

SITE PLAN

SCALE: 1/8" = 1'-0"

#### **ZONING CALCULATIONS ZONING DISTRICT: OF-6** 20 LYMAN PLACE, DOBBS FERRY, NY: TAX MAP: 3.60-21-17 REQUIRED **EXISTING** PROPOSED PRINCIPAL USE PERMITTED ONE-FAMILY RESIDENCE ONE-FAMILY RESIDENCE ONE-FAMILY RESIDENCE MIN. LOT SIZE 5,000 SF 10,797 SF 10,797 SF 96 FT 96 FT MIN. LOT WIDTH 50 FT MIN. LOT DEPTH 110.70 FT / 115.58 FT 110.70 FT / 115.58 FT 27% (OR 20% SLIDING SCALE) 17% (1,792 SF) 11% (1,232 SF) MAX. LOT COVERAGE (INCLUDES BUILDING, PORCH, GARAGE, SHED) 54% (OR 40% SLIDING SCALE) 23% (2,507 SF) 3,452 SF (32%) MAX. IMPERVIOUS COVERAGE (INCL. PATIO) 21.58 FT; 15.7 FT TO PORCH \*\* 21.58 FT MIN. FRONT YARD 20 FT 25 FT MIN. REAR YARD 46.4 FT (16.75FT TO EXIST. GARAGE) 46.4 FT (16.75FT TO EXIST. GARAGE) MIN. SIDE 1 YARD 10 FT 17.4 FT 17.4 FT 54.4 FT 10 FT 42.08 FT TO NEW ADDITION MIN. SIDE 2 YARD 71.8 FT 59.48 FT MIN. COMBINED SIDE YARDS 23 FT MAXIMUM RIDGE HEIGHT 28 FT DEFAULT 23 FT 19.9 FT 19.9 FT MAXIMUM EAVE HEIGHT 22 FT DEFAULT

# LOCATION MAP 3.60-21-10

P	COVERAGE CALCULATIONS		
	LOT AREA	10,797 SF	
		EXISTING	PROPOSED
	PRINCIPAL BUILDING & FRONT PORCH	1,001 SF	1,446 SF
	GARAGE & SHED	231 SF	289 SF
	NEW FRONT PORCH	N/A	57 SF
2	REAR / SIDE PATIO	421 SF	869 SF
	ENTRY PLATFORM/ WALKS/ STONE STEPS	129 SF	66 SF
44 60	DRIVEWAY & CONCRETE RAMP	725 SF	725 SF
	TOTAL IMPERVIOUS COVERAGE	EXISTING	PROPOSED
SOURCE: TOWN OF GREENBURGH GIS		2,507 SF (23%)	3,452 SF (32%)

\*\*\*PER DF ZONING CODE 300-34-B(4)(C)

OPEN PORCHES MAY PROJECT INTO

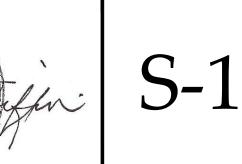
FRONT YARD SETBACK

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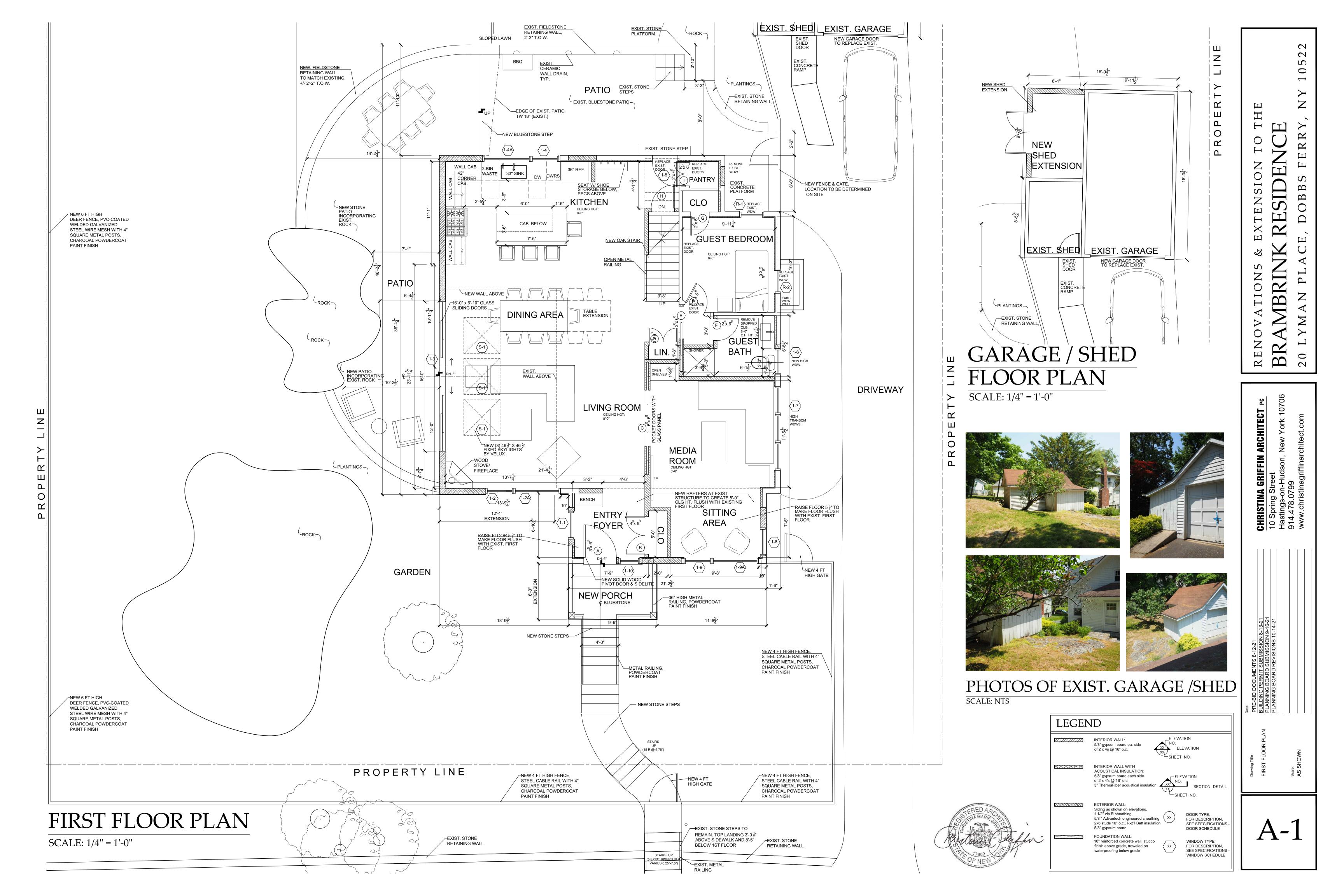
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GRIFI CHRISTINA GR 10 Spring Stree Hastings-on-Hu 914.478.0799 www.christinag

