FOSSNERRESIDENCE

7 FAIRLAWN AVENUE, DOBBS FERRY, NY 10522

CHRISTINAGRIFFINARCHITECT

12 Spring Street, Hastings-on-Hudson, NY 10706





GENERAL NOTES

- 1. These documents remain the exclusive property of the Architect, and may not be used for any purpose whatsoever without written consent of the Architect.
- 2. All construction shall comply fully with the 2020 Residential code of NYS, local building code, fire department regulations, and all other agencies having jurisdiction over project.
- on site for all inspections.
- 4. A current Westchester County licensed and insured contractor must be on file with current building permit until Certificate of Occupancy is issued. If contractor of record has been removed from the project, a stop work order will be issued untill a new Westchester County licensed and insured contractor is retained.
- 5. General Contractor shall carry property damage insurance, public liability insurance, workman's compensation, auto insurance, and general liability as required by Federal, State, and Local Codes and as
- 6. Licensed electrician to file separate electrical permit.

Owner requires.

- 7. Licensed plumber to file separate plumbing permit.
- 8. All health, safety, fire, zoning and environmental regulations shall be adhered to at all times by the Owner and/or occupant.
- 9. The contractor shall become familiar with conditions of the site, and the work as shown on the construction documents, prior to submitting a bid for construction.
- 10. Contractors shall coordinate all work procedures and working hours with local authorities, neighborhood associations, and any other governing authorities.
- 11. The contractor shall be responsible for providing all labor and materials to complete the project, in accordance with the construction documents, tested and ready for owner's use.
- 12. All indicated Survey material is for general reference only. The Architect assumes no responsibility for the

- accuracy or the correctness of any of the indicated
- 13. Contractors shall be responsible for protection of all existing and new conditions and materials with and adjacent to the construction area. Any damage caused by the execution of the work indicated or implied herein shall be repaired or replaced to the Owner's satisfaction.
- 3. Approved stamped set of building plans must be present 14. All construction sites shall conform to the 2020 New York State Property Maintenance Code. All rubbish garbage and construction debris shall be disposed of in an onsite dumpster or removed off site immediately. Materials shall be stacked in orderly fashion as to not create a blight on the community. The village right of way must be kept clear and maintained at all times.
 - 15. General contractor shall be responsible for the removal 23. The drawings and notes are intended to be complete. of construction debris, rubbish and offsite disposal in a responsible manner.
 - 16. The contractor shall obtain all inspections, approvals and permits, and pay all necessary permit fees required by the local building department and all other agencies having jurisdiction over the project, such as plumbing, electrical & HVAC, except for the building permit, which shall be obtained by the Architect. The contractor shall obtain the certificate of occupancy for the project when construction is complete.
 - 17. Contractor shall keep work site free from debris and accumulated refuse, and shall have sole responsibility for protecting all dangerous areas from entry by unauthorized parties.
 - 18. Drawings may be rough scaled for estimating and general purposes, but are not to be scaled for construction locations, dimensions, or any other purposes. Dimensions shown shall govern over measurements scaled from plans. Wall dimensions are given to finished surfaces. Contractor to consult with the Architect for questions regarding final dimensions and
 - 19. All dimensions and conditions shown and assumed on the drawings must be verified at the site by contractor

- before ordering any material or doing any work.
- 20. Contractor is to design and install adequate and code at his sole expense.
- 21. The Architect is not responsible for workmanship,
- installed in accordance with manufacturer's
- any discrepancies of field conditions that may interfere with the total completion of all work included within the
- 24. Minor details not usually shown or specified, but necessary for proper and acceptable construction,
- 26. The use of the words "provide" or "provided" in connection with any item specified is intended to mean where required.
- 27. Contractor shall maintain a sealed enclosure between work area and other areas of the residence. In addition,

- approved shoring and bracing where needed to safely sole responsibility for structural adequacy of the shoring and for any injuries, damages, cracks, or defects caused by shoring or bracing, and shall repair all such damage
- construction methods, or any omissions or derivations from the drawings during construction.
- 22.Materials and products indicated on drawings shall be
- Should anything be omitted from the drawings necessary to the proper construction of the work herein described, it 31.If blown or sprayed insulation used, Installer of insulation shall be the duty of the contractor to notify the Architect. The builder shall visit the site and inform the Architect of contract and verify all conditions prior to the ordering of materials and the start of construction.
- included in the work the same as specified or indicated. 25. The contractor shall supervise and direct the work using
- his best skill and attention, he shall be solely responsible for all construction means, methods, sequences and procedures and for coordination of all portions of the
- that such item be furnished and installed and connected

- the contractor shall be responsible to (a) protect all interior spaces from the area of renovation, and (b)
- broom sweep all areas at end of each work day. complete structural work. Contractor to assume full and 28. The contractor shall do all the cutting, fitting & patching that may be required to make several parts of the work come together properly, and to fit his work, and/or receive, or be received by the work of others, as shown, or as reasonably implied on the drawings.
 - 29. New and existing work shall come together in a seamless fashion.All new or modified surfaces shall be
 - 30. All insulation to comply with the Energy Efficiency Certificate required by 401.3 2020 Energy Conservation Construction Code of New York, prepared by the
 - to submit insulation certification to include the installed thickness of the area covered and R-value of the installed thickness shall be listed on the certificate. The insulation installer shall sign, data and post the certificate in a conspicuous location on the job site per N1101.5 of the 2020 Residential Code of New York State and submit an original signed copy for the Building
- installation or operation of any part of the work shall be 32.All work shall be guaranteed for one year after final payment. The general contractor is to furnish written guarantees on his work and all subcontractors work against defects resulting from the use of inferior materials, equipment, or workmanship as determined solely by the Architect. All such defects are to be replaced or repaired, complete with labor and materials, 36. Finish materials and paint colors shall be reviewed and
 - made only upon approval of the Architect or owner as noted on the drawings or in these specifications. The contractor shall submit his substitution for approval

- shipments. The Architect reserves the right to disapprove such substitution, provided in his sole opinion, the item offered is not equal or detailed on the
- partitions , piping, redesign, and all new drawings and Wall detailing required therefore shall, with the approval of the Glazing Architect, be prepared by the contractor at his own
- finished including, but not limited to taping, spackling and
 - not be made without prior written approval from the
- shown on the drawings or in the specifications shall be before releasing any order for fabrication and/or

Energy Notes R-Values & U-Factors 2020 Residential code of NYS - Climate Zo Required drawings, which requires any redesign of the structure, Ceiling R-49

- 34. All work shall be installed so that all parts required are 5750 Degree Days readily accessible for inspection, operation, maintenance 15% Maximum Glazing and repair. Minor deviations from the drawings may be R402.2.1 CEILINGS WITH ATTIC SPACES
- completely cleaned and the site restored to existing condition, including but not limited to the following. a) Complete sweeping of all areas, and removal of all
- or others doing N.I.C. work. b) Removal of all labels from glass, fixtures, and equipment, etc. and spray cleaning of glass and
- c) Removal of stains, and paint from glass, hardware,
- finished flooring, cabinets, etc. d) Final cleaning of all chrome and aluminum metal
- e) Restoration of property by returning shrubs to original locations, filling of all ruts and raked topsoil and repairs to damaged blacktop.
- approved by the homeowner. 33. Substitutions of equipment or materials other than those 37. The Architect assumes no responsibility for the accuracy 4. Before the site plan is signed by the Chairman of the or correctness of any material or drawings prepared by

others and provided to the Architect.

- R-20 R-21 0.32 U value 0.32 U v R-19 R-19 Design Criteria:
- made to accomplish this, but changes of magnitude shall * Installing R-38 over 100% of the ceiling area requiring insulation shall be deemed to satisfy the requirement for
- R-49 insulation wherever the full height of uncompressed 35.Upon completion of the work, the entire project is to be R-38 insulation extends over the wall top plate at eaves. I, Christina Griffin, Architect A.I.A., hereby states that I have
- prepared these plans and specifications to the best of my knowledge in compliance with all the requirements of the rubbish and debris, except that caused by the owner 2020 Residential code of NYS.

Reserved.

- VILLAGE OF DOBBS FERRY REQUIREMENTS 1. Should rock blasting be required, a permit application in accordance with Chapter 125 - Blasting and Explosives
- Village by the applicant for review/approval. 2. The Village Engineer may require additional erosion control measures if deeped appropriate to mitigate unforeseen siltation and erosion of disturbed soils.

of the Vilage of Dobbs Ferry must be submitted to the

- 3. As-built plans of the any proposed driveway and drainage improvements shall be submitted to the Village Engineer for review prior to issuance of Certificate of Occupancy.
- Planning Board, the applicant shall be required to post a performance bond or other type of acceptable monetary guaranty which shall be in an amound determined by the Planning Board and the Village Engineer and in a form satisfactory to the Village Attorney.
- 5. All exterior lighting shall conform with Village of Dobbs Ferry Zoning Code, Section 300-41.

REQUIREMENT BY COMPONENT

Zone 4A	CLIMATE ZONE	FENESTRATION U-FACTOR ^b	SKYLIGHT _b U-FACTOR	GLAZED FENESTRATION SHGC ^{b,e}	CEILING R-VALUE	WOOD FRAME WALL R-VALUE
d	4A	0.32	0.55	0.40	49	20 or 13+5 ^c
value		MASS WALL R-VALUE [†]	FLOOR R-VALUE	BASEMENT° WALL R-VALUE	SLAB ^d R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
, and		8/13(g)	19	10/13(c)	10, 2FT(d)	10/13(c)

- R-values are minimums. U-factors and SHGC are maximums. Where insulation is installed in a cavity that is less than the label or design thickness of the insulation, the installed R-value of the insulation shall be not less than the R-value specified in the table.
- The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation on the interior of the basement wall. "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. Alternatively, compliance with "15/19" shall be R-13 cavity insulation on the interior of the basement
- wall plus R-5 continuous insulation on the interior or exterior of the home. R-5 insulation shall be provided under the full slab area of a heated slab in addition to the required slab edge insulation R-value for slabs. as indicated in the table. The slab edge insulation for heated slabs shall not be required to extend below the slab. Reserved.
- Alternatively, insulation sufficient to fill the framing cavity and providing not less than an R-value of R-19. The first value is cavity insulation, the second value is continuous insulation. Therefore, as an example, "13+5" means R-13 cavity insulation plus R-5 continuous insulation.
- Mass walls shall be in accordance with Section R402.2.5. The second R-value applies where more than half of the insulation is on the interior of the mass wall.

