

AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION, GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, INSPECTIONS, AND CERTIFICATE(S) OF OCCUPANCY, INSURANCES, AND BONDS AS REQUIRED. 4. ALL MATERIALS SPECIFIED OR USED TO EXECUTE THIS PROJECT SHALL BE DELIVERED : STORED AND INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS UNLESS OTHERWISE NOTED. 5. ANY DESIRED SUBSTITUTION, OR DEVIATIONS FROM CONTRACT DOCUMENTS WILL REQUIRE WRITTEN APPROVAL FROM STEVEN SECON ARCHITECT PRIOR TO INSTALLATION. 5. REMOVE EXISTING CONSTRUCTION AS REQUIRED TO ALLOW INSTALLATION OF NEW WORK SHOWN ON THE DRAWINGS. PATCH AREAS OF DEMOLITION FLUSH AND SMOOTH TO ADJACENT SURFACES, READY FOR APPLICATION OF FINISHES. 7. SHUTDOWNS AND INTERRUPTIONS TO NORMAL ACTIVITIES SHALL BE REVIEWED WITH OWNER PRIOR TO IMPLEMENTATION. THE GC SHALL CONTACT AND COORDINATE UTILITY SHUT-DOWNS, RECONNECTS AND UPGRADES WITH THE PROPER PROVIDER IN A TIMELY MANNER. 3. PROVIDE SHORING, STABILIZATION AND BRACING AS REQUIRED. PROVIDE PROPERTY, SITE AND PERSONAL PROTECTION AS REQUIRED, FOR THE SAFE AND ORDERLY EXECUTION OF THE NORK. PROVIDE P.E. ENGINEERING DRAWINGS AS REQUIRED BY LOCAL MUNICIPALITY. PROVIDE WEATHER PROTECTION IN A TIMELY MANNER TO PROTECT THE SITE, PREMISES, MATERIALS, INSTALLED WORK AND PERSONNEL. 9. ALL MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS AND SERVICES TO BE COMPLETE AND OPERATIONAL. INSTALLATIONS SHALL NOT CONFLICT WITH FIXTURES OR CONSTRUCTION SHOWN. MECHANICAL, ELECTRICAL AND PLUMBING WORK SHALL BE PERFORMED BY LICENSED 10. THE GENERAL CONDITIONS FOR THIS PROJECT ARE "THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION AIA DOCUMENT A201, 1997 EDITION", AVAILABLE FROM 11. THE GC SHALL COORDINATE THE WORK OF ALL TRADE, INCLUDING OWNER-PROVIDED SUBCONTRACTORS. 12. THE GC SHALL SUBMIT A WRITTEN PROGRESS SCHEDULE AS WELL AS A LISTING OF ALL MAJOR SUBCONTRACTORS WITHIN 2 WEEKS OF AWARD FOR OWNER APPROVAL. 13. SUBMIT MONTHLY APPLICATIONS FOR PAYMENT OR AS INDICATED IN OWNER-CONTRACTOR AGREEMENT IN AIA G702 FORMAT. PROVIDE UNIT PRICES AND ALLOWANCES AS PER 14. ALL DELIVERIES, STAGING AND AVAILABLE UTILITIES SHALL BE COORDINATED WITH OWNER PRIOR TO CONSTRUCTION. 15. PROVIDE REMOVALS AND PROPER, LEGAL DISPOSAL OF ALL WASTE. MINIMIZE DUST AND DISRUPTION DURING DEMOLITION. LEAVE PROJECT IN "BROOM-CLEAN" CONDITION. 16. WORK IN HARMONY WITH INDEPENDENT CONTRACTORS HIRED BY THE OWNER. 17. PROVIDE MINIMUM WARRAINTY FOR ALL NEW & AFFECTED CONSTRUCTION OF 2 YEARS FROM TIME OF SUBSTANTIAL COMPLETION. PROVIDE OWNER WITH MANUALS AND WARRANTIES. 18. WHERE NO SPECIFICATION IS GIVEN, THE MINIMUM STANDARD FOR INSTALLATION SHALL ACCORDING TO THE NATIONAL ASSOC. OF HOME BUILDERS "RESIDENTIAL CONSTRUCTION PERFORMANCE GUIDELINES" CURRENT EDITION. 19. THE GC AND EACH OF HIS SUBCONTRACTORS SHALL HAVE A MINIMUM OF 5 YEARS OF RELATED WORK EXPERIENCE ON PROJECTS OF A SIMILAR NATURE. FAILURE TO PROVIDE ADEQUATELY TRAINED TRADESMAN AND SUPERVISION WILL BE GROUNDS FOR TERMINATION. D. WHERE CONFLICTS OR POSSIBLE CONTRADICTORY INFORMATION ARE SHOWN, THE BASIS OF THE BID SHALL BE BASED ON THE MORE EXPENSIVE MEANS. 21. CONTRACTORS' INPUT AND RECOMMENDATIONS ARE WELCOMED AND ANTICIPATED. CONSTRUCTION ALTERNATIVES WILL BE CONSIDERED IF THEY HAVE MERIT AND CAN ACHIEVE A SETTER RESULT THAN INDICATED HEREIN FOR THE SAME COST AND TIME. SUCH CHANGES SHALL NOT TAKE PLACE WITHOUT THE APPROVAL OF THE ARCHITECT AND OWNER. 2. CONTRACTOR AND HIS SUBCONTRACTORS SHALL MAINTAIN WORKMENS COMPENSATION AND ADEQUATE LIABILITY INSURANCE FOR THE ENTIRE DURATION OF THE PROJECT PLUS 2 YEARS, OWNER HALL BE RESPONSIBLE FOR PROPERTY INSURANCE ON VALUE OF BUILDING PLUS CONSTRUCTION INCLUDING FIRE AND VANDALISM (BUILDERS RISK INSURANCE) DURING THE COURSE OF CONSTRUCTION. 23. ALL DEBRIS MUST BE REMOVED DAILY FROM JOBSITE AND PROPERLY DISPOSED OF, ALL LAMMABLE MATERIALS MUST BE STORED IN UL APPROVED STORAGE CONTAINERS. FIRE EXTINGUISHERS WITH MINIMUM 10 LBS CAPACITY, RATED ABC TO BE PLACED EVERY 1000 SF OF PROPERTY DURING CONSTRUCTION. 02- EXISTING CONDITIONS CONTRACT DOCUMENTS HAVE BEEN PREPARED USING INFORMATION AVAILABLE AT THE TIME OF CONTRACT PREPARATION. SUBSURFACE EXPLORATIONS AND DATA DISCOVERED WILL BE NOTED ON DRAWINGS. 2..CONTRACTOR SHALL USE REASONABLE EXPERIENCE AND SENSE IN ESTABLISHING UNFORESEEN OR CONCEALED CONDITIONS. . DEMOLITION OR EXCAVATION REVEALING UNFORSEEN OR CONCEALED CONDITIONS CONFLICTING WITH THE DRAWINGS OR INFLUENCING PROPOSED CONSTRUCTION, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AS SOON AS POSSIBLE 4. REMOVE EXISTING CONSTRUCTION AS REQUIRED TO ALLOW INSTALLATION OF NEW WORK SHOWN ON THE DRAWINGS. PATCH AREAS OF DEMOLITION FLUSH AND SMOOTH TO ADJACENT SURFACES, READY FOR APPLICATION OF FINISHES. 5. SHUTDOWNS AND INTERUPTIONS TO NORMAL ACTIVITIES SHALL BE REVIEWED WITH OWNER PRIOR TO IMPLEMENTATION. THE GC SHALL CONTACT AND COORDINATE UTILITY SHUT-DOWNS, RECONNECTS AND UPGRADES WITH THE PROPER PROVIDER IN A TIMELY MANNER. 6. PROVIDE SHORING, STABILIZATION AND BRACING AS REQUIRED. PROVIDE PROPERTY, SITE AND PERSONAL PROTECTION AS REQUIRED, FOR THE SAFE AND ORDERLY EXECUTION OF THE WORK. PROVIDE REMOVALS AND PROPER, LEGAL DISPOSAL OF ALL WASTE. LEAVE PROJECT IN "BROOM-CLEAN" CONDITION. ITEMS TO BE SALVAGED FOR RE-USE OR KEEPSAKE SHALLBE. REMOVED TO THE FULLEST EXTENT POSSIBLE IN CAREFUL, NON-DESTRUCTIVE MANNER.

. COMPLY WITH PUBLICATIONS OF THE BRICK INSTITUTE OF AMERICA (BIA) FOR ALL MASONRY WORK, MASONRY WORK SHALL NOT PROCEED WHERE WEATHER CONDITIONS ARE OR ARE EXPECTED TO PRODUCE AMBIENT TERMPERATURES BELOW 40'F WITHOUT PROPER TENTING/HEATING OR OTHER MEANS OF PROTECTION.

2. CONCRETE MASONRY UNITS TO BE SOLID FILLED AT TOP COURSE. PROVIDE HORIZONTAL TRUSS REINFORCING EVERY OTHER COURSE. LOAD BEARING UNITS (ASTM C-90, GR. U-1), FILLED SOLID WITH GROUT FOR FULL HT. AT BEARING POINTS-12" BOTH SIDES OF SUPERIMPOSED LOAD, GROUT SHALL BE LEAN WITH 8 TP 10" SLUMP, WHEN USING CMU AS FOUNDATION WALLS, GROUT ENTIRE TOP COURSE AND BOTTOM COURSE FULL PROVIDE FULLY GROUTED CORES AT VERTICAL REBARS, DO NOT BACKELL UNTI MAXIMUM STRENGTH HAS BEEN ATTAINED AND FLOOR JOISTS ARE INSTALLED, RUNNING BOND PATTERN UNLESS NOTED OTHERWISE.

3. USE TYPE M MORTAR FOR BELOW GRADE MASONRY, TYPE N ELSEWHERE, MORTAR SHALL BE SUFFICIENTLY PLASTIC AND MASONRY UNITS SAHLL BE PLACED TO FORM A TIGHT JOINT OF APPROX. 3/8" OR TO MATCH EXISTING

. PRECAST CONCRETE UNITS TO BE FABRICATED PER ASTM C 1364, WITH ALL REQUIRED STAINLESS STEEL STRAPS, PINS OR OTHER ANCHORAGE DEVICES. COLOR TO BE NATURAL BUFF, SLOPE HORIZONTAL SURFACES AT LEAST 1:12, PROVIDE DRIPS ON PROJECTING ELEMENTS. PROVIDE FULL TOOLED MORTAR JOINTS.

