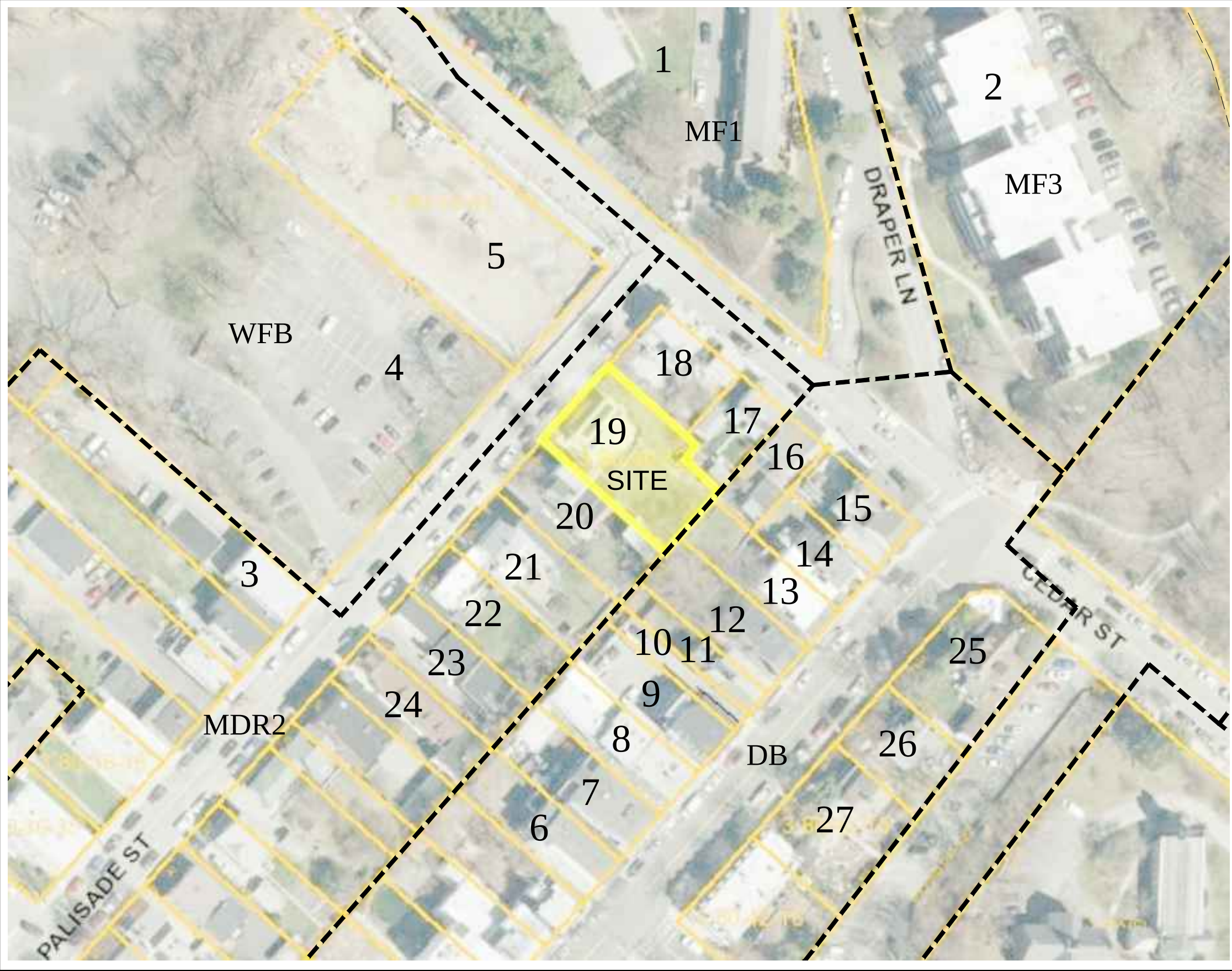


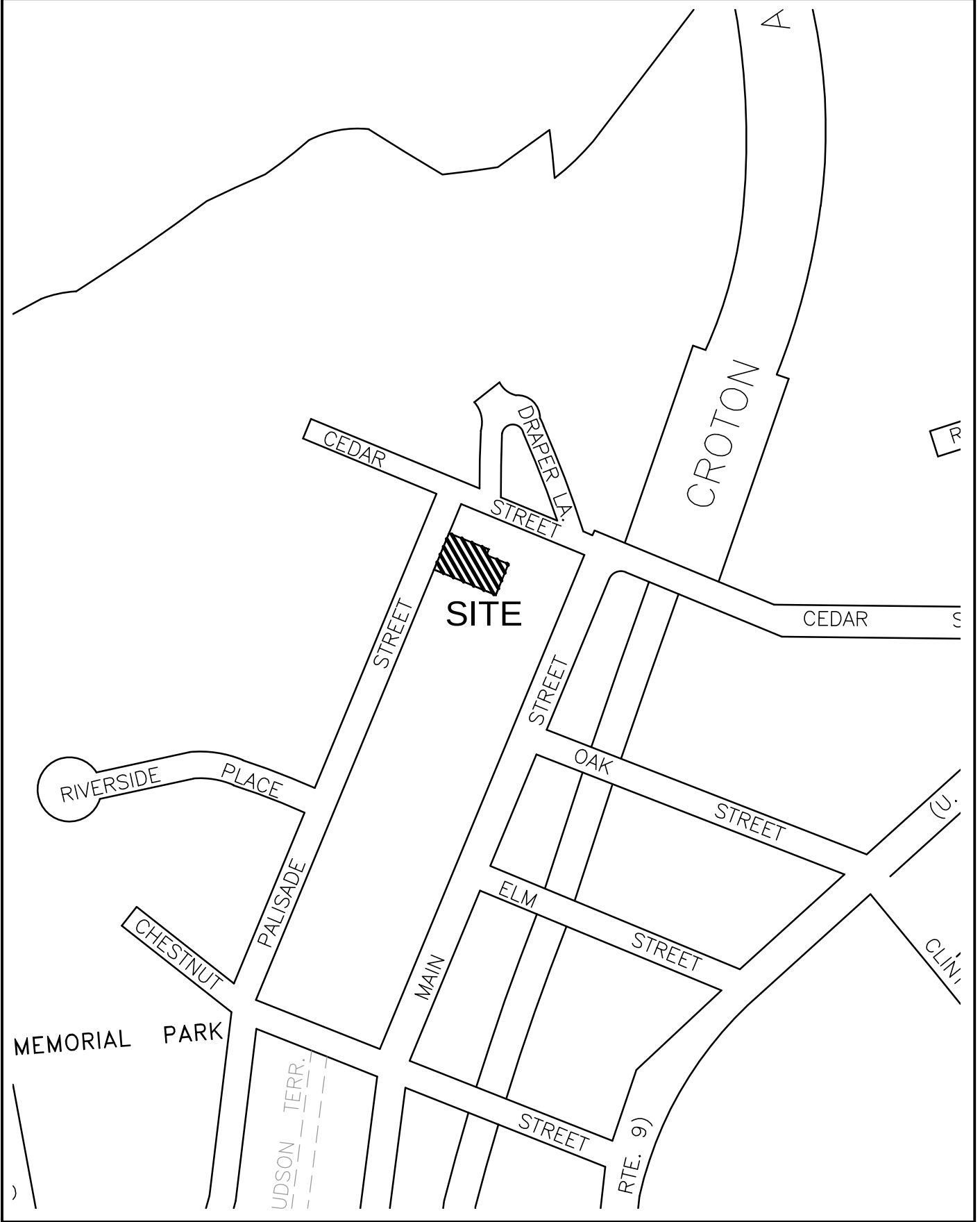
156 PALISADE ST.
DOBBS FERRY, N. Y. 10522

