

**LETTER OF TRANSMITTAL**

**To:** Building Department  
Village of Dobbs Ferry, NY

**Date:** October 28<sup>th</sup>, 2021

**Project:** Modifications to 54 Clinton St



The following materials are enclosed / attached:

Quant.	Description	Date	Item No.	Notes
7	Sets of revised Architectural Drawings A-001 and A.002	10/28/21		2 sheets per set, signed and sealed

**By Hand**

The materials listed above are submitted to the Building Inspector for forwarding to the Planning Board. We were advised of updated zoning tables B-2 and B-3, that were not on the website, and have updated the attached drawings A-001.01 and A-002.02 to reflect that new information. We apologize for any inconvenience.

**Cc:** Roubi & Elias Eliopoulos, Owner



# Modifications to 54 Clinton Avenue

54 Clinton Avenue, Dobbs Ferry, NY 10522

## DRAWING INDEX

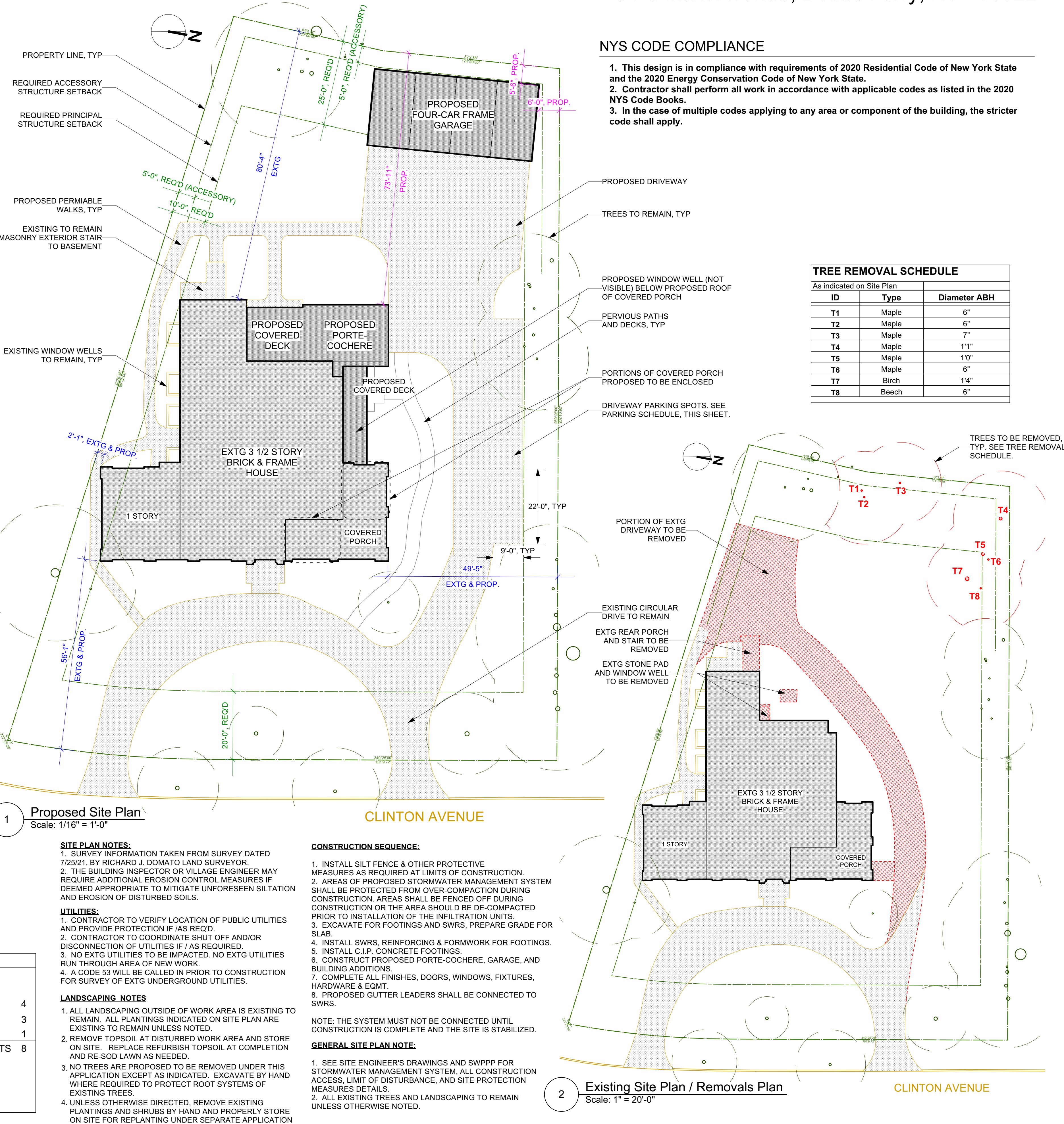
NO.	SHEET	ISSUE DATE	REV. DATE
A-001.01	Existing & Proposed Site Plans	10/4/21	10/28/21
A-002.01	Unit and Coverage Diagrams	10/4/21	10/28/21
A-100.00	Cellar Demo & Construction Plans	10/4/21	
A-101.00	1st Floor Demo & Construction Plans	10/4/21	
A-102.00	2nd Floor Demo & Construction Plans	10/4/21	
A-103.00	3rd Floor Demo & Construction Plans	10/4/21	
A-104.00	Attic Demo & Construction Plans	10/4/21	
A-501.00	East Existing & Proposed Exterior Elevations	10/4/21	
A-502.00	North Existing & Proposed Exterior Elevations	10/4/21	
A-503.00	West Existing & Proposed Exterior Elevations	10/4/21	
A-504.00	South Existing & Proposed Exterior Elevations	10/4/21	

