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October 20, 2020

TO: Village of Dobbs Ferry Planning Board

CC: George E. Pommer, P.E.
Vice President

Dwight Douglas
Village Consulting Planner

Re: Site Plan Review
Owner/Applicant-James O'Connor 4 Bradley Street
Tax ID: 3.90-61-23

Dear Members of the Planning Board,

To follow are our revisions/responses to all comments, pertaining to engineering, received from the above referenced parties.

JAMES J. HAHN ENGINEERING P.C., VILLAGE CONSULTING PLANNERS, COMMENTS DATED 09/28/2020:

1. A complete site plan should be provided. The site plan should include the proposed conditions, building envelope, and a complete zoning table. The zoning table should show required, existing, and proposed values for parameters listed in Table B-1 of the Village Code.
 - Zoning Table and Building Envelope now shown. All proposed conditions are labeled accordingly.
2. A plan should be provided showing the existing conditions and labeled as "Existing Conditions".
 - An existing conditions plan is now provided along with proposed removals of what is existing.
3. A full-size Stormwater & Erosion Control Plan should be submitted for review.
 - Stormwater plan provided with this response.
6. The "limits of construction" should include all proposed work, including the proposed stormwater system.
 - All proposed work is shown within the "Area of Disturbance" or Limits of Construction.

7. The site items proposed to be demolished or removed should be clearly shown on an existing conditions or demolition plan.
 - See response to # 2.
10. The drainage system should be sized for the 100-year storm event. It should also be verified that excess runoff will not enter the system and thereby possibly causing frequent over-topping.
 - The design has been updated to a 100 year storm. There will be no excess water entering the system. We have created a berm on the south side of the curtain drain to prevent runoff from the yard from entering the system.
11. The infiltration system must not be connected until construction is complete and the contributing area is stabilized. A note, stating as much, should be added to the plans.
 - See notes under the tree protection detail.
12. The area of the proposed infiltration system should be protected from over-compaction during construction. The area should be fenced off during construction or the area should be de-compacted prior to installation of the infiltration units.
 - See notes under the tree protection detail.
13. An overflow structure should be provided for the infiltration system. The elevation of the overflow should be above the highest elevation of storage.
 - Pop up emitter has been added as an overflow
14. A structure or cleanout should be provided at all pipe bends and junctures.
 - Cleanouts have been added
15. Post-construction maintenance notes should address the infiltration system.
 - Infiltration system now addressed.
16. Silt fence should be revised to be located down slope of the proposed construction.
 - Silt Fence Revised
17. The date the survey was completed and source of topography should be shown.
 - The topo has been revised to clarify the data captured in the field. In addition the date and source of topo has been stated on the Existing Conditions and Partial topo plan. Gabriel E Senor. PC performed the topo.
18. The name(s) and address (or lot, block and section numbers) of each adjacent property should be shown.
 - Now shown on existing conditions plan
19. The quantity of cut/fill material to be imported/exported should be stated on the plans or provide the following note on the plan:

"Cut/fill material shall not be imported to or exported from the site."

 - See notes under the tree protection detail.

20. The following notes should be shown on the plans:

"The Building Inspector or Village Engineer may require additional erosion control measures if deemed appropriate to mitigate unforeseen siltation and erosion of disturbed soils."

"As-Built" drawings of the site improvements shall be submitted to the Village Engineer for review prior to obtaining Certificate of Occupancy."

"Infiltration system access ports shall be shown on the "As-Built"."

"Before the Site Plans are signed by the Chairman of the Planning board, the applicant shall be required to post a performance bond or other type of acceptable monetary guaranty which shall be in an amount determined by the Planning Board and the Village Engineer in a form satisfactory to the Village Attorney."

- See notes under the tree protection detail.

Should you have any additional comments or questions concerning the above, please feel free to contact me. Thank you for your consideration in this matter.

Very truly yours,

Eliot Senior, P.E., L.S.