

Plan Submittal Form

Address: 14 DEVOE STREET

Application #: _____

Project: FURROGIA/OBERGON Alteration & ADDITION

Name: NIAU CAIN

Email: NCAIN@NECSTUDIO.COM

Phone: 914-478-3448

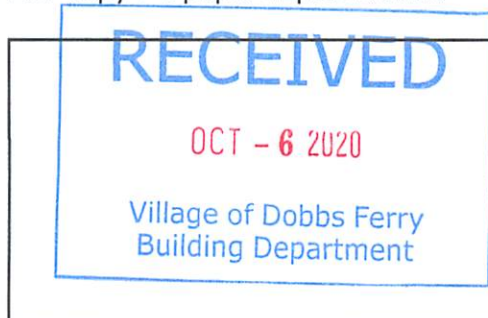
Plans attached are being submitted for:

- ☐ Building permit application 1 PDF copy & 2 paper copies ¼ scale
- ☐ Amendment to an application or permit, 2 sealed copies
- ☐ Final As Built to close permit, 1 sealed copy
- ☐ Final survey to close permit, 1 sealed copy

Plans attached are submitted at the direction of the Building Inspector for review by the following board:

- ☐ BOT- 1 PDF copy + 5 paper copies ¼ scale
- ☒ PB - 1 PDF copy + 7 paper copies ¼ scale
- ☐ ZBA - 1 PDF copy + 4 paper copies ¼ scale
- ☒ AHRB - 1 PDF copy + 2 paper copies ¼ scale

Received Stamp:



VA
COPY

Village of Dobbs Ferry Site Plan Application

RECEIVED

OCT 13 2020

Village of Dobbs Ferry
Building Department

Please check appropriate box:

 Preliminary Date

 Final Date 10/10/2020

Name of proposed development 14 DEVORE STREET ALTMAN ADDITION

Applicant:

Name NIAU CAIN

Plan Prepared By:

Name NIAU CAIN

Address 5 ATILDA AVE

Address 5 ATILDA AVE

DOBBS FERRY NY

DOBBS FERRY NY

Telephone 914 478 3448

Telephone 914-478-3448

Owner (if different):

If more than one owner, provide information for each:

Name CHRISTINA FURUGIA & DAPHNY OBREGON

Address 14 DEVORE STREET

DOBBS FERRY NY

Telephone

Ownership intentions, i.e., purchase options

SINGLE FAMILY HOME / PRIMARY RESIDENCE

Location of site 14 DEVORE STREET

Tax map description:

Sheet/Block 52 Lot/Parcel 12 Section 3.90

Current Zoning Classification MDR-1

Site Plan Application
Page 2 of 6

State and federal permits needed (list type and appropriate department):

NONE

Proposed uses(s) of site

SINGLE FAMILY HOME

Total site area (square feet or acres)

5,153 s.f.

Anticipated construction time

6 MONTHS

Will development be staged?

NO

Current land use of site (agriculture, commercial, undeveloped, etc.)

RESIDENTIAL

Current condition of site (buildings, rush, etc.)

GOOD

Character of surrounding lands (suburban, agriculture, wetlands, etc.)

SUBURBAN

Estimated cost of proposed improvement \$

250,000

Anticipated increase in number of residents, shoppers, employees, etc. (as applicable)

NONE

Describe the proposed use, including primary and secondary uses; ground floor area; height; and number of stories for each building:

For residential buildings, include number of dwelling units by size (efficiency, one-bedroom, two-bedroom, three or more bedrooms) and number of parking spaces to be provided.

For nonresidential buildings, include total floor area and total sales area; number of automobile and truck parking spaces.

Other proposed structures.

(Use separate sheet if needed)

SINGLE FAMILY HOME - ONE DWELLING UNIT
1,199 SF BLDG, CONCRETE.

