#### MICHAEL LEWIS ARCHITECTS

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#### LETTER OF TRANSMITTAL

To:

**Building Department** 

Village of Dobbs Ferry, NY

Date:

October 28th, 2021

**Project:** Modifications to 54 Clinton St

The following materials are enclosed / attached:

## RECEIVED

OCT 2 9 2021

VILLAGE OF DOBBS FERRY **BUILDING DEPARTMENT** 

Quant.	Description	Date	Item No.	Notes
7	Sets of revised Architectural Drawings A-001 and A.002	10/28/21		2 sheets per set, signed and sealed

#### By Hand

The materials listed above are submitted to the Building Inspector for forwarding to the Planning Board. We were advised of updated zoning tables B-2 and B-3, that were not on the website, and have updated the attached drawings A-001.01 and A-002.02 to reflect that new information. We apologize for any inconvenience.

Roubi & Elias Eliopoulos, Owner Cc:

# Modifications to 54 Clinton Avenue

54 Clinton Avenue, Dobbs Ferry, NY 10522

# DRAWING INDEX

NO.	SHEET	ISSUE Date	REV. DATE
A-001.01	Existing & Proposed Site Plans	10/4/21	10/28/21
A-002.01	Unit and Coverage Diagrams	10/4/21	10/28/21
A-100.00	Cellar Demo & Construction Plans	10/4/21	
A-101.00	1st Floor Demo & Construction Plans	10/4/21	
A-102.00	2nd Floor Demo & Construction Plans	10/4/21	
A-103.00	3rd Floor Demo & Construction Plans	10/4/21	
A-104.00	Attic Demo & Construction Plans	10/4/21	
A-501.00	East Existing & Proposed Exterior Elevations	10/4/21	
A-502.00	North Existing & Proposed Exterior Elevations	10/4/21	
A-503.00	West Existing & Proposed Exterior Elevations	10/4/21	
A-504.00	South Existing & Proposed Exterior Elevations	10/4/21	

PROPERTY LINE, TYP-

REQUIRED ACCESSORY

STRUCTURE SETBACK

REQUIRED PRINCIPAL

STRUCTURE SETBACK

PROPOSED PERMIABLE

EXISTING TO REMAIN MASONRY EXTERIOR STAIR-

**EXISTING WINDOW WELLS** 

TO REMAIN, TYP

Proposed Site Plan

**SITE PLAN NOTES:** 

AND EROSION OF DISTURBED SOILS.

AND PROVIDE PROTECTION IF /AS REQ'D.

RUN THROUGH AREA OF NEW WORK.

**LANDSCAPING NOTES** 

EXISTING TREES.

2. CONTRACTOR TO COORDINATE SHUT OFF AND/OR

3. NO EXTG UTILITIES TO BE IMPACTED. NO EXTG UTILITIES

4. A CODE 53 WILL BE CALLED IN PRIOR TO CONSTRUCTION

1. ALL LANDSCAPING OUTSIDE OF WORK AREA IS EXISTING TO REMAIN. ALL PLANTINGS INDICATED ON SITE PLAN ARE

2. REMOVE TOPSOIL AT DISTURBED WORK AREA AND STORE

3. NO TREES ARE PROPOSED TO BE REMOVED UNDER THIS

WHERE REQUIRED TO PROTECT ROOT SYSTEMS OF

4. UNLESS OTHERWISE DIRECTED, REMOVE EXISTING

ON SITE. REPLACE REFURBISH TOPSOIL AT COMPLETION

APPLICATION EXCEPT AS INDICATED. EXCAVATE BY HAND

PLANTINGS AND SHRUBS BY HAND AND PROPERLY STORE

ON SITE FOR REPLANTING UNDER SEPARATE APPLICATION

DISCONNECTION OF UTILITIES IF / AS REQUIRED.

FOR SURVEY OF EXTG UNDERGROUND UTILITIES.

EXISTING TO REMAIN UNLESS NOTED.

AND RE-SOD LAWN AS NEEDED.

