

63 LIVINGSTON, LLC

63 LIVINGSTON AVENUE
DOBBS FERRY, NY. 10522

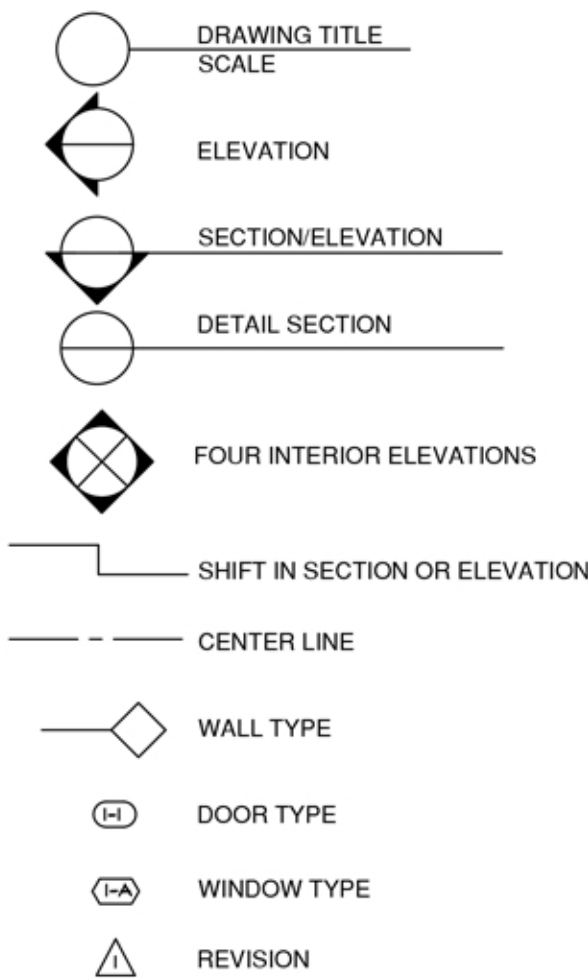
SURVEYOR
LINK LAND SURVEYORS, P.C.
21 CLARK PLACE, SUITE 1-B
MAHOPAC, N.Y. 10541
TEL: 845-628-5857

ARCHITECT
OPAC ARCHITECTS
24 NORTH ASTOR
IRVINGTON, NY 10533
TEL: 914-591-4306 FAX: 914-591-4308

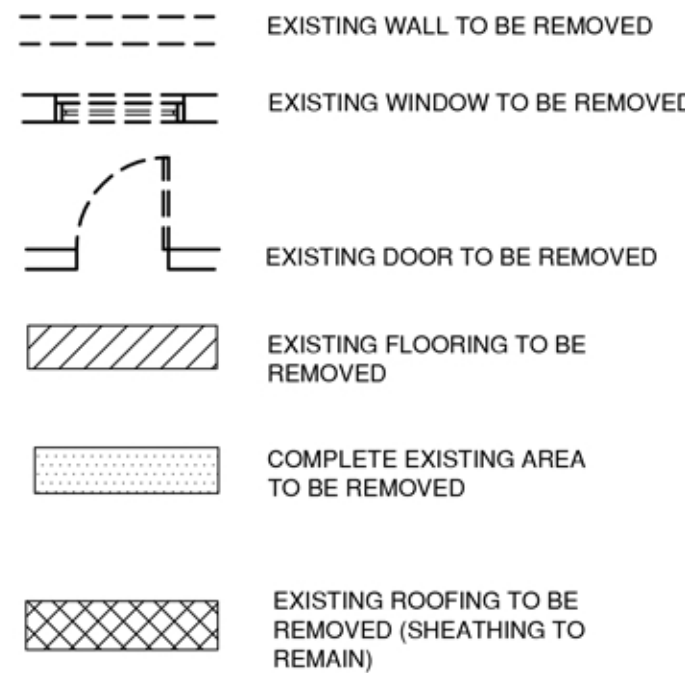
SITE ENGINEERS
HUDSON ENGINEERING & CONSULTING P.C.
45 KNOLLWOOD ROAD, SUITE 201
ELMSFORD, NY 10523
TEL: 914-909-0420 FAX: 914-560-2086