LIST OF PROPERTY OWNERS WITHIN 200 FEET OF				SUBJECT PROPERTY	
TAG	ZONING DISTRICT	LOT INFORMATION PARCEL	OWNER	OWNER ADDRESS	PROPERTY ADDRESS
1	MF-1	3.40 - 4 - 5	VILLAGE GREEN CONDO COMMON AREA UNITS (A1 - B45) POOL	71 PONDFIELD ROAD ARTHUR HAVELIN PROP. MANAGER BRONXVILLE, NY 10708	100 CEDAR STREET
2	MF-3	3.40 - 5 - 6	110-150 DRAPER OWNERS CORP ATTN: GARTHCHESTER REALTY LTD	209 GARTH ROAD SCARSDALE, NY 10583	110 - 150 DRAPER LANE
3	DB	3.80 - 36 - 41.1	TARRICONE REALTY INC	56 MAIN STREET DOBBS FERRY, NY 10522	139 PALISADE STREET
4	WFB	3.80 - 36 - 42	KOSOV PROPERTIES COMPANY LLC	145 PALISADE STREET DOBBS FERRY, NY 10522	
5	WFB	3.80 - 36 - 43	VILLAGE OF DOBBS FERRY	112 MAIN STREET DOBBS FERRY, NY 10522	
6	DB	3.80 - 40 - 19	701 MONROE BLVD LLC	8 FORBES BLVD EASTCHESTER, NY 10709	127 MAIN STREET
7	DB	3.80 - 40 - 20	129 MAIN STREET, LLC	133 MAIN STREET DOBBS FERRY, NY 10522	129 MAIN STREET
8	DB	3.80 - 40 - 21	TSN REALTY, LLC	133 MAIN STREET DOBBS FERRY, NY 10522	133 MAIN STREET
9	DB	3.80 - 40 - 22	OTTO FREY, JR	11 SENECA STREET DOBBS FERRY, NY 10522	135 MAIN STREET
10	DB	3.80 - 40 - 23	OTTO FREY, JR	11 SENECA STREET DOBBS FERRY, NY 10522	0 MAIN STREET VACANT LAND
11	DB	3.80 - 40 - 24	GREEN APPLE PROPERTIES, LLC	38 MCKEEL AVENUE TARRYTOWN , NY 10591	141 MAIN STREET
12	DB	3.80 - 40 - 25	ANN PALERMO	301 RIVERSVILLE ROAD GREENWICH, CT 06831	143 MAIN STREET
13	DB	3.80 - 40 - 26	PALISADE VIEW PROPERTIES, INC	147 MAIN STREET DOBBS FERRY, NY 10522	
14	DB	3.80 - 40 - 27	PATRICK TARTAGLIONE	440 SAW MILL RIVER ROAD YONKERS, NY 10701	149 MAIN STREET
15	DB	3.80 - 40 - 28	BRUCE RICHARDS, TRUST KIMBERLY KANATANI, TRUST	153 MAIN STREET DOBBS FERRY, NY 10522	
16	DB	3.80 - 40 - 29	BRIAN SILVERMAN	81 CEDAR STREET DOBBS FERRY, NY 10522	
17	MDR-2	3.80 - 40 - 30	MARY RUOTOLO	83 CEDAR STREET DOBBS FERRY, NY 10522	
18	MDR-2	3.80 - 40 - 31	154 PALISADES STREET, LLC	59 MAIN STREET DOBBS FERRY, NY 10522	164 PALISADE STREET
19	MDR-2	3.80 - 40 - 32	156 PALISADE STREET, LLC	156 PALISADE STREET DOBBS FERRY, NY 10522	
20	MDR-2	3.80 - 40 - 33	GLENN VARCASIA	154 PALISADE STREET DOBBS FERRY, NY 10522	
21	MDR-2	3.80 - 40 - 34	EDWARD M AND LUCILLE M. HENNESSY	148 150 PALISADE STREET DOBBS FERRY, NY 10522	
22	MDR-2	3.80 - 40 - 35	CHRISTOPHER AND JACQUELINE PARERES	144 PALISADE STREET DOBBS FERRY, NY 10522	
23	MDR-2	3.80 - 40 - 36	142 PALISADE, LLC	43 TAXTER ROAD IRVINGTON, NY 10533	142 PALISADE STREET
24	MDR-2	3.80 - 40 - 37	VINCENZO AND SUSANNE SANZO	138 PALISADE STREET DOBBS FERRY, NY 10522	136 PALISADE STREET
25	DB	3.80 - 42 - 13	FRANK GOLIO, VICTOR GOLIO	64 BELLWOOD DRIVE DOBBS FERRY, NY 10522	146 MAIN STREET
26	DB	3.80 - 42 - 14	CHARLES W AND TARA J. MASTIN	138 MAIN STREET DOBBS FERRY, NY 10522	
27	DB	3.80 - 42 - 15	JOSEFINA TIGRE	134 MAIN STREET DOBBS FERRY, NY 10522	



AERIAL LOCATION MAP

NOT TO SCALE



SITE LOCATION MAP

NOT TO SCALE

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA													
GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY (RCM ONLY)	SUBJECT TO DAMAGE FROM			CLIMATE ZONE	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.
	SPECIAL WIND SPEED (MPH)	TOPO EFFECTS	WIND REGION	WINDBORNE DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITES					
30 LBS / SQ. FT.	"SPECIAL WIND REGION	NO	YES	NO	C	SEVERE	42"	MODERATE TO HEAVY	4A	YES	"FIRM COMMUNITY PANEL NUMBER 365098	2000	51.6

* 115 MPH to 120 MPH, the special wind region should serve as warning to design professionals in evaluating wind loading conditions. Wind speeds higher than the derived values taken from Section 1609 of the IBC and Figure R301.2 (4) A of the IRC are likely to occur and should be considered in the design.

** State if applicable. For flood hazards the Design Professional shall state if they are applicable, Y/N. Verify with FIRIM Maps. Maps are available on the FIMA web site <http://www.floodmap.floodsimple.com/>

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENTS										
CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
TABLE R402.1.1 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT										
4A	0.35	0.55	0.4	49	20 OR 13 + 5	8 / 13	19	10 / 13	10, 2 FT	10 / 13
TABLE R402.1.4 EQUIVALENT FACTORS										
4A	0.35	0.55		0.026	0.06	0.098	0.047	0.047	0.059	0.065

[illegible]

PROJECT TITLE:

156 PALISADE STREET

DOBBS FERRY, NEW YORK 10522

PROJECT NO.: 1901

**GOTHAM
DESIGN**
AND COMMUNITY
DEVELOPMENT LTD

329 Broadway
Dobbs Ferry, N.Y. 10522
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Fax: (914) 693-5390
Email: arch329@gmail.com