Scale: 1/16" = 1'-0"

1 STORY

WALKS, TYP

TO BASEMENT

#### **ZONING CHART**

LOT AND ZONING INFORMATION
54 Clinton Avenue
Dobbs Ferry, NY 10522
Section: 3.80
Block: 46
Lots: 2

#### **ZONING DISTRICT: MDR-H**

	REQUIRED/ALLOWED	EXISTING	PROPOSED	COMPLIANT
MINIMUM NET LOT AREA *	2 10,000 SF	27,175.8 SF	NO CHANGE	YES
MINIMUM LOT AREA PER D.U.	(2,500 SF)	N/A	6,794.0 SF	YES
LOT WIDTH	50	161.3'	NO CHANGE	YES
LOT DEPTH	100'	209.9'	NO CHANGE	YES

TARD SETBACKS (PRINCIPA	TARD SETBACKS (PRINCIPAL STRUCTURE)					
	REQUIRED/ALLOWED	EXISTING	PROPOSED	COMPLIANT		
FRONT ***	20'	56.1'	NO CHANGE	YES		
REAR	25'	80.3'	73.9'	YES		
SIDE ONE	10'	2.1'	NO CHANGE	EXTG NON- CONFORMING		
TOTAL OF TWO SIDES	20'	51.5'	NO CHANGE	YES		

D/ALLOWED E	EXISTING	PROPOSED	COMPLIANT
			33 2
5'	N/A	5.5'	YES
5'	N/A	6'	YES
_	5'	5' N/A	5' N/A 6'

MAIN BUILDING HEIGHT **							
	REQU	JIRED/ALLO	WED	EXISTING	PROPOSED	<u> </u>	COMPLIANT
STORIES	<u> </u>	3	) )	3 1/2	NO CHANGE	(	EXTG NON- CONFORMING
FEET	{	30****		36.8'	NO CHANGE	(	EXTG NON- CONFORMING
EAVE		N/A		23.2'	NO CHANGE		WES-
GARAGE HEIGHT		N/A		N/A			YES

LOT COVERAGE						
		REQUIRED/ALLOWED	<b>EXISTING</b>		PROPOSED	COMPLIANT
LOT AREA	$\sqrt{2}$	10,000 SF	27,1	175.8 SF 🕎	NO CHANGE	YES
COVERAGE, BUILDING ***		30% x .67 (5,462.34 SF)	15.2%	(4,128.9 SF)	(+1,999.3 22.6% (6,128.2 SF)	NO
COVERAGE, IMPERVIOUS	$\overline{\zeta}$	60% x .67 (10,924.67 SF)	35.4%	(9,631.7 SF)	+2,615.05 45% (12,246.75 SF)	NO \$
SURFACES	(					

	REQUIRED/ALLOWED	EXISTING	PROPOSED	COMPLIAN
CURRENT USE	N/A	MIXED USE	MULTI-FAMILY (4 D.U.'s)	YES
GROSS FLOOR AREA ****	N/A	10,895.4 SF	+562.3 SF = 11,457.7 SF	N/A
			·	
CELLAR FLOOR AREA	N/A	2,595.5 SF	NO CHANGE	N/A
1ST FL FLOOR AREA	N/A	3,576.8 SF	+407.0 SF = 3,983.8 SF	N/A
2ND FL FLOOR AREA	N/A	2,658.2 SF	+58.1 SF = 2,716.3 SF	N/A
3RD FL FLOOR AREA	N/A	2,064.9 SF	+97.2 SF = 2,162.1 SF	N/A
ATTIC FLOOR AREA	N/A	575.3 SF	+324.5 SF = 899.8 SF	N/A
GARAGE FLOOR AREA	N/A	N/A	+1,091.3 SF = 1,091.3 SF	N/A

\* NEGLIGIBLE AREA OF STEEP SLOPES AT NORTHWEST CORNER OF LOT DISREGARDED PER DOBBS CODE SECTION 300-34A(2)c. \*\*\* NO HÉIGHT REQUIREMENTS LISTED FOR ZONE MOR-H. FOR RÉFÉRENCE, ZONE MOR-2 ALLOWS 40' BLOG HÉIGHT AND 28' EAVÉ HÉIGHT.

\*\*\* 75 SF OF FRONT PORCH NOT COUNTED TOWARDS BLDG COVERAGE PER 300-34B(4)c. ALSO EXEMPT FROM FRONT SETBACK.

\*\*\*\* GARAGE, ACCESSORY PARKING STRUCTURES, OPEN PORCHES, AND ATTICS WITH LESS THAN 7'-6" CLG HT NOT COUNTED IN GROSS \*\*\*\*\*\* GRADE PLANE TO MIDPOINT OF SLOPED ROOF FLOOR AREA CALCULATION PER 300-14.