5. EXTEND CHIMNEY WITH MATCHING BRICK (NOTE TEXTURE AND COLOR), PROVIDE ANCHORS WHERE REQ., USE TYPE N MORTAR, PROVIDE MORTAR WASH AT TOP, EXTEND FLUES TO NEW HEIGHT. PROVIDE CAP AND SCREEN.

5. BRICKWORK SHALL MATCH EXISTING PATTERN (U.N.O.) WITH TYPE SW STANDARD BRICKS. PROVIDE 2' X 2' MOCKUP FOR APPROVAL OF EACH BRICK TYPE. PROVIDE SPECIAL SHAPES WHERE REQUIRED TO PREVENT CUT SURFACES FROM EXPOSURE.

PROVIDE TIES, FLASHING AND WEEPHOLES WHERE REQUIRED. 7. BRICK VENEER TO BE ANCHORED TO WALL FRAMING AT 16" HORIZ, 16" VERTICALLY MAXIMUM. FASTEN ALL ANCHORS SECURELY TO STUDS.

8. PROVIDE LINTELS PER SCHEDULE, MINIMUM 8" BEARING AT BOTH ENDS. 9. FLAGSTONE AND SLATE PAVERS TO BE 1 1/2" TH. TO MATCH EX. ON 2" STONE-DUST SETTING BEDS, FILTER FABRIC ON 4" THICK BED OF 3/4" GRAVEL

SUB-BASE ON COMPACTED SOIL. 10. BRICK PAVERS TO BE 2 1/4 TH SET ON 2" STONE DUST ON FILTER FABRIC. ON 4" THICK BED OF 3/4" GRAVEL SUB BASE ON COMPACTED SOIL. PROVIDE 6" X 16 GA SPIKED RETAIINING EDGING AT BRICKS RUNNING PARALLEL TO PATH.

10. MASONRY CHIMNEY AND FIREPLACES: WHERE SHOWN ON THE PLANS, SHALL RE BRICK OR STONE WHERE EXPOSED AND LAID IN A FULL BED OF CEMENT MORTAR WITH WELL TOOLED JOINTS, FLUES TO BE FIRE CLAY SIZE SHOWN ON THE PLANS, PROVIDE CAST IRON DAMPER, AS PIT AND CLEAN-OUT DOORS. PROVIDE FOR PROPER CLEARANCES WITH COMBUSTIBLE CONSTRUCTION, FIRE STOP AT ALL CLEARANCES WITH NON-COMBUSTIBLE MATERIAL. CONTRACTOR SHALL ENSURE PROPER CLEARANCES OF

CHIMNEY AND FIREPLACE PER N.Y.S. BUILDING AND ENERGY CODES. 11. PRE FAB CHIMNEY AND FIREPLACE: INSTALLATION OF PREFAB FLUES AND FIREPLACES SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATION. INSTALL FIRESTOPS AS REQUIRED BY CODE. FIRPLACE SHALL BE METAL PREFAB WITH COMPATIBLE FLUE AND SHALL BE UL LISTED. NOTE 2" CLEARANCE WHERE REQUIRED TO COMBUSTIBLE MATERIAL OR PER CODE

12. FIREPLACES SHALL HAVE TEMPERED GLASS FIRE DOORS AND CLOSABLE COMBUSTION AIR INTAKE DUCTS AND COMPLY WITH N.Y.S. ENERGY CODE.

14. PROVIDE 4" PVC PERFORATED PIPE FOOTING DRAIN LAID IN 16" STONE LAYER WITH LAYER OF FILTER FABRIC OVER. PITCH TO DAYLIGHT AND GRAVEL SPREADER OR IF SITE CONDITIONS REQUIRE, PITCH FOOTING DRAIN TO 50 GAL STONE DRYWELL (4'X 4' X 4" OF 1" GRAVEL IN FILTER FABRIC.) OR EQUAL

13. DAMPROOFING: FOUNDATION WALL SHALL BE DAMPROOFED WITH (2) COATS OF

5. METALS

THE DESIGN, FABRICATION, TRANSPORTATION, AND ERECTION OF ALL STRUCTURAL STEEL SHALL BE IN CONFORMANCE WITH THE "STEEL CONSTRUCTION MANUAL", THE AISC. WELDING OF STRUCTURAL STEEL SHALL BE IN CONFORMANCE WITH THE "STRUCTURAL WELDING CODE", THE AWS; D1.13. WELDING ELECTRODES SHALL BE E70XX FOR SMAW; AND LOW HYDROGEN WELDING ELECTRODES SHALL BE E70XX FOR SMAW; AND LOW HYDROGEN FOR FIELD

STRUCTURAL STEEL FOR HOT ROLLED PLATES, ANGLES, CHANNELS SHALL BE ASTM A36. STRUCTURAL STEEL FOR W SECTION BEAMS SHALL BE 50 KSI A-992. STRUCTURAL STEEL PIPES SHALL BE IN COMPLIANCE WITH ASTM A501. WHERE USED FOR COLUMNS THE CENTER VOID SHALL BE ENTIRELY GROUT FILLED SOUR STRUCTURAL TUBING SHALL BE IN CONFORMANCE WITH ASTM A500, GRADE B. STRUCTURAL BOLTS SHALL BE MANUFACTURED TO ASTM A307, GRADE B.

ALL STRUCTURAL STEEL SHALL RECEIVE SURFACE PREPARATION IN ACCORDANCE WITH SSPC-SP3 FOR POWER TOOL CLEANING. 9. PRIMING PAINT FOR STRUCTURAL STEEL SHALL BE "4-55 VERSARE PRIMER" AS MANUFACTURED BY THE TNEMEC CO 10. STEEL RAILINGS TO BE FABRICATED PER ASTM A500 & ASTM A53 FROM ₹ BAR-STOCK AT BALUSTERS, 2" SQ. TUBE NEWELS, 2" SHAPED HANDRAILINGS, BALL CAPS AT NEWELS PROVIDE EPOXY GROUT SLEEVE ANCHORAGE WITH 8" MIN. EMBEDMENT. RAILINGS MUST WITHSTAND 200#/LF AS GUARDRAILS., 50#/LF AS HANDRAILS.

11 ALUMINUM RAILINGS MADE OF EXTRUDED BAR OR TUBE PER ASTM B221, ALLOY 6063-T5/T52. STAINLESS STEEL TUBING PER ASTM A554. SUBMIT 2" X 2" MINIMUM SAMPLE FOR APPROVAL OF EACH, FINISH CLEAR ANODIC AAMA 607.1 LIGHT GAUGE METAL FRAMING SHALL BE IN ACCORDANCE WITH AMERICAN IRON AND STEEL INSTITUTE PUBLICATIONS. 13. PROVIDE 1/2" TH STEEL STIFFENER PLATES AT POINT LOADS. PROVIDE 1/2" TH STEEL BEARING AND BASEPLATES AT COLUMN LOCATIONS, BEAM POCKETS AT FOUNDATION

14. STEEL FOR FLITCHPLATES SHALL BE A-50, PRE-DRILLED AND CONTINUOUS IN LENGTH 6. WOOD AND PLASTICS

1. THE DESIGN, TRANSPORTATION AND ERECTION OF ALL STRUCTURAL LUMBER SHALL BE IN CONFORMANCE WITH THE "TIMBER CONSTRUCTION MANUAL", THE AITC AND "MANUAL FOR WOOD FRAME CONSTRUCTION" PER AMERICAN FOREST AND PAPER ASSOC. LATEST ALL STRUCTURAL LUMBER SHALL BE MACHINE RATED FOR THE FOLLOWING PROPERTIES: F(B) = 1,350 PSI F(V) = 75 PSI E = 1,350,000 PSI F(T) = 875 PSI

F(C) = 325 PSi(PERPEN) F(C) = 825 PSi(PARA)ALL LUMBER SHALL BE KILN DRIED TO MAXIMUM MOISTURE CONTENT OF 15%. SILLS, NAILERS AND LEDGERS MAY BE CONSTRUCTION GRADE. THE DESIGN, TRANSPORTATION, AND ERECTION OF ALL PLYWOOD SHALL BE IN ACCORDANCE WITH PROVISIONS OF THE AMERICAN PLYWOOD ASSOCIATION. PLYWOOD FOR FLOORS AND WALLS SHALL BE "STRUCTURAL I INT-DFPA" PLYWOOD FOR ROOFS SHALL BE "STRUCTURAL I EXT-DFPA" JOIST/RAFTER HANGERS SHALL BE #18 GAGE GALVANIZED STEEL UNO BY TECO OR

NAILING SCHEDULES SHALL BE AS FOLLOWS; UNLESS NOTED OTHERWISE ON THE CONSTRUCTION DOCUMENTS: PLYWOOD OVER JOISTS - 6" O/C; MIN 16D NAILS PLYWOOD OVER WALL STUDS - 6" O/C @ INTERIOR MEMBERS; MIN 16D NAILS 4" O/C @ PANEL EDGES: MIN 16D NAILS ALL STRUCTURAL LUMBER THAT IS EXPOSED TO WEATHER. IN CONTACT WITH THE

FOUNDATION OR WITHIN 18" OF EARTH SHALL BE ACQ-PRESSURE TREATED

SIMPSON, USE COMPATIBLE NAILS AS RECOMENDED BY MANUF.