DESIGN REQUIREMENTS for the 2020 RESIDENTIAL CODE OF NEW YORK STATE CLIMATIC & GEOGRAPHIC DESIGN CRITERIA

		WIND D	ESIGN			SUBJECT	TO DAMAG	SE FROM					W
GROUND SNOW LOAD	SPEED	EFFECTS	SPECIAL WIND REGION	WIND BORNE DEBRIS ZONE	SEISMIC DESIGN CATAGORY	WEATHERING	FROST LINE DEPTH	TERMITE	ICE SHIELD UNDERLAY REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.	DI C- C-
30 PSF	120- 130 MPH	NO	YES	NO	В	SEVERE	42"	MODERATE TO HEAVY	YES	N/A	2000	51.6	

DATES

- BUILDING PERMIT SUBMISSION 7-15-21
- PLANNING BOARD SUBMISSION 8-12-21 AHRB SUBMISSION 9-16-21 PLANNING BOARD SUBMISSION 9-29-21

LIST of DRAWINGS

- GENERAL NOTES, CLIMATIC & GEOGRAPHIC CRITERIA, DATES, LIST OF DRAWINGS
- ZONING COMPLIANCE, LOCATION MAP, PHOTOGRAPHS OF **EXISTING CONDITIONS**
- SITE PLAN, STREETVIEWS EXTERIOR MATERIALS, COLOR SCHEME
- COLOR SCHEME, INSTALLATION EXAMPLES OUTDOOR AREA PLAN,
- OUTDOOR KITCHEN PLAN EXTERIOR ELEVATIONS, FENCE DETAILS
- EXTERIOR ELEVATIONS **ROOF PLAN**
- LANDSCAPE PLAN DRAWINGS BY SESI CONSULTING ENGINEERS:

ELECTRICAL PLAN

- RETAINING WALL PLAN RETAINING WALL PROFILE **RETAINING WALL DETAILS & NOTES**
- DRAWINGS BY HUDSON ENGINEERING:
- STORMWATER MANAGEMENT PLAN DETAILS C-2



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EAST ELEVATION

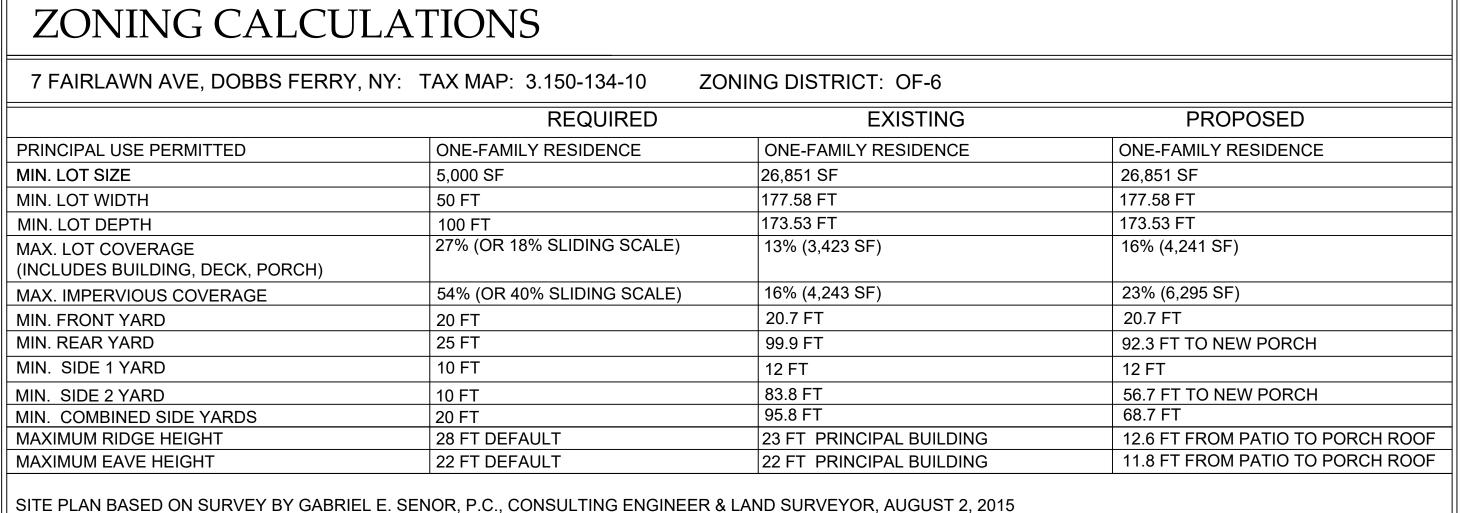


WEST ELEVATION



SOUTH ELEVATION

7 FAIRLAWN AVE. PHOTOS OF EXISTING CONDITIONS SCALE: N.T.S.



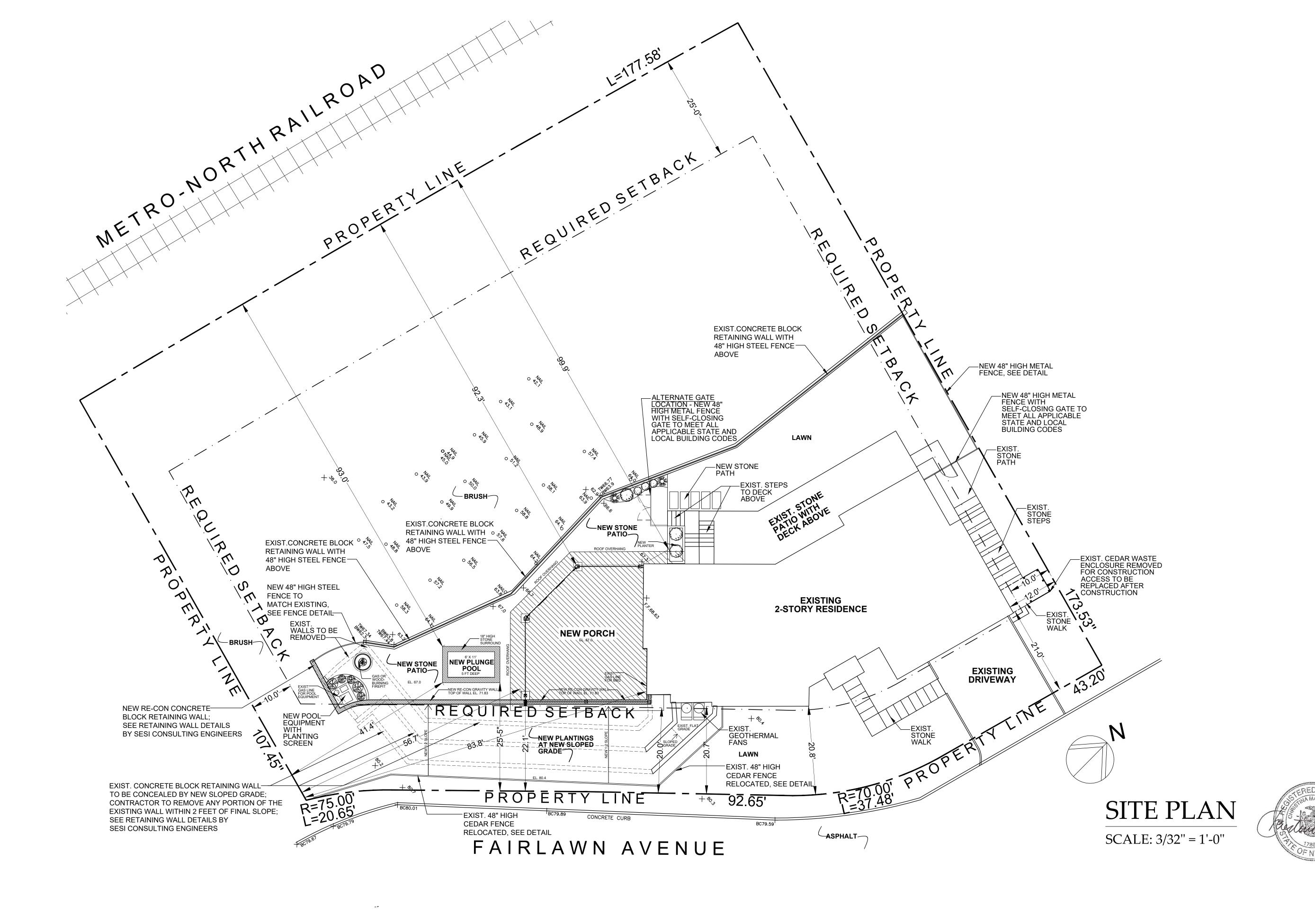
SITE PLAN BASED ON SURVEY BY GABRIEL E. SENOR, P.C., CONSULTING ENGINEER & LAND SURVEYOR, AUGUST 2, 2015
SITE PLAN DASED ON SURVET DI GADRIEL E. SENOR, P.C., CONSULTING ENGINEER & LAND SURVETOR, AUGUST 2, 2013

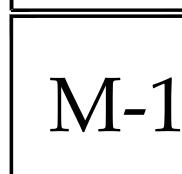
LOCATION MAP	COVERAGE CAI	CULAT	IONS	
3.110-103-2	LOT AREA	26,851 SF		
DERWATER 9 9 197.58		EXISTING	PROPOSED	
3.150-134-12 3.150-134-4	PRINCIPAL BUILDING / GARAGE	2,745 SF	2,745 SF	
177.3d 80.0 S 150-135-6	DECK / DECK STAIR / PATIO UNDER DECK	678 SF	678 SF	
3.150-134-11	NEW PORCH	N/A	818 SF	
3.80-36-44 3.150-134-10 3.150-134-10	NEW PATIO INCLUDING PLUNGE POOL	N/A	1,186 SF	
#7 # 3.150-133-5 # S	ENTRY PLATFORM/ WALKS/ STONE STEPS	379 SF	427 SF	
3.150-133-4	DRIVEWAY	441 SF	441 SF	
161.10 88 160.00				
3.150-134-6 3.150-133-1 3.150-132-8 3.150-132-7 3.150-132-7 3.150-132-7 3.150-132-7				
(a ₂₂	TOTAL IMPERVIOUS COVERAGE	EXISTING	PROPOSED	
4.10-1-15 HASTINGS-ON-HUDSON HASTINGS-ON-HUDSON HASTINGS-ON-HUDSON SOURCE: TOWN OF GREENBURGH GIS		4,243 SF (16%)	6,295 SF (23%)	



PROPOSED LOCATION FOR NEW PORCH/OUTDOOR KITCHEN, PLUNGE POOL, PATIO, AND GRAVITY WALL

2 \mathbf{C} 0

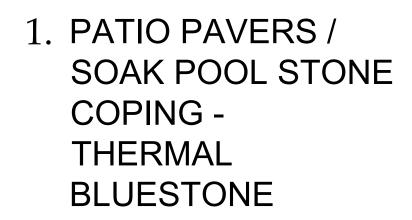




Drawing Title MATERIALS COLOR SCHEN









2. SOAK POOL SURROUND, 3. COLUMN ENCLOSURE, 4. RECON CONCRETE SARATOGA GRANITE BY CHAMPLAIN STONE, LEDGE CUT



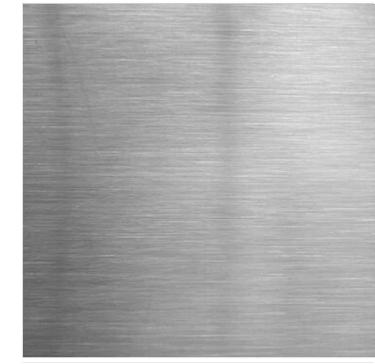
BEAM ENCLOSURE, FASCIA BOARD, T & G PORCH CEILING, EXIST. FENCE, SHIPLAP FEATURE WALL -CLEAR CEDAR, STAIN FINISH



BLOCK GRAVITY WALL, "OLD WORLD" FINISH



5. PAC-CLAD STANDING SEAM METAL ROOFING, POWDERCOAT **GRAPHITE FINISH**



6.OUTDOOR KITCHEN APPLIANCES / CABINETS BY ALFRESCO -STAINLESS STEEL FINISH









RAISED SOAK POOL WITH STONE SURROUND, THERMAL BLUESTONE COPING



PAC-CLAD STANDING SEAM METAL ROOFING (GRAPHITE FINISH PROPOSED, MATTE BLACK SHOWN)



TEXTURE'

