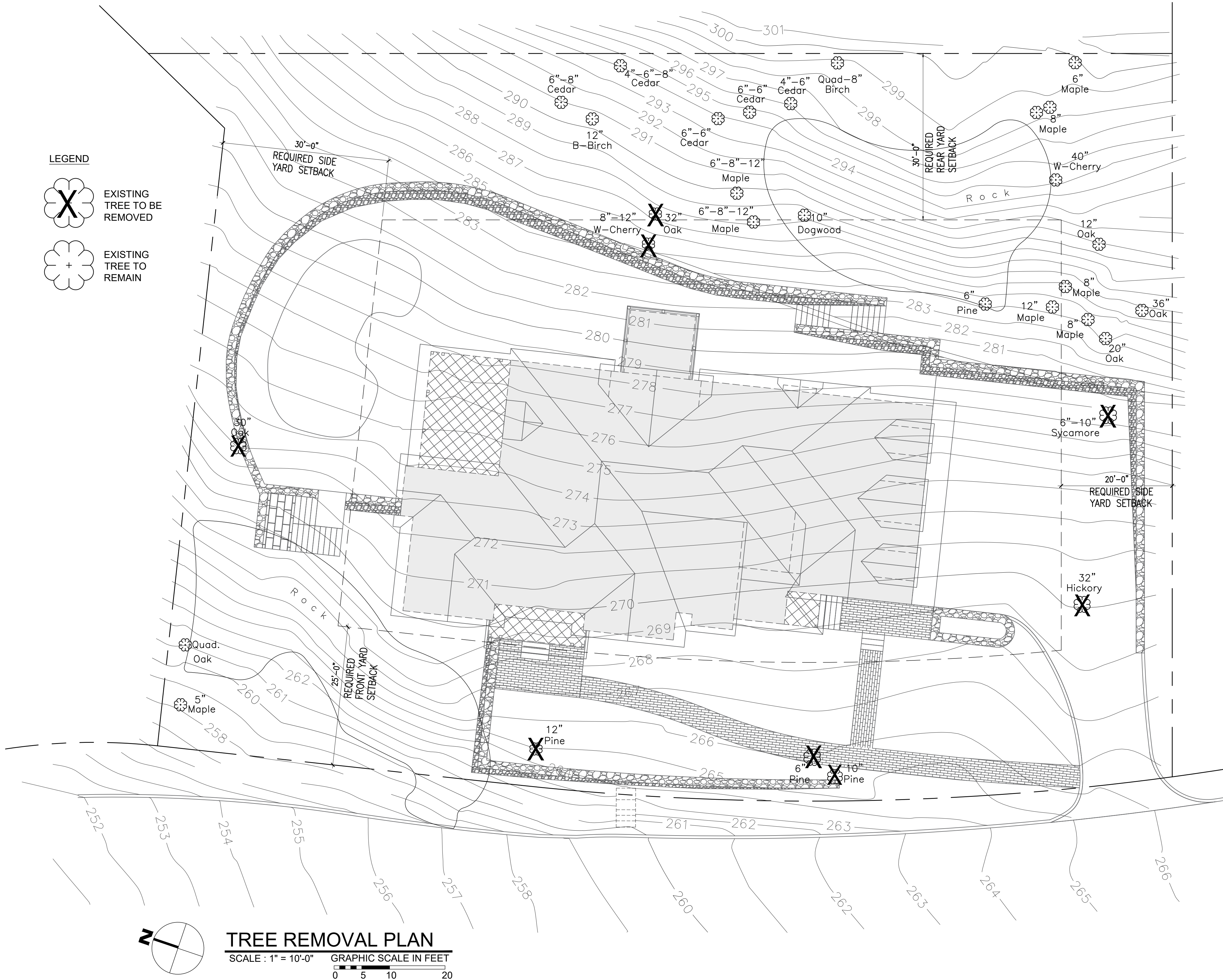