### PARKING ANALYSIS

<b>OBBS FERRY MULTI-FAMILY PARKING RE</b>	QUIREMENTS	<b>EXISTING</b>	PROPOSED	
FOR DWELLING UNIT "A"	+1 PARKING SPOT			
PLUS .25 FOR EACH BEDROOM (3)	+.75 PARKING SPOTS			
FOR DWELLING UNIT "B"	+1 PARKING SPOT		GARAGE SPOTS	4
PLUS .25 FOR EACH BEDROOM (2)	+.50 PARKING SPOTS	4 SPOTS	DRIVEWAY SPOTS	3
FOR DWELLING UNIT "C"	+1 PARKING SPOT	<b>EXISTING</b>	PORTE-COCHERE SPOT	1
PLUS .25 FOR EACH BEDROOM (2)	+.50 PARKING SPOTS		TOTAL SPOTS	8
FOR DWELLING UNIT "D"	+1 PARKING SPOT			
PLUS .25 FOR EACH BEDROOM (2)	+.50 PARKING SPOTS			
_	6.25 (6) TOTAL PARKING SPOTS REQUIRED			

#### NYS CODE COMPLIANCE

- 1. This design is in compliance with requirements of 2020 Residential Code of New York State and the 2020 Energy Conservation Code of New York State.
- 2. Contractor shall perform all work in accordance with applicable codes as listed in the 2020
- 3. In the case of multiple codes applying to any area or component of the building, the stricter code shall apply.

-PROPOSED DRIVEWAY

DRIVEWAY PARKING SPOTS. SEE

AND STAIR TO BE-

**EXTG STONE PAD** AND WINDOW WELL-TO BE REMOVED

REMOVED

22'-0", TYP

9'-0", TYP

49'-5" EXTG & PROP. TREES TO REMAIN, TYP

PROPOSED WINDOW WELL (NOT	TREE RE	MOVAL SCH	EDULE
-VISIBLE) BELOW PROPOSED ROOF	As indicated of	n Site Plan	
OF COVERED PORCH	ID	Туре	Diameter ABH
PERVIOUS PATHS	T1	Maple	6"
AND DECKS, TYP	T2	Maple	6"
,	Т3	Maple	7"
	T4	Maple	1'1"
	Т5	Maple	1'0"
PORTIONS OF COVERED PORCH	Т6	Maple	6"
PROPOSED TO BE ENCLOSED	Т7	Birch	1'4"

PARKING SCHEDULE, THIS SHEET. TREES TO BE REMOVED, TYP. SEE TREE REMOVAL SCHEDULE. PORTION OF EXTG DRIVEWAY TO BE-REMOVED EXISTING CIRCULAR DRIVE TO REMAIN **EXTG REAR PORCH** 

> EXTG 3 1/2 STORY BRICK & FRAME

> > HOUSE

PORCH

**CLINTON AVENUE** 

NO. ISSUE DATE Initial Bldg Permit Submittal 10/4/2021 **Zoning Change Revisions** 

NO. REVISIONS

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#### **CONSTRUCTION SEQUENCE:** 1. SURVEY INFORMATION TAKEN FROM SURVEY DATED

PROPOSED

COVERED

DECK

EXTG 3 1/2 STORY

BRICK & FRAME HOUSE

PROPOSED

PORTE-

COCHERE

COVERED

' PORCH

PROPOSED COVERED DECK

7/25/21, BY RICHARD J. DOMATO LAND SURVEYOR. 1. INSTALL SILT FENCE & OTHER PROTECTIVE 2. THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY MEASURES AS REQUIRED AT LIMITS OF CONSTRUCTION. REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF 2. AREAS OF PROPOSED STORMWATER MANAGEMENT SYSTEM DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION SHALL BE PROTECTED FROM OVER-COMPACTION DURING CONSTRUCTION. AREAS SHALL BE FENCED OFF DURING CONSTRUCTION OR THE AREA SHOULD BE DE-COMPACTED PRIOR TO INSTALLATION OF THE INFILTRATION UNITS. 1. CONTRACTOR TO VERIFY LOCATION OF PUBLIC UTILITIES

3. EXCAVATE FOR FOOTINGS AND SWRS, PREPARE GRADE FOR 4. INSTALL SWRS, REINFORCING & FORMWORK FOR FOOTINGS. 5. INSTALL C.I.P. CONCRETE FOOTINGS. 6. CONSTRUCT PROPOSED PORTE-COCHERE, GARAGE, AND

**CLINTON AVENUE** 

PROPOSED

FOUR-CAR FRAME

GARAGE

**BUILDING ADDITIONS.** 7. COMPLETE ALL FINISHES, DOORS, WINDOWS, FIXTURES, HARDWARE & EQMT. 8. PROPOSED GUTTER LEADERS SHALL BE CONNECTED TO

NOTE: THE SYSTEM MUST NOT BE CONNECTED UNTIL

1. SEE SITE ENGINEER'S DRAWINGS AND SWPPP FOR ACCESS, LIMIT OF DISTURBANCE, AND SITE PROTECTION MEASURES DETAILS.

CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.