SARATOGA GRANITE BY CHAMPLAIN STONE, LEDGE CUT

MATERIAL INSTALLATION EXAMPLES

SCALE: NTS



EAST ELEVATION

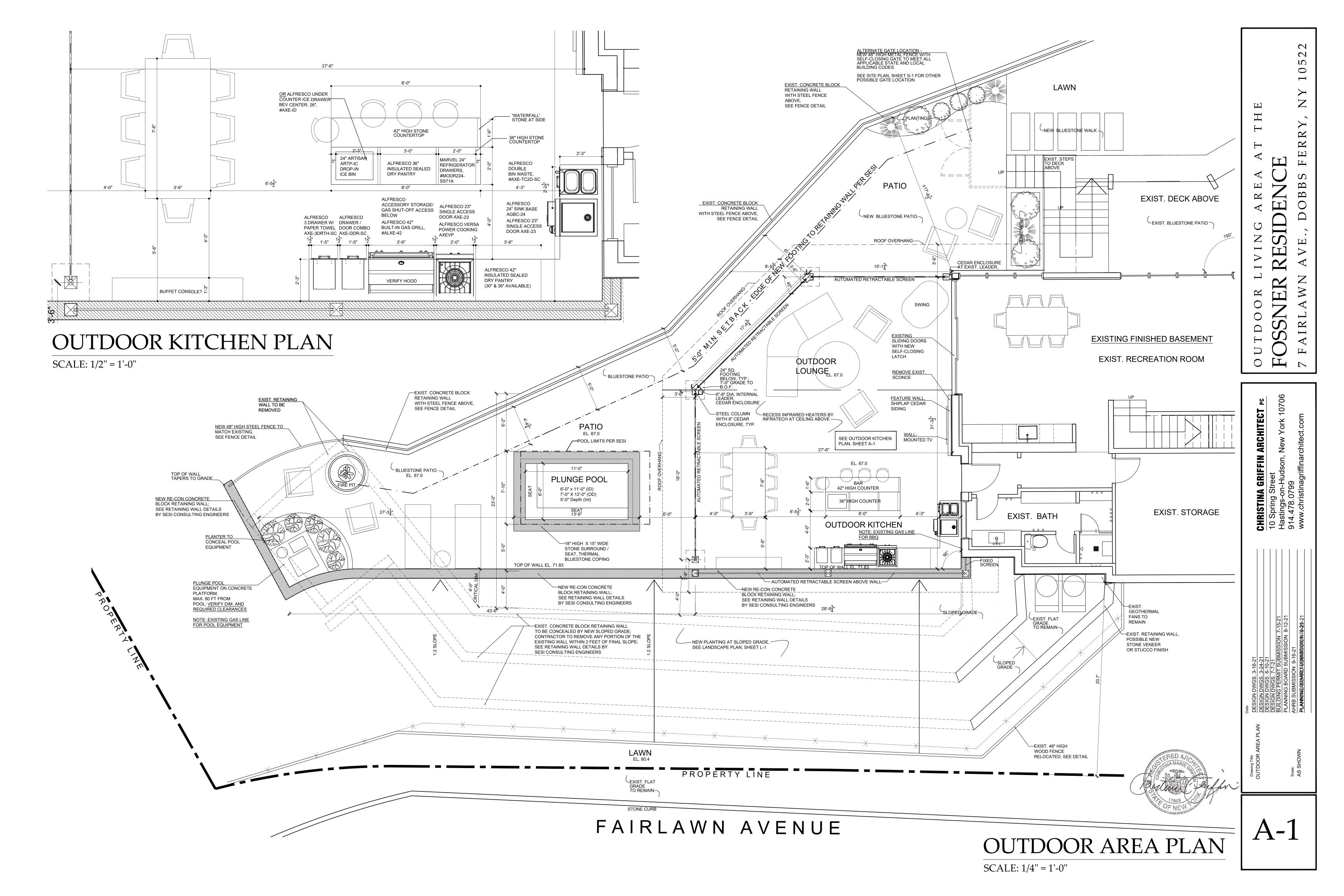
SOUTH ELEVATION

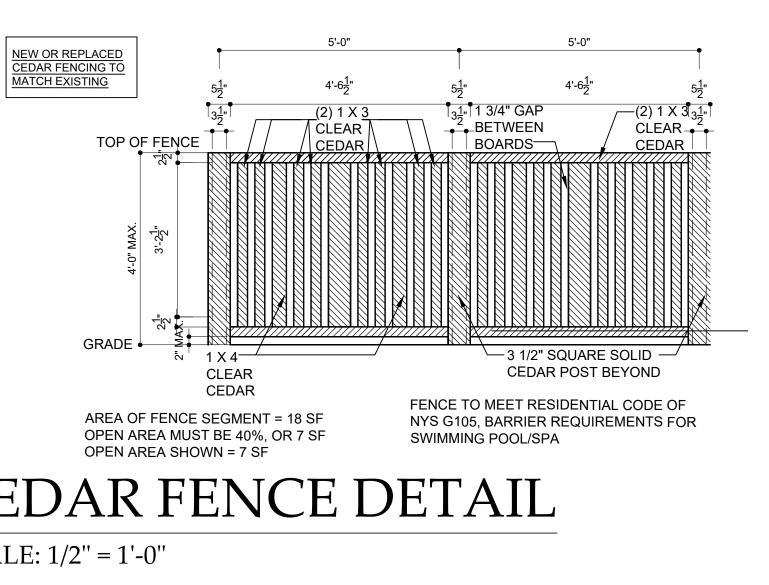
SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



M-2

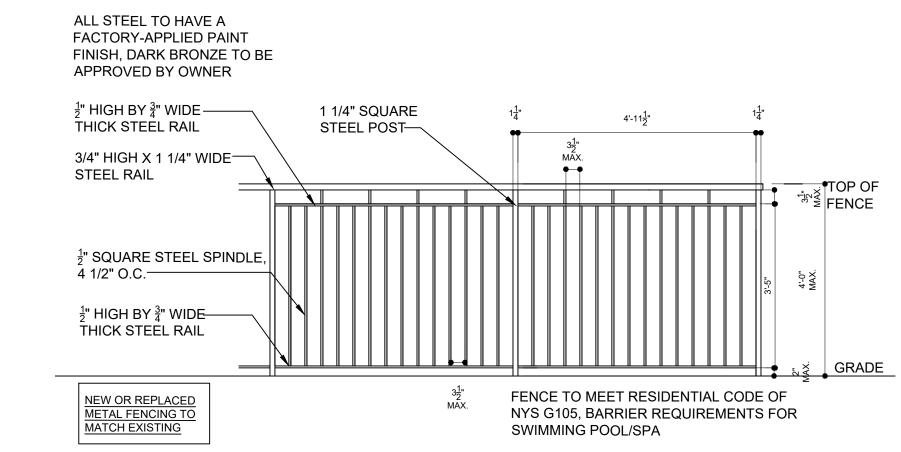




CEDAR FENCE DETAIL

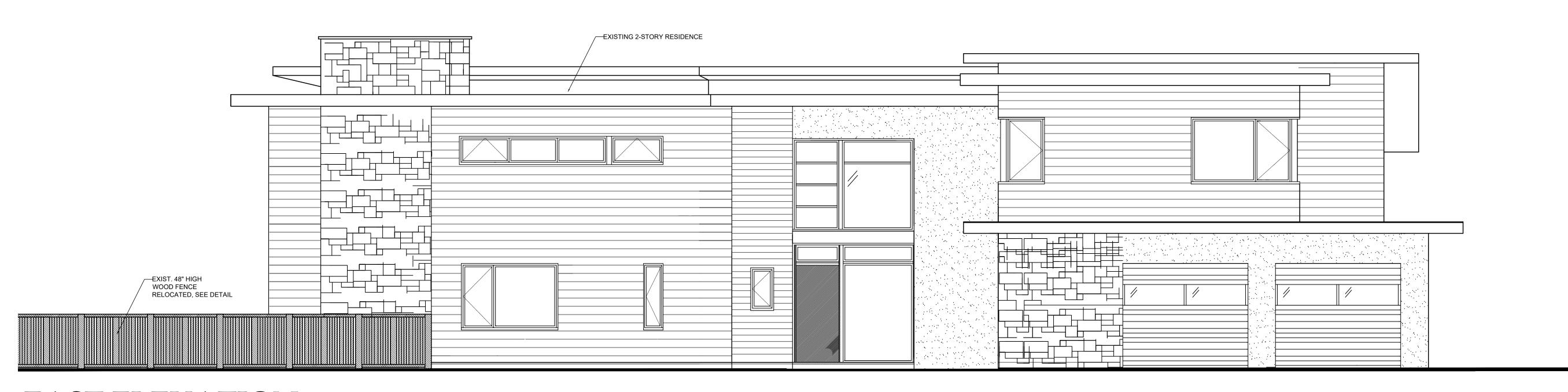
SCALE: 1/2" = 1'-0"

WOOD FENCE RELOCATED



METAL FENCE DETAIL

SCALE: 1/2" = 1'-0"



—CEDAR BEAM ENCLOSURE AND FASCIA, TYP.

EXIST. WDW.

OUTDOOR

KITCHEN —

—STONE [/] COUNTERTOP—

EXIST. DOOR

STONE SEAT

/—EXISTING 2-STORY RESIDENCE

PAC-CLAD STANDING SEAM
METAL ROOFING AT NEW
PORCH ROOF, GRAPHITE

FAIRLAWN AVENUE ----

EXIST. GEOTHERMAL FANS TO REMAIN

SHEET L-1

NEW PLANTING AT SLOPED GRADE, SEE PLANTING PLAN,

POWDERCOAT FINISH; TEXTURED FINISH TO REDUCE GLARE

HOOD FLUE, GRAPHITE POWDERCOAT FINISHTO MATCH ROOFING

EAST ELEVATION

SOUTH ELEVATION

← HUDSON RIVER

IOP OF ROOF

8" CEDAR ENCLOSURE AT PORCH COLUMNS, TYP.