PRESERVATIVE. PRESSURE TREATMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE AMERICAN WOOD PRESERVERS' ASSOC. FASTENERS UNSED WITH PRESSURE TREATED WOOD SHALL BE STAINLESS STEEL OR GALVANIZED G-185 PLYWOOD SHEATHING SHALL BE 5/8" THICK RADIANT BARRIER CDX AT ROOFS 1/2"

THICK CDX AT WALLS INDICATED, AND 3/4" THICK CDX AT FLOORS. ALL PLYWOOD SHALL BE APA RATED AND INSTALLED IN STAGGERED PATTERN. CONSTRUCTION ADHESIVE FOR ALL PLYWOOD SUBFLOORING TO BE PER APA AFG-01. WARMBOARD FLOORS ARE SUITABLE FLOOR SHEATHING WHERE HYDRO-RADIANT HAS

ZIP WALL WALL/ROOF SYSTEMS MAY BE USED IN LIEU IF INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

ENGINEERED LUMBER BY TRUS-JOIST MCMILLAN INSTALLED PER MANUFACTURERS INSTRUCTIONS. PROVIDE PLACARD WHERE REQUIRED BY AHJ 13. DO NOT CUT HOLES IN DIMENSIONAL LUMBER FRAMING EXCEEDING 1/3 OF DEPTH WITH

OUT CONTACTING ARCH. FOR REINFORCEMENT INSTRUCTIONS, DO NOT CUT HOLES OR NOTCHES WITHIN 2" OF TOP OF BOTTOM OF MEMBER HOLES AND NOTCHES IN ENGINEERED FRAMING SHALL BE IN ACCORDANCE WITH MANUF. RECOMMENDATIONS. 14. INSTALL PRESSURE TREATED SILL PLATES AT TOP OF FOUNDATION WALL ANCH'D WITH

1/2" DIA, 8" LONG ANCHOR BOLTS AT 6' O.C. MAX. OVER SILL SEAL. PROVIDE METAL TERMITE SHIELD AT BASE OF SILL PLATES, FULLY INSULATE RIM JOIST CAVITY. 15. CROSS BRIDGE JOISTS AT MIDSPAN OR 8' O.C., CORNER BRACE AS REQ. PROVIDE SOLID BLOCKING IN FLOOR CONSTRUCTION BELOW POSTS.

16. FIRESTOP PENETRATIONS AND FIRE BLOCK ALL WALLS AND CEILING/WALL INTERSECTIONS AND WHERE REQUIRED BY CODE. 17. PROVIDE DOUBLE JOISTS AND HEADERS AT FLOOR OPENINGS AND BELOW PARALLEL PARTITIONS.

STANDARDS. PAVING MIXTURE ASTM D351-5. AMBIENT TEMPERATURE TO BE ABOVE 40°F

WHEN LAYING ASPHALT COURSES. PROVIDE BELGIAN BLOCK CURB SET IN FULL 6" MORTAR

BED, TOOLED JOINTS. PROVIDE OPEN JOINTS WHERE NEEDED FOR DRAINAGE. DEPRESS CURB

AT WALKWAYS, DRIVEWAYS SHALL BE MINIMUM OF 1" HIGHER THAN STREET LEVEL WITH

THICKENED APRON.

18. MINIMUM BEARING SHALL BE 4" ON MASONRY AND 1 1/2" ON WD OR STL FOR DIM LUMBER, AND AS RECOMMENDED BY ENGINEERED LUMBER MANUF.

OUTLINE SPECIFICATIONS 6. WOOD AND PLASTICS (CONT.)

9. NAILING SCHEDULES SHALL BE AS FOLLOWS; UNLESS NOTED OTHERWISE ON THE CONSTRUCTION DOCUMENTS: PLYWOOD OVER JOISTS - 6" O/C: MIN 16D NAILS

PLYWOOD OVER WALL STUDS - 6" O/C @ INTERIOR MEMBERS; MIN 16D NAILS 4" O/C @ PANEL EDGES; MIN 16D NAILS: 10. ALL STRUCTURAL LUMBER THAT IS EXPOSED TO WEATHER, IN CONTACT WITH THE FOUNDATION OR WITHIN 18" OF EARTH SHALL BE ACQ-PRESSURE TREATED PRESERVATIVE, PRESSURE TREATMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE AMERICAN WOOD PRESERVERS' ASSOC. FASTENERS UNSED

PLYWOOD SHEATHING SHALL BE 5/8" THICK RADIANT BARRIER CDX AT ROOFS 1/2" THICK CDX AT WALLS INDICATED, AND 3/4" THICK CDX AT FLOORS. ALL PLYWOOD HALL BE APA RATED AND INSTALLED IN STAGGERED PATTERN. CONSTRUCTION ADHESIVE FOR ALL PLYWOOD SUBFLOORING TO BE PER APA AFG-01.

ZIP WALL WALL/ROOF SYSTEMS MAY BE USED IN LIEU IF INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

12. ENGINEERED LUMBER BY TRUS-JOIST MCMILLAN INSTALLED PER MANUFACTURERS INSTRUCTIONS. PROVIDE PLACARD WHERE REQUIRED BY AHJ

OUT CONTACTING ARCH. FOR REINFORCEMENT INSTRUCTIONS, DO NOT CUT HOLES OR NOTCHES WITHIN 2" OF TOP OF BOTTOM OF MEMBER HOLES AND NOTCHES IN ENGINEERED FRAMING SHALL BE IN ACCORDANCE WITH MANUF, RECOMMENDATIONS.

14. INSTALL PRESSURE TREATED SILL PLATES AT TOP OF FOUNDATION WALL ANCH'D WITH 7. PROVIDE WATERPROOF VINYL MEMBRANE (OR EQUAL) BELOW CER. & MARBLE FLOOR 1/2" DIA, 8" LONG ANCHOR BOLTS AT 6' O.C. MAX. OVER SILL SEAL. PROVIDE METAL. TILE. TURN UP 4" AT WALLS. TERMITE SHIELD AT BASE OF SILL PLATES.

15. CROSS BRIDGE JOISTS AT MIDSPAN OR 8' O.C., CORNER BRACE AS REQ. PROVIDE SOLID BLOCKING IN FLOOR CONSTRUCTION BELOW POSTS.

16. FIRESTOP PENETRATIONS AND FIRE BLOCK ALL WALLS AND CEILING/WALL INTERSECTIONS AND WHERE REQUIRED BY CODE.

17. PROVIDE DOUBLE JOISTS AND HEADERS AT FLOOR OPENINGS AND BELOW PARALLEL 18. MINIMUM BEARING SHALL BE 4" ON MASONRY AND 1 1/2" ON WD OR STL FOR DIM. LUMBER, AND AS RECOMMENDED BY ENGINEERED LUMBER MANUF.

19. PRE-FAB WOOD TRUSSES SHALL COMPLY WITH THE TRUSS PLATE INSTITUTES "NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION". SUBMIT SHOP DRAWINGS FOR APPROVAL. 20. PROVIDE DOUBLED JOISTS BELOW INTERIOR PARTITIONS RUNNING PARALLEL WITH THE

21. FINISH CARPENTRY TO COMPLY WITH AMERICAN WOODWORK INSTITUTES "ARCHITECTURAL CONNECTIONS, ADAPTERS, AND FITTINGS. WOODWORK QUALITY STANDARDS"-PREMIUM QUALITY LEVEL.

22. INTERIOR TRIM AND MOLDING PROFILES AS NOTED IN FINISH SCHEDULE, USE CLEAR POPLAR OR PINE. ALLOW WOOD TO SEASON ON SITE, SCARF JOINTS. PRESERVATIVE CONTAINING 3-IODO-2PROPYNYL CARBAMATE COMBINED WITH INSECTICIDE

CONTAINING CHLOROPYRIFOS AS ITS ACTIVE INGREDIENT. 24. EXTERIOR TRIM BY AZEK OR APPROVED SUBSTITUTE. INSTALL PER MANUFACTURERS INSTRUCTIONS AND TECHNICAL LITERATURE

1. BUILDING WRAP BY "HYDROGAP" DRAINABLE HOUSEWRAP BY BENJAMIN OBDYKE OR EQUAL, TAPE ALL SEAMS, FLASH ALL WINDOWS, DOORS AND PENETRATIONS WITH METAL PREFORMED FLASHING, SEAL, PROVIDE END DAMS WHERE REQUIRED. USE FLASHING TAPE AT OPENINGS BY "HYDROFLASH" SELF ADHERED FLASHING TAPE. ZIP-WALL SYSTEMS ARE AN ACCEPTABLE SUBSTITUTE

7. THERMAL AND MOISTURE PROTECTION

SHINGLE BUREAU MANUAL.

2. BATT INSULATION TO BE FIBERGLASS BATTS W/ WITH VAPOR BARRIER, R-21 WALLS, R-49 CEILINGS/ROOF OR FLOORS/CEILING W/ UNHEATED SPACES BELOW. VAPOR BARRIER TO WARM SIDE. FIRE-RETARDANT WHERE REQUIRED.

3. RIGID INSULATION TO BE POLYISOCYANURATE: 2" AT SLAB EDGE AND FNDN PERIMETER, 24" DOWN AND 24" IN. "CERTASPRAY", SPRAY POLYURETHANE FOAM INSULATION SHALL BE CLOSED CELL TYPE BY CERTAINTEED IN MAXIMUM THICKNESS. INSTALLED PER MANUFACTURER

DIRECTIONS. MINIMUM R7 PER INCH. PROVIDE INTUMESCENT COATING IF NOT

CONCEALED BY GYPSUM BOARD. 5. VAPOR BARRIER TO BE 6 MIL POLYETHELENE. OVERLAP AND TAPE SEAMS FLASH ALL ADJOINING SURFACES AND PENETRATIONS WITH METAL FLASHING AN FLASHING TAPE FOR WATERPROOF SEAL. PROVIDE SIMILAR DRIP EDGE. SECURE TO ADJACENT SURFACES WITH FASTENERS TO RESIST REQUIRED WIND LOADS. FABRICATE, FASTEN AND SEAL PER S.M.A.C.N.A. STANDARDS, PROVIDE BUILT UP METAL-FLASHED

6.PROVIDE PAINTABLE SILICONE SEALANT IN COLOR TO MATCH ADJACENT WHERE REQUIRED. PROVIDE BACKER RODS WHERE NEEDED. INSTALL PER ASTM C920. Y. PROVIDE THROUGH-WALL AND FLOOR FIRESTOPPING FOR PENETRATIONS THROUGH

FIRE-RATED ASSEMBLIES PER ASTM E 814 BY TREMCO OR 3M FIRE PRODUCTS. 8. WOOD SIDING TO BE REBUTTED AND REJOINTED RED CEDAR SIDING, 7" EXPOSURE, FULLY BACK-PRIMED. USE NO 1. BLUE LABEL ONLY. INSTALL PER CEDAR SHAKE AND

PREMIUM VINYL SIDING BY "ALCOA", MASTIC SERIES, CEDAR SHAKE PATTERN CD-70P. INSTALL PER ASTM D3679. .06 MIN. THICKNESS. WITH MATCHING FACTORY FINISHED POLYESTER-COATED ALUMINUM TRIM ONLY WHERE CALLED FOR IN THE DRAWINGS. PROVIDE SAMPLES IN TEXTURE SELECTED IN STANDARD COLOR RANGE FOR APPROVAL. USE MAXIMUM LENGTHS TO REDUCE THE NUMBER OF SEAMS. OVERLAP SHOULD BE ORIENTED AWAY FROM MAIN APPROACH TO PROJECT.