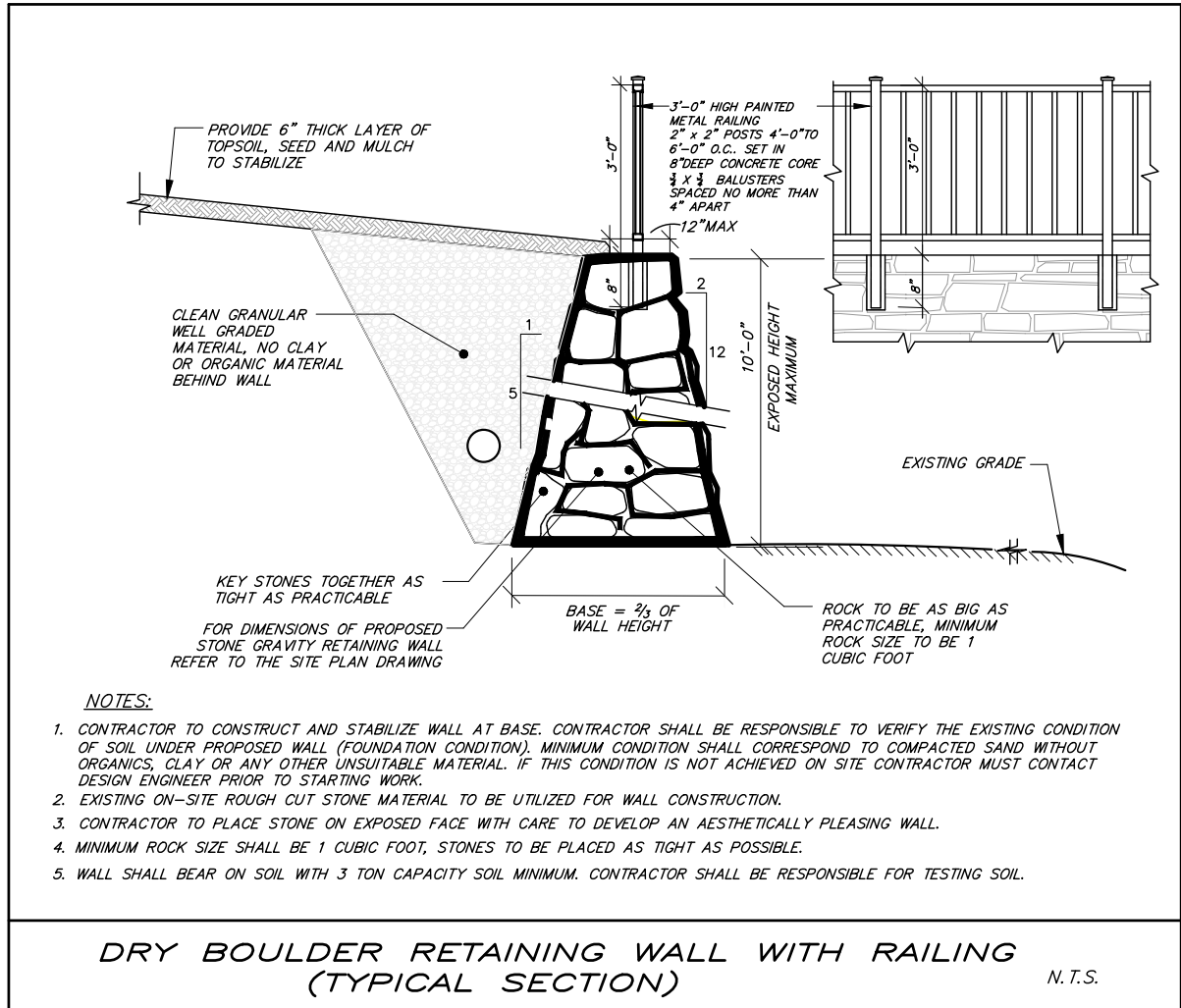