CEILING H

EXISTING SLIDING DOORS

SELF-CLOSING

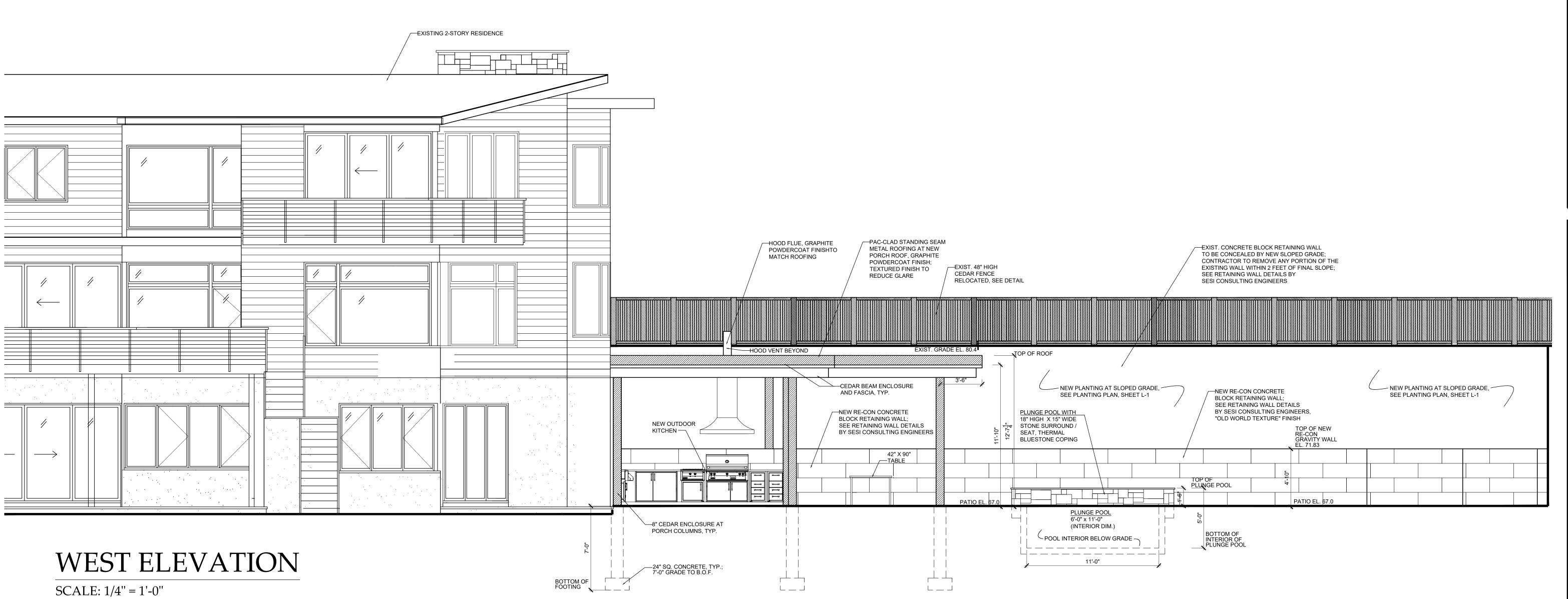
WITH NEW



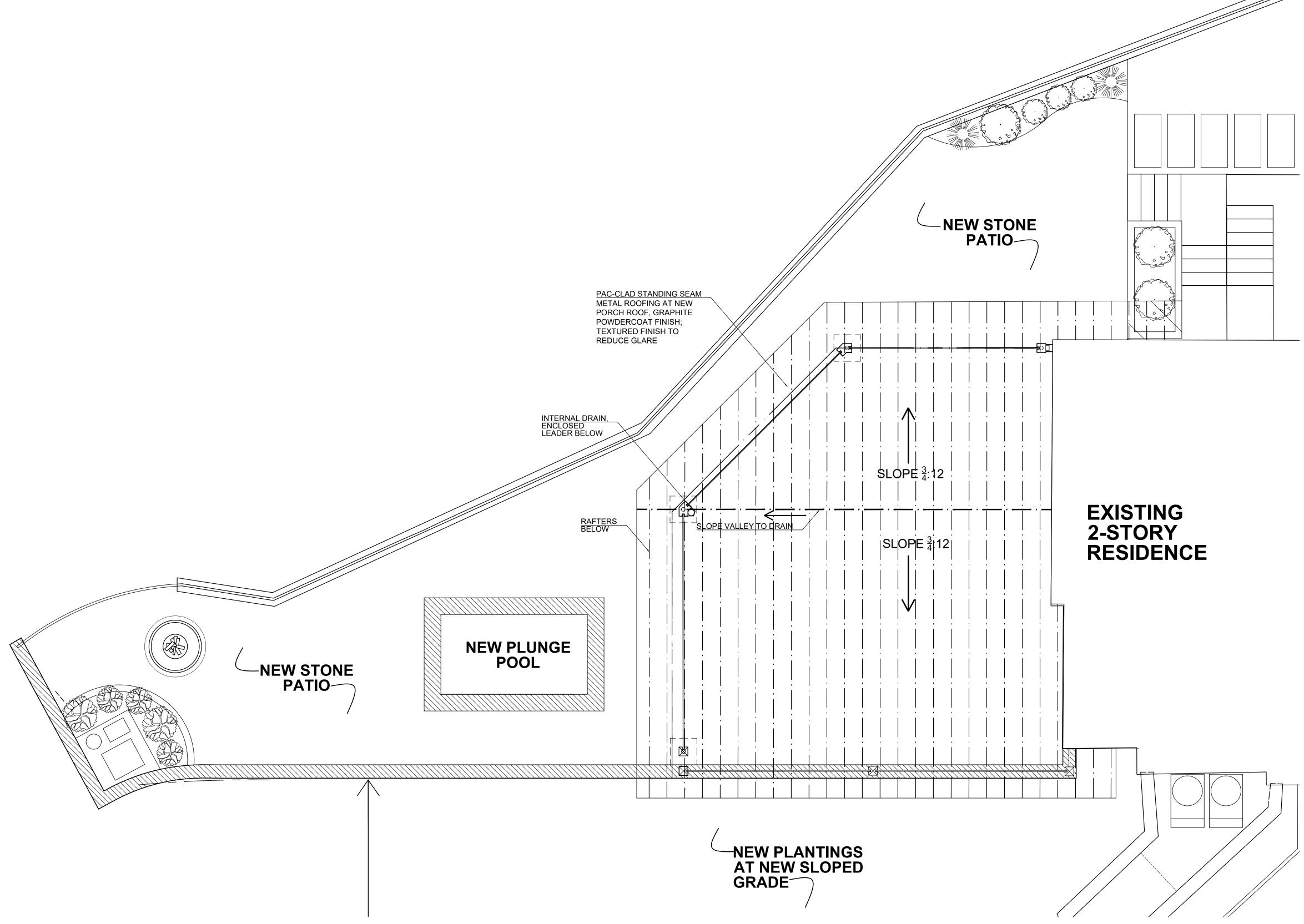
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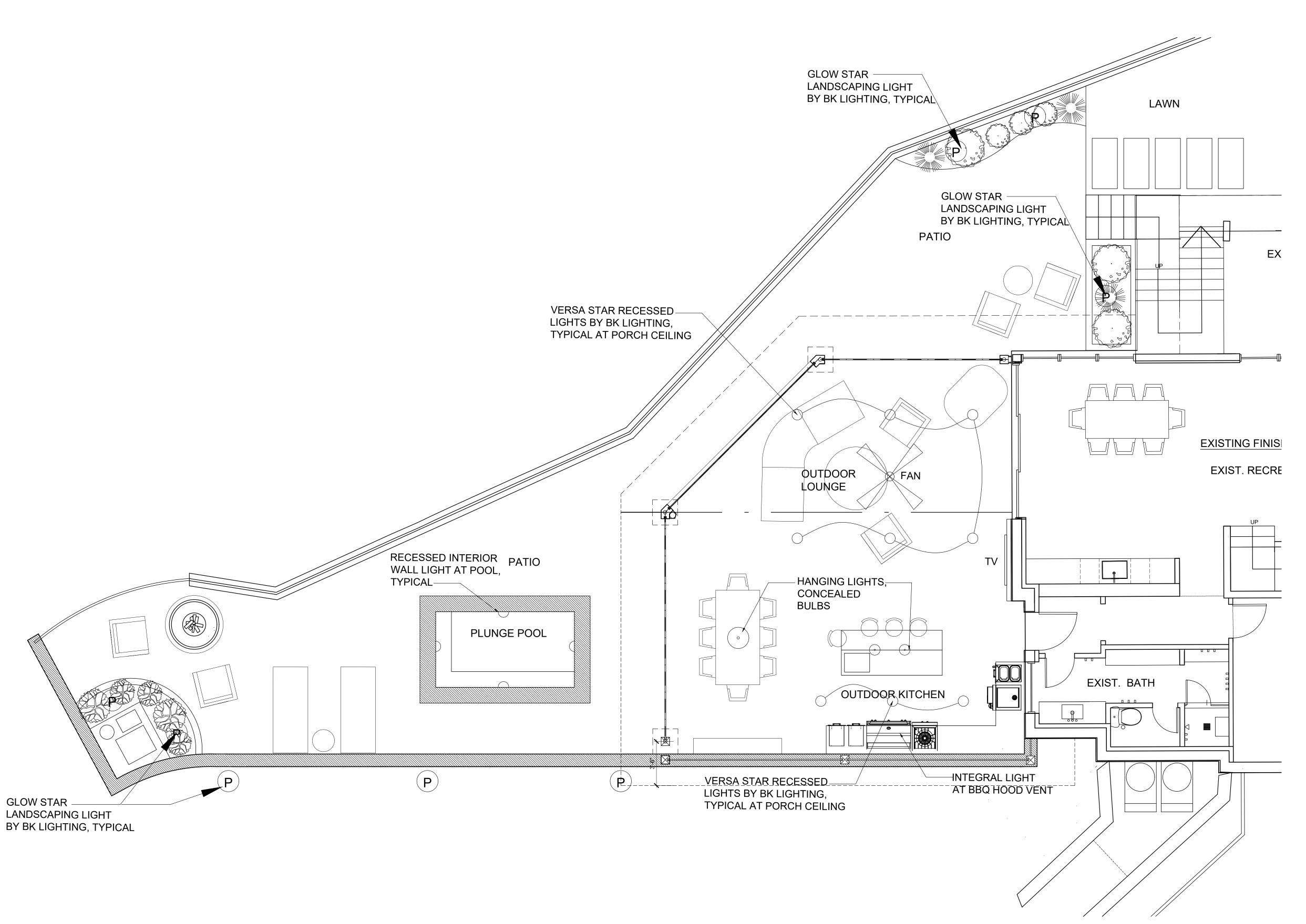


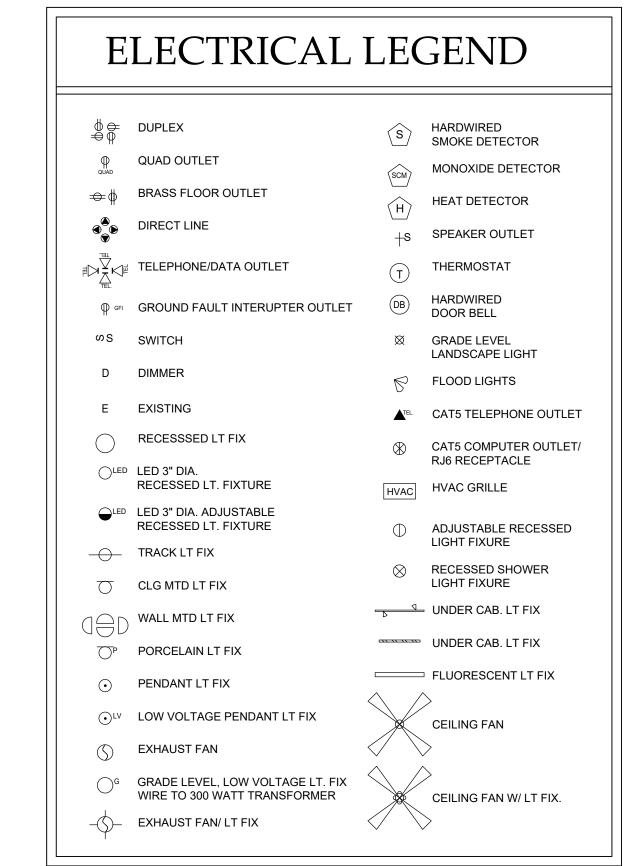
A-4



ROOF PLAN

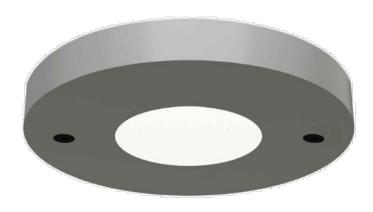
SCALE: 1/4" = 1'-0"