STATE OF NEW YORK)

COUNTY OF WESTCHESTER) SS:

VILLAGE OF DOBBS FERRY)

NIAL CAIN being duly sworn, deposes
and says, that (s)he resides at 5 ATLIDA AVE, DOBBS FERRY NY

that (s)he is the authorized owner/representative of the owner and that the foregoing answers are true to the best of (his) knowledge and belief, that the plat if approved by the Planning Board will be filed in the Office of the County clerk within ninety (90) days following the date approval and that all regulations of the Planning Board have been Complied.

SWORN TO BEFORE ME THIS 8th DAY

OF October 2022

* Done in accordance
with NYS E.O. 202.7

[Signature]
Notary Public



Site Plan Application
Page 4 of 6

Proposed Development

Name 14 DEJOE STREET
ALTERATION & ADDITION

Procedural Sequence

Initial contact with enforcement
Officer _____
Pre-submission conference Preliminary application
Fee paid: Amount \$ _____
Public hearing notice
Public hearing
Tentative action:

Approval

Approval with modification

Disapproval

Resubmitted

Lapse date for final approval Final application

Referral

Comments returned Final Action:

Approval

Approval with modifications Conditions satisfied

Disapproval

Resubmitted

Building permit granted

Performance bond required

Amount _____

Period _____

Improvements covered _____

Performance bond satisfied _____

Applicant:

Name NIAU CAN

Address 5 ATILDA AVE D.F.

Telephone 914 479 3448

Date

Site Development Plan Review

Checklist (cont'd)

Technical Considerations

Item Satisfied

North arrow, scale date

Property boundary, dimensions
and angles

Easements and deed restrictions

Names, locations and widths of
adjacent streets

Land use, zoning, ownership
and physical improvement of adjacent
properties

Conformity with comprehensive plan

Impact on environs:

Land use Transportation

Community facilities and services Aesthetics

Environmental, i.e. air, water,
noise, etc.

Energy conservation

Historic preservation

Environmental impact statement

Existing, on-site physical improvements

Existing natural features:

Geological features

Soil characteristics

Topography

Vegetation

Hydrologic features

Proposed development:

Grading and drainage plan

Buildings and other structures

Improvements such as parking,

Storage and Recreation areas

Vehicular and pedestrian ways including ingress and egress

Utility lines and appurtenances

**Outdoor lighting and public
address systems**

- Outdoor signs**
- Landscaping plans**
- Architectural plans**
- Materials specifications**
- Construction schedule**
- ADA Compliance**

VILLAGE OF DOBBS FERRY

SITE PLAN CHECK LIST

The items listed below should be reviewed by the applicant's design professional to aid in providing a complete submission.

AGENCY APPROVALS

YES

NO

Westchester County Department of Health
Septic and Water.
New York State Department Environmental
Conservation Stormwater SPDES.
New York City Department Environmental
Protection Joint Septic.
New York City Department of Environmental
Protection SWPPP.

_____✓

_____✓

_____✓

_____✓

VILLAGE PERMITS/APPROVALS

Zoning Board of Appeals.
Blasting and Explosives Permit.
Fill Permit.
Freshwater Wetlands Permit.
Site Plan to comply with Subdivision
Plat approval requirements
Stormwater Pollution Prevention Plan (SWPPP)
Architectural Review
Building Permit
Excavation/Grading Permit
Demolition Permit
Electrical Permit

_____✓

_____✓

_____✓

_____✓

_____✓

_____✓

_____✓

_____✓

_____✓

_____✓

_____✓

SITE PLAN INFORMATION

1. 24" x 36" maximum drawing size.
2. Minimum scale: (1" = 30').
3. Project Name.
4. Name and address of engineer and surveyor.
5. Name and address of owner of record and applicant.
6. Drawings signed and sealed by P.E. or R.A.
7. Original drawing date & revision dates.
8. Tax map section and lot numbers.

_____✓

_____✓

_____✓

_____✓

_____✓

_____✓

_____✓

_____✓

9. Location plan with existing and adjacent zoning district.
10. Scale, north arrow, date of survey, property acreage, drawings numbered (i.e., 1 of 3, 2 of 3, etc.) & identify adjoining property owners.
11. Minimum yard setbacks.
12. Provide bulk zoning table with all existing, proposed and required conditions.