NOT FOR CONSTRUCTION



TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED, THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE CURRENTLY IN EFFECT.



WARNING:
IT IS A VIOLATION OF THE NEW YORK STATE EDUCATIONAL LAW ARTICLE 145 SECTION 7209 FOR ANY PERSON UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT, ENGINEER OR LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY.

Integral Engineering Services
27 Main Street : a
Dobbs Ferry, NY 10522
914-276-8874 : o
914-276-8874 : m
info@integralegr.com : e
www.integralegr.com : w

PROJECT TITLE:
GIGLIO PROPERTY
79 NORTH MOUNTAIN DRIVE
DOBBS FERRY, N.Y. 10522
PROJECT NO.: **2207**

GOTHAM DESIGN
PLANNING AND DEVELOPMENT LTD.

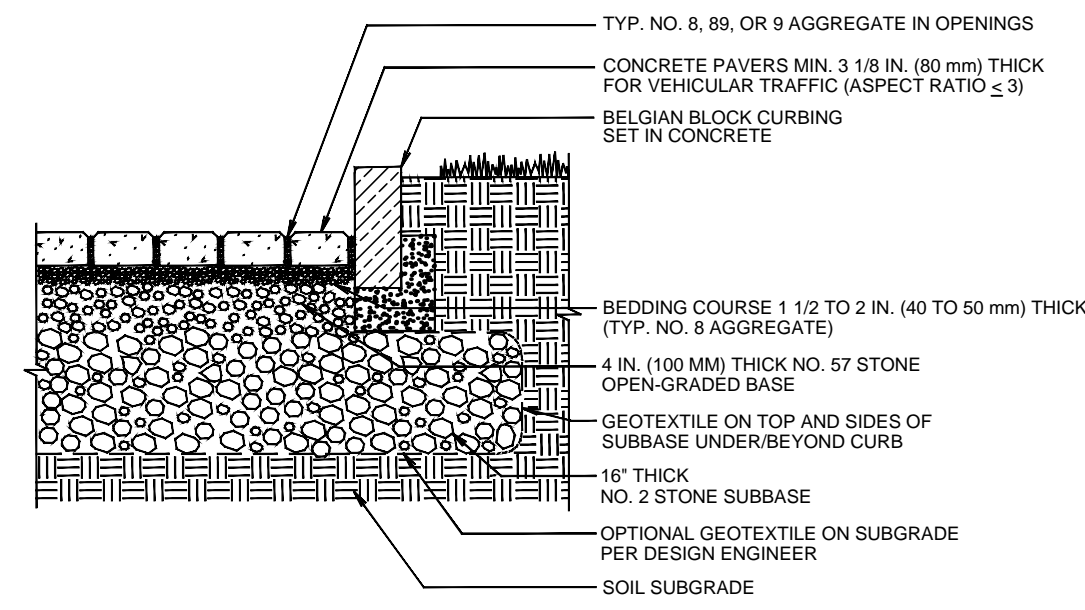
329 Broadway
Dobbs Ferry, N.Y. 10522
Phone: (914) 693-5093
Fax: (914) 693-5390
email: arch329@gmail.com