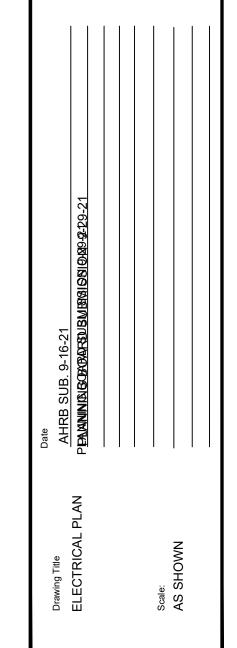




GLOW STAR LANDSCAPE LIGHT BY BK LIGHTING, STYLE "K" 2 1/2" DIAMETER, $6\frac{3}{4}$ " HIGH SATIN BRONZE FINISH



VERSA STAR RECESSED LIGHT BY BK LIGHTING, 5" DIAMETER, SATIN BRONZE FINISH



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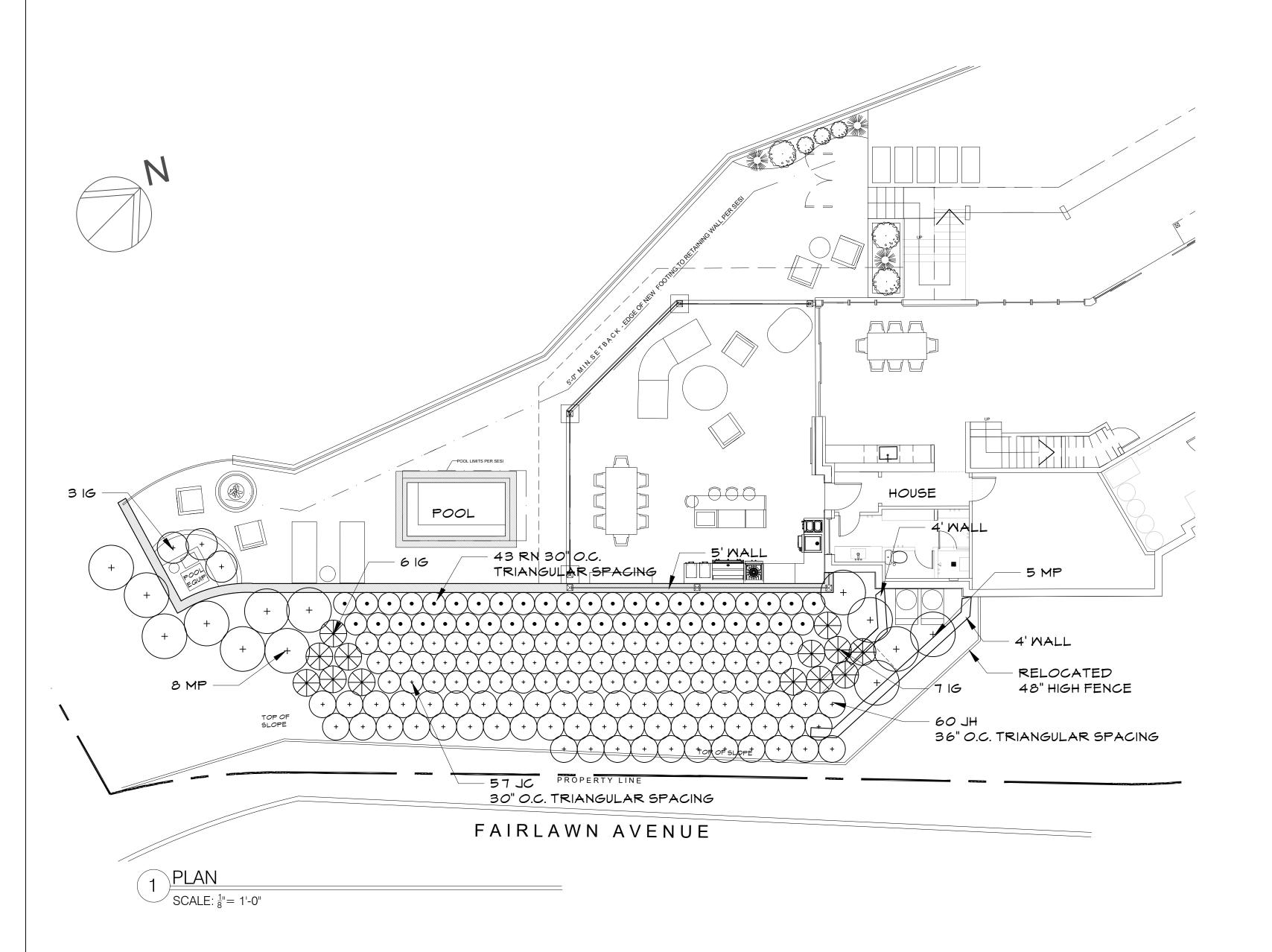
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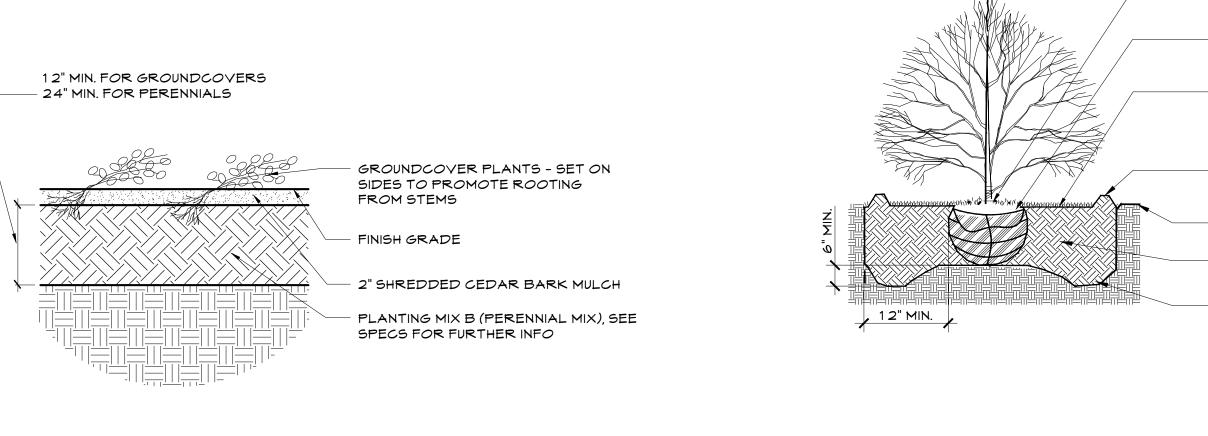
ARCHITECT

ELECTRICAL PLAN - EXTERIOR LIGHT FIXTURES

SCALE: 1/4" = 1'-0"



PLANT LIST					
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
16	IG	Ilex glabra 'Compacta'	Compact Inkberry	7 GAL.	Container
57	JC	Juniperus conferta 'Blue Pacific'	Blue Pacific Juniper	3 GAL.	Container
60	JH	Juniperus horizontalis 'Plumosa'	Creeping Juniper	7 GAL.	Container
5	KL	Kalmia latifolia	Mountain Laurel	7 GAL.	Nursey-grown, Container
8	MP	Myrica pensylvanica	Northern Bayberry	4'-5' HT	B&B
43	RN	Rosa x 'Noala'	Coral Flower Carpet® Rose	2 GAL.	Container



CUT BURLAP & TWINE FROM TOP 3 OF ROOTBALL; LOOSEN ALL TIES, REMOVE ALL PLANT TAGS 3" MIN. SHREDDED CEDAR BARK MULCH, SET IN 3" DEEP WATERING SAUCER (SUBSTITUTES APPROVED BY LANDSCAPE ARCHITECT ONLY) 3" H. RIM OF TAMPED EARTH AT HOLE PERIMETER TO RETAIN WATER FINISHED GRADE PLANTING SOIL MIX A SINGLE AREA MAY BE EXCAVATED FOR GROUPS OF SHRUB PLANTINGS TO CREATE ONE CONTINUOUS PLANTING BED; BARE ROOT PLANTING MAY BE SET IN HOLES ONLY 2X ROOT SPREAD 1) DO NOT ADD FERTILIZER TO FALL PLANTINGS.

SET TOP OF ROOTBALL AT OR SLIGHTLY ABOVE GRADE WHERE PLANT WAS DUG

PLANTING NOTES:

1. Use extreme caution to protect utilities.

2.. All plant material shall be nursery grown unless otherwise noted.

3. The contractor shall familiarize himself with the location of mechanical equipment and utilities existing or proposed

in the area to be planted and shall, where necessary, relocate plants at the direction of the Landscape Architect.

4. Quantities given in the plant list are for reference only. The contractor shall verify all quantities shown on the list and shall be responsible for furnishing all materials required to complete the plans.

5. The contractor shall verify all grades, dimensions, and existing conditions and report any discrepancies to the Landscape Architect.

6. Locations of new plants shall be staked by the contractor and approved by the landscape architect before

proceeding with the work. 7. All plants shall be subject to the Landscape Architect's inspection and approval at the nursery and at the site

before any planting work is begun. 8. All beds and tree saucers and other areas noted shall receive 2 inch (minimum) of approved mulch (shredded cedar).

9. Contractor shall guarantee all plant material for one year from time of Landscape Architect's final written approval.

Top soil mix shall include:

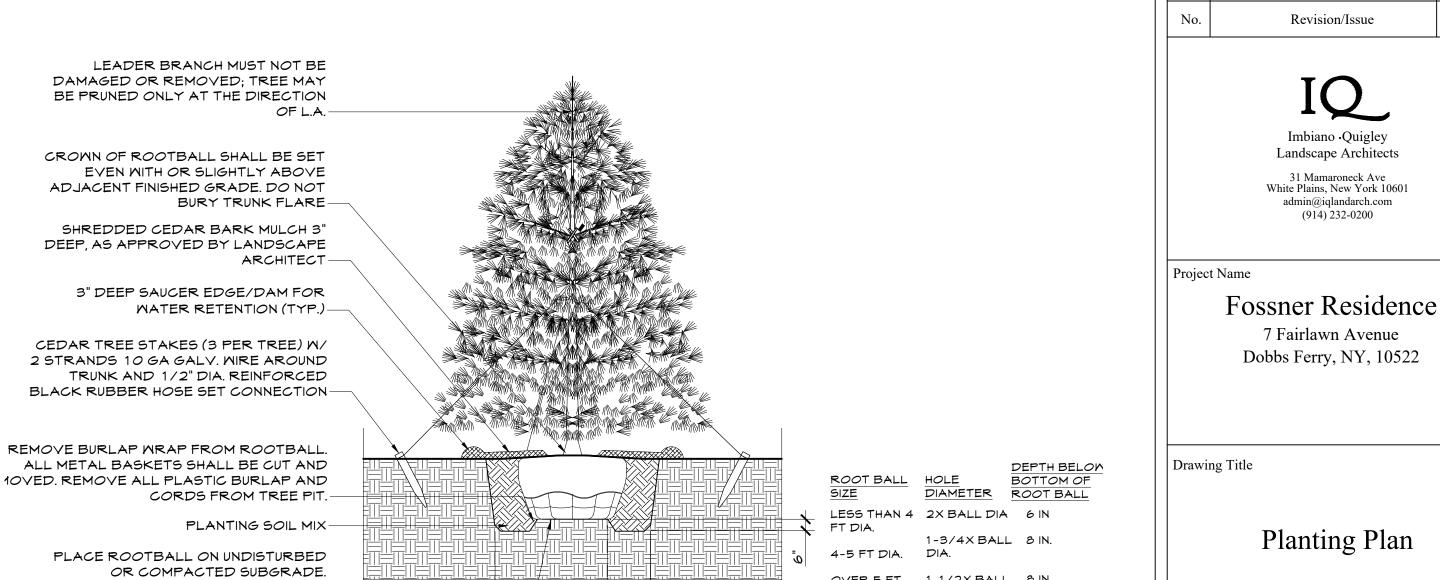
3 parts screened topsoil

1 part sand

1 part humus

5 lbs. Superphosphate per cu. Yd. of mix

10. Contractor responsible for restoring all areas disturbed due to planting operations.



SEE SCHEDULE ABOVE

FOR HOLE DIAMETER

OVER 5 FT 1 1/2X BALL 8 IN. DIA.