Drawing Title SITE PLAN ZONING DAT/ AREA MAP

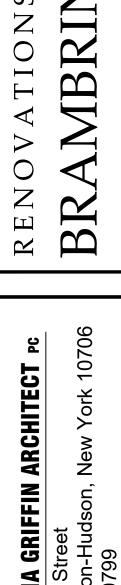


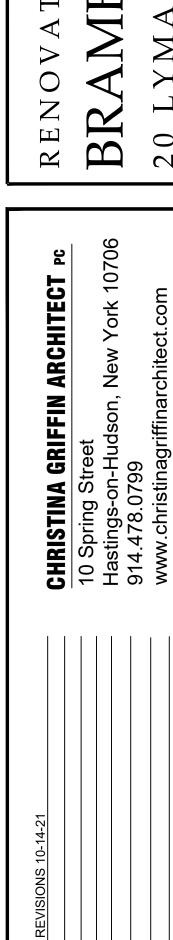




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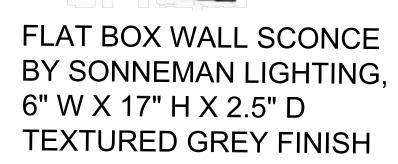


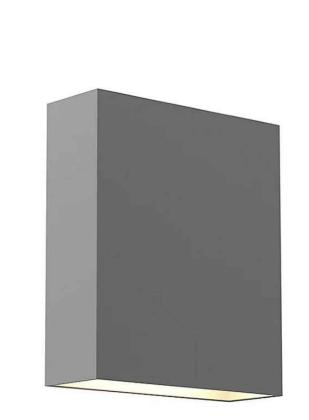
E-1



GLOW STAR LANDSCAPE LIGHT BY BK LIGHTING, STYLE "K" 2 1/2" DIAMETER,  $6\frac{3}{4}$ " HIGH SATIN ALUMINUM FINISH







VERSA STAR RECESSED

LIGHT BY BK LIGHTING,

SATIN ALUMINUM FINISH

5" DIAMETER,

FLAT BOX WALL SCONCE BY SONNEMAN LIGHTING, 6" W X 7" H X 2.5" D **TEXTURED GREY FINISH** 





NEW SHED

EXIST. FIELDSTONE

EXIST. PATIO

FLAT BOX UP/DOWN WALL SCONCE BY

SONNEMAN LIGHTING

2ND STORY ADDITION

(EXIST. 1-STORY)

2-STORY

(EXIST)

1-STORY

(EXIST)

-FLAT BOX WALL

LED PANEL SCONCE BY

-NEW STONE

REMOVE EXISTING POST LIGHT,

REPLACE WITH NEW GRADE-LEVEL PATH LIGHT, GLOW STAR BY BK LIGHTING

STEPS

1-STORY

NEW PORCH

RESIDENCE

**RETAINING WALL** 

2-STORY

**ADDITION** 

1-STORY

ADDITION

LANDSCAPING LIGHT

BY BK LIGHTING, TYPICAL

2'-2" T.O.W.