ISSUED / REVISIONS
REVISED 11-14-2022
ADDED TYPICAL DRY BOULDER RETAINING WALL DETAIL

SHEET TITLE:
TREE REMOVAL PLAN

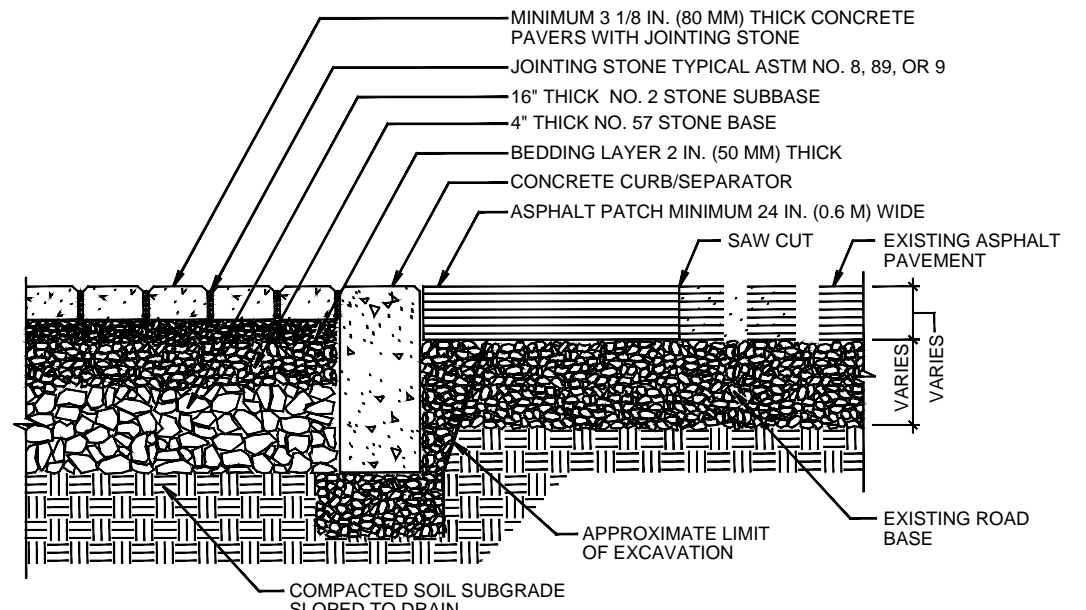
DATE: **10/13/2022** DRAWN BY: **SSJ**
SCALE: **AS NOTED** CHECKED BY: **PRS**

SP-1.3



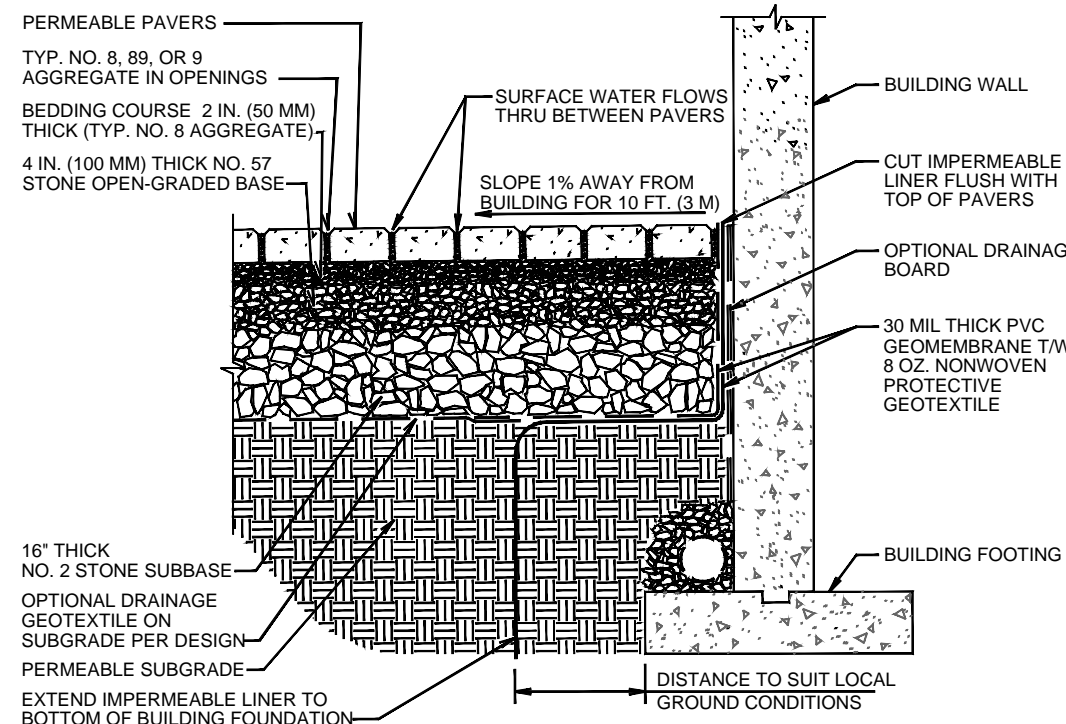
- NOTES:
1. 3/8 IN. (60 MM) THICK PAVERS MAY BE USED IN PEDESTRIAN AND RESIDENTIAL APPLICATIONS.
 2. NO. 2 STONE SUBBASE THICKNESS VARIES WITH DESIGN. CONSULT ICPI PERMEABLE INTERLOCKING CONCRETE PAVEMENT MANUAL.
 3. NO. 2 STONE MAY BE SUBSTITUTED WITH NO.3 OR NO.4 STONE.

