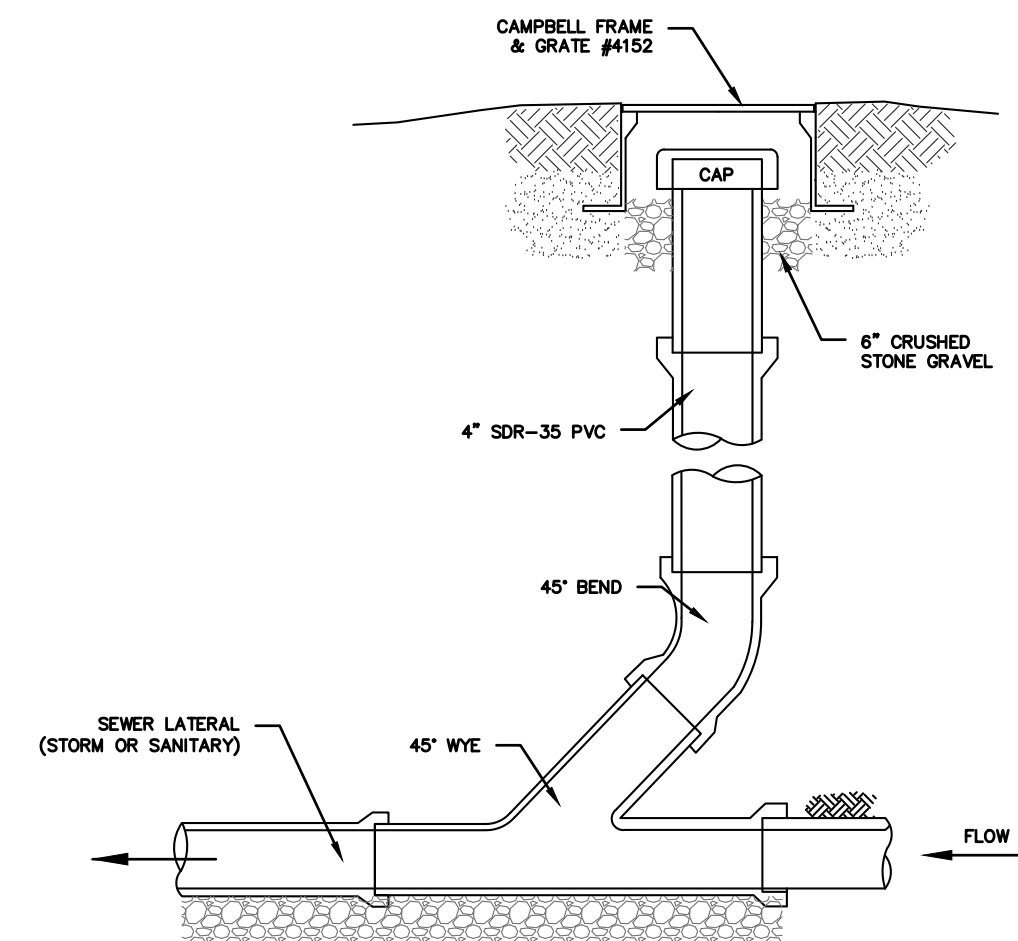
STORMTANK MODULE DETAILS



TRENCH BEDDING



NDS SQUARE CATCH BASIN



NOTES (SANITARY SEWER SERVICES):