ISSUED / REVISIONS
SUBMITTED TO 10-08-2020
AHRB AND PLANNING BOARD

SHEET TITLE:

COVER SHEET

DATE:

10-17-2019

DRAWN BY:

MB

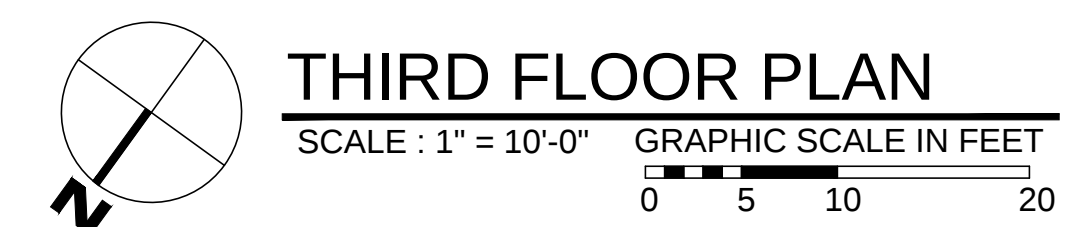
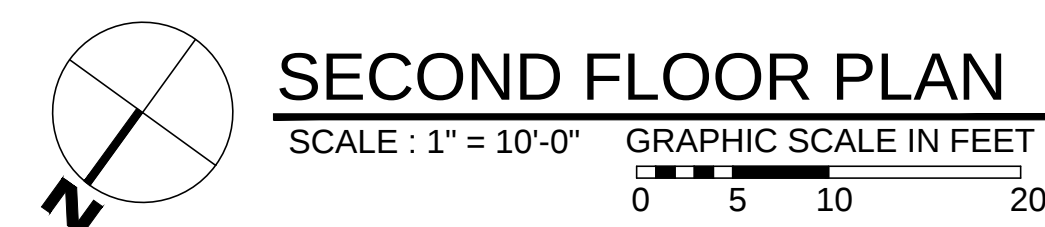
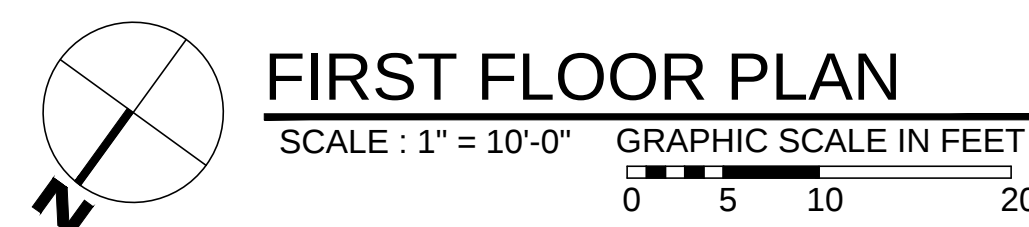
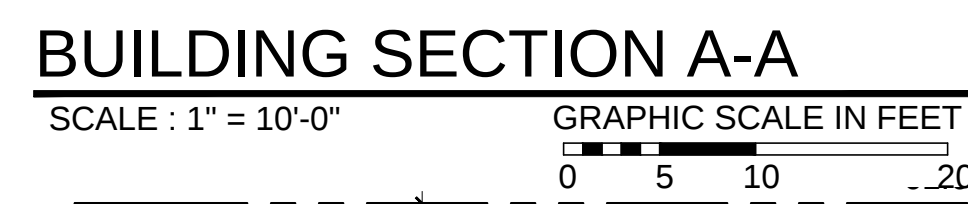
SCALE