#### **GENERAL SITE PLAN NOTE:**

STORMWATER MANAGEMENT SYSTEM, ALL CONSTRUCTION 2. ALL EXISTING TREES AND LANDSCAPING TO REMAIN UNLESS OTHERWISE NOTED.

Existing Site Plan / Removals Plan Scale: 1" = 20'-0"

1 STORY

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Michael Lewis Architects PC

Modifications to 54 Clinton Avenue 54 Cliniton Avenue

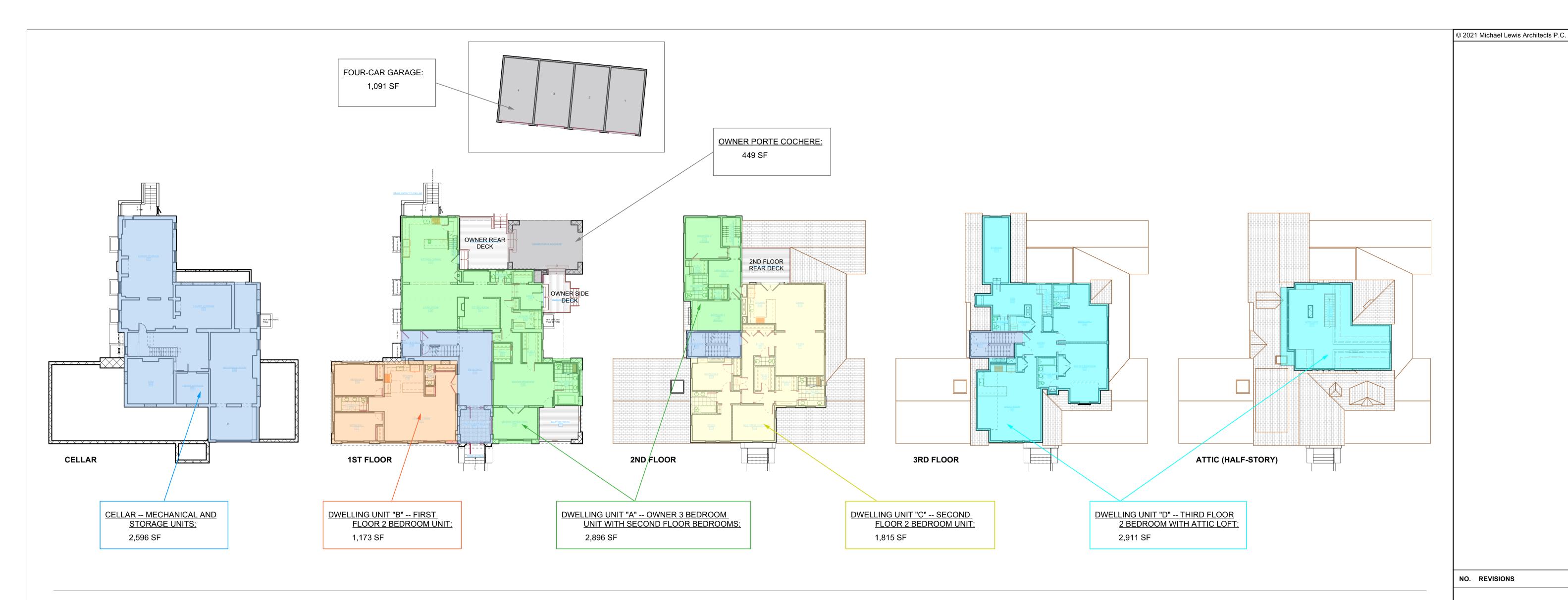
Dobbs Ferry, NY 10522 **DRAWING TITLE:** 