**EXTENSION** 

SHED GARAGE

SCALE: 3/16" = 1'-0"

NOTE:

ALL EXTERIOR LIGHTING

OF DOBBS FERRY ZONING

CODE SECTION 300-41

SHALL COMPLY WITH VILLAGE

(3) VERSA STAR RECESSED

LIGHTS BY BK LIGHTING, — TYPICAL AT LOWER ROOF OVERHANG

**NEW FIELDSTONE** 

**NEW PATIO** 

**EXTENSION** 

**NEW PATIO** 

**EXTENSION** 

**RETAINING WALL** 

TO MATCH

2'-2" T.O.W.

EXISTING, +/-

EXIST. ROCK

LEDGE LED WALL-

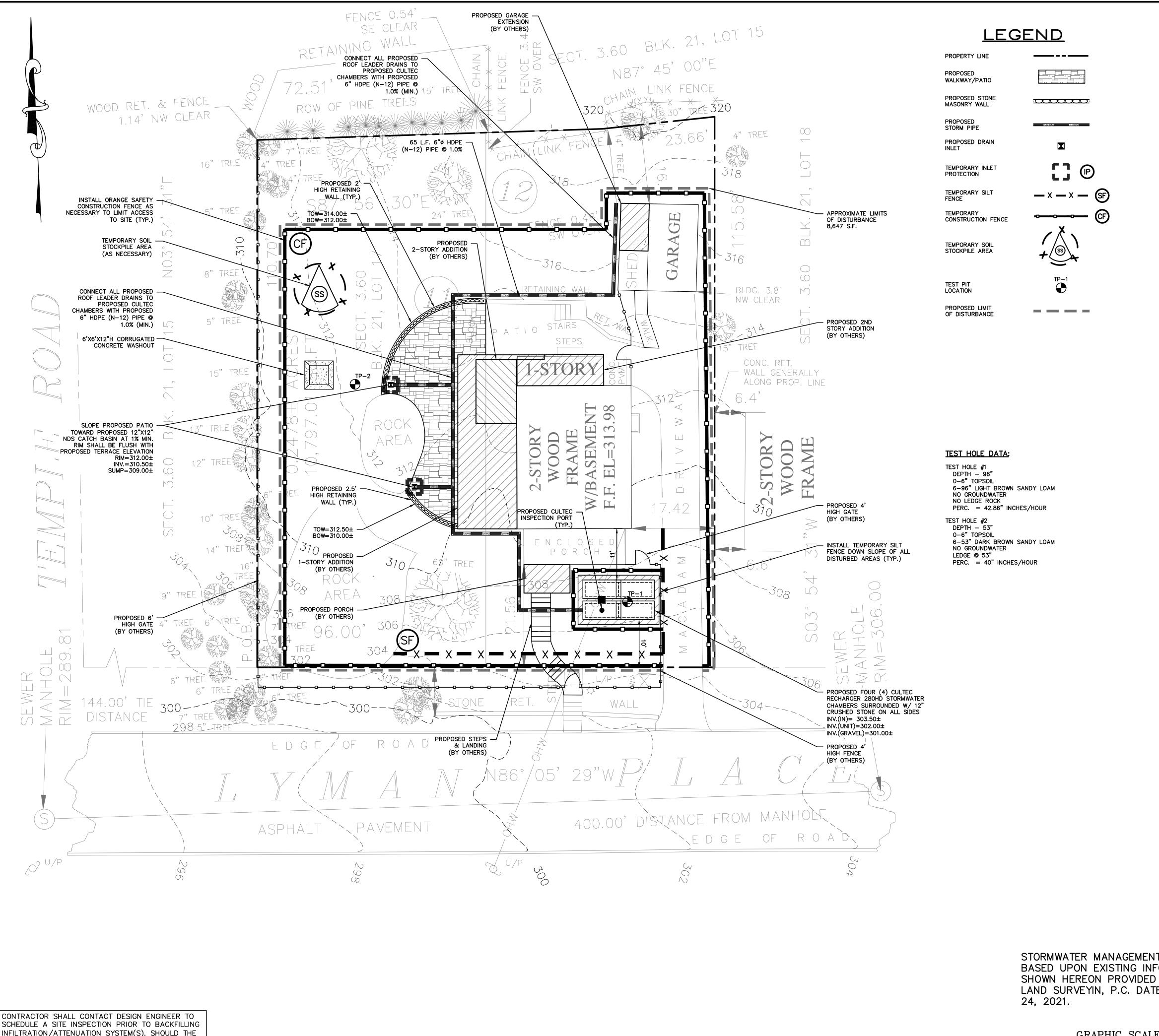
BY MODERN FORMS

PROPERTY LINE

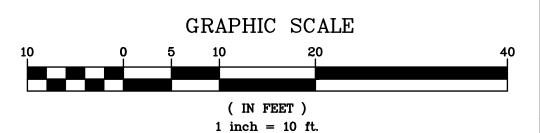
SCONCE

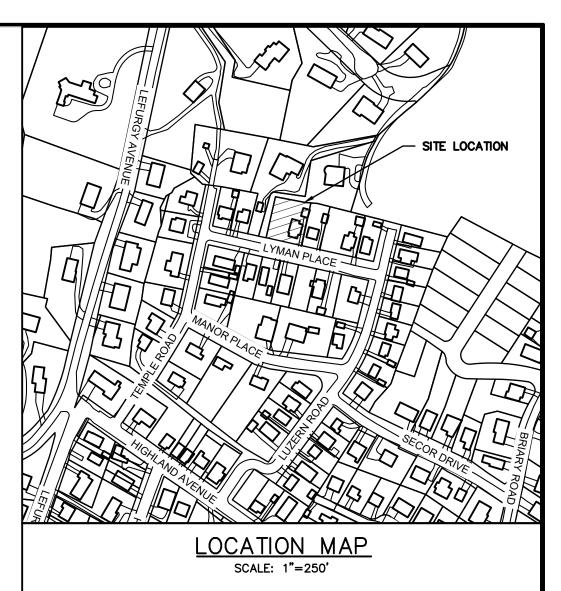
EXIST. ROCK OUTCROP—

OUTCROP



STORMWATER MANAGEMENT PLAN IS BASED UPON EXISTING INFORMATION SHOWN HEREON PROVIDED BY RAMSAY LAND SURVEYIN, P.C. DATED SEPTEMBER





### **GENERAL NOTES:**

- THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE SUPERVISION OF THE CONSTRUCTION.
   NO CHANGES SHALL BE MADE TO THESE PLANS EXCEPT AS PER NYS LAW CHAPTER 987. 3. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO ACI, AISC, ZONING, AND THE NEW YORK STATE BUILDING CODE. 4. ALL CONDITIONS, LOCATIONS AND DIMENSIONS SHALL BE FIELD VERIFIED AND THE ENGINEER
- SHALL BE IMMEDIATELY NOTIFIED OF ANY DISCREPANCIES. 5. ALL CHANGES MADE TO THE PLANS SHALL BE APPROVED BY THE ENGINEER AND ANY SUCH CHANGES SHALL BE FILED AS AMENDMENTS TO THE ORIGINAL BUILDING PERMIT.
- 6. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF HIS EMPLOYEES, SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES, AND OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTACT WITH THE CONTRACTOR.
- 8. SAFETY DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL AGENCIES IN EFFECT DURING THE PERIOD OF CONSTRUCTION. 9. THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL MAKE APPLICATION TO RECEIVE ALL
- NECESSARY PERMITS TO PERFORM THE WORK UNDER CONTRACT. THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL BE LICENSED TO DO ALL WORK AS REQUIRED BY THE LOCAL, COUNTY, AND STATE AGENCIES WHICH MAY HAVE JURISDICTION OVER THOSE TRADES, AND