AS NOTED

CHECKED BY

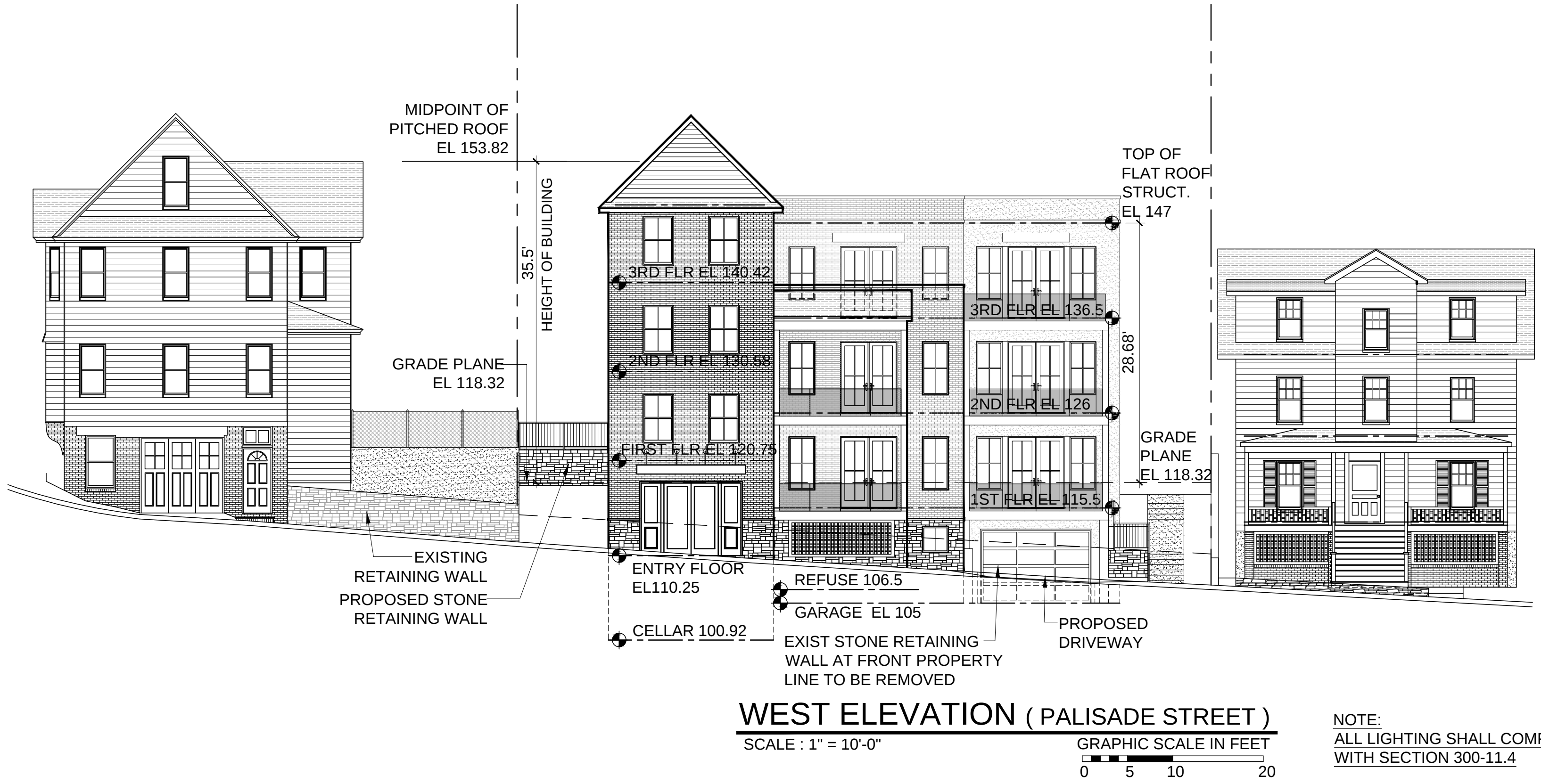