SYMBOLS:

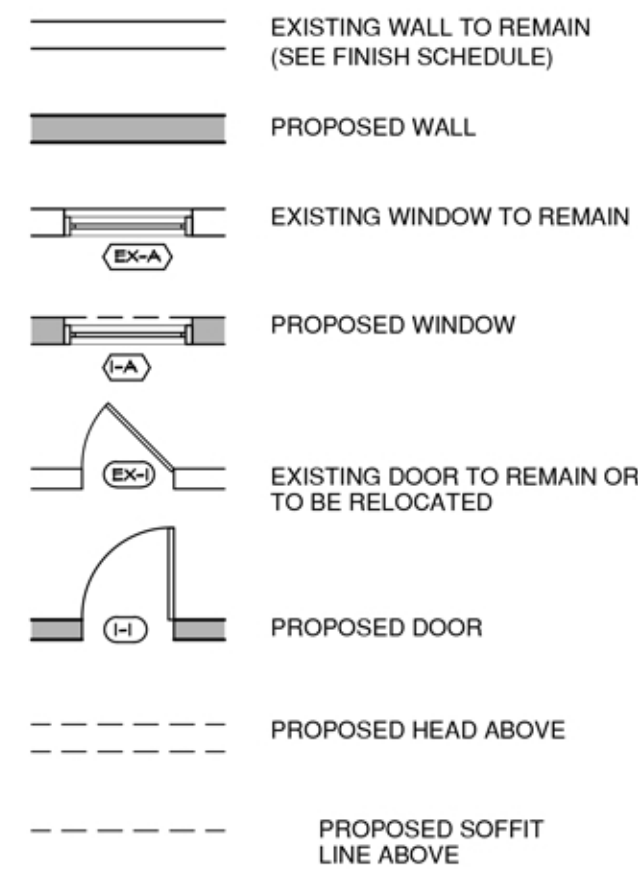
ARCHITECTURAL



DEMOLITION LEGEND:



CONSTRUCTION LEGEND



DESIGN REQUIREMENTS:

DESIGN REQUIREMENTS FOR THE RESIDENTIAL CODE OF NEW YORK VILLAGE OF DOBBS FERRY CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA									
GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX
			WEATHERING CONCRETE	FROST LINE DEPTH	TERMITE	DECAY			
45 PSF	100-110	C	SEVERE	42"	MODERATE/ HEAVY	SLIGHT/ MODERATE	7 DEGREES F	NO	618

GENERAL

- APPLICATION FOR PAYMENT SHALL BE SUBMITTED TO THE ARCHITECT, IN THE AIA G702.
- CONTRACTOR SHALL COORDINATE ALL UTILITY INTERRUPTIONS INCLUDING WATER, GAS, SEWER AND ELECTRICAL. IF THE SITE IS INHABITED THE CONTRACTOR MUST SUPPLY TEMPORARY CONNECTIONS FOR UTILITIES THAT ARE DISCONNECTED FOR MORE THAN ONE DAY.
- ALL ITEMS NOTED ON DRAWING AS "PROVIDED BY OWNER" SHALL BE INSTALLED BY THE CONTRACTOR.
- CONTRACTOR SHALL PROVIDE "PORTABLE-JOHN" DURING CONSTRUCTION PERIOD.
- THE ARCHITECT HAS THE AUTHORITY TO REJECT WORK THAT DOES NOT CONFORM WITH THE INTENT OF THE CONTRACT DOCUMENTS. ALL WORK REJECTED WILL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR OR REPLACE.
- IN MATTERS OF QUALITY, QUANTITY AND AESTHETIC VALUE, THE ARCHITECT DECISIONS WILL BE FINAL.