## ZONING CHART

LOT AND ZONING INFORMATION				
54 Clinton Avenue Dobbs Ferry, NY 10522				
Section: 3.80 Block: 46 Lots: 2				
ZONING DISTRICT: MDR-H				
GENERAL LOT DIMENSIONS				
	REQUIRED/ALLOWED	EXISTING	PROPOSED	COMPLIANT
MINIMUM NET LOT AREA *	10,000 SF	27,175.8 SF	NO CHANGE	YES
MINIMUM LOT AREA PER D.U.	2,500 SF	N/A	6,794.0 SF	YES
LOT WIDTH	50'	161.3'	NO CHANGE	YES
LOT DEPTH	100'	209.9'	NO CHANGE	YES
YARD SETBACKS (PRINCIPAL STRUCTURE)				
	REQUIRED/ALLOWED	EXISTING	PROPOSED	COMPLIANT
FRONT ***	20'	56.1'	NO CHANGE	YES
REAR	25'	80.3'	73.9'	YES
SIDE ONE	10'	2.1'	NO CHANGE	EXTG NON-CONFORMING
TOTAL OF TWO SIDES	20'	51.5'	NO CHANGE	YES
YARD SETBACKS (ACCESSORY STRUCTURE)				
	REQUIRED/ALLOWED	EXISTING	PROPOSED	COMPLIANT
REAR	5'	N/A	5.5'	YES
SIDE	5'	N/A	6'	YES
MAIN BUILDING HEIGHT **				
	REQUIRED/ALLOWED	EXISTING	PROPOSED	COMPLIANT
STORIES	3	3 1/2	NO CHANGE	EXTG NON-CONFORMING
FEET	30****	36.8'	NO CHANGE	EXTG NON-CONFORMING
EAVE	N/A	23.2'	NO CHANGE	YES
GARAGE HEIGHT	N/A	N/A		YES
LOT COVERAGE				
	REQUIRED/ALLOWED	EXISTING	PROPOSED	COMPLIANT
LOT AREA	10,000 SF	27,175.8 SF	NO CHANGE	YES
COVERAGE, BUILDING ***	30% x .67 (5,462.34 SF)	15.2% (4,128.9 SF)	*1,999.3 22.6% (6,128.2 SF)	NO
COVERAGE, IMPERVIOUS SURFACES	60% x .67 (10,924.67 SF)	35.4% (9,631.7 SF)	*2,615.05 45% (12,246.75 SF)	NO
OCCUPANCY AND USE				
	REQUIRED/ALLOWED	EXISTING	PROPOSED	COMPLIANT
CURRENT USE	N/A	MIXED USE	MULTI-FAMILY (4 D.U.'s)	YES
GROSS FLOOR AREA ****	N/A	10,895.4 SF	+562.3 SF = 11,457.7 SF	N/A
CELLAR FLOOR AREA	N/A	2,595.5 SF	NO CHANGE	N/A
1ST FL FLOOR AREA	N/A	3,576.8 SF	+407.0 SF = 3,983.8 SF	N/A
2ND FL FLOOR AREA	N/A	2,658.2 SF	+58.1 SF = 2,716.3 SF	N/A
3RD FL FLOOR AREA	N/A	2,064.9 SF	+97.2 SF = 2,162.1 SF	N/A
ATTIC FLOOR AREA	N/A	575.3 SF	+324.5 SF = 899.8 SF	N/A
GARAGE FLOOR AREA	N/A	N/A	+1,091.3 SF = 1,091.3 SF	N/A
NOTES:				
* NEGLIGIBLE AREA OF STEEP SLOPES AT NORTHWEST CORNER OF LOT DISREGARDED PER DOBBS CODE SECTION 300-34A(2)(c).				
** NO HEIGHT REQUIREMENTS LISTED FOR ZONE MDR-H. FOR REFERENCE, ZONE MDR-2 ALLOWS 40' BLDG HEIGHT AND 28' EAVE HEIGHT.				
*** 75 SF OF FRONT PORCH NOT COUNTED TOWARDS BLDG COVERAGE PER 300-34B(4)(c). ALSO EXEMPT FROM FRONT SETBACK.				
**** GARAGE, ACCESSORY PARKING STRUCTURES, OPEN PORCHES, AND ATTICS WITH LESS THAN 7'-6" CLG HT NOT COUNTED IN GROSS FLOOR AREA CALCULATION PER 300-14.				