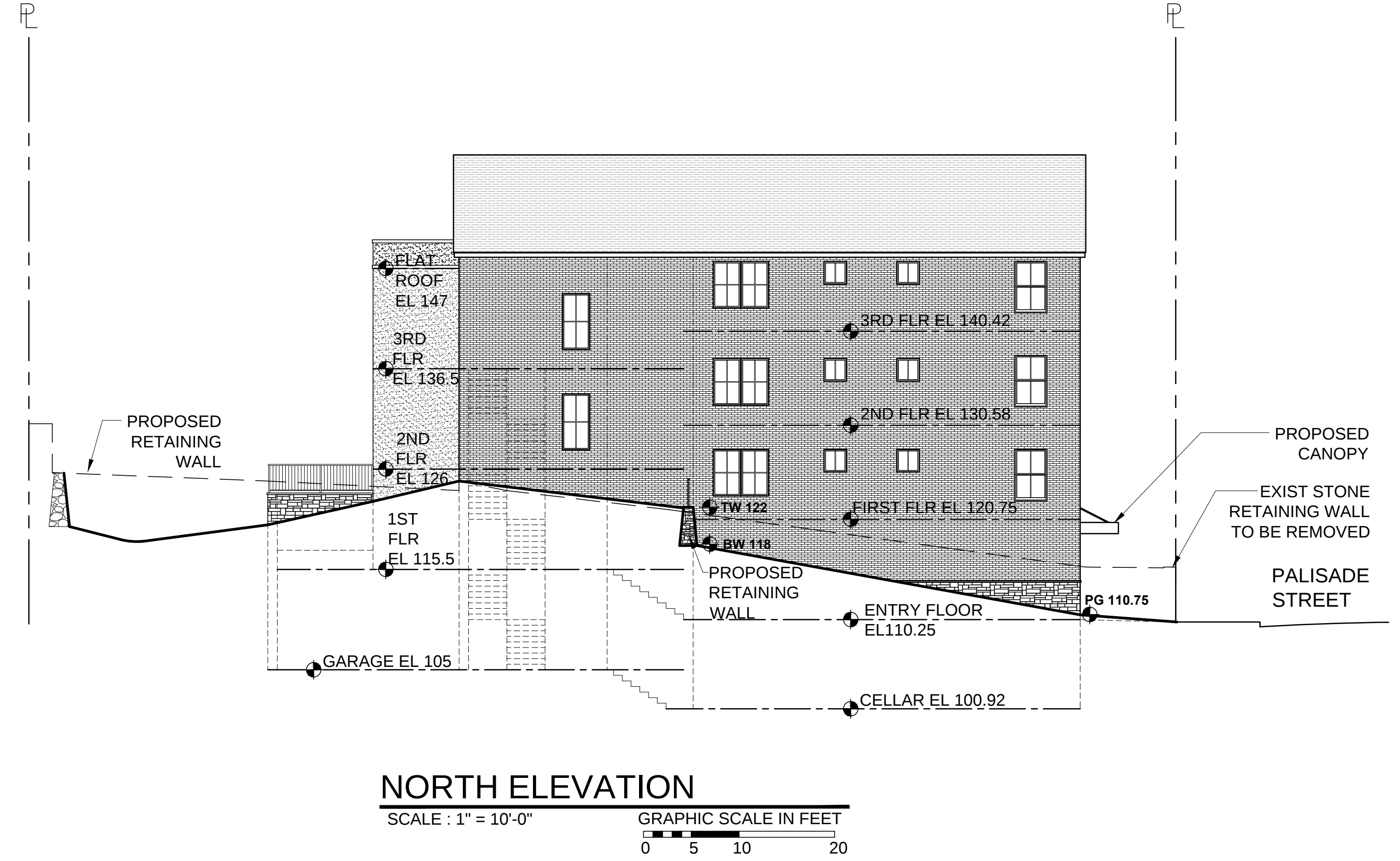
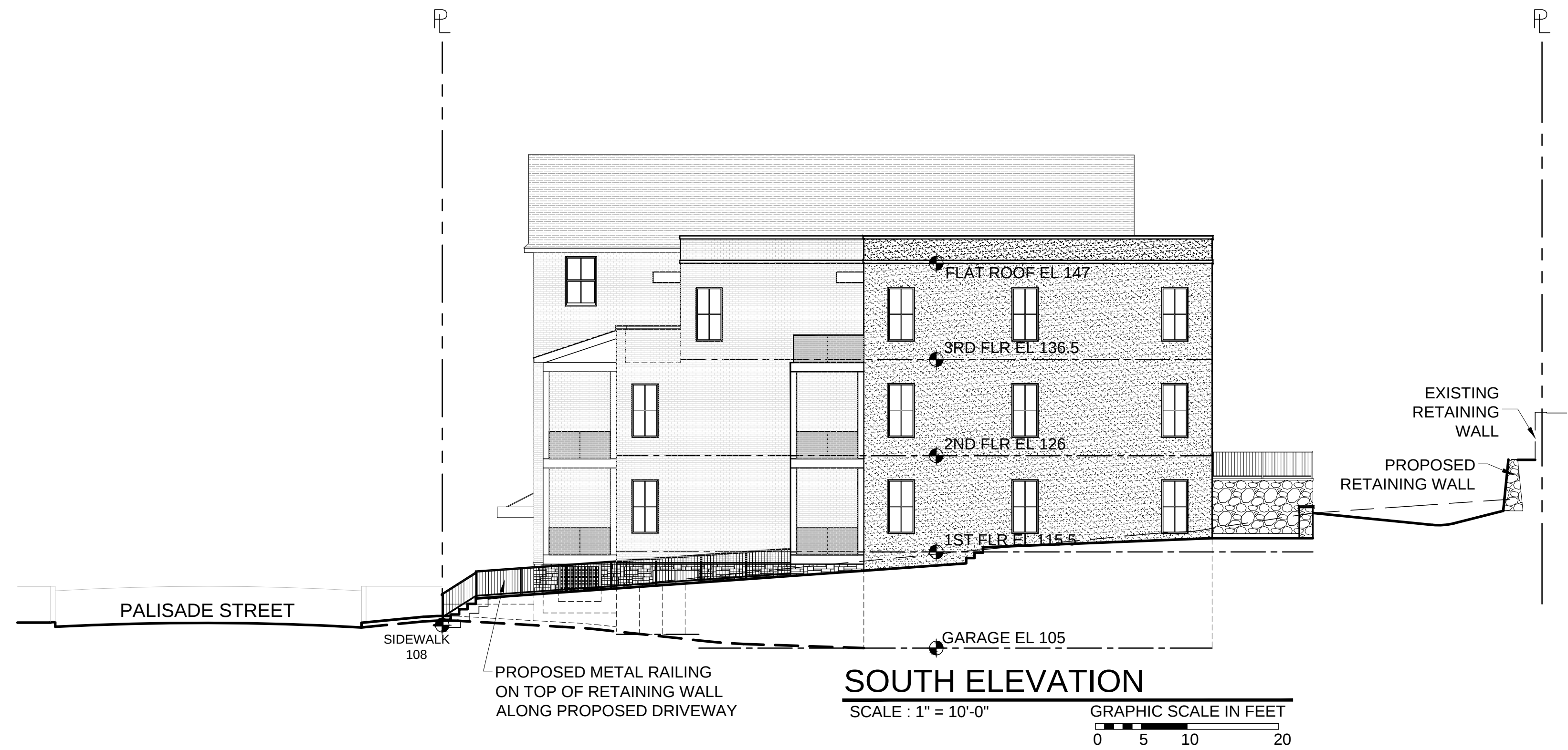
PRs