PROVIDE PRE FINISHED ALUM. GUTTERS AND LEADERS WITH SPLASH BLOCKS OR CONNECTIONS TO DRYWELLS (V.I.F.) PROVIDE ALUMINUM DRIP EDGE AT THE EDGE OF ASPHALT SHINGLE ROOF. PROVIDE SCREEN BASKETS AND SCREENED GUTTER COVERS. PROVIDE CORRUGATED HDPE BOOT AT GRADE TO JOIN SUBGRADE PIPING.

10. PROVIDE RIDGE VENT, CAVITY BAFFLES AND EAVE VENTS. $\frac{1}{300}$ MIN. VENT TO SF

11. ASPHALT LAMINATED ROOF SHINGLE BY "TIMBERLINE", 40 YEAR, 3 TAB ARCH. ASPHALT ON 30# ROOF FELT AT SLOPES 3:12 AND OVER, USE ICE & WATER SHIELD AT BOTTOM 36" FROM GUTTER AND AT VALLEYS. BELOW 3:12 USE ICE & WATER SHIELD THROUGHOUT PROVIDE SHINGLE SAMPLE FOR APPROVAL. INSTALL PER A.R.M.A. PROVIDE RECIRCULATING PUMP AS REQUIRED WITH THERMOSTATIC VALVE. RESIDENTIAL ASPHALT ROOF MANUAL.

12. PROVIDE WATER-PROOFING AT THE OUTSIDE OF THE FOUNDATION WALLS CONSISTING OF "BITUTHENE" 4000 (OR EQUAL) 60 MIL SHEET WITH 1/4" ASPHALTIC PROTECTION BOARD AND DIMPLED DRAINAGE BOARD.

13. APPLY COLD-APPLIED ASPHALT EMULSION DAMPPROOFING TO THE CAVITY FACE OF MASONRY BACKUP FOR MASONRY CAVITY WALLS. USE PRIMER PLUS ONE COAT AT A RATE OF 1 GALLON/100 SF. 14. FILL ALL SMALL CAVITIES IN FRAMING, AND ANNULAR PIPE PENETRATIONS WITH

"GREAT STUFF" EXPANDABLE URETHANE SEALANT FOAM. 15. PROVIDE FIRE PUTTY SEALANT AT HOLES FOR PIPES, CONDUITS AND SIMILAR

16. LOW SLOPE ROOFING SYSTEM TO BE BY "FIRESTONE" OR EQUAL, 60 MIL BLACK FULLY ADHERED EPDM INSTALLED PER MANUF INSTRUCTIONS WITH 20 YEAR NDL.

WARRANTY. PROVIDE: 31/2" POLYISOCYANURATE ROOF INSULATION WITH COATED VALVES FOR FIXTURES AND APPLIANCES. FIBERGLASS FACER SHEETS CONSISTING OF 2 LAYERS; A 1½" LAYER ON THE DECK WITH A 2" TOP LAYER, 2 X 4 P.T. BLOCKING AT PERIMETER OF ROOF, EDGE TRIM .04 ALUMINUM WITH KYNAR FINISH. EDGING AT FRONT OF THE ROOF CUSTOM FABRICATED VALVES WHERE REQUIRED. BASEBOARD RADIATORS TO MATCH EXISTING OR IF NEW USE TO FIT NEATLY AND SECURLY OVER SHINGLES TO REMAIN. RUNTAL MODEL VLX SERIES SIZE() TO SUIT.

17. INSULATE MECHANICAL SERVICE LINES AND EQUIP IN ACCORDANCE WITH BEST INDUSTRY AND TRADE PRACTICES.

8. OPENINGS (WINDOWS AND DOORS)

,ARGON INSUL. , LOW E (.28 U MAX., .18 SHGC) GLAZING WITH SCREENS, EXTENSION EMPERED GLASS WHERE REQUIRED BY CODE. PROVIDE WINDOW ORDER-LIST FOR REVIEW SETBACKS ON PRECAST CONCRETE PADS. LOCATE REFRIGERANT LINES WITHIN EXTRA REQUIRED TO MATCH EXISTING, WINDOW HARDWARE FINISH AS SELECTED BY OWNER. BEFORE PURCHASE, ALL WINDOWS TO BE WEATHER STRIPPED, FLASHED AND CAULKED. SIMULATED DIVIDED LITES UNLESS OTHERWISE SHOWN. PROVIDE TEMPERED GLASSS PER CODE. PROVIDE WINDOW ORDER-LIST FOR REVIEW BEFORE PURCHASE

2. HARDWARE AS MANUFACTURED BY: HINGES—"STANLEY", LOCKSETS AND LATCHSETS— "YALE", SELF-CLODING HINGES-"BOMMER", SLIDING DOOR SETS & POCKET SLIDERS-"HAGER", WEATHERSTRIPING & THRESHOLDS-"PEMKO", DOOR STOPS & BIFOLD DOOR SETS- "STANLEY", FINISH AS SELECTED OR AS REQUIRED TO MATCH EXISTING. PROVIDE EXHAUST VENTILATION FROM BATHROOMS, KITCHENS PER CODE IF NOT OTHERWISE HARDWARE FUNCTIONS PER BUILDERS HARDWARE MANUFACTURERS ASSOCIATION

3. EXT. DOORS ARE BASED ON "JELDWEN" OR "ANDERSEN" EXTERIOR GRADE 1 3/4" PINE SERIES, WITH ADJOINING SIDELIGHTS AS SHOWN. WITH FRAME. (OR AS NOTED ON

9. FINISHES

1. UNLESS NOTED OTHERWISE ALL GYPSUM WALLBOARD TO BE 1/2 TYPE X. USE WR (GREENBOARD) TYPE X AT ALL WALLS ADJACENT TO PLUMBING FIXTURES. SCREWED AND GLUED PER LÉVEL 5 GYPSUM ASSOCIATION STANDARDS. USE MOLD RESISTANT AT ALL SUBGRADE LEVELS AND NON-CONDITIONED SPACES (MOLD-TOUGH BY USG OR EQUAL).

2. PROVIDE CORNER BEADS, CASING BEADS AND TRIM AS REQUIRED TAPE AND SPACKLE ALL JOINTS, 3 COATS, FEATHERED.

3. STUCCO PORTLAND CEMENT PLASTER TO BE 3 COAT ON EXPANDED DIAMOND LATH, WITH PRESSURE TREATED WOOD SHALL BE STAINLESS STEEL OR GALVANIZED G-185 PROVIDE CONTROL JOINTS AT 20' MAX AND AT FLOOR LEVEL JUNCTURE. ALIGN WITH NEARBY WINDOW OR DOOR EDGE. PROVIDE SCREEDS, CORNER BEADS, AND ACESSORIES FOR COMPLETE INSTALLATION PER PORTLAND CEMENT ASSOCIATION STANDARDS.DOUBLE TYVEK LAYER FOR EXTERIOR APPLICATIONS AND EXPANDED DIAMOND MESH.

> 4. WOOD FLOOR TO BE 3/4"X 2 1/4" T &G SELECT OAK TO MATCH EXIST'G (SEE FIN. SCHED.)W/ BLDG FELT AND CAVITY INSUL WHERE REQ. ALLOW WOOD FLOOR MATERIAL TO SEASON ON SITE PER MANUF. GUIDELINES, ALLOW GAP AT EDGES FOR EXPANSION PER MANUFACTURERS RECOMMENDATION.

5. CERAMIC TILE TO BE THINSET METHOD ACCORDING TO CERAMIC TILE INSTITUTE STANDARDS. PROVIDE COVE, BULLNOSED AND SPECIAL SHAPED TILE. GROUT AND SEAL. USE GROUT AS RECOMMENDED BY TILE MANUF. COLOR TO BE SELCTED. SEAL GROUT. PROVIDE MARBLE SADDLES WHERE REQUIRED. AT FL. TILE USE MUDSET TILING APPLICATION, 13. DO NOT CUT HOLES IN DIMENSIONAL LUMBER FRAMING EXCEEDING 1/3 OF DEPTH WITH FOR SHOWER ENCL TO DRAIN USE WITH FULLY BONDED PVC LINER-PAN BELOW OR SCHLUTER SYSTEM.

6. USE 1/2" CEMENT BACKER BOARD BEHIND CER. TILE AT TUB/SHWR SURROUNDS.

8. PAINT SHALL BE "PRATT AND LAMBERT" EXTERIOR LATEX, FLAT—SIDING SATIN- FOR TRIM AND DOORS, INTERIOR GWB: EGGSHELL LUSTER- WALLS SATIN- TRIM AND DOORS, PREP ALL SURFACES PER MANUF, INSTRUCTIONS PRIME AND PAINT ALL SCHEDULED SURFACES 2 COATS MIN. COLORS TO BE SELECTED. PROVIDE 2' X 2' MOCKUP FOR APPROVAL OF EACH COLOR. APPLY PAINT WITHIN AREAS LIGHTED AT A

MINIMUM 100 FOOTCANDLES. 90 SPECIALTIZE ATTIC STOCK TILE & PAINT FOR FUTURE OWNER USE.