1. ALL SANITARY SEWER SERVICES TO BE 4" SCH. 40 @ 1.0% MINIMUM.
2. IN ACCORDANCE WITH THE NYS RESIDENTIAL BUILDING CODE, THE FOLLOWING REQUIREMENTS APPLY:
 - A. CLEANOUTS SHALL BE INSTALLED NOT MORE THAN 100 FEET APART IN HORIZONTAL PLANE.
 - B. CLEANOUTS SHALL BE INSTALLED AT EACH CHANGE OF DIRECTION OF THE DRAINAGE SYSTEM GREATER THAN 45 DEGREES.
 - C. CLEANOUTS SHALL BE LOCATED SUCH THAT THE CLEANOUT OPENS TO ALLOW CLEANING IN THE DIRECTION OF THE FLOW OF THE DRAINAGE LINE (P3005.2.B).
- NOTES (STORM SEWER)
 1. CLEANOUTS SHALL BE 6" SCH. 40 FOR SPECIFIC PIPE SIZING AND SLOPE SPECIFICATIONS; HOWEVER, IN GENERAL, ALL STORM SEWER SERVICES TO BE 6" SCH. 40 @ 1.0% MINIMUM.
 2. CLEANOUTS SHALL BE PLACED BEFORE SIGNIFICANT PIPE BEND LOCATIONS (I.E., JUNCTIONS, 90-DEGREE BENDS, ETC.) UNLESS A ROOF LEADER DOWNSPOUT CONNECTION IS REQUIRED.

(STORM OR SANITARY)



1. THE WASHOUT SHALL BE INSTALLED PRIOR TO USING MATERIALS THAT REQUIRE WASHOUT ON THIS PROJECT.
2. AS NECESSARY, SIGNS SHALL BE PLACED THROUGHOUT THE SITE TO INDICATE THE LOCATION OF THE WASHOUT.
3. THE WASHOUT SHALL BE REPLACED AS NECESSARY TO MAINTAIN CAPACITY FOR LIQUID WASTE.
4. WASHOUT RESIDUE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED WASTE FACILITY.
5. DO NOT WASHOUT INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS.
6. AVOID DUMPING EXCESS CONCRETE IN NON-DESIGNATED DUMPING AREAS.
7. LOCATE WASHOUT AT LEAST 50' (15 METERS) FROM STORM DRAIN, OPEN DITCHES, OR WATER BODIES.
8. THE WASHOUT SHALL BE USED ONLY FOR NON-HAZARDOUS WASTES.

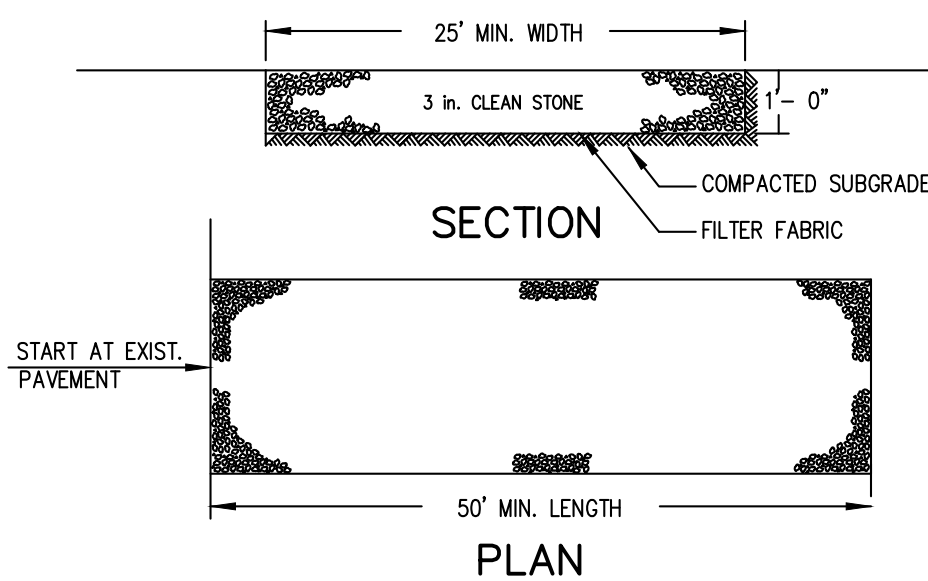
SOIL STOCKPILING



INSTALLATION NOTES:

1. AREA CHosen FOR STOCKPILE OPERATIONS SHALL BE DRY AND STABLE.
2. SOILS OR FILL TO BE STOCKPILED ON SITE DURING CUTTING AND FILLING ACTIVITIES SHOULD BE LOCATED ON LEVEL PORTIONS OF THE SITE WITH A MINIMUM OF 50-75 FOOT SETBACKS FROM TEMPORARY DRAINAGE CHANNELS.
3. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
4. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
5. SEEDING SHALL BE CONSIDERED IN PLACE FOR STOCKPILES OF 1000 CUBIC YARDS OR MORE. SEEDING AND MULCHED OR COVERED WITH GEOTEXTILE FABRIC SURROUNDED BY SILT FENCE.
6. SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILT FENCE.

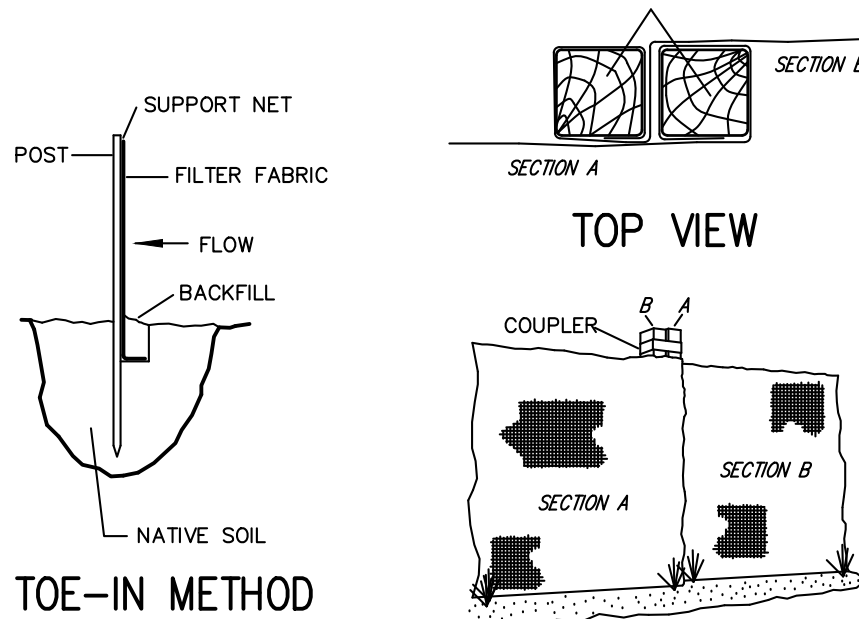
STABILIZED CONSTRUCTION ENTRANCE



INSTALLATION NOTES:

- [illegible]

SILT FENCE



JOINING SECTIONS OF FENCING

INSTALLATION NOTES:

1. EXCAVATE A 4 INCH * 4 INCH TRENCH ALONG THE LOWER PERIMETER OF THE SITE.
2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH (NET SIDE AWAY FROM DIRECTION OF FLOW).
3. PULL THE NETTING INTO THE GROUND UNTIL THE NETTING IS APPROXIMATELY 2 INCHES FROM THE TRENCH BOTTOM.
4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. STEEPER SLOPES REQUIRE AN INTERCEPT TRENCH.
5. JOIN SECTIONS AS SHOWN ABOVE.

			Date	PROJECT:	PROPOSED POOL AND PATIO 7 FAIRLAWN AVENUE VILLAGE OF DOBBS FERRY WESTCHESTER COUNTY – NEW YORK	
			Description	Revisions	DETAILS	
		No.	THIS PLAN NOT VALID FOR CONSTRUCTION WITHOUT ENGINEERS SEAL & SIGNATURE			 HUDSON <hr/> ENGINEERING & CONSULTING, P.C. 45 Knollwood Road - Suite 201 Elmsford, New York 10523 T: 914-909-0420 F: 914-560-2086 © 2021