DEMOLITION

- CONTRACTOR SHALL PROVIDE CONTINUOUS SHORING AND BRACING OF THE EXISTING STRUCTURE DURING DEMOLITION AND CONSTRUCTION. REMOVAL OF ALL BEARING WALLS WILL BE IN ACCORDANCE WITH STRUCTURAL PLANS. IF ANY CONDITIONS ARE DIFFERENT THAN SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE ARCHITECT IMMEDIATELY.

WOODWORK

- ALL WOODWORK AND MOLDING PROFILES SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR SHALL PROVIDE MOCKUP IN THE FIELD FOR APPROVAL PRIOR TO ORDERING AND INSTALLING MOLDING.

- ALL FINISH TRIM SHALL BE STORED IN A DRY AND PROTECTED AREA. ALL TRIM SHALL BE DELIVERED TO THE SITE A MINIMUM 2 WEEKS PRIOR TO INSTALLATION. WOOD SHALL BE COMPLETELY PRIMED PRIOR TO INSTALLATION.

- INTERIOR AND EXTERIOR TRIM SHALL BE GLUED AND NAILED AT ALL CONNECTIONS. ALL EXTERIOR GLUE SHALL BE WATER RESISTANT.

SITE WORK

- CONTRACTORS SHALL PROTECT EXISTING TREES DURING CONSTRUCTION. ALL TREES AND SHRUBS IN AREA OF NEW CONSTRUCTION SHALL BE REMOVED BY OWNER'S LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED. CONTRACTOR NOT STORE ANY MATERIALS ON ANY LANDSCAPE AREAS.

ELECTRICAL

- LIGHT FIXTURES SUPPLIED BY OWNER SHALL BE INSTALLED BY ELECTRICAL CONTRACTOR. FIXTURES DELIVERED TO SITE BY OWNER OR OWNER'S REPRESENTATIVE SHALL BE ACCEPTED BY GENERAL CONTRACTOR AND SHALL BECOME CONTRACTOR'S RESPONSIBILITY TO PROTECT THROUGH JOB COMPLETION.

- ALL ELECTRICAL WORK SHALL COMPLY TO THE REQUIREMENTS OF NATIONAL, STATE AND LOCAL ELECTRICAL CODES.

- GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH OWNER'S CONSULTANTS. CONTRACTOR SHALL NOTIFY OWNER WHEN THESE TRADES CAN BE SCHEDULED TO WORK.

PLUMBING

- ALL PLUMBING WORK SHALL COMPLY WITH NYS PLUMBING CODE AND ALL STATE AND LOCAL REGULATIONS.

WORKMANSHIP

- PROVIDE ALL MATERIAL, EQUIPMENT, LABOR AND METHODS OF CONSTRUCTION TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND DECRIED IN THE SPECIFICATION. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE NEW YORK STATE CODE, THE COUNTY OF WESTCHESTER, THE PRESIDING VILLAGE AND ANY OTHER APPLICABLE CODES HAVING JURISDICTION.

COORDINATION

- THE CONTRACTOR SHALL CHECK AND VERIFY ALL NEW AND EXISTING CONDITIONS AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR COMMENCING WORK IN THAT AREA.

- ALL DIMENSION OF WALLS ARE TAKEN TO FRAMING MEMBERS FOR NEW CONSTRUCTION AND TO FINISH WALL FOR EXISTING CONSTRUCTION, UNLESS OTHERWISE NOTED.

- ALWAYS USE GIVEN DIMENSIONS, DO NOT SCALE OFF OF DRAWINGS FOR CONSTRUCTION PURPOSES.

- SUBMIT SHOP DRAWINGS AS REQUESTED BY THE SPECIFICATIONS AND OR DRAWINGS. ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.

- ALL COLORS TO BE APPROVED BY ARCHITECT. SAMPLES OF ALL FINISHES SPECIFIED SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK. MINIMUM SIZE 12" X 12". (SEE SPEC.)