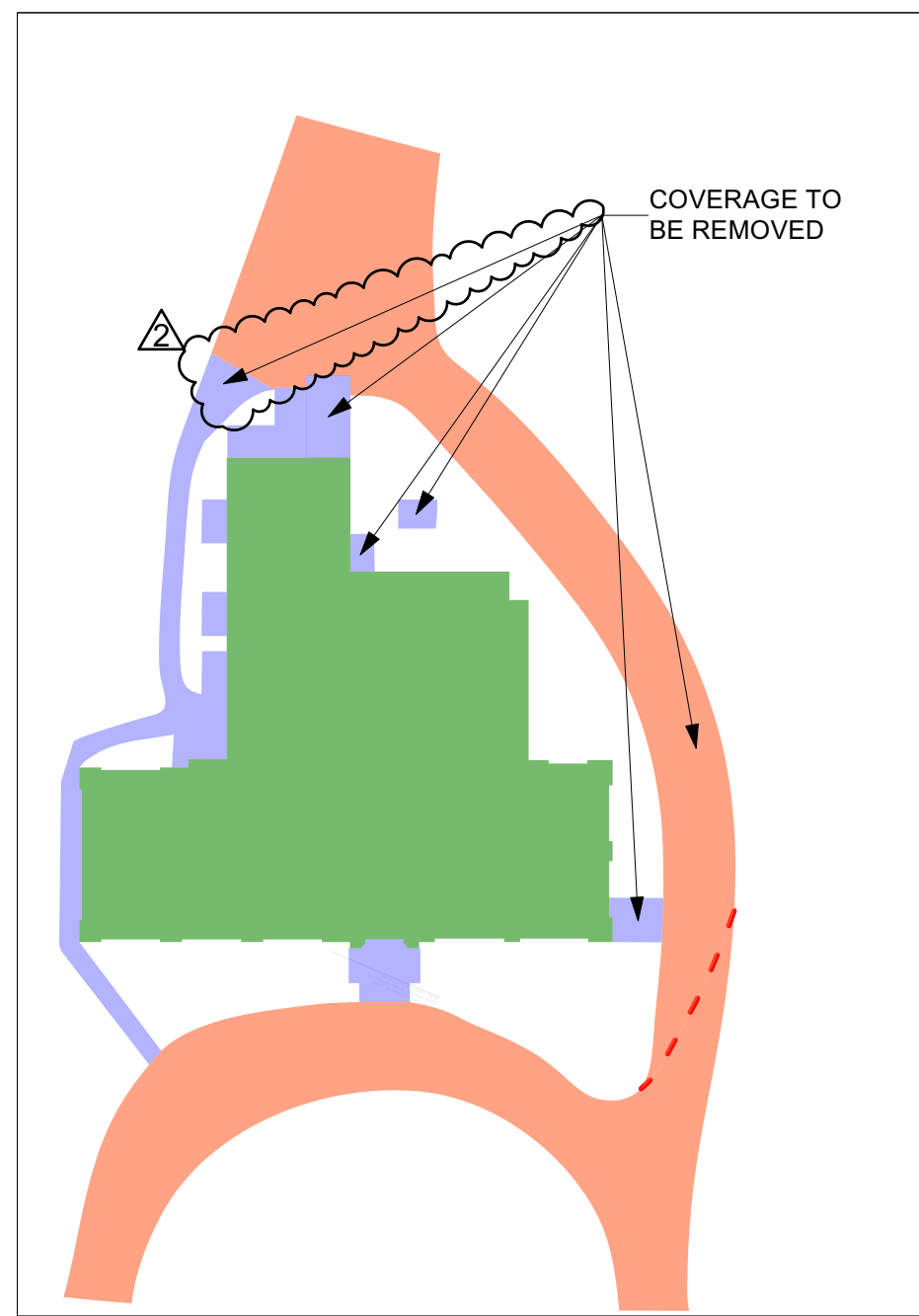