- SHALL PRESENT THE OWNER WITH COPIES OF ALL LICENSES AND INSURANCE CERTIFICATES 10. FINAL GRADING AROUND THE BUILDING AREA SHALL SLOPE AWAY FROM THE STRUCTURE. 11. ALL WRITTEN DIMENSIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER ANY SCALED DIMENSIONS.
- 12. ADJOINING PUBLIC AND PRIVATE PROPERTY SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION, REMODELING AND DEMOLITION WORK. PROTECTION MUST BE PROVIDED FOR FOOTINGS, FOUNDATIONS, PARTY WALLS, CHIMNEYS, SKYLIGHTS AND ROOFS. PROVISIONS SHALL BE MADE TO CONTROL WATER RUNOFF AND EROSION DURING CONSTRUCTION OR DEMOLITION ACTIVITIES. THE PERSON MAKING OR CAUSING AN EXCAVATION TO BE MADE SHALL PROVIDE WRITTEN NOTICE TO THE OWNERS OF ADJOINING BUILDINGS ADVISING THEM THAT THE EXCAVATION IS TO BE MADE AND THAT THE ADJOINING BUILDING SHOULD BE PROTECTED. SAID NOTIFICATION SHALL BE DELIVERED NOT LESS THAN 10 DAYS PRIOR TO THE SCHEDULED STARTING DATE OF THE EXCAVATION.
- 13. OWNER SHALL INSURE THAT THE INSURANCE PROVIDED BY THE CONTRACTOR HIRED TO PERFORM THE WORK SHALL BE ENDORSED TO NAME HUDSON ENGINEERING & CONSULTING, P.C., AND ANY DIRECTORS, OFFICERS, EMPLOYEES, SUBSIDIARIES, AND AFFILIATES, AS ADDITIONAL INSURED ON ALL POLICIES AND HOLD HARMLESS DOCUMENTS, AND SHALL STIPULATE THAT THIS INSURANCE IS PRIMARY, AND THAT ANY OTHER INSURANCE OR SELF-INSURANCE MAINTAINED BY HUDSON ENGINEERING & CONSULTING, P.C., SHALL BE EXCESS ONLY AND SHALL NOT BE CALLED UPON TO CONTRIBUTE WITH THIS INSURANCE. ISO ADDITIONAL INSURED ENDORSEMENT FORM NUMBER CG2010 1185 UNDER GL. COPIES OF THE INSURANCE POLICIES SHALL BE SUBMITTED TO HUDSON ENGINEERING & CONSULTING, P.C., FOR APPROVAL PRIOR TO THE SIGNING OF THE CONTRACT.
- 14. INDUSTRIAL CODE RULE 753: THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 72 HOURS PRIOR TO THE START OF HIS OPERATIONS AND SHALL COMPLY WITH ALL THE LATEST THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 72 INDUSTRIAL CODE RULE 753 REGULATIONS.