CHANGES

- ALL CHANGE ORDERS SHALL BE SUBMITTED IN WRITING AND SHALL BE APPROVED BY THE ARCHITECT AND OWNER PRIOR TO START OF WORK (AIA DOCUMENT G701).

- ANY DEVIATION FROM WHAT IS SHOWN OR STIPULATED IN THE DRAWINGS OR THE SPECIFICATION MUST BE APPROVED BY THE ARCHITECT PRIOR TO COMMENCING WORK.

- ALL SUBSTITUTIONS MUST BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.

SAFETY

- THE CONTRACTOR AND ALL OF THE SUBCONTRACTORS INVOLVED IN THIS PROJECT ARE TO BE SAFELY WORKING WITHIN THE GUIDELINES SET FORTH BY LOCAL MUNICIPALITIES AND NEW YORK STATE.

- THE CONTRACTOR INDEMNIFIES AND HOLDS THE OWNER HARMLESS FROM ALL LIABILITIES AND LOSS BECAUSE OF INJURY TO ANY PERSON OR DAMAGE TO ANY PROPERTY THAT MAY OCCUR DURING THIS CONTRACT.

- THE CONTRACTOR AND SUBCONTRACTORS MUST OBTAIN AND MAINTAIN AN ACCIDENT AND PUBLIC LIABILITY INSURANCE POLICY FOR THIS PROJECT, FROM COMMENCEMENT TO COMPLETION. THE CONTRACTOR MUST PROVIDE THE OWNER WITH A RIDER STATING THE OWNER AND THEIR PROPERTY IS CO-INSURED. FAILURE TO FOR FILL THIS OBLIGATION DOES NOT OVIATE THE CONTRACTOR FROM RESPONSIBILITY.

- THE CONTRACTOR AND ALL SUBCONTRACTORS MUST CARRY WORKERS COMPENSATION IN ACCORDANCE WITH NEW YORK STATE REQUIREMENTS.

- CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING THE SITE OF DANGEROUS DEBRIS AND THAT THE BUILDING IS SECURE AT THE END OF EACH WORKING DAY.

- THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY HAZARDOUS MATERIAL FOUND DURING THE COURSE OF THIS PROJECT. IF ANY MATERIAL IS DISCOVERED, IT SHALL BE REMOVED BY THE OWNER UNLESS OTHERWISE STATED.