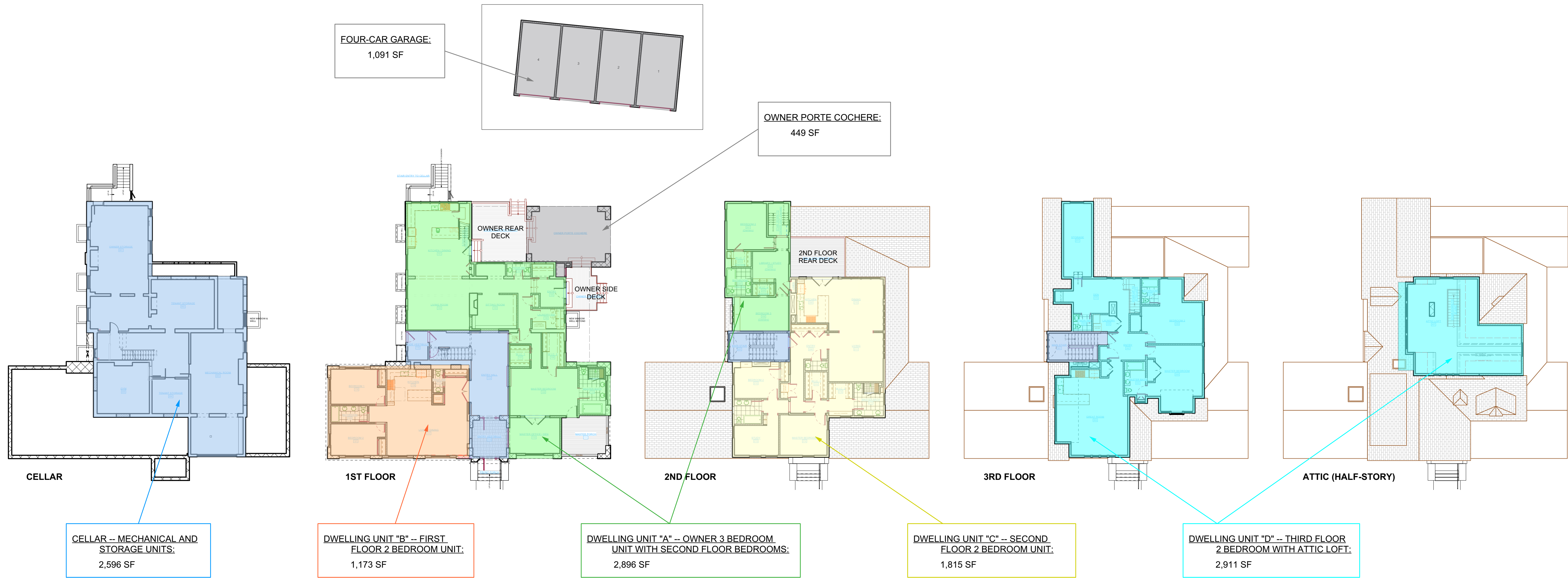
## PARKING ANALYSIS