✓	_____
✓	_____
✓	_____
✓	_____

AGENCY APPROVALS

12. Estimated quantity of cut or fill to be imported or removed from site or provide note stating that ANo material is to be imported or removed from this site.®
13. Topography at two feet maximum intervals.
14. Topography along streets adjacent to property.
15. Existing buildings, retaining walls, fences, rock outcrops, wooded areas, watercourses, water bodies, wetlands and wetland controlled areas, etc.
16. Total amount of site area disturbed

✓	_____
NA	_____
NA	_____
✓	_____
✓	_____

DRAINAGE

1. Collect and convey driveway runoff. Mitigate increases in site runoff due to site development.
2. Roof drains to discharge to existing or proposed drainage system. Mitigate increases from roof runoff.
3. Surface inlets provided where low points cannot be graded to drain .
4. Swale provided between buildings and embankment which slopes toward building.
5. Culverts provided where roads or driveways cross watercourses.
6. Catch basin spacing adequate.
7. All rim and invert elevations provided.
8. Two feet minimum cover of storm drains in roads, driveways and parking areas. 18" minimum elsewhere.
9. Drywells provided with emergency overflow outlet pipes to grade. Multiple drywell systems should be connected by equalization pipes with rim and invert elevations posted.
10. Minimum storm drain pipe size 15" diameter.

✓	_____
✓	_____
✓	_____
NA	_____
NA	_____
NA	_____
NA	_____
NA	_____
✓	_____
NA	_____

11. Headwalls or end sections provided at pipe inlets and outlets.
12. Rip-rap provided at headwalls and end sections.
13. Provide cross section for pond or detention facility.

_____	<u>NA</u>
_____	<u>NA</u>
_____	<u>NA</u>

SITE INGRESS/EGRESS

1. Adequate sight distance at driveway intersection with road.
2. Site accessible to fire trucks, emergency vehicles, tractor trailers for fill deliveries, moving vans, oil trucks, etc.
3. Backup space for parking area.
4. Driveways intersecting existing road at 90E.

<u>✓</u>	_____
<u>✓</u>	_____
<u>✓</u>	_____
<u>✓</u>	_____

SITE GRADING

1. All proposed grading on property for house, driveway and septic. Show limit line of disturbance.
2. Driveway platform sloped at 4% maximum within 25 feet of centerline of street or within 35 feet from the Right-of-Way, whichever is the greater distance.
3. Driveway slope 14% maximum.
4. Parking area 5% maximum.
5. Paved areas 1% minimum grade at curb line.
6. Lawn area 2% minimum.
7. Top and bottom of retaining wall elevations provided.
8. Outside grade pitched away from residence.
9. Guide rail provided at steep drop offs.
10. Spot elevations at corners of residence and parking area where necessary to ensure positive drainage.
11. Finished floor elevations provided including basement.
12. Plans and calculations for walls ≥ 4 feet Signed & Sealed by P.E., R.A.
13. Provide profiles of proposed roads with vertical geometry.
14. Provide horizontal geometry.

<u>✓</u>	_____
<u>✓</u>	_____
<u>✓</u>	_____
<u>✓</u>	_____
<u>✓</u>	_____
<u>✓</u>	_____
<u>NA</u>	_____
<u>✓</u>	_____
<u>✓</u>	_____
<u>✓</u>	_____
<u>NA</u>	_____
<u>NA</u>	_____
_____	_____

GENRAL

1. Show existing and proposed utilities(water, sewer,etc.)
2. Show snow piling areas.

<u>✓</u>	_____
<u>✓</u>	_____

- | | | | |
|-----|--|------------|-------|
| 3. | Show refuse areas with enclosures. | <u>N/A</u> | _____ |
| 4. | Show zoning map with districts(school, fire, etc). | <u>✓</u> | _____ |
| 5. | Show signage. | <u>N/A</u> | _____ |
| 6. | Show landscaping. | <u>✓</u> | _____ |
| 7. | Provide sections and details of wall. | <u>✓</u> | _____ |
| 8. | Provide phasing plan for areas over 5ac. | <u>N/A</u> | _____ |
| 9. | Provide lighting plan. | <u>✓</u> | _____ |
| 10. | Maintain low noise level at property line. | <u>✓</u> | _____ |
| 11. | ADA compliance | <u>✓</u> | _____ |
| 12. | Village Construction Standard Compliance | <u>✓</u> | _____ |