TOILET ACCESSORIES PROVIDED BY OWNER, INSTALLED BY GC. PROVIDE BLOCKING AND ANCHORAGE WHERE REQUIRED. 1. EQUIPMENT 12, 13, 14 NOT USED

1. INSTALL ALL APPLIANCES PROVIDED BY OWNER INCLUDING BUT NOT LIMITED TO : DISHWASHER, M.W. OVEN, HOOD, COOKTOP, WALL OVENS, REFRIGERATOR, DISPOSAL.

2. CENTRAL VACUUM SYSTEM BY "EUREKA" DROP DOWN FABRIC FILTER SYSTEM. PROVIDE (1) ELECTRICAL INLET PER 600 SF OF FLOOR AREA. SYSTEM MINIMUM REQUIREMENTS INCLUDE: 110 CFM SUCTION, 95' WATER COLUMN HEIGHT. PROVIDE ALL REQUIRED HOSES, ELECTRICAL

KITCHEN CABINETS AND VANITIES SHALL BE PREMI. GRADE, 3/4" PLYWD FINISH CONSTR. IN STOCK SIZES WITH FILLER PANELS AS REQ. (KRAFTMAID OR EQUAL) SOLID RECESSED PANEL 23 EXPOSED ENDS OF POSTS. BEAMS OR RAFTERS TO BE COATED WITH WATER REPELLANT SHAKER STYLE DOORS, W/ FULL EXTENSION HEAVY DUTY DRAWER GLIDES., RECYCLING BINS, ROLL-OUT SHELVES AND ACCESSORIES AS REQ'D LIGHT HONEY FINISH PINE, SUBMIT SAMPLE DOOR FOR APPROVAL. INSTALL CABINETS PER AW SECTION 1700, STRAIGHT, LEVEL AND FREE OF DISTORTION TO ALLOW FOR UNENCUMBERED OPERATION, CABINET HARDWARE SHALL COMPLY WITH BHMA A156.9.

PROVIDE CABINET SHOP DRAWINGS FOR REVIEW AND APPROVAL.

KITCHEN COUNTERTOPS TO BE 1 1/4IN. MED. GREY PIETRO CORDOZA WITH 4" STONE BACKSPLASH, COUNTERTOP SHALL HAVE LEADING BULLNOSED EDGE, BASKSPLASH SHALL BE TILED ABOVE SONE BACKSPLASH TO BOTTOM OF WALL CABINET. PROVIDE STONE SAMPLES OR SHOWRM VISIT FOR APPROVAL. MIN. 3/4" OVERHANG BEYOUND BASE CABINETS. COORDINATE ALL CUTOUTS AND TEMPLATES WITH OTHER TRADES. INSTALL WITH FEWEST SEAMS POSSIBLE.

13. SPECIAL CONSTRUCTION

1. INSTALL ALL APPLIANCES PROVIDED BY OWNER INCLUDING BUT NOT LIMITED TO : DISHWASHER, M.W. OVEN, HOOD, COOKTOP, WALL OVENS, REFRIGERATOR, DISPOSAL. 14. CONVEYING

SOLID POLYMER SURFACING SHALL BE FABRICATED WITH THE FEWEST POSSIBLE SEAMS AND

HANDICAPPED LIFT, DUMBWAITER, ELEVATOR

INSTALLED ON OPEN WEB SUBSTRATE ON 16" CENTERS.

15-20. NOT USED

FIRE EXTINGUISHERS SHALL BE PROVIDED 1 PER HOUSE OR DWELLING UNIT, UNLESS SHOWN OTHERWISE, TYPE ABC MOUNTED AT 4' AFF TO TOP, 5 LB BY KIDDE OR EQUAL FIRE SPRINKLER SYSTEM WHERE REQUIRED SHALL CONFORM WITH NFPA 13, LIGHT HAZARD. PROVIDE SHOP DRAWINGS. CONFIRM ADEQUATE WATER SUPPLY AND PRESSURE TEST

PLUMBING - DOMESTIC WATER PIPING SHALL BE PEX B WITH SUITABLE FITTINGS OR COPPER, SOLDERED JOINTS, SANITARY AND VENT TO BE PVC OR CAST IRON. NOTE THAT ALL HORIZONTAL DRAIN LINES SHALL BE CAST IRON ABOVE HABITABLE SPACES. VERTICAL SANITARY AND DRAIN SHALL BE PVC OR CAST IRON, STORM UNDERGR. SHALL BE PVC. PROVIDE VALVES AND NECESSARY FITTINGS TO RENDER THE SYSTEM COMPLETE AND OPERATIONAL. PROVIDE FIXTURES AS SHOWN ON THE PLANS & INSTALL WATER HAMMER ARRESTER AT THE BOTTOM OF EACH LINE TO ABSORB SHOCK. GAS SERVICE LINES SHALL BE BLACK IRON PER CODE. ALL LINES SHALL BE FULLY AND SUCCESSFULLY TESTED BEFORE CONCEALMENT. INSULATE ALL LINES PER CODE.

PROVIDE 3 FROST FREE HOSEBIBS IF NOT CALLED OUT ON PLANS OTHERWISE. ALL SERVICE LINES SHALL BE SECURELY INSTALLED AND PROPERLY PROTECTED FROM OTHER TRADES AS WELL AS PROPERLY INSULATED OR HEAT TRACED IF NEEDED, PROVIDE

ACCESSIBLE SHUTOFF VALVES FOR FIXTURES AND APPLIANCES. PROVIDE NEW 80 GAL GAS FIRED WATER HEATER, COORD. LOCATION W/ ARCH. CONNECT

PROVIDE NEW RINNAI TANKLESS GAS WATER HEATER, HIGH EFFICIENCY POINT OF USE "RHEEM" ELECTRIC WATER HEATER, SIZED MIN 2.5 GPM. OR EQUAL.

FLUE PER CODE. INSTALL ON 4" HOUSEKEEPING PAD. RHEEM , A.O. SMITH OR EQUAL

ALL BATHROOM PLUMBING FIXTURES TO BE WHITE. FAUCETS AND FITTINGS TO BE BRUSHED CHROME, FULLY TEST AND MAKE SYSTEMS OPERATIONAL.

PROVIDE NEW WATER-POWERED SUMP PUMP BY LIBERTY SJ10 OR EQUAL IN SUITABLE POLYETHYLENE PIT, ACCESSORIES, PIPING. CONNECT TO PERIMETER FRENCH DRAIN AND PROVIDE DISCHARGE TO CODE APPROVED DRAINAGE OUTLET. 1 PIT AND PUMP PER 1000

PERIMETER FRENCH DRAIN TO BE BUILT OF PERFORATED 4" PERFORATED PVC WRAPPED IN LAYER OF 1" GRAVEL AND FILTER FABRIC PIPED TO SUMP-PIT OR DRYWELL WITH MINIMUM SLOPE OF 1V:100H. PATCH PERIMETER OF BASEMENT FLOOR SLAB. PROVIDE "WET" ALARM WHEN WATER COMES WITH 4" OF SUMP PIT TOP. CONTACT OWNER FOR

ALARM NOTIFICATION INSTRUCTIONS.

3. HEATING VENTILATION AND AIR CONDITIONING (HVAC) ALL SERVICE LINES SHALL BE SECURELY INSTALLED AND PROPERLY PROTECTED FROM OTHER

TRADES AS WELL AS PROPERLY INSULATED OR HEAT TRACED. PROVIDE ACCESSIBLE SHUTOFF PROVIDE NEW CAST-IRON RADIATORS OR RECESSED RADIATORS TO MATCH EXISTING. PROVIDE

HVAC- PROVIDE AND MODIFY DUCTWORK REGISTERS AND DIFFUSERS, DAMPERS AS REQUIRED TO CONDITION THE NEW AND EXISTING SPACES TO 72 DEGREES INDOORS WHEN OUTSIDE TEMPERATURE REACHES 90 DEGREES, AND 70 DEGREES WHEN OUTSIDE TEMPERATURE REACHES O DEGREES. PROVIDE FLUSHABLE STEAM HUMIDIFIER.

. WINDOWS ARE MARVIN_OR ANDERSEN 400 SERIES WINDOWS, WOOD W/ VINYL CLAD PROVIDE 2 NEW HYDRO-AIR SYSTEMS BY CARRIER. 4 TON UNIT IN BASEMENT AND 3 TON UNIT IN ATTIC. SEPARATELY ZONE 1ST FL AND 2ND FL. PROVIDE WIFI ENABLED, , ARGON INSUL. , LOW E (.28 U MAX., 18 SHGC) GLAZING WITH SUKEENS, EXTENSION
JAMBS AS REQ'D, (NOTE DIFFERENT WALL THK.'S). FINISH AS SELECTED BY OWNER OR AS PROGRAMMABLE "NEST" THERMOSTATS. HVAC UNIT CAPACITIES ARE PRELIMINARY AND SHOULD
BE CONFIRMED BY HVAC SUBCONTRACTOR. LOCATE CONDENSOR UNIT WITHIN PROPERTY LINE DEDICATED NON-FUNCTIONAL GUITTER LEADER, PROVIDE RUPTURE PANS AND ALARM AT EACH AHU. MINIMUM A/C SEER VALUE 16. CONDENSOR UNITS MUST MEET APPLICABLE NOISE DB

> COMBI GAS BOILERS BY NAVIEN NFC SERIES OR EQUAL TO BE SIZED APPROPRIATELY AND BEAR ENERGY STAR RATING, WITH AFUE RATING OF 95% OF GREATER. PROVIDE MANUAL AND 2 YEAR WARRANTY. DHW UP TO 199K BTH/H

PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL OF HVAC LAYOUT.