CS



NOTE:
ALL LIGHTING SHALL COMPLY
WITH SECTION 300-11.4

SP-2



NOTE:
ALL LIGHTING SHALL COMPLY
WITH SECTION 300-11.4

PROJECT TITLE:
156 PALISADE STREET
DOBBS FERRY, NEW YORK 10522
PROJECT NO.: **1904**

**GOTHAM
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email: arch329@gmail.com

ISSUED / REVISIONS

PLANNING BOARD	09-17-2020
SUBMISSION	
SUBMITTED TO	10-08-2020
AHRB AND PLANNING BOARD	

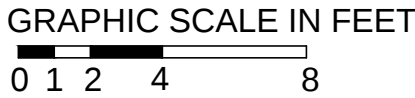
SHEET TITLE:
**CONCEPT F
ELEVATIONS**

DATE: 09-17-2020	DRAWN BY: MB
SCALE: AS NOTED	CHECKED BY: PRS

SP-3



WEST ELEVATION (PALISADE STREET)
SCALE : 3/16" = 1'-0"



NOTE:
ALL LIGHTING SHALL COMPLY
WITH SECTION 300-11.4

PROJECT TITLE:
156 PALISADE STREET

DOBBS FERRY, NEW YORK 10522
PROJECT NO.: **1904**

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ISSUED / REVISIONS	
PLANNING BOARD	09-17-2020
SUBMISSION	
SUBMITTED TO	10-08-2020
AHRB AND PLANNING BOARD	

SHEET TITLE:
**CONCEPT F
WEST ELEVATION**

DATE: 09-17-2020	DRAWN BY: MB
SCALE: AS NOTED	CHECKED BY: PRS

SP-4

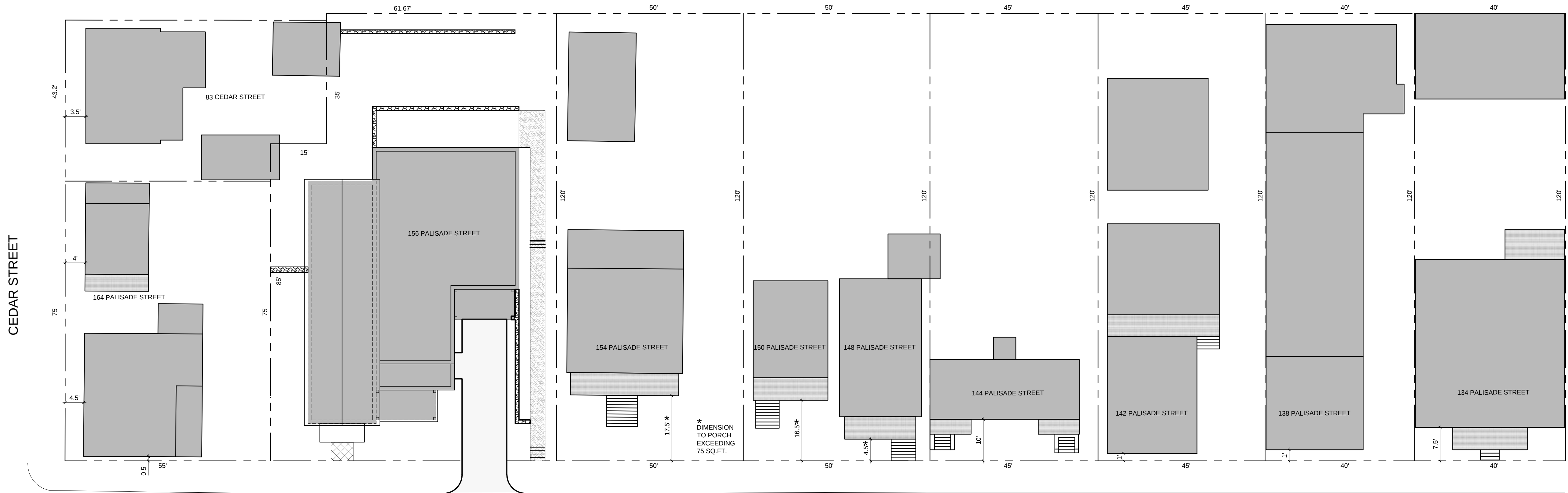


STREET SCAPE ELEVATION

SCALE : 1" = 16'-0"