DOBBS FERRY MULTI-FAMILY PARKING REQUIREMENTS		EXISTING	PROPOSED
FOR DWELLING UNIT "A"	+1 PARKING SPOT		
PLUS .25 FOR EACH BEDROOM (3)	+ .75 PARKING SPOTS		
FOR DWELLING UNIT "B"	+1 PARKING SPOT		
PLUS .25 FOR EACH BEDROOM (2)	+ .50 PARKING SPOTS	4 SPOTS	GARAGE SPOTS 4
FOR DWELLING UNIT "C"	+1 PARKING SPOT	EXISTING	DRIVEWAY SPOTS 3
PLUS .25 FOR EACH BEDROOM (2)	+ .50 PARKING SPOTS		PORTE-COCHERE SPOT 1
FOR DWELLING UNIT "D"	+1 PARKING SPOT		TOTAL SPOTS 8
PLUS .25 FOR EACH BEDROOM (2)	+ .50 PARKING SPOTS		
6.25 (6) TOTAL PARKING SPOTS REQUIRED			

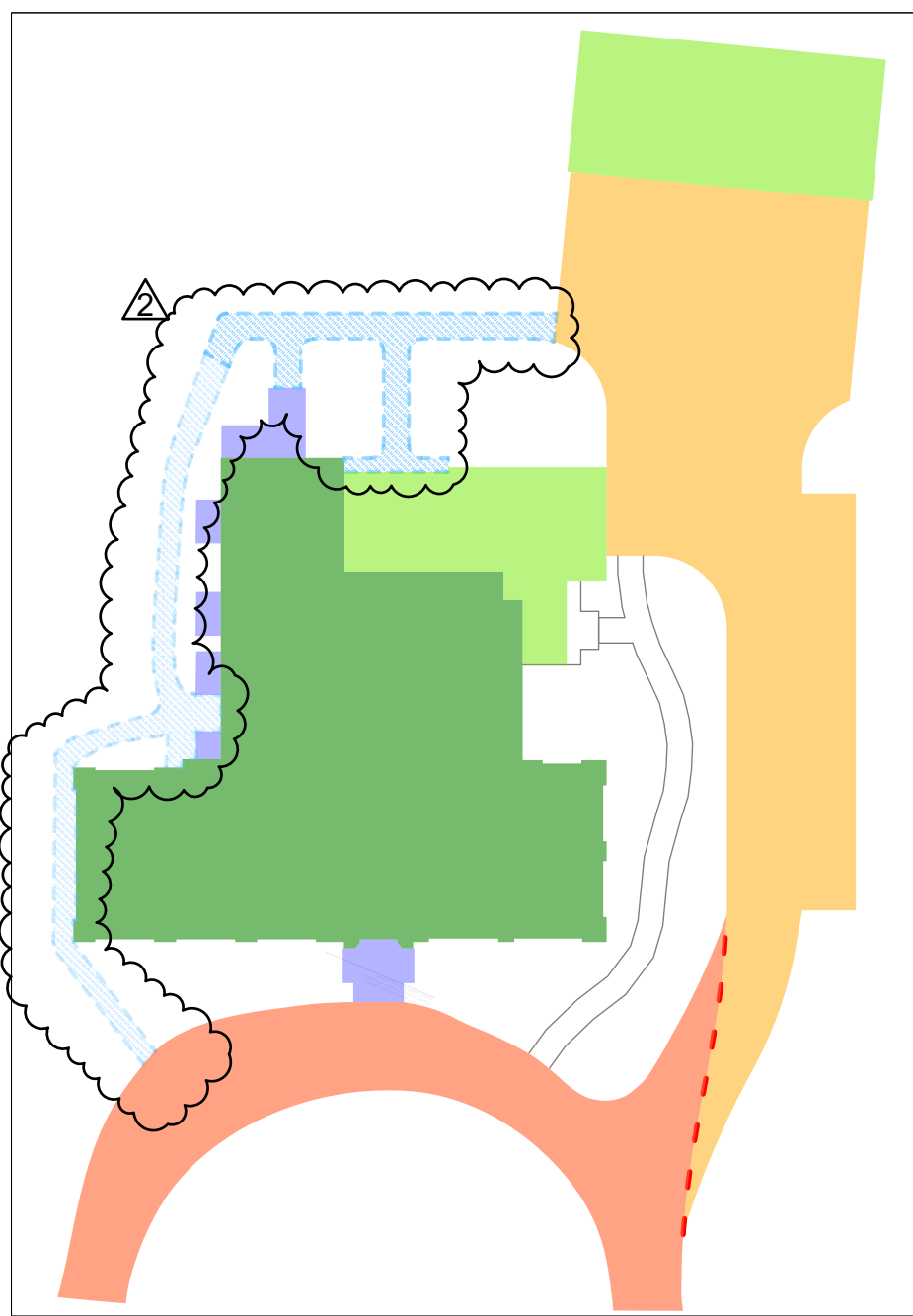


NO.	REVISIONS	DATE
1	Initial Bldg Permit Submittal	10/4/2021
2	Zoning Change Revisions	10/28/2021
Michael Lewis Architects PC 145 Palisade St. Suite #307 Dobbs Ferry, NY 10522 tel 914-231-7700, fax 914-231-7701 info@mlarchitect.com www.mlarchitect.com		
PROJECT: Modifications to 54 Clinton Avenue 54 Clinton Avenue Dobbs Ferry, NY 10522		
DRAWING TITLE: Extg & Prop Site Plans		
FILE NAME:		
DRAWN BY:	BDS	DRAWING NUMBER
SCALE:	As Noted	A-001.01
DATE:	10/4/21	
PROJECT ID:	2109A	