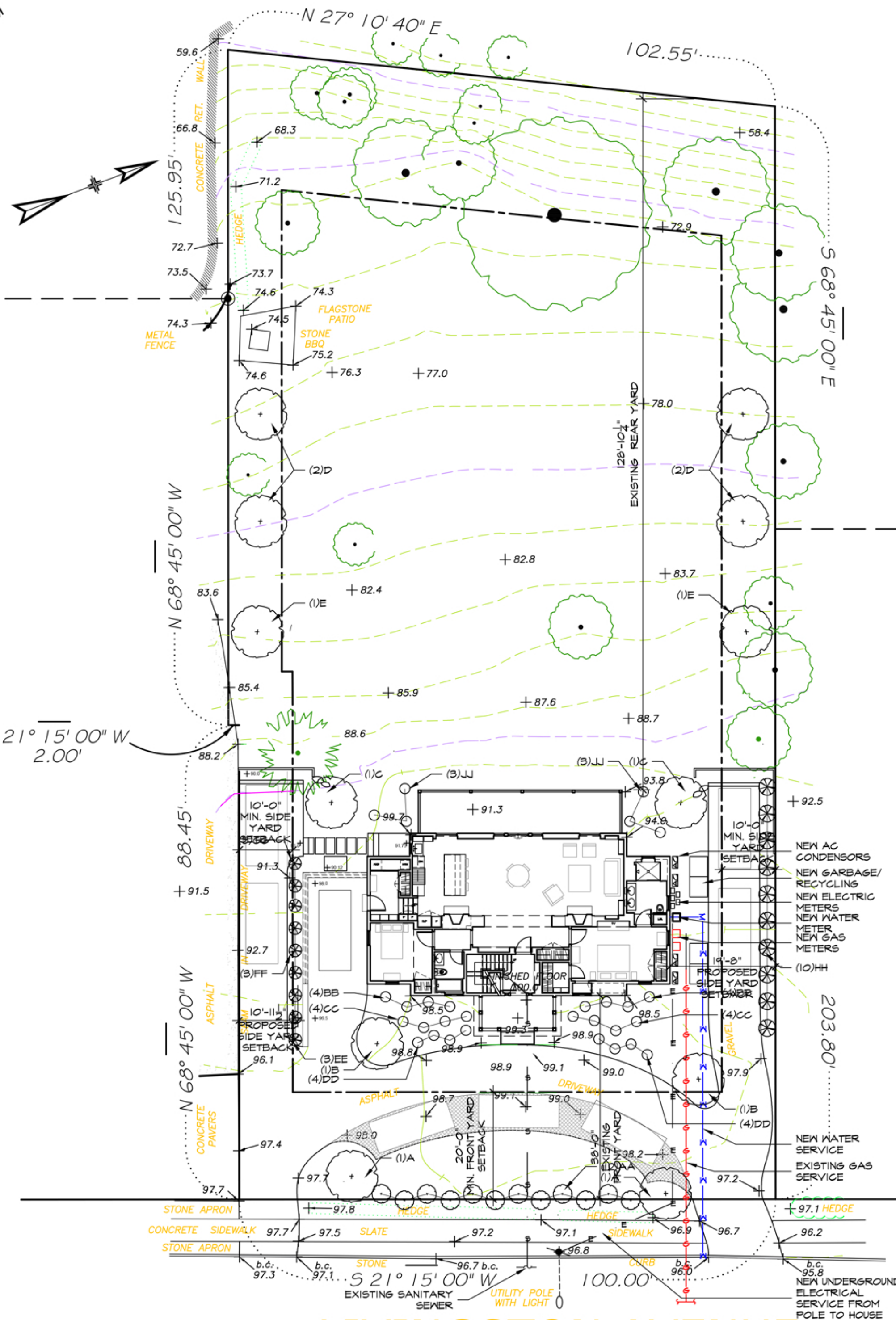
WARRANTIES

- ALL WORK SHALL BE GUARANTEED AGAINST DEFECTS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF FINAL PAYMENT. UNLESS OTHERWISE NOTED IN THE SPECIFICATIONS. ANY REPAIR OR REPLACEMENT REQUIRED MUST BE APPROVED BY THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.

PLOT PLAN:

NOTE:

THE INFORMATION SHOWN WAS TAKEN FROM A DRAWING PREPARED BY LINK LAND SURVEYORS, P.C. DATED OCTOBER 21, 2021 AND IS SHOWN FOR REFERENCE ONLY. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE SURVEY INFORMATION SHOWN.