SITE PLAN NOTES

- | | | | |
|----|---|------------|-------|
| 1. | General construction notes. | <u>✓</u> | _____ |
| 2. | Construction Sequence shown on plans. | <u>✓</u> | _____ |
| 3. | The following notes shall be provided on the plans:
AShould rock blasting be required, a permit application in accordance with Chapter 125 - Blasting and Explosives of the Village of Dobbs Ferry Code must be submitted to the Village by the applicant for review/approval. This should be noted on the plans as follows: | <u>N/A</u> | _____ |
| | AThe Village Engineer may require additional erosion control measures if deemed appropriate to mitigate unforeseen siltation and erosion of disturbed soils.® | <u>✓</u> | _____ |
| | AAAs-Built plans of the proposed driveway and drainage improvements shall be submitted to the Village Engineer for review prior to issuance of Certificate of Occupancy.® | <u>✓</u> | _____ |
| | AFill material imported to the site shall be certified in writing by a New York Licensed Professional Engineer as clean, non-contaminated fill suitable for the intended use.® | <u>N/A</u> | _____ |
| | “Before the site plan is signed by the Chairman of the Planning Board, the applicant shall be required to post a performance bond or other type of | | |

acceptable monetary guaranty which shall be in an amount determined by the Planning Board and the Village Engineer and in a form satisfactory to the Village Attorney".

✓

—

4. The following notes shall be provided on plans that involve SWPPP's:

The applicant shall notify the Building Department or Village's Consulting Engineer in writing at least 48 hours before any of the following so that any inspection may be performed.

- | | | |
|---|---|---|
| 1) Start of construction | ✓ | — |
| 2) Installation of sediment and erosion control measures. | ✓ | — |
| 3) Completion of site clearing. | ✓ | — |
| 4) Completion of rough grading. | ✓ | — |
| 5) Installation of SMP's. | ✓ | — |
| 6) Completion of final grading and stabilization of distured areas. | ✓ | — |
| 7) Closure of construction. | ✓ | — |
| 8) Completion of final landscaping; and | ✓ | — |
| 9) Successful establishment of landscaping in public areas. | ✓ | — |

"The owner or operator shall have a qualified inspector inspect and document the effectiveness of all erosion and sedimentation control practices and prepare inspection reports at least once a month. These reports must be kept on site and available for review".

✓

—

SITE CONSTRUCTION DETAILS

Driveway Profile

✓

—

Driveway and shoulder section
 Roadway replacement
 Pavement section
 Sidewalk Details
 Rip-rap slopes, embankments and aprons
 Paved, rip-rapped, grass gutters
 NYSDOT material item numbers
 Detention basin
 Catch basin
 Surface inlet
 Drain manhole
 Headwall
 Curb
 Drywell
 Underdrain
 Retaining wall
 Silt fence
 Haybales
 Inlet protection
 Anti-tracking strip
 Guiderail
 Energy dissipater
 Sediment traps or basins

✓	_____
✓	_____
✓	_____
NA	_____
NA	_____
NA	_____
✓	_____
✓	_____
✓	_____
NA	_____
NA	_____
✓	_____
✓	_____
NA	_____
NA	_____
✓	_____
NA	_____
✓	_____
NA	_____
✓	_____

EROSION CONTROL PLAN

Erosion control measures implemented as per New York
Guidelines for Urban Erosion and Sediment Control.

✓	_____
---	-------

MISCELLANEOUS ITEMS

1. Proposed easements
 - a) Temporary construction
 - b) Drainage
 - c) Sight
 - d) Slope
 - e) Driveway access

2. Existing sanitary disposal system in the vicinity
of construction activity protected with temporary
fencing.

✓	_____
✓	_____
✓	_____
✓	_____
✓	_____
NA	_____