PERMEABLE PAVEMENT WITH FULL INFILTRATION TO SOIL SUBGRADE



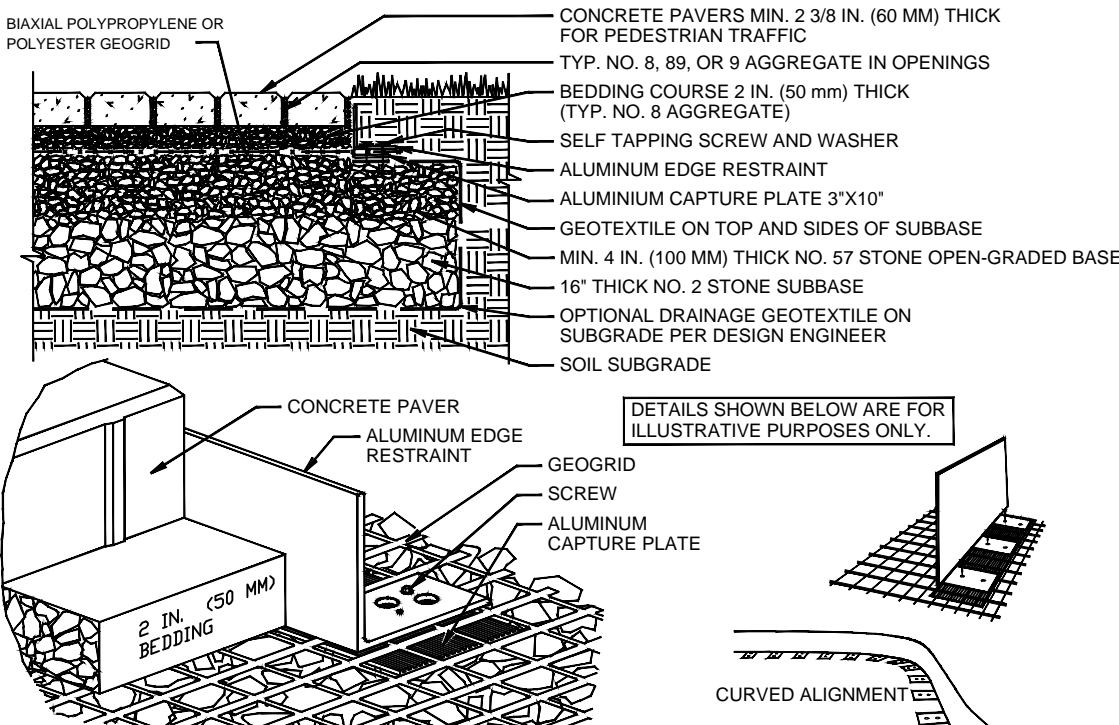
- NOTES:
1. 3/8 IN. (60 MM) THICK PAVERS MAY BE USED IN RESIDENTIAL APPLICATIONS.
 2. NO. 2 STONE SUBBASE THICKNESS VARIES WITH DESIGN. CONSULT ICPI PERMEABLE INTERLOCKING CONCRETE PAVEMENT MANUAL.

FLEXIBLE PAVEMENT TRANSITION DETAIL



- NOTE:
1. SELECT GEOTEXTILE PER AASHTO M 288.

FOUNDATION WALL PROTECTION FROM PICP



- NOTES:
1. USE 3/8 IN. (60 MM) THICK PAVERS IN RESIDENTIAL DRIVEWAY APPLICATIONS.
 2. NO. 2 STONE SUBBASE THICKNESS VARIES WITH DESIGN. CONSULT ICPI PERMEABLE INTERLOCKING CONCRETE PAVEMENT MANUAL.
 3. SELECT GEOTEXTILE PER AASHTO M 288.