PROVIDE NEW "MITSUBISHI" MR SLIM DUCTLESS A/C (MBTU PER MANUF RECOMMENDATION) DRAWINGS). OR JELDWEN INSULATED PREFINISHED DESIGN-PRO FIBERGLASS DOORS. SEE MINI SPLIT SYSTEM WITH CONDENSER AND WALL CARTRIDGE UNITS, TEMP CONTROLS AND REQ. ACCESSORIES. LOCATE CONDENSER PER OWNER'S DIRECTION

SCOPE

- 1. REMOVE AND REPLACE EX. WOOD DECK WITH LARGER WOOD DECK.
- 2. CONVERT SINGLE FAMILY RES. USE TO 2 FAMILY
- RESIDENTIAL USE 3. ADD 1 OFF-STREET PARKING SPACE ON SITE

SITE PLAN & ZONING DATA

A-3. PROPOSED ELEVATIONS A-4. PROPOSED SECTION, SCHEDULES, AND DETAILS _____ (IRREG) WIRE FENDE

LIST OF DRAWINGS

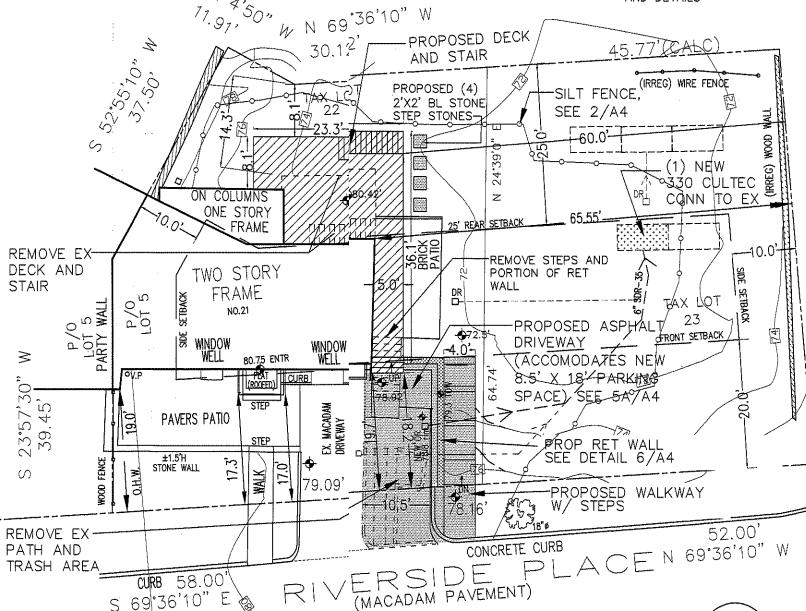
ZONING DATA, NOTES AND LEGEND

A-O. OUTLINE SPECIFICATIONS, SITE PLAN.

A-1. EXISTING FLOOR PLANS AND

ELEVATIONS

A-2. PROPOSED FLOOR PLANS



1 SITE PL	AN	1" = 15'-0"	0'	15'
ZONING COMPONENT	ALLOWED	EXISTING	PROPOSED	COMMENT
LOT SIZE	5000 SF MIN	6 <mark>786</mark>	6786	CONFORMS .
FRONT SETBACK	20'		18.2	1.8' VARIANCE REQUIRED (NEW STEPS)
REAR SETBACKS	25'	1.4.2	8.1'	(16.9' VARIANCE REQUIRED (NEW DECK)
ONE SIDE SETBACK	10'	0	0	EXISTING NON-CONFORMING
TOTAL SIDE SETBACKS	20'	65.55	59.7'	CONFORMS
MIN. LOT WIDTH	50'	110	110	CONFORMS
BLDG. COVERAGE	27%	7.3%	21.6%	CONFORMS .
IMPERVIOUS SURFACES COVERAGE	54%	32.6%	40.9%	CONFORMS
HEIGHT - MAIN BLDG	40'	2 ^{5.5}	25.5	CONFORMS
LOT DEPTH	100'	6.4.58	64.58	EXISTING NON-CONFORMING
SKY EXPOSURE PLANE	10 ' H,45'	90°	90.	EXISTING NON CONFORMING
PARKING	2/UNIT	1	2	CURBCUT, PARKING VARIANCE REQUIRED
SITE PLAN BASED ON SURVEY PRO	OVIDED BY OWNER,		SECTION/BLOCK/LOT:	

ENERGY CODE INFORMATION (BASED ON NYS RES-CHECK VALUES.)

SUNROCM EXEMPTION PER SECTION 502.2.5. 6" BATT INSULATION=R-19 OR U =.05 10" BATT INSULATION= R-30 OR U=.03 " RIGID INSULATION=R-10 OR U= 10 TXTERIOR WALL 10 .06 " CLOSED CELL SPF INSUL=R-6.5 U=.15 ROOF/CEILING .026 ARGON FILLED WINDOW SASH=R-3 OR U=.34 SHEATHING.GYP. BD. ROOFING=NEGLIGIBLE .047 OUNDATION WALL <u>.05 X 1754 SF + .34 X 280 SF.</u> = .10

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL TRAINING THIS PROJECT COMPLIES WITH THE NEW YORK STATE ENERGY AND CONSERVATION CODE.

ADDRESS: 21 RIVERSIDE PL

ROOF/FLOOR .03 X 1450 SF. FOUNDATION WALLS .10 X <u>50 SF. + .34 X 12</u>

SEISMIC SUBJECT TO DAMAGE FROM
DESIGN

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

TABLE R402.1 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

SEVERE

PERFORMED BY: SUMMIT LAND SURVEYING PC

DATED: AUGUST 22, 2018

2034 SF

TOPO MND DEBRIS CATEGORY WEATHERING ZONE

WIND DESIGN

STEVEN SECON, A.I.A. I.R.C. CODE INFORMATION

Village of Dobbs Ferry ZONING & PLANTINGING Department REVISION / ISSUE



LOT SIZE: 6786 SF

OCT 2 8 2020

NEILL RESIDENCE - ADDITION & ALTERATIONS -21 RIVERSIDE PLACE DOBBS FERRY, NY 10522 MUNI 1.D. # 3.80-36-22

OUTLINE SPECIFICATIONS, SITE PLAN ZONING DATA, NOTES & LEGEND

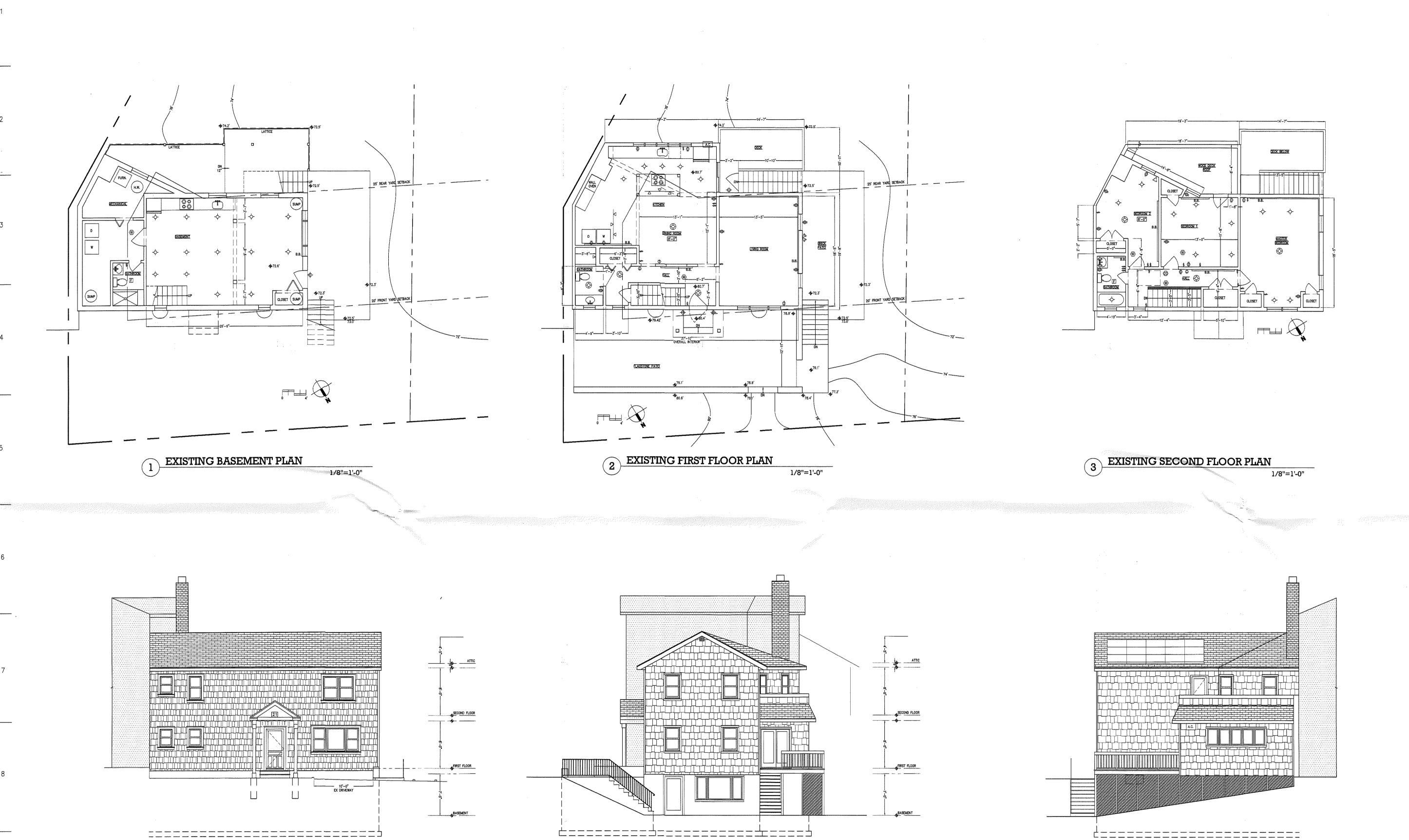
 ■ STEVEN SECON ARCHITECT 145 Palisade Street, Suite #403 Dobbs Ferry, New York 10522 Tel. (914) 674-2950 Fax (914) 693-1537

WWW.SECONARCHITECT.COM

0.35 0.55 0.4 49 20 OR 13+5 8/13 19 10/13 0.026 | 0.06 | 0.098 | 0.047 | 0.047

TERMITE FROST LINE DEPTH

= 08 06 20 AS NOTED

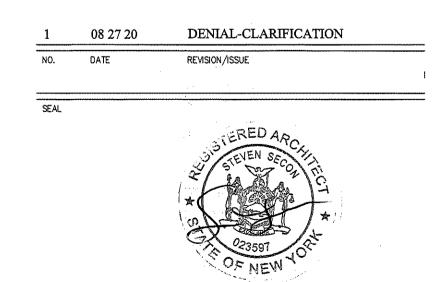


EXISTING WEST ELEVATION

1/8"=1'-0"