<u> EVERGREEN TREE PLANTING</u>

TREE PIT PERIMETER-

PROVIDE 6" (MIN.) DRAINAGE TO THE

Planning Board Resubmission

Planning Board Submission

8/12/21

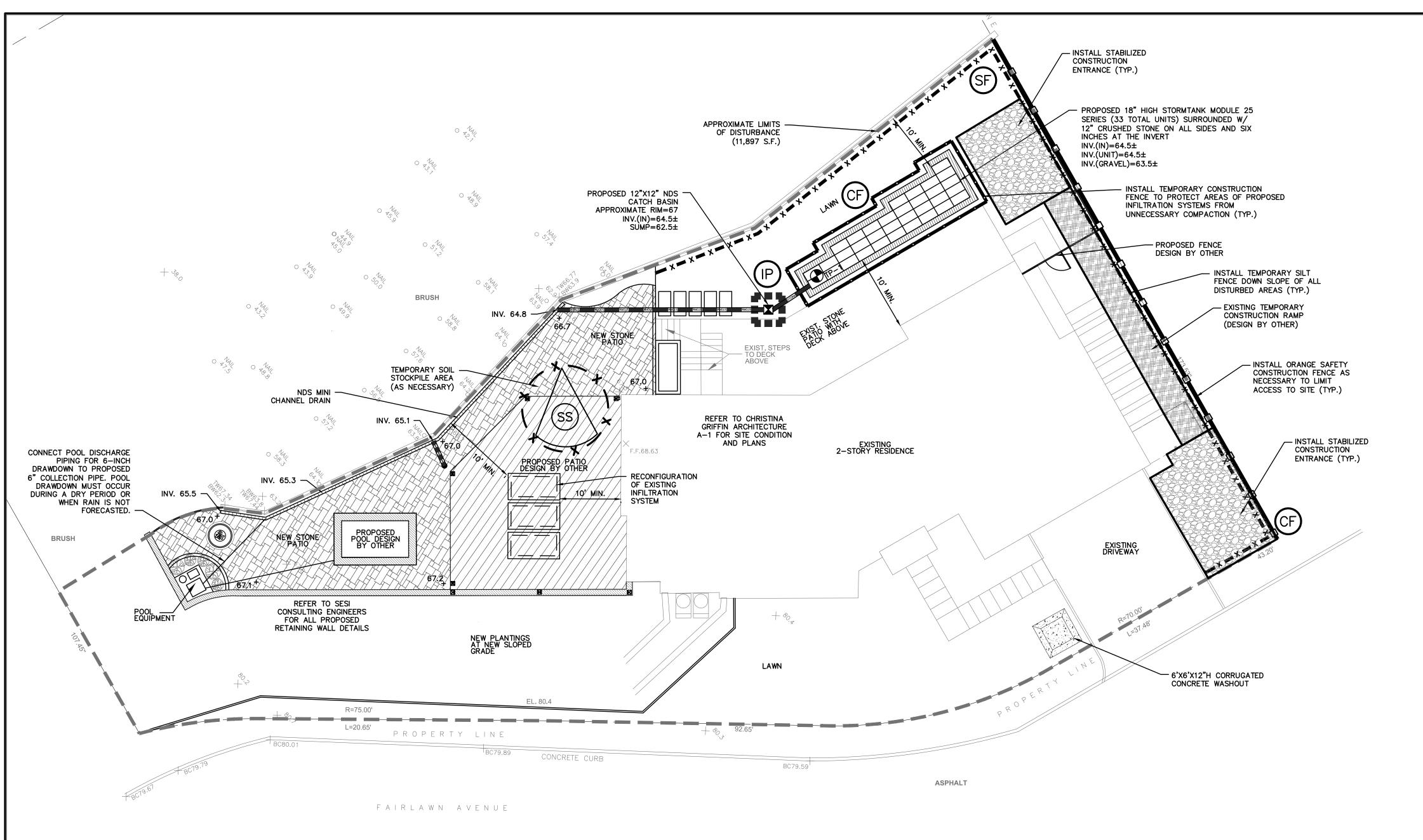
General Notes

Sheet No. 1/8" = 1'-0"

September 29, 2021 Drawn By Checked By

2 GROUNDCOVER /PERENNIAL PLANT BED SCALE: 1/2"= 1'-0"

3 SHRUB PLANTING SCALE: 1/2"= 1'-0"



INSTALLATION & MAINTENANCE OF EROSION CONTROL:

NOTIFY APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 5 DAYS PRIOR TO START.

<u>EROSION CONTROL MEASURES</u>
INSTALL ALL EROSION CONTROL MEASURES PRIOR TO START OF CONSTRUCTION. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY

MAINTENANCE (TO BE PERFORMED DURING ALL PHASES OF CONSTRUCTION)

AFTER ANY RAIN CAUSING RUNOFF, CONTRACTOR TO INSPECT HAYBALES, ETC. AND REMOVE ANY EXCESSIVE SEDIMENT AND INSPECT STOCKPILES AND CORRECT ANY PROBLEMS WITH SEED ESTABLISHMENT. INSPECTIONS SHALL BE DOCUMENTED IN WRITING AND SUBMITTED TO THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION.

REMOVE UNNEEDED SUBGRADE FROM SITE

INSPECTION BY MUNICIPALITY - FINAL GRADING

CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY - LANDSCAPING

SPREAD TOPSOIL EVENLY OVER AREAS TO BE SEEDED. HAND RAKE LEVEL. BROADCAST 1.25 LB. BAG OF JONATHAN GREEN "FASTGROW" MIX OR EQUAL OVER AREA TO BE SEEDED. APPLY STRAW MULCH AND WATER WITHIN 2 DAYS OF COMPLETION OF TOPSOILING. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY - FINAL LANDSCAPING GRASS ESTABLISHED

CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY - FINAL INSPECTION

ALL EROSION CONTROL MEASURES REMOVED AND GRASS ESTABLISHED. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

CONTRACTOR SHALL CONTACT DESIGN ENGINEER TO SCHEDULE A SITE INSPECTION PRIOR TO BACKFILLING INFILTRATION/ATTENUATION SYSTEM(S). SHOULD THE CONTRACTOR BACKFILL PRIOR TO INSPECTION. THE CONTRACTOR SHALL EXPOSE THE SYSTEM AT THEIR OWN EXPENSE.

ANY ALTERATIONS OR REVISIONS OF THESE PLANS, UNLESS DONE BY OR UNDER THE DIRECTION OF THE NYS LICENSED AND REGISTERED ENGINEER THAT PREPARED THEM, IS A VIOLATION OF THE NYS EDUCATION LAW.

POOL DRAWD(NWC
POOL AREA	66 S.F.
DRAWDOWN DEPTH	0.66 FT.
TOTAL STORAGE REQUIRED	43.6 C.F.
TOTAL STORAGE PROVIDED	327 C.F.

CONSTRUCTION SEQUENCING:

1. SELECTIVE VEGETATION REMOVAL FOR SILT FENCE INSTALLATION. 2. INSTALL SILT FENCE DOWN SLOPE OF ALL AREAS TO BE DISTURBED AS SHOWN

ON THE PLAN. 3. STRIP TOPSOIL AND STOCKPILE AT THE LOCATIONS SPECIFIED ON THE PLANS (UP GRADIENT OF EROSION CONTROL MEASURES). TEMPORARILY STABILIZE TOPSOIL STOCKPILES (HYDROSEED DURING MAY 1ST THROUGH OCTOBER 31ST PLANTING SEASON OR BY COVERING WITH A TARPAULIN(S) NOVEMBER 1ST THROUGH APRIL

30TH. INSTALL SILT FENCE AROUND TOE OF SLOPE. 4. DEMOLISH ANY EXISTING SITE FEATURES AND/OR STRUCTURES NOTED AS BEING

REMOVED ON THE CONSTRUCTION DOCUMENTS AND DISPOSE OF OFF-SITE. 5. ROUGH GRADE SITE.

6. EXCAVATE AND INSTALL EX-FILTRATION SYSTEMS PER MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS.

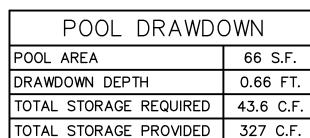
7. INSTALL DRAINAGE WORK TRIBUTARY TO EX-FILTRATION SYSTEMS FROM PROPOSED WORK.

8. EXCAVATE AND CONSTRUCT FOUNDATIONS FOR POOL. 9. CONSTRUCT POOL & PATIOS.

10. FINE GRADE AND SEED ALL DISTURBED AREAS. CLEAN DRAIN LINES. CLEAN EX-FILTRATION SYSTEMS. ENSURE GRASS STAND IS ACHIEVED. 11. INSTALL 4"-6" TOPSOIL, FINE GRADE, SEED THE ENTIRE PROJECT SITE AND

INSTALL LANDSCAPE PLANTINGS. SPREAD SALT HAY OVER SEEDED AREAS. 12. REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES AFTER THE SITE IS STABILIZED WITH VEGETATION.

*SOIL EROSION AND SEDIMENT CONTROL MAINTENANCE MUST OCCUR WEEKLY AND PRIOR TO AND AFTER EVERY 1/2" OR GREATER RAINFALL EVENT.



<u>LEGEND</u> PROPERTY LINE PROPOSED WALKWAY/PATIO PROPOSED SPOT +526.25 GRADE PROPOSED STORM PIPE PROPOSED DRAIN INLET PROPOSED CHANNEL DRAIN TEMPORARY INLET PROTECTION TEMPORARY SILT **FENCE TEMPORARY** CONSTRUCTION FENCE TEMPORARY SOIL STOCKPILE AREA STABILIZED CONSTRUCTION **ENTRANCE** TEST PIT LOCATION

1. POOL DRAINAGE/DRAWDOWN TO BE DIRECTED FROM POOL EQUIPMENT

PROPOSED LIMIT

OF DISTURBANCE

INTO THE INFILTRATION CHAMBERS.

- 2. NO CHEMICALS CAN BE ADDED TO THE POOL FOR MINIMUM OF TEN DAYS PRIOR TO THE POOL DRAWDOWN.
- 3. POOL DRAWDOWN MUST BE DONE DURING A DRY PERIOD OR WHEN RAIN IS NOT FORECAST.
- 4. POOL DRAWDOWN SHALL NOT EXCEED 8-INCHES. IF ADDITIONAL DRAWDOWN IS REQUIRED FOR POOL MAINTENANCE, DRAWDOWNS MUST OCCUR AT 3 DAY (MIN.) INTERVALS OR WATER SHALL BE PUMPED AND TRUCKED OFF-SITE BY A QUALIFIED/LICENSED PROFESSIONAL.

- 1. THE VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS. 2. AS-BUILT PLANS OF THE PROPOSED DRAINAGE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW
- PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY. 3. "BEFORE THE SITE PLAN IS SIGNED BY THE CHAIRMAN OF THE PLANNING BOARD, THE APPLICANT SHALL BE REQUIRED TO POST A PERFORMANCE BOND OR OTHER TYPE OF ACCEPTABLE MONETARY GUARANTY WHICH SHALL BE IN AN AMOUNT DETERMINED BY THE PLANNING BOARD AND THE VILLAGE ENGINEER AND IN A FORM SATISFACTORY TO THE VILLAGE ATTORNEY".
- VILLAGE'S CONSULTING ENGINEER IN WRITING AT LEAST 48 HOURS BEFORE ANY OF THE FOLLOWING SO THAT ANY INSPECTION MAY BE PERFORMED. 4.1. START OF CONSTRUCTION.