1 PLOT PLAN
SCALE: 1" = 20' - 0"

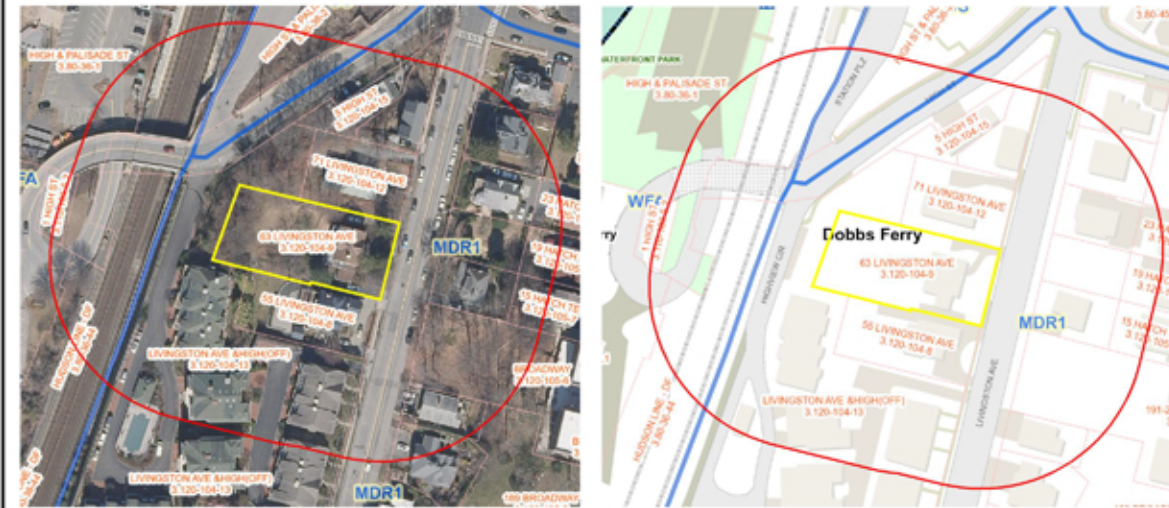
BUILDING CODE CRITERIA

CONSTRUCTION TYPE:	TYPE 5B (FRAME CONSTRUCTION)
OCCUPANCY:	GROUP R2 (RESIDENTIAL - APARTMENT HOUSE)
FIRE RESISTANCE	FLOOR: 3/4 HOUR ROOF STRUCTURE: COMBUSTABLE OTHER STRUCTURAL ELEMENTS: 3/4 HOUR
DESIGN LOADS:	ROOF: DEAD: 15PSF LIVE: 30PSF TOTAL: 45PSF FLOOR: DEAD: 20PSF LIVE: 40PSF TOTAL: 60PSF ATTIC: DEAD: 30PSF LIVE: 30PSF TOTAL: 60PSF DECKS: DEAD: 15PSF LIVE: 60PSF TOTAL: 75PSF STAIRS: DEAD: 15PSF LIVE: 75PSF TOTAL: 75PSF

SOIL BEARING CAPACITY SHALL BE IN COMPLIANCE WITH THE RESIDENTIAL CODE OF THE STATE OF NEW YORK

ZONING INFORMATION:

SITE LOCATION AND ZONING MAP



PROPERTY AND ZONING INFORMATION

PROPERTY INFORMATION TABLE			
MUNICIPALITY	VILLAGE OF DOBBS FERRY, WESTCHESTER COUNTY, NEW YORK		
ADDRESS	63 LIVINGSTON AVENUE, DOBBS FERRY, NEW YORK 10522		
TAX ID #	SECTION: 3.120, BLOCK 104, LOT 9		
OWNER	MR. AND MRS. WINIARSKI, 16 SHERMAN AVE., DOBBS FERRY, NY 10522		
APPLICANT	MR. AND MRS. WINIARSKI, 16 SHERMAN AVE., DOBBS FERRY, NY 10522		
DISTRICT	MDR-1 MIXED DENSITY RESIDENTIAL DISTRICT		
SCHEDULE OF ZONING DISTRICT REGULATIONS			
REGULATION ITEM	REQUIRED/ALLOWED	EXISTING	PROPOSED
USE	MULTI FAMILY RESIDENCE	MULTI FAMILY	MULTI FAMILY
MIN. LOT AREA	5,000 SF	21,152 SF (ACTUAL) *19,960.33 (ADJUSTED FOR STEEP SLOPES)	SAME
MIN. LOT WIDTH	50 FT.	100 FT.	SAME
MIN. LOT DEPTH	100 FT.	203.80 FT.	SAME
MIN. FRONT YARD	20 FT.	38.0 FT.	SAME
MIN. SIDE YARD	10 FT.	9.0 / 28.0 FT.	11.5 / 20.0 FT.
MIN. TWO SIDE YARDS	20 FT.	37.0 FT.	31.5 FT.
MIN. REAR YARD	25 FT.	129.28 FT.	SAME
MAX. BLDG. COVERAGE	*27% OF LOT AREA(5,389.28 SF)	*11.37% (2,270.03 SF)	*11.46% (2,288.25 SF)
MAX. LOT COVERAGE	*54% OF LOT AREA(10,778.57 SF)	*24.49% (4,889.93 SF)	*27.91% (5,572.26 SF)
MAX. EAVE HEIGHT	28 FT. (DEFAULT)	+23.0 FT. (EXISTING)	SAME
MAX. RIDGE HEIGHT	35 FT. (DEFAULT)	+39.5 FT. (EXISTING)	SAME
MAX. BUILDING HEIGHT	2 1/2 STORIES	2 1/2 STORIES	2 1/2 STORIES