GRAPHIC SCALE IN FEET

0 4 8 16 32



PALISADE STREET

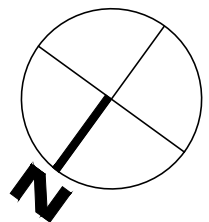
ADDRESS	NUMBER OF BUILDINGS	NUMBER OF UNITS	LOT AREA	BUILDING AREA (SQ.FT.)	BUILDING COVERAGE	FRONT SETBACK
83 CEDAR STREET	3	2	3,485	1,395	40.03 %	N / A
164 PALISADE STREET	2	3	3,920	1,141 + 493 = 1,634	41.68 %	0.5
156 PALISADE STREET	1	8	8,675	3,469	39.99 %	5.8 10 *
154 PALISADE STREET	2	4	6,098	1,431 + 522 = 1,953	32.03 %	17.5
150 + 148 PALISADE STREET	2	4	6,098	1,135 + 687 = 1,822	29.88 %	16.5 AND 4.5
144 PALISADE STREET	1	2	5,227	823	15.75 %	10
142 PALISADE STREET	2	4	5,227	1,680 + 810 = 2,490	47.64 %	1
138 PALISADE STREET	1	8	4,356	3,196	73.37 %	1
134 PALISADE STREET	1	5	4,792	2,968	61.94 %	7.5
					TOTAL 64.3 / 9 = 7.1444	

THE AVERAGE BUILDING SITE COVERAGE EXISTING WITHOUT 156 PALISADE STREET IS 42.76 % . WITH 156 PALISADE STREET AS PROPOSED INCLUDED, THE AVERAGE BUILDING SITE COVERAGE WOULD BE 42.46 %

* PROPOSED BUILDING

FRONT SETBACK NOTE:
ALL THESE DIMENSIONS WERE TAKEN AT THE PROPERTIES BY MEASURING THE FRONT OF THE BUILDING TO THE STREET SIDE OF THE CURB. THE CONTROL WAS ESTABLISHED BY 164, 156 AND 154 PALISADE STREET, WHICH ARE SHOWN ON THE SURVEY. THIS RESULTED IN A DIMENSION FROM THE STREET SIDE OF THE CURB TO THE PROPERTY LINE OF 9 FEET. WE THEN SUBTRACTED 9 FEET FROM EACH MEASUREMENT TO DETERMINE THE SETBACK. OBSERVATION INDICATES THAT THE CURB IS A STRAIGHT LINE, AS ARE THE FRONT PROPERTY LINES. THE ACTUAL CALCULATION USED FOR 156 IS 5.8 FEET, ALTHOUGH THE SURVEY INDICATES AN ACTUAL SETBACK OF 5.6 FEET. WE INCLUDED THIS DEVIATION IN OUR CALCULATIONS TO HAVE ANY ERROR INCREASE THE SETBACK, INSTEAD DECREASE THE SETBACK TO COMPENSATE FOR ANY DEVIATION IN THE MEASUREMENTS TAKEN. THIS IS AN ERROR ALLOWANCE OF 0.2 FEET WHICH IS 2.4 INCHES. THIS ADJUSTS FOR ANY INSTANCE IN WHICH THE TAPE MEASURE WAS NOT PERFECTLY PERPENDICULAR TO THE PROPERTY LINE OR NOT PERFECTLY LEVEL.

64.3 FEET DIVIDED BY 9 PROPERTIES EQUALS A PREVAILING SETBACK OF 7.1444 FEET



CONTEXT AREA SITE PLAN

SCALE : 1" = 16'-0"

GRAPHIC SCALE IN FEET

0 4 8 16 32

PROJECT TITLE:
156 PALISADE STREET

DOBBS FERRY, NEW YORK 10522

PROJECT NO.: **1904**

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ISSUED / REVISIONS

PLANNING BOARD SUBMISSION	06-25-2020
REVISED	08-27-2020
1. LOT COVERAGE CHART CORRECTED NUMBER OF BLDG.S BUILDING AREA AND BUILDING COVERAGE FOR 154 PALISADE STREET	
2. CORRECTED AVERAGE BLDG SITE COVERAGE NUMBERS WITH AND WITHOUT 156 PALISADE STREET	
3. CORRECTED NUMBER OF UNITS FROM 2 TO 3 FOR 164 PALISADE STREET	
PLANNING BOARD SUBMISSION	09-17-2020
SUBMITTED TO AHRB AND PLANNING BOARD 10-08-2020	

SHEET TITLE:
**STREETSCAPE
ELEVATION
CONTEXT AREA
SITE PLAN
CONCEPT F**

DATE: 02-24-2020	DRAWN BY: MB
SCALE: AS NOTED	CHECKED BY: PRS

SS