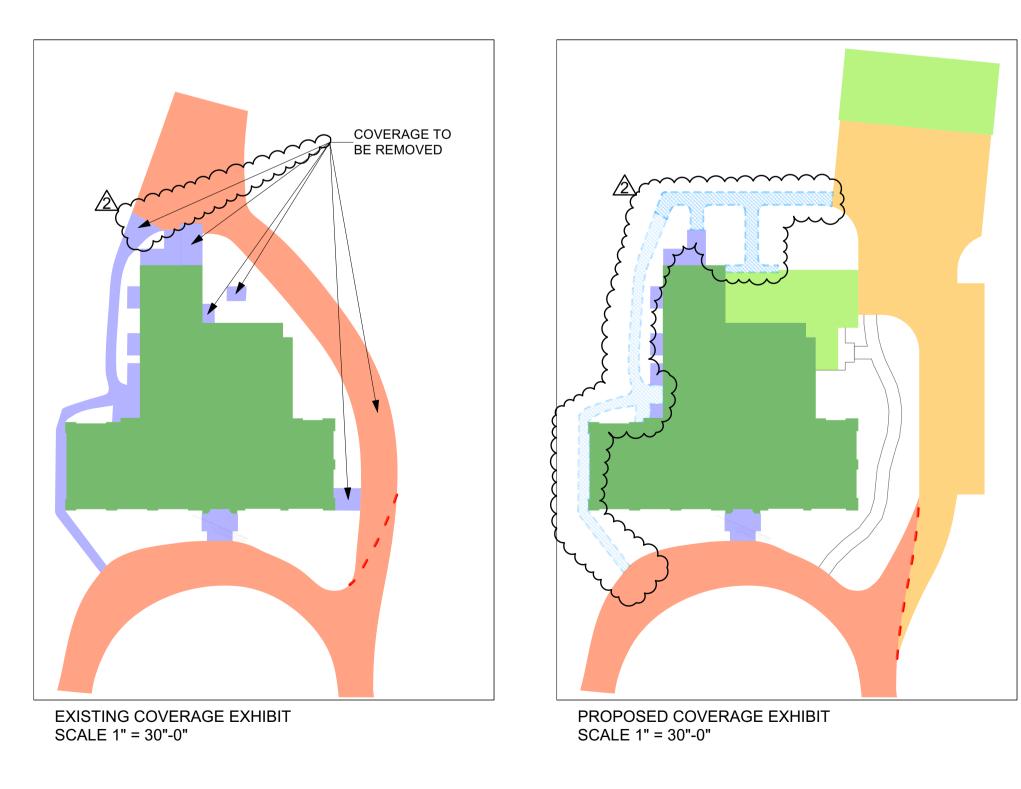
Extg & Prop Site Plans

FILE NAME:

**DRAWN BY:** SCALE: As Noted 10/4/21 DATE: PROJECT ID:

**DRAWING NUMBER** 





SITE PLAN COVI	ITE PLAN COVERAGE LEGEND			
EXISTING SIT	E ELEMENTS			
	EXTG BUILDING TO REMAIN			
	EXTG PORCHES, PATHS, AND WINDOW WELLS			
	EXTG DRIVEWAY			
PROPOSED S	PROPOSED SITE ELEMENTS			
	PROP. ACCESSORY PARKING STRUCTURES / ADDITIONS			
	PROP. PERMIABLE PATHS			

		EXISTING AND PROPOSED	COVERAGE TABLE	1
		EXISTING COVERAGE	PROPOSED COVERAGE	NET INCREASE
COVERAGE TOTAL		9,631.7 sf	13,238.5 sf	+3,606.7 sf
COVERAGE BREAKDOWN	BUILDINGS	4,128.9 sf	6,12 <mark>8.2 s</mark> f	+1,999.3 sf
	EXTG PORCHES / PATHS	932.8 sf *	708.3 sf	-224.5 sf
	PROPOSED PATHS	N/A	379.1 sf	+379.1 sf
	DRIVEWAY	4,570.0 sf	6,022.8 sf	+1,452.8 sf

1 COVERAGE DIAGRAMS NTS

Unit and Coverage Diagrams

Modifications to 54 Clinton Avenue

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54 Cliniton Avenue Dobbs Ferry, NY 10522

PROJECT:

FILE NAME:

NO. ISSUE

 DRAWN BY:
 BDS

 SCALE:
 As Noted

 DATE:
 10/4/21

 PROJECT ID:
 2109A

A-002.01

**DRAWING NUMBER** 

DATE

DATE

Initial Bldg Permit Submittal 10/4/2021

**Zoning Code Revisions**