NOTES:

SHOULD ROCK BLASTING BE REQUIRED, A PERMIT APPLICATION IN ACCORDANCE WITH CHAPTER 125 - BLASTING AND EXPLOSIVES OF THE VILLAGE OF DOBBS FERRY CODE MUST BE SUBMITTED TO THE VILLAGE BY THE APPLICANT FOR REVIEW/APPROVAL.

THE VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.

BUILT PLANS OF THE PROPOSED DRIVEWAY AND DRAINAGE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY.

FILL MATERIAL IMPORTED TO THE SITE SHALL BE CERTIFIED IN WRITING BY A NEW YORK LICENSED PROFESSIONAL ENGINEER AS CLEAN, NON-CONTAMINATED FILL SUITABLE FOR THE INTENDED USE.

BEFORE THE SITE PLAN IS SIGNED BY THE CHAIRMAN OF THE PLANNING BOARD, THE APPLICANT SHALL BE REQUIRED TO POST A PERFORMANCE BOND OR OTHER TYPE OF ACCEPTABLE MONETARY GUARANTY WHICH SHALL BE IN AN AMOUNT DETERMINED BY THE PLANNING BOARD AND THE VILLAGE ENGINEER AND IN A FORM SATISFACTORY TO THE VILLAGE ATTORNEY.

IN ACCORDANCE WITH THE 2020 NYS BUILDING/RESIDENTIAL CODE(S) THE PROJECT SHALL BE EQUIPPED WITH A WHOLE HOUSE FIRE SPRINKLER SYSTEM COMPLETE WITH HORNS/STROBES AS REQUIRED.

ALL PLANS ARE DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2020 NY STRETCH ENERGY CODE.

REFERENCE DRAWINGS

T-1.0 TITLE SHEET

LANDSCAPE PLANS

L-1.0 EXISTING AND PROPOSED LANDSCAPE PLANS
L-1.1 COVERAGE, DRIVEWAY, PARKING DIAGRAMS, LIGHTING PLAN AND FIXTURES

DRAINAGE PLANS

C-1 STORMWATER MANAGEMENT PLAN
C-2 DETAILS

CONSTRUCTION PLANS

A-1.0 EXISTING AND PROPOSED PLANS - BASEMENT AND FIRST FLOOR
A-1.1 EXISTING AND PROPOSED PLANS - SECOND FLOOR AND ATTIC

EXTERIOR ELEVATIONS

A-2.0 EXISTING AND PROPOSED ELEVATIONS - FRONT AND SIDE
A-2.1 EXISTING AND PROPOSED ELEVATIONS - REAR AND SIDE

No.	Date	Revision
11-15-22		ISSUED FOR PLANNING BD. APPROVAL
10-11-22		ISSUED FOR PLANNING BD. APPROVAL
07-29-22		ISSUED TO BUILDING DEPT.

Stamp



Drawing Title

TITLE SHEET

Scale	Job no.	Issue Date	Drawing no.
AS NOTED	2104	07-29-22	T-1.0
Drawn By	Checked By	Approved By	
NW			