EXISTING COVERAGE EXHIBIT  
SCALE 1" = 30'-0"



PROPOSED COVERAGE EXHIBIT  
SCALE 1" = 30'-0"

SITE PLAN COVERAGE LEGEND	
EXISTING SITE ELEMENTS	
	EXTG BUILDING TO REMAIN
	EXTG PORCHES, PATHS, AND WINDOW WELLS
	EXTG DRIVEWAY
PROPOSED SITE ELEMENTS	
	PROP. ACCESSORY PARKING STRUCTURES / ADDITIONS
	PROP. PERMIABLE PATHS

EXISTING AND PROPOSED COVERAGE TABLE				
		EXISTING COVERAGE	PROPOSED COVERAGE	NET INCREASE
COVERAGE TOTAL		9,631.7 sf	13,238.5 sf	+3,606.7 sf
COVERAGE BREAKDOWN	BUILDINGS	4,128.9 sf	6,128.2 sf	+1,999.3 sf
	EXTG PORCHES / PATHS	932.8 sf	708.3 sf	-224.5 sf
	PROPOSED PATHS	N/A	379.1 sf	+379.1 sf
	DRIVEWAY	4,570.0 sf	6,022.8 sf	+1,452.8 sf

\* 75sf OF EXISTING FRONT PORCH EXEMPT FROM COVERAGE PER DOBBS FERRY CODE SECTION 300-34B(4)c

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NO. ISSUE DATE

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DRAWING TITLE:  
Unit and Coverage Diagrams

FILE NAME:  
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SCALE: As Noted  
DATE: 10/4/21  
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DRAWING NUMBER  
A-002.01