4. THE APPLICANT SHALL NOTIFY THE BUILDING DEPARTMENT OR

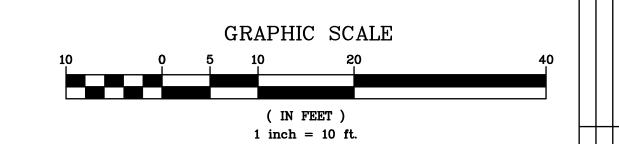
- 4.2. INSTALLATION OF SEDIMENT AND EROSION CONTROL
- 4.3. COMPLETION OF SITE CLEARING.
- 4.4. COMPLETION OF ROUGH GRADING. 4.5. INSTALLATION OF SMP'S.
- 4.6. COMPLETION OF FINAL GRADING AND STABILIZATION OF DISTURBED AREAS.
- 4.7. CLOSURE OF CONSTRUCTION.
- 4.8. COMPLETION OF FINAL LANDSCAPING; AND 4.9. SUCCESSFUL ESTABLISHMENT OF LANDSCAPING IN PUBLIC

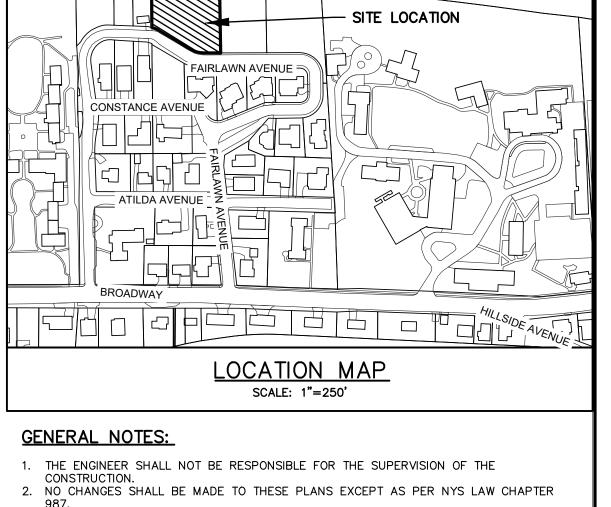
TEST HOLE DATA:

AREAS

TEST HOLE #1 DEPTH - 66" 0-12" TOPSOIL DANIEL AND BETH FOSSNER 12-66" SANDY SILT WITH SMALL ROCKS 7 FAIRLAWN AVENUE LEDGE ROCK AT 66" DOBBS FERRY NY 10522 NO GROUNDWATER PERC= 21" INCHES/HOUR

EXISTING INFORMATION SHOWN HEREON PROVIDED BY CHRISTINA GRIFFEN ARCHITECT



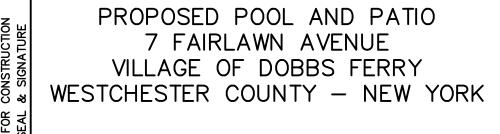


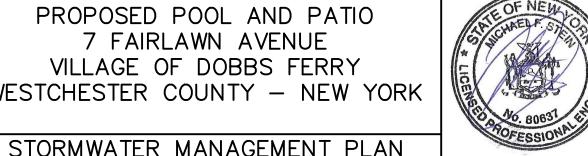
- 3. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO ACI, AISC, ZONING, AND THE NEW YORK STATE BUILDING CODE.
- 4. ALL CONDITIONS, LOCATIONS AND DIMENSIONS SHALL BE FIELD VERIFIED AND THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED OF ANY DISCREPANCIES. 5. ALL CHANGES MADE TO THE PLANS SHALL BE APPROVED BY THE ENGINEER AND
- ANY SUCH CHANGES SHALL BE FILED AS AMENDMENTS TO THE ORIGINAL BUILDING 6. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING HIS BEST SKILL
- AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF HIS EMPLOYEES, SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES, AND OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A
- 8. SAFETY DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL AGENCIES IN EFFECT DURING THE PERIOD OF CONSTRUCTION.

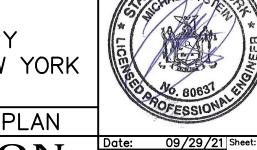
CONTACT WITH THE CONTRACTOR.

- 9. THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL MAKE APPLICATION TO RECEIVE ALL NECESSARY PERMITS TO PERFORM THE WORK UNDER CONTRACT. THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL BE LICENSED TO DO ALL WORK AS REQUIRED BY THE LOCAL, COUNTY, AND STATE AGENCIES WHICH MAY HAVE JURISDICTION OVER THOSE TRADES, AND SHALL PRESENT THE OWNER WITH COPIES
- OF ALL LICENSES AND INSURANCE CERTIFICATES. 10. FINAL GRADING AROUND THE BUILDING AREA SHALL SLOPE AWAY FROM THE
- STRUCTURE. 11. ALL WRITTEN DIMENSIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER ANY SCALED DIMENSIONS. 12. ADJOINING PUBLIC AND PRIVATE PROPERTY SHALL BE PROTECTED FROM DAMAGE
- DURING CONSTRUCTION, REMODELING AND DEMOLITION WORK. PROTECTION MUST BE PROVIDED FOR FOOTINGS, FOUNDATIONS, PARTY WALLS, CHIMNEYS, SKYLIGHTS AND ROOFS. PROVISIONS SHALL BE MADE TO CONTROL WATER RUNOFF AND EROSION DURING CONSTRUCTION OR DEMOLITION ACTIVITIES. THE PERSON MAKING OR CAUSING AN EXCAVATION TO BE MADE SHALL PROVIDE WRITTEN NOTICE TO THE OWNERS OF ADJOINING BUILDINGS ADVISING THEM THAT THE EXCAVATION IS TO BE MADE AND THAT THE ADJOINING BUILDING SHOULD BE PROTECTED. SAID NOTIFICATION SHALL BE DELIVERED NOT LESS THAN 10 DAYS PRIOR TO THE SCHEDULED STARTING DATE OF THE EXCAVATION.
- 13. OWNER SHALL INSURE THAT THE INSURANCE PROVIDED BY THE CONTRACTOR HIRED) PERFORM THE WORK SHALL BE ENDORSED TO NAME HUDSON ENGINEE CONSULTING, P.C., AND ANY DIRECTORS, OFFICERS, EMPLOYEES, SUBSIDIARIES, AND AFFILIATES, AS ADDITIONAL INSURED ON ALL POLICIES AND HOLD HARMLESS DOCUMENTS, AND SHALL STIPULATE THAT THIS INSURANCE IS PRIMARY, AND THAT ANY OTHER INSURANCE OR SELF-INSURANCE MAINTAINED BY HUDSON ENGINEERING & CONSULTING, P.C., SHALL BE EXCESS ONLY AND SHALL NOT BE CALLED UPON TO CONTRIBUTE WITH THIS INSURANCE. ISO ADDITIONAL INSURED ENDORSEMENT FORM NUMBER CG2010 1185 UNDER GL. COPIES OF THE INSURANCE POLICIES SHALL BE SUBMITTED TO HUDSON ENGINEERING & CONSULTING, P.C., FOR APPROVAL PRIOR TO
- THE SIGNING OF THE CONTRACT. 14. INDUSTRIAL CODE RULE 753: THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 72 HOURS PRIOR TO THE START OF HIS OPERATIONS AND SHALL COMPLY WITH ALL THE LATEST INDUSTRIAL CODE RULE 753 REGULATIONS.
- SITE NOTES: . SHOULD ROCK BLASTING BE REQUIRED, A PERMIT APPLICATION IN ACCORDANCE WITH CHAPTER 125 - BLASTING OF THE DOBBS DERRY
- VILLAGE CODE MUST BE SUBMITTED TO THE VILLAGE BY THE APPLICANT FOR REVIEW/APPROVAL. 2. THE VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL
- MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS. 3. AS-BUILT PLANS OF THE PROPOSED DRAINAGE IMPROVEMENTS SHALL
- BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY. 4. FILL MATERIAL IMPORTED TO THE SITE SHALL BE CERTIFIED IN WRITING BY A NEW YORK LICENSED PROFESSIONAL ENGINEER AS
- CLEAN, NON-CONTAMINATED FILL SUITABLE FOR THE INTENDED USE. 5. "BEFORE THE SITE PLAN IS SIGNED BY THE CHAIRMAN OF THE PLANNING BOARD, THE APPLICANT SHALL BE REQUIRED TO POST A PERFORMANCE BOND OR OTHER TYPE OF ACCEPTABLE MONETARY GUARANTY WHICH SHALL BE IN AN AMOUNT DETERMINED BY THE PLANNING BOARD AND THE VILLAGE ENGINEER AND IN A FORM SATISFACTORY TO THE VILLAGE ATTORNEY".
- 6. THE APPLICANT SHALL NOTIFY THE BUILDING DEPARTMENT OR VILLAGE'S CONSULTING ENGINEER IN WRITING AT LEAST 48 HOURS BEFORE ANY OF THE FOLLOWING SO THAT ANY INSPECTION MAY BE PERFORMED. 6.1. START OF CONSTRUCTION.
 - 6.2. INSTALLATION OF SEDIMENT AND EROSION CONTROL
 - MEASURES. 6.3. COMPLETION OF SITE CLEARING.
 - 6.4. COMPLETION OF ROUGH GRADING.
 - 6.5. INSTALLATION OF SMP'S.
 - 6.6. COMPLETION OF FINAL GRADING AND STABILIZATION OF DISTURBED AREAS. 6.7. CLOSURE OF CONSTRUCTION.
 - 6.9. SUCCESSFUL ESTABLISHMENT OF LANDSCAPING IN PUBLIC
- 7. A STREET OPENING PERMIT SHALL BE OBTAINED FOR ALL WORK WITHIN THE RIGHT-OF-WAY.

6.8. COMPLETION OF FINAL LANDSCAPING; AND







HUDSON ENGINEERING

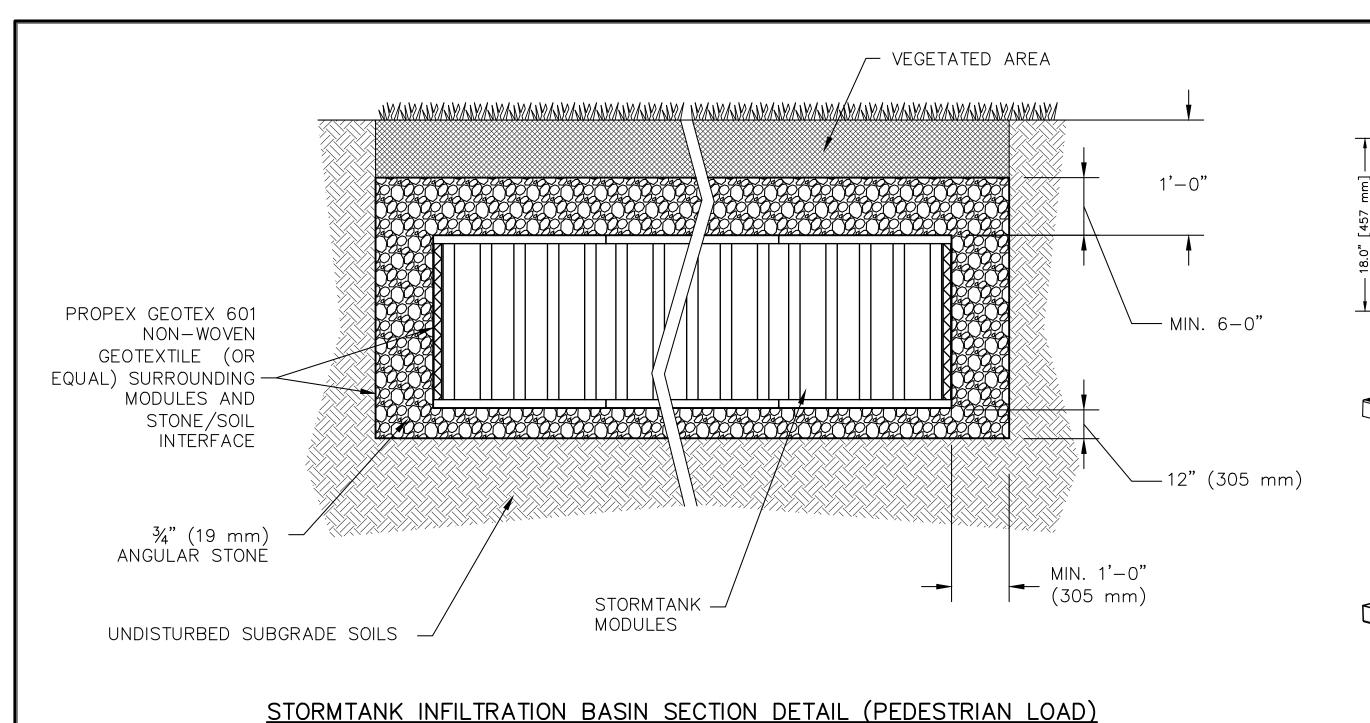
F: 914-560-2086

CONSULTING, P.C. 45 Knollwood Road – Suite 201 Elmsford, New York 10523 T: 914-909-0420

Designed By: D.`

Checked By: M.S.