1/8"=1'-0"

4 EXISTING NORTH ELEVATION



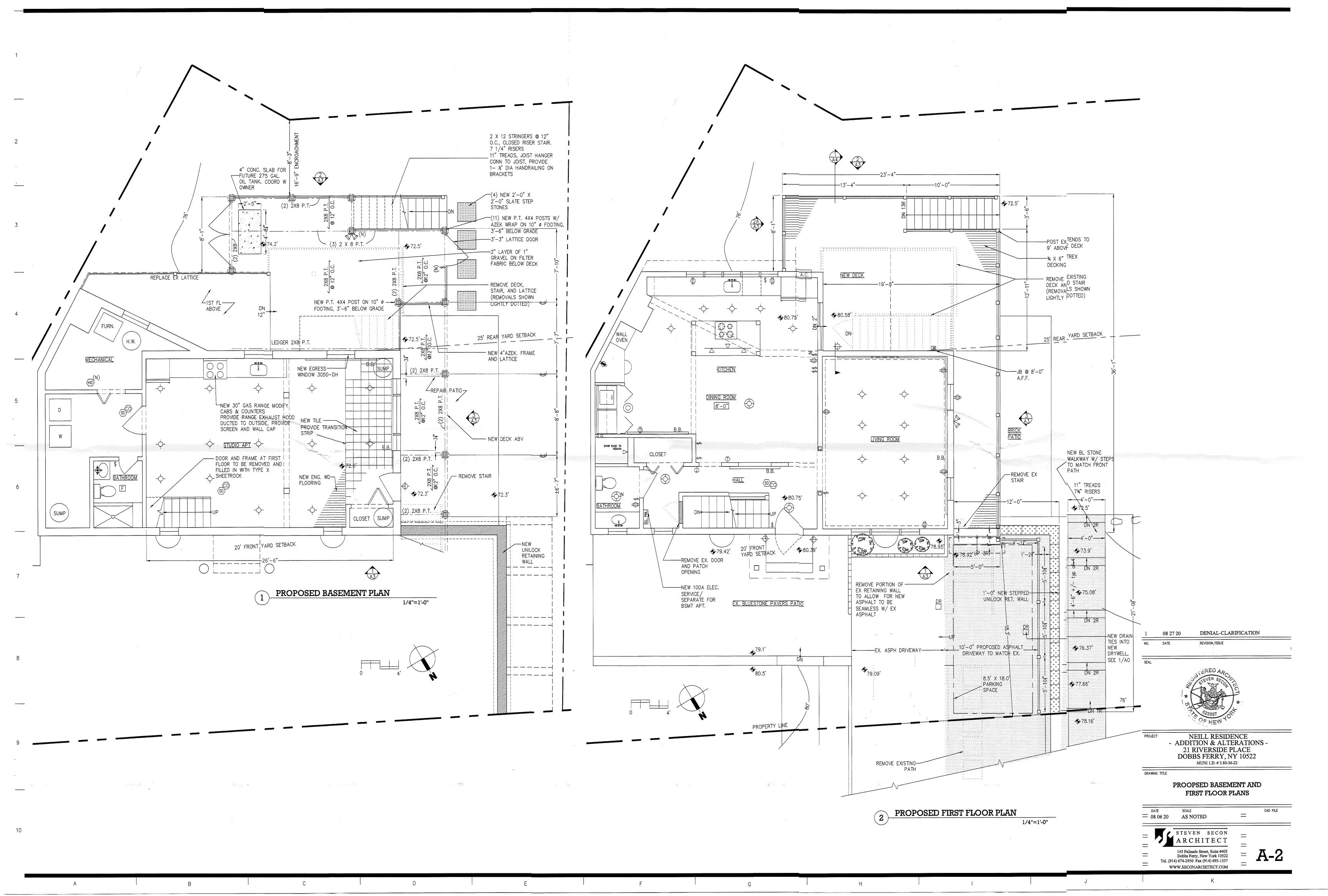
NEILL RESIDENCE
- ADDITION & ALTERATIONS 21 RIVERSIDE PLACE
DOBBS FERRY, NY 10522
MUNI 1.D. # 3.80-36-22

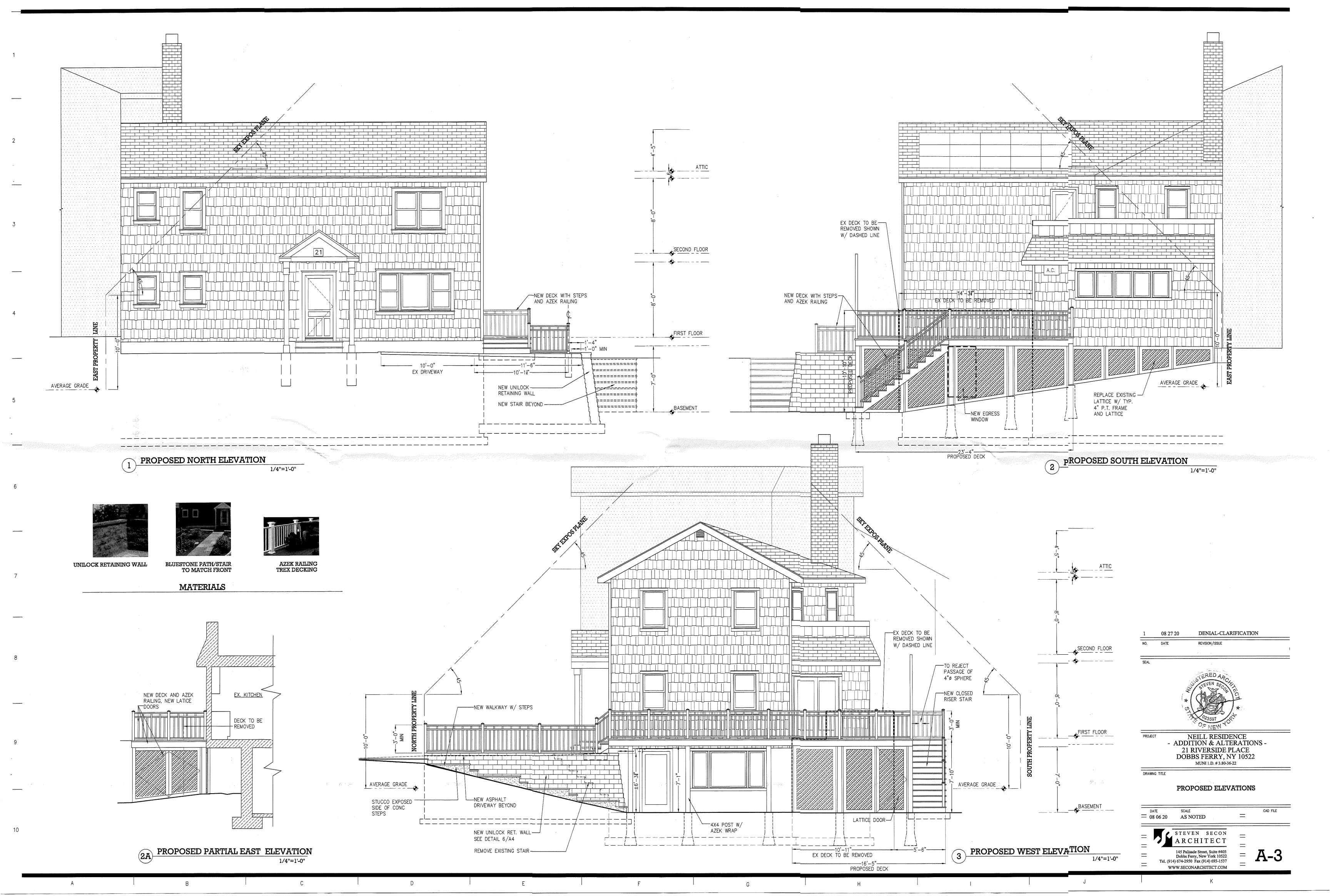
6 EXISTING SOUTH ELEVATION

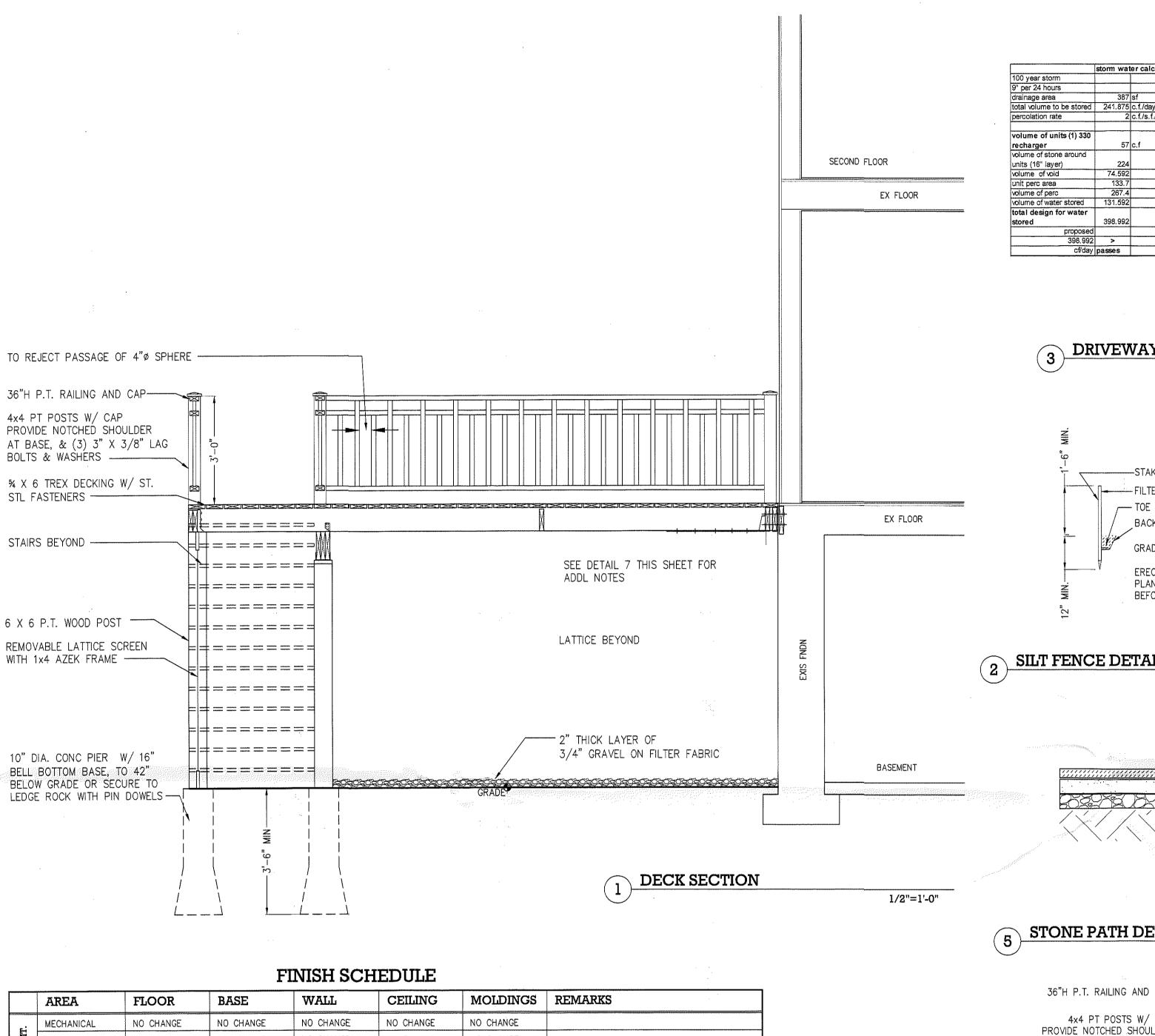
1/8"=1'-0"