PERMEABLE INTERLOCKING CONCRETE PAVEMENT ALUMINUM EDGE RESTRAINT WITH GEOGRID

PERMEABLE PAVING DETAILS

NOT TO SCALE

IMPERVIOUS COVERAGE PROPOSED

| | |
|----------------------|--------------|
| HOUSE | 2899 SQ.FT. |
| GARAGE | 825 SQ.FT. |
| FRONT PORCH | 126 SQ.FT. |
| FAM ENTRY PORCH | 36 SQ.FT. |
| GREAT ROOM PORCH | 304 SQ.FT. |
| FR. STEPS,PLANTER | 102 SQ.FT. |
| PROPOSED STONE WALLS | |
| FRONT | 186 SQ.FT. |
| N. SIDE & REAR | 305 SQ.FT. |
| S. SIDE & REAR | 285 SQ.FT. |
| SIDE STONE STAIRS | 140 SQ.FT. |
| SWIMMING POOL | 620 SQ.FT. |
| REAR STONE STAIRS | 68 SQ.FT. |
| TOTAL | 5,896 SQ.FT. |

5896 / 23337 GROSS LOT AREA = 25.26%

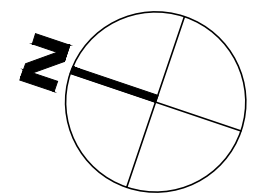
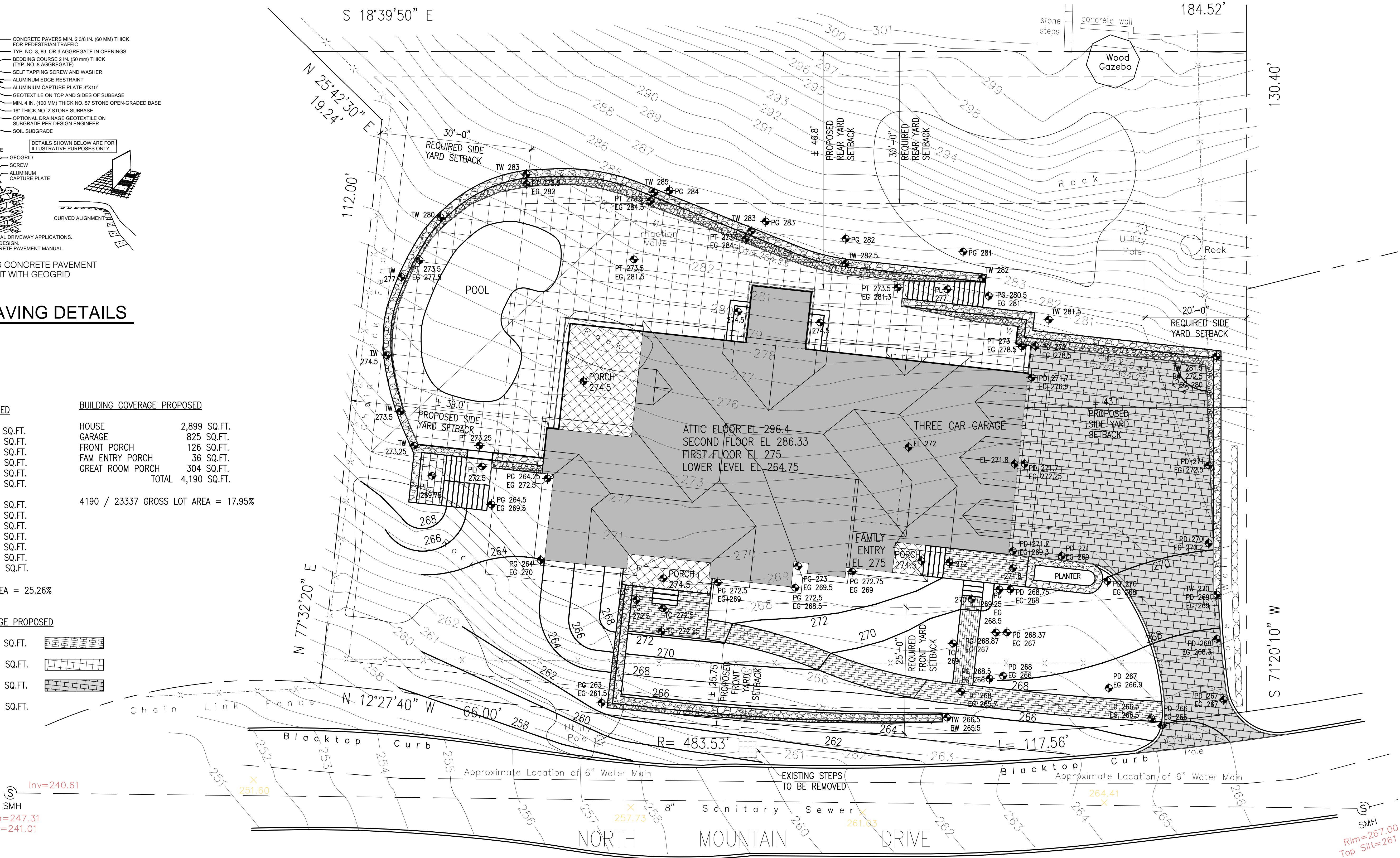
PERMEABLE SURFACES COVERAGE PROPOSED