# INSTALLATION & MAINTENANCE OF EROSION CONTROL:

CONSTRUCTION SCHEDULE

NOTIFY APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 5 DAYS PRIOR TO START.

EROSION CONTROL MEASURES PRIOR TO START OF CONSTRUCTION. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

#### INSPECTION BY MUNICIPALITY MAINTENANCE (TO BE PERFORMED DURING ALL PHASES OF CONSTRUCTION)

AFTER ANY RAIN CAUSING RUNOFF, CONTRACTOR TO INSPECT HAYBALES, ETC. AND REMOVE ANY EXCESSIVE SEDIMENT AND INSPECT STOCKPILES AND CORRECT ANY PROBLEMS WITH SEED ESTABLISHMENT. INSPECTIONS SHALL BE DOCUMENTED IN WRITING AND SUBMITTED TO THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION.

INSPECTION BY MUNICIPALITY — FINAL GRADING REMOVE UNNEEDED SUBGRADE FROM SITE.

CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

# INSPECTION BY MUNICIPALITY - LANDSCAPING

SPREAD TOPSOIL EVENLY OVER AREAS TO BE SEEDED. HAND RAKE LEVEL. BROADCAST 1.25 LB. BAG OF JONATHAN GREEN "FASTGROW" MIX OR EQUAL OVER AREA TO BE SEEDED. APPLY STRAW MULCH AND WATER WITHIN 2 DAYS OF COMPLETION OF TOPSOILING. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY - FINAL LANDSCAPING

GRASS ESTABLISHED.

CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY - FINAL INSPECTION

ALL EROSION CONTROL MEASURES REMOVED AND GRASS ESTABLISHED. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

PROPOSED ADDITIONS & ALTERATIONS 20 LYMAN PLACE VILLAGE OF DOBBS FERRY WESTCHESTER COUNTY - NEW YORK



STORMWATER MANAGEMENT PLAN



**HUDSON** ENGINEERING CONSULTING, P.C. 5 Knollwood Road — Suite 20 Elmsford, New York 10523 T: 914-909-0420 F: 914-560-2086

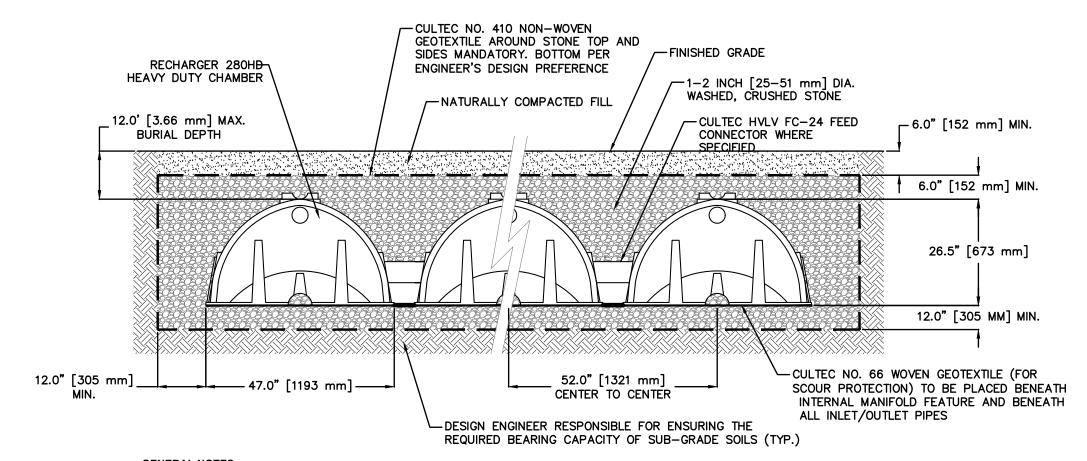
Designed By: N.S. Checked By: M.S

ANY ALTERATIONS OR REVISIONS OF THESE PLANS, UNLESS DONE BY OR UNDER THE DIRECTION OF THE NYS LICENSED AND REGISTERED ENGINEER THAT PREPARED THEM, IS A VIOLATION OF THE NYS EDUCATION LAW.

CONTRACTOR BACKFILL PRIOR TO INSPECTION, THE

OWN EXPENSE.