EXISTING FLOOR PLANS AND ELEVATIONS

DATE SCALE
08 06 20 AS NOTED 145 Palisade Street, Suite #403 Dobbs Ferry, New York 10522 Tel. (914) 674-2950 Fax (914) 693-1537 WWW.SECONARCHITECT.COM







	AREA	FLOOR	BASE	WALL	CEILING	MOLDINGS	REMARKS
-:	MECHANICAL	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	
BSMT	BATHROOM	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	
PC PC	BASEMENT	NO · CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	
S.	DECK	IPE	N/A	. N/A	BEADBOARD	AZEK	WOOD/S.S. RAILINGS
EXTERIOR	SIDING	SHINGLES	N/A	N/A	N/A	AZEK	
EX	ROOF	ASPH LAM. SHING.					

MCT MOSAIC CERAMIC TILE

PROVIDED BY OWNER WD-1 2 1/4 T& G OAK STRIP WOOD FLOORING SELECT, BRUCE OR EQ., STAINED & SEALED

PRATT & LAMBERT

- CT-1 GLAZED CERAMIC WALL TILE
- PROVIDED BY OWNER P-1 EGGSHELL LUSTER LATEX PAINT PRATT & LAMBERT PRATT & LAMBERT
- P-2 FLAT, NO-DRIP LATEX PAINT
- P-3 SATIN LUSTER LATEX PAINT
- QT-1 QUARRY TILE
- ST-1 SLATE CPT-1 CARPET

OWNER PROVIDED ITEMS ALL OTHER REQUIRED LABOR AND MATERIALS SHALL BE BY THE GC

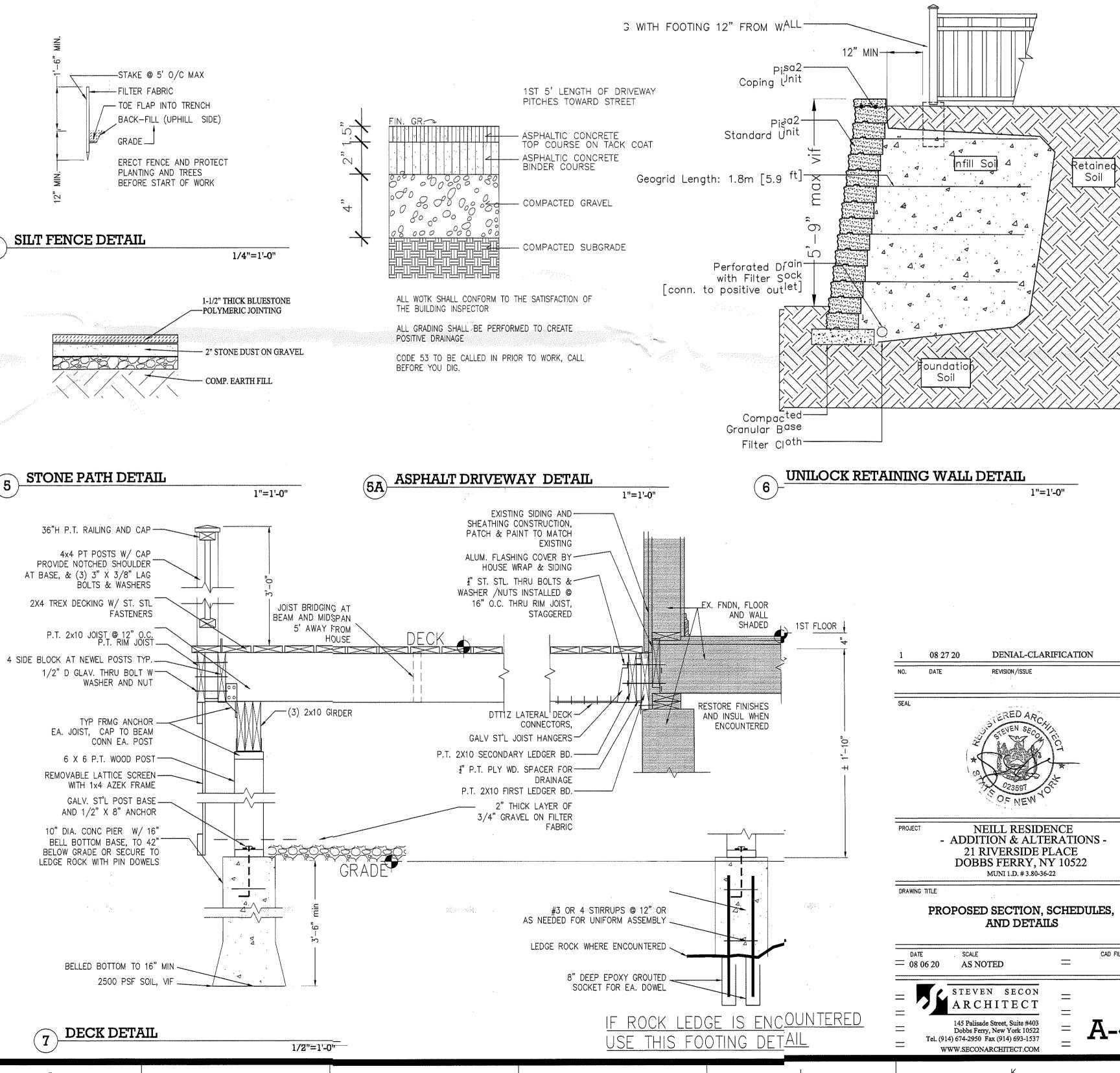
COMPONENT	OWNER FURNISH	OWNER INSTAL	L REMARKS
COUNTERTOPS	X	Χ	
VANITY CABINETS	X	Х	
PLUMBING FIXTURES AND ACCESSORI	ES X		
CARPETING	X	Χ	
LANDSCAPE RESTORATION	X	sat moga X	
SECURITY WIRING & DEVICES	X	X	
DECORATIVE LIGHTING	X		SCONCES,CHANDELIERS
TILES	X		

10

HEADER SCHEDULE

R.O. WIDTH	HEADER		
UP TO 4'-0"	(2) 2 X 6		
UP TO 6'	(2) 2 X 10 .		
UP TO 8'	(3) 2 X 10		
8'-10'	FLITCH BEAM 1		

- PROVIDE DOUBLE STUDS AT DOUBLE HEADERS PROVIDE TRIPLE STUDS AT TRIPLE HEADERS
- WHERE HEADERS PROJECT (NOT FLUSH WITH WALL) FUR OUT WALL TO FLUSH CONDITION



6" SDR-35 PIPE, 1%

"CULTEC" - RECHARGER

-16" LAYER OF 1" GRAVEL

-APPROVED SUBGRADE

WRAPPED IN FILTER FABRIC

#330, 418 GAL CAPACITY

-6" OVERFLOW,GRATE,ACCESS POR'

-MIN SLOPE

GRADE 71.5

PVC INFILTRATOR BY

"CULTEC" - RECHARG

☐7.5'x4.3' WIDE PER UNIT

ANY RESTRICTIVE LAYER

· LOCATE MIN. 10' FROM HOUSE OR PROPERTY LINES · AT PROPER DEPTH TO ASSURE MIN, 2% SLOPE

• FIELD VERIFY BOTTOM OF DRYWELL RESTS AT LEAST 1'-0" ABOVE

1/4"=1'-0"

CAMPBELL FRAME & —____

DRIVEWAY AND BASE

∬ OUTLET PIPE

& 12" SUMP

TYPE 2

6" SUBBASE

NO. 2800 OR APPROVED

EQUAL. RIM EL 78.8

REMOV. GRATE

12"X12"X24"X

PRECAST

EARTH

DRIVEWAY DRAIN AND DRYWELL DETAIL

CONC. DRAIN

INLET/SUMP

UNDISTURBED -

POLYETHELENE TARP WITH ROPED SANDBAGS OR TIRE WEIGHTS - SOIL STOCK PILE

_ CONT. HAY BALES,

SILT FENCE SEE

FOR NOTES

STAKED

└─GRADE

1"=1'-0"

NO ADVERSE IMPACT WILL BE CREATED BY THE

DRAINAGE, AND THAT ANY PROPOSED GRADING

ALONG THE EXISTING PROPERTY LINES SHALL

SOIL STOCKPILE DETAIL

NEW IMPERVIOUS SURFACES UPON THE

BE CONSISTENT WITH THE EXISTING

TOPOGRAPHY

ADJOINING PROPERTIES AND / OR STREET