— 36.0" [914 mm] — (457 mm) <u>TOP</u> $\Phi_{D}^{\mathsf{A}} \Box \Phi_{D}^{\mathsf{A}} \Box \Phi_{D$ 2'-10" (864 mm) ***** $\frac{1}{2}$ 36" (914 mm) SIDE PANEL

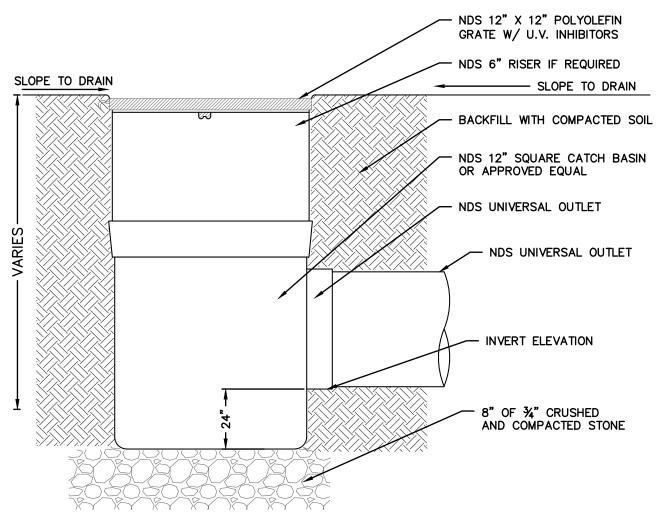
DEWATERING _____CONCRETE BLOCK STONE & BLOCK PLAN VIEW SCREEN __DEWATERING V DROP INLET WITH GATE -SEDIMENT STONE & BLOCK DETAIL TEMPORARY SEDIMENT POOL 1', MIN. 2:1 SLOPE - 3:1 SLOPE

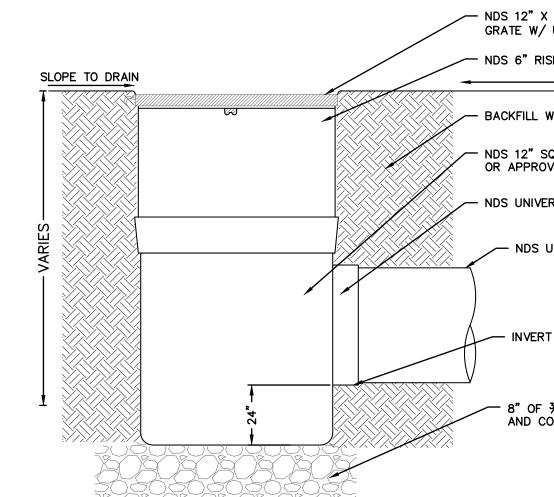
STONE & BLOCK DROP INLET PROTECTION

"DOUGHNUT" DETAIL CONSTRUCTION SPECIFICATION

- 1. LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
- 2. HARDWARECLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.
- 3. USE CLEAN STONE OR GRAVEL 1/2-3/4 INCH IN DIAMETER PLACED 2 INCHES BELOW TOP OF BLOCK ON A 2:1 SLOPE OR FLATTER. 4. FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF THE FILTER STONE WILL BE PLACED AGAINST THE 3 INCH STONE AS SHOWN ON THE DRAWINGS. MAXIMUM DRAINAGE AREA 1 ACRE.

STORMTANK MODULE DETAILS

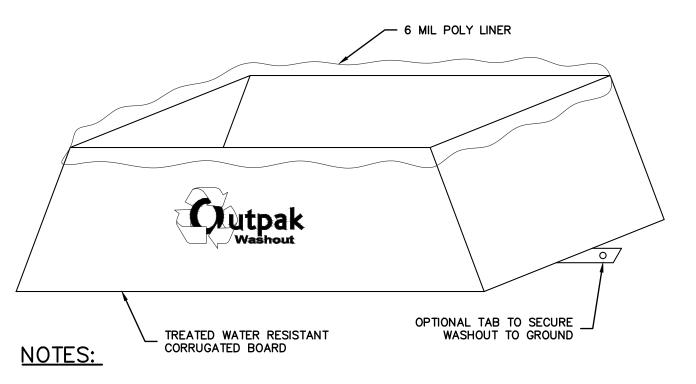




MODULE DETAIL

NDS SQUARE CATCH BASIN

12" O.D. 12" COMPACTED SELECT GRANULAR MATERIAL BACKFILLED IN 9" LIFTS 12"+ 1/2 DIA. COMPACTED SELECT GRANULAR MATERIAL 1/2 O.D. SUBBASE COURSE TYPE 2 6" SUBBASE COURSE TYPE 2 TRENCH BEDDING



- 1. THE WASHOUT SHALL BE INSTALLED PRIOR TO USING MATERIALS THAT REQUIRE WASHOUT ON THIS PROJECT.
- 2. AS NECESSARY, SIGNS SHALL BE PLACED THROUGHOUT THE SITE TO INDICATE THE LOCATION OF THE WASHOUT.

- 3' LONG NDS CHANNEL GRATE

RECESSED 1/8"

1" MIN.

6" COLLECTION

PIPING SLOPED

@ 2.0%

CHANNEL

DRAIN

COLOR TO BE SELECTED BY OWNER

2" OUTLET

@ 36" O.C.

NDS MINI CHANNEL DRAIN

(NDS PART # 540, 541, 542, 543, OR 544)

PAVING STONES

" MORTAR JOINT

POURED CONCRETE MINIMUM 4" THICK

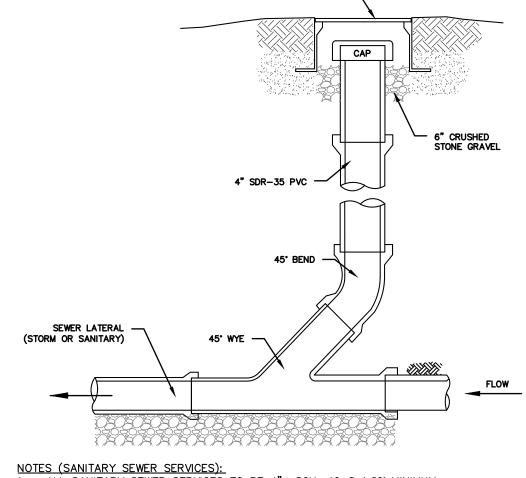
4x4 W2.9/2.9

PIPING SPACED NDS ANCHOR STAKE
OR APPROVED EQUAL

WELDED WIRE MESH

- 3. THE WASHOUT AREA WILL BE REPLACED AS NECESSARY TO MAINTAIN CAPACITY FOR LIQUID WASTE.
- 4. WASHOUT RESIDUE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED WASTE FACILITY.
- 5. DO NOT WASHOUT INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS.
- 6. AVOID DUMPING EXCESS CONCRETE IN NON-DESIGNATED DUMPING AREAS.
- 7. LOCATE WASHOUT AT LEAST 50' (15 METERS) FROM STORM DRAIN, OPEN DITCHES, OR WATER BODIES.
- 8. THE WASHOUT SHALL BE USED ONLY FOR NON-HAZARDOUS WASTES.

CORRUGATED CONCRETE WASHOUT

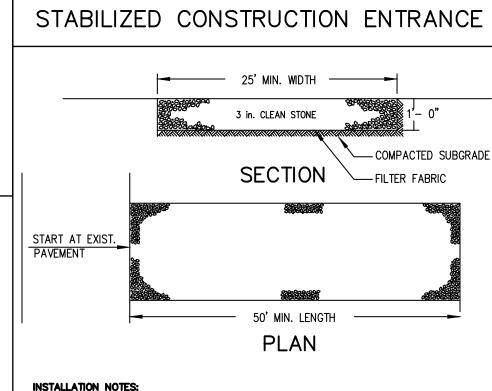


CAMPBELL FRAME & GRATE #4152

ALL SANITARY SEWER SERVICES TO BE 4" SCH. 40 @ 1.0% MINIMUM.

- IN ACCORDANCE WITH THE NYS RESIDENTIAL BUILDING CODE, THE FOLLOWING REQUIREMENTS APPLY: A. CLEANOUTS SHALL BE INSTALLED NOT MORE THAN 100 FEET APART IN HORIZONTAL DRAINAGE LINES (P3005.2.2).
- B. CLEANOUTS SHALL BE INSTALLED AT EACH CHANGE OF DIRECTION OF THE DRAINAGE SYSTEM GREATER THAN 45 DEGREES. C. CLEANOUTS SHALL BE INSTALLED SO THAT THE CLEANOUT OPENS TO ALLOW CLEANING IN THE DIRECTION OF THE FLOW OF THE DRAINAGE LINE (P3005.2.8). NOTES (STORM SEWER):
- 1. REFER TO PLAN FOR SPECIFIC PIPE SIZING AND SLOPE SPECIFICATIONS; HOWEVER, IN GENERAL, ALL STORM SEWER SERVICES TO BE 6" SCH. 40 @ 1.0% MINIMUM. 2. CLEANOUTS SHALL BE PLACED BEFORE SIGNIFICANT PIPE BEND LOCATIONS (I.E., JUNCTIONS, 90-DEGREE BENDS, ETC.) UNLESS A ROOF LEADER DOWNSPOUT CONNECTION IS

SEWER CLEANOUT DETAIL (GRAVITY) (STORM OR SANITARY)



SOIL STOCKPILING

- SILTFENCE

MULCHED OR COVERED WITH GEOTEXTILE FABRIC SURROUNDED BY SILT FENCE.

6. SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILT FENCE.

INSTALLATION NOTES

1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. SOILS OR FILL TO BE STOCKPILED ON SITE DURING CUTTING AND FILLING ACTIVITIES SHOULD BE LOCATED ON LEVEL PORTIONS OF THE SITE WITH A MINIMUM OF 50-75 FOOT

4. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
5. STOCKPILES REMAINING IN PLACE FOR MORE THAN A WEEK SHOULD BE SEEDED AND

SLOPE OR LESS

MIN. SLOPE

STABILIZE ENTIRE PILE

MIN. SLOPE

SETBACKS FROM TEMPORARY DRAINAGE SWALES.

3. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.

INSTALLATION NOTES:

WITH VEGETATION OR COVER

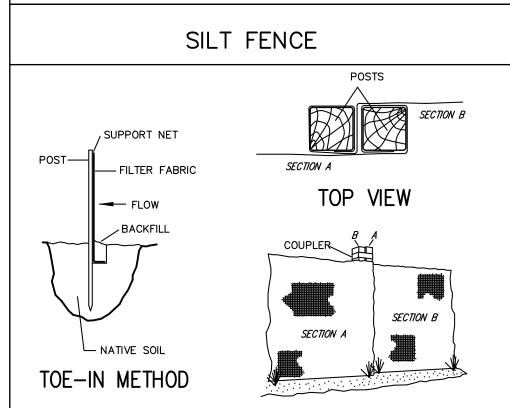
1. STONE SIZE - USE 3" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT. 2. LENGTH — AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY. 3. THICKNESS — NOT LESS THAN SIX (6) INCHES.

4. WIDTH — 25 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE 1. WIDTH - 25 FOOT MINIMOM, BUT NOT LESS THAN THE FULL WIDTH AT FOINTS WHERE INGRESS OR EGRESS OCCUR.

5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.

6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION. ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.

7. MAINTENANCE — THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY. 8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



JOINING SECTIONS OF FENCING

INSTALLATION NOTES:

1. EXCAVATE A 4 INCH * 4 INCH TRENCH ALONG THE LOWER PERIMETER OF THE SITE. 2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH (NET SIDE AWAY FROM DIRECTION OF FLOW). 3. DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS APPROXIMATELY 2 INCHES FROM THE TRENCH BOTTOM.

4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH, BACKFILL THE TRENCH AND TAMP THE SOIL. STEEPER SLOPES REQUIRE AN INTERCEPT 5. JOIN SECTIONS AS SHOWN ABOVE.



PROPOSED POOL AND PATIO 7 FAIRLAWN AVENUE VILLAGE OF DOBBS FERRY WESTCHESTER COUNTY - NEW YORK



DETAILS **HUDSON**

ENGINEERING CONSULTING, P.C. 45 Knollwood Road – Suite 201 Elmsford, New York 10523

Designed By: D.Y Checked By: M.S. T: 914-909-0420 F: 914-560-2086 © 2021

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