CONTRACTOR SHALL EXPOSE THE SYSTEM AT THEIR



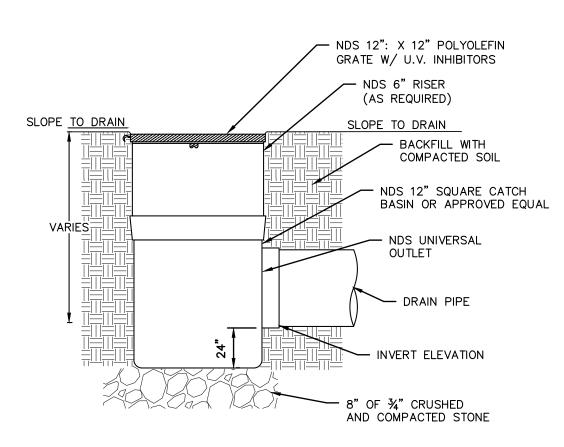
GENERAL NOTES
RECHARGER 280HD BY CULTEC, INC. OF BROOKFIELD, CT. STORAGE PROVIDED =  $9.21 \text{ CF/FT} [1.83 \text{ m}^3/\text{m}] \text{ PER DESIGN UNIT.}$ REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES. MAXIMUM ALLOWED COVER OVER TOP OF UNIT SHALL BE 12' (3.65 m)

INSTRUCTIONS.

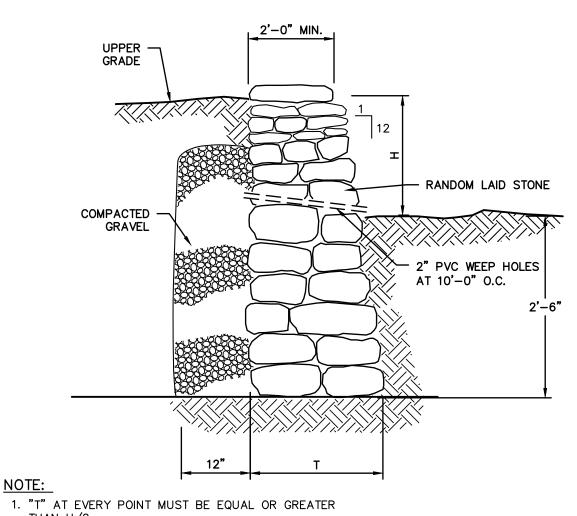
THE CHAMBER WILL BE DESIGNED TO WITHSTAND TRAFFIC LOADS WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION

ALL RECHARGER 280HD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER. ALL RECHARGER 280HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

## CULTEC RECHARGER 280HD



# NDS SQUARE CATCH BASIN

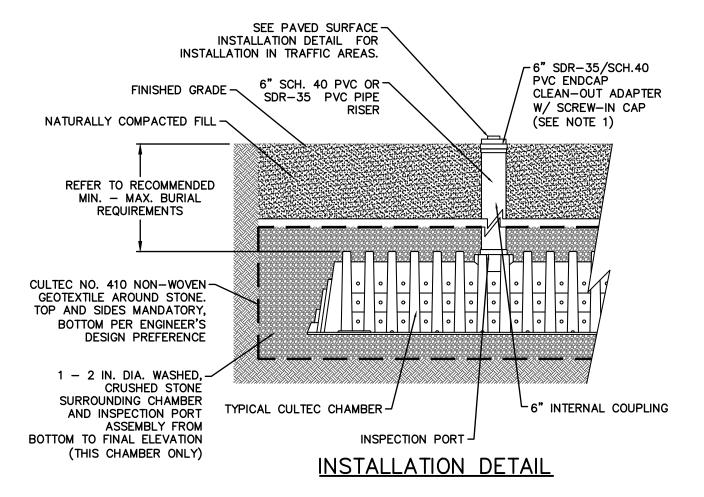


THAN H/2. 2. THE FIELDSTONE WALLS DESIGN SHOULD ONLY BE USED FOR

VERTICAL GRADE SEPARATIONS OF 6 FEET OR LESS ON SITE.

# FIELDSTONE RETAINING WALL

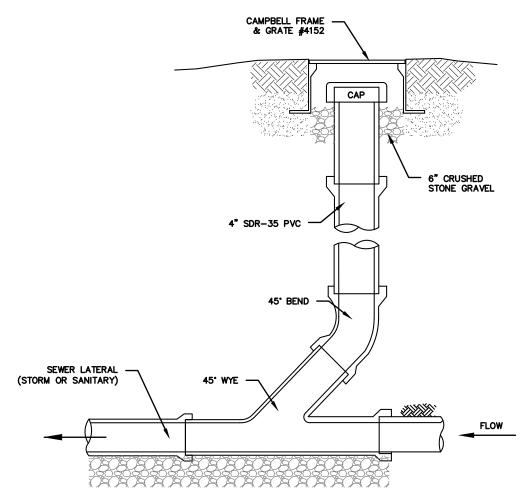
CONTRACTOR SHALL CONTACT DESIGN ENGINEER TO SCHEDULE A SITE INSPECTION PRIOR TO BACKFILLING INFILTRATION/ATTENUATION SYSTEM(S). SHOULD THE CONTRACTOR BACKFILL PRIOR TO INSPECTION, THE CONTRACTOR SHALL EXPOSE THE SYSTEM AT THEIR OWN EXPENSE.