| | | |
|-----------------------|--------------|--|
| FRONT WALK | 659 SQ.FT. | |
| REAR PERVIOUS TERRACE | 2,394 SQ.FT. | |
| DRIVEWAY | 1,868 SQ.FT. | |
| TOTAL | 4,921 SQ.FT. | |

BUILDING COVERAGE PROPOSED

| | |
|------------------|--------------|
| HOUSE | 2,899 SQ.FT. |
| GARAGE | 825 SQ.FT. |
| FRONT PORCH | 126 SQ.FT. |
| FAM ENTRY PORCH | 36 SQ.FT. |
| GREAT ROOM PORCH | 304 SQ.FT. |
| TOTAL | 4,190 SQ.FT. |

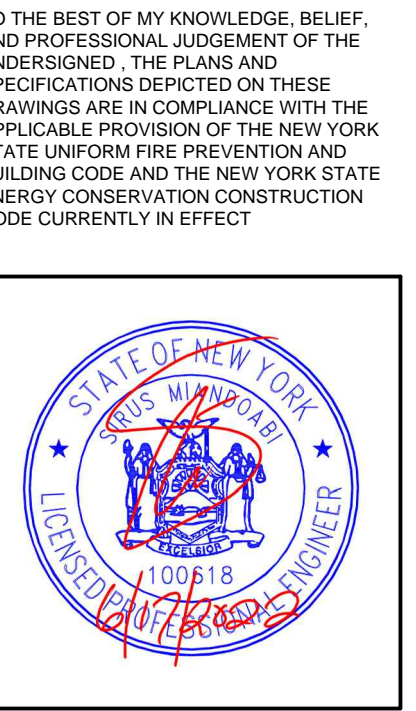
4190 / 23337 GROSS LOT AREA = 17.95%



PROPOSED SITE PLAN

SCALE : 1" = 10'-0" GRAPHIC SCALE IN FEET

NOT FOR CONSTRUCTION



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PROJECT TITLE:
GIGLIO RESIDENCE
79 NORTH MOUNTAIN DRIVE
DOBBS FERRY, N.Y. 10522
PROJECT NO.: 2207

GOTHAM DESIGN
PLANNING AND DEVELOPMENT LTD.

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email: arch329@gmail.com

ISSUED / REVISIONS

SHEET TITLE:

PERMEABLE PAVING PLAN

| | |
|----------------------------|---------------------------|
| DATE: 11-14-2022 | DRAWN BY: SSJ |
| SCALE: AS NOTED | CHECKED BY: PRS |

SP-1.4