# **CULTEC INSPECTION PORT**

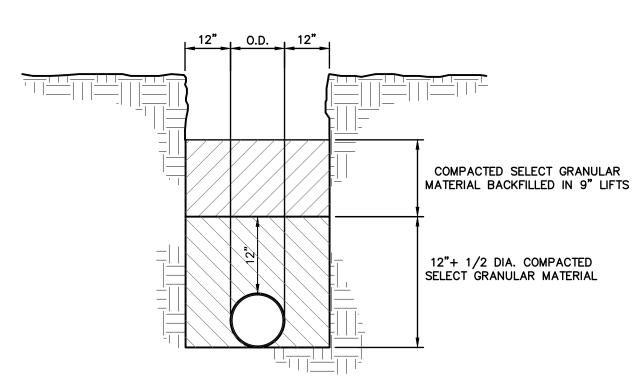
#### NOTES:

- 1. WHEN ACCESS PORT IS UTILIZED AS SYSTEM OVERFLOW, INSTALL NDS MODEL 50 GRATE. GRATE TO BE SET 1/2" ABOVE ADJACENT GRADE. ADJACENT GRADE TO PITCH AWAY FROM ACCESS PORT IN ALL
- 2. INSPECTION PORT NOT TO SERVE AS OVERFLOW WHEN INSTALLED IN PAVED/TRAFFIC AREAS.

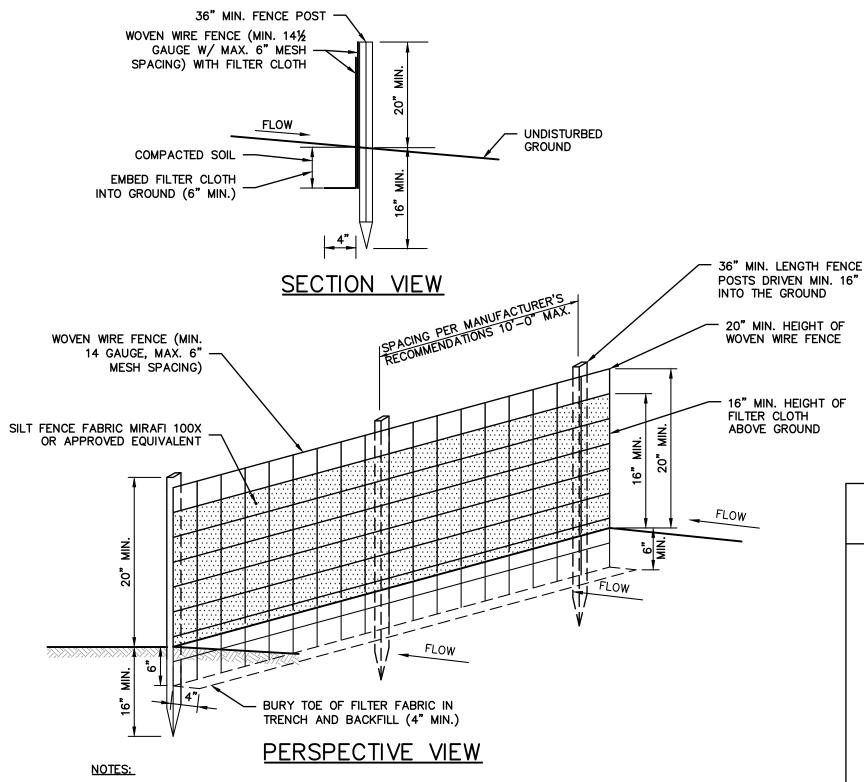


NOTES (STORM SEWER):
1. REFER TO PLAN FOR SPECIFIC PIPE SIZING AND SLOPE SPECIFICATIONS; HOWEVER, IN GENERAL, ALL STORM SEWER SERVICES TO BE 6" SCH. 40 @ 1.0% MINIMUM. 2. CLEANOUTS SHALL BE PLACED BEFORE SIGNIFICANT PIPE BEND LOCATIONS (I.E., JUNCTIONS, 90-DEGREE BENDS, ETC.) UNLESS A ROOF LEADER DOWNSPOUT CONNECTION

#### SEWER CLEANOUT DETAIL (GRAVITY) (STORM)

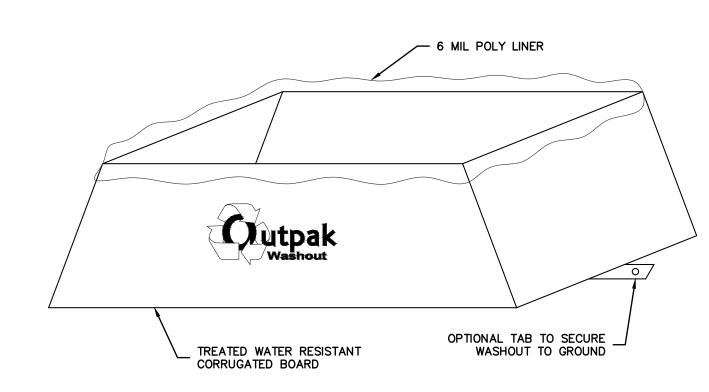


TRENCH BEDDING



- 1. WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL, EITHER 'T' OR 'U' TYPE OR HARDWOOD.
- 2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
- 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABLINKA T140N, OR APPROVED EQUIVALENT.
- 4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT
- 5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED AND REPLACED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- 6. INSTALL FABRIC ON UPHILL SIDE OF SUPPORT POSTS.
- 7. SILT FENCE SHALL NOT BE USED IN DRAINAGE WAYS.

# REINFORCED SILT FENCE



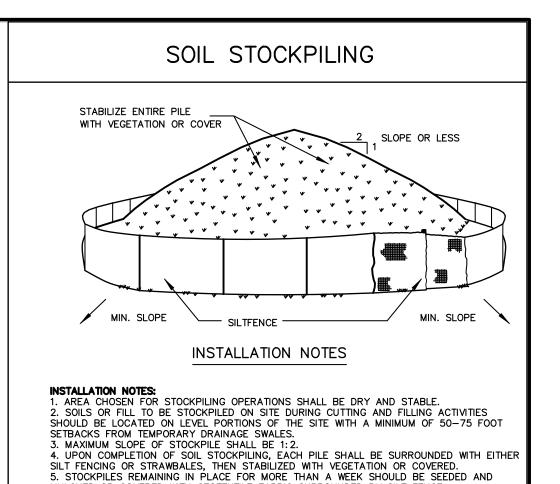
# NOTES:

- 1. THE WASHOUT SHALL BE INSTALLED PRIOR TO USING MATERIALS THAT REQUIRE WASHOUT ON THIS PROJECT.
- 2. AS NECESSARY, SIGNS SHALL BE PLACED THROUGHOUT THE SITE TO INDICATE THE LOCATION OF THE WASHOUT.
- 3. THE WASHOUT AREA WILL BE REPLACED AS NECESSARY TO MAINTAIN CAPACITY FOR LIQUID WASTE.
- 4. WASHOUT RESIDUE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED WASTE FACILITY.
- 5. DO NOT WASHOUT INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS.

6. AVOID DUMPING EXCESS CONCRETE IN NON-DESIGNATED DUMPING AREAS.

- 7. LOCATE WASHOUT AT LEAST 50' (15 METERS) FROM STORM DRAIN, OPEN DITCHES, OR WATER BODIES.
- 8. THE WASHOUT SHALL BE USED ONLY FOR NON-HAZARDOUS WASTES.

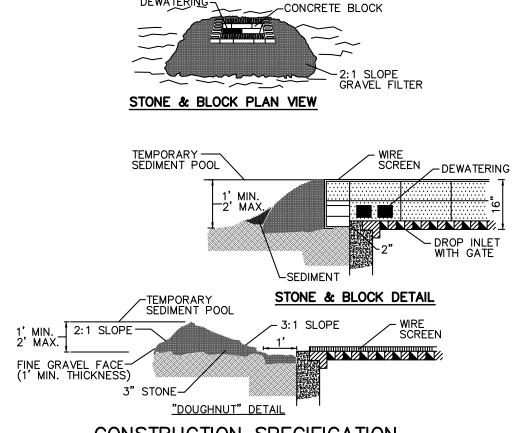
CORRUGATED CONCRETE WASHOUT



STONE & BLOCK DROP INLET PROTECTION

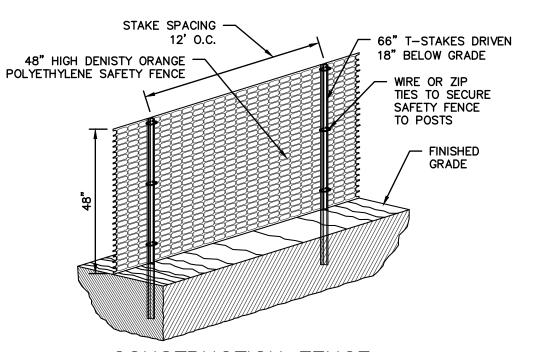
6. SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILT FENCE.

MULCHED OR COVERED WITH GEOTEXTILE FABRIC SURROUNDED BY SILT FENCE.

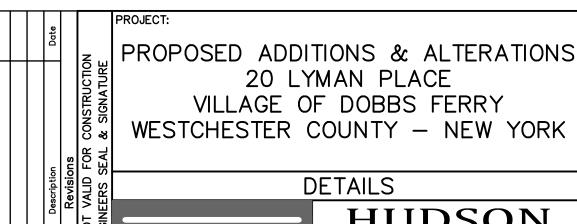


CONSTRUCTION SPECIFICATION

- 1. LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
- 2. HARDWARECLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS
- 3. USE CLEAN STONE OR GRAVEL 1/2-3/4 INCH IN DIAMETER PLACED 2 INCHES BELOW TOP OF BLOCK ON A 2:1 SLOPE OR FLATTER.
- 4. FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF THE FILTER STONE WILL BE PLACED AGAINST THE 3 INCH STONE AS SHOWN ON THE DRAWINGS. MAXIMUM DRAINAGE AREA 1 ACRE.



**CONSTRUCTION FENCE** 





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