

A.F.F.	ABOVE FINISHED FLOOR	MTD.	MOUNTED
A.H.J.	AUTHORITY HAVING JURISDICTION	MTL.	METAL
BOT.	BOTTOM	O.C.	ON CENTER
CLG.	CEILING	PT.	PRESSURE TREATED
C.M.U.	CONCRETE MASONRY UNIT	PTD.	PAINTED
EL.	ELEVATION	TYP.	TYPICAL
FIXT.	FIXTURE	U.N.O.	UNLESS NOTED OTHERWISE
CONC.	CONCRETE	V.C.T.	VINYL COMPOSITE TILE
GC	GENERAL CONTRACTOR	V.I.F.	VERIFY IN FIELD
GWB	GYPSON WALL BOARD	WD.	WOOD
GL.	GLASS		
HT.	HEIGHT		

SYMBOL	DESCRIPTION
	DETAIL REFERENCE, BOTTOM NUMBER INDICATES DRAWING SHEET
	SECTION OR ELEVATION REFERENCE
	REVISION NUMBER WITHIN TRIANGLE RELATES TO INFORMATION ALTERED WITHIN CLOUD/BUBBLE
	DIMENSION LINE, NUMERALS INDICATE DISTANCE TO FACE OF FINISH CONSTRUCTION.
	EXISTING CONSTRUCTION TO BE REMOVED OR AS OTHERWISE NOTED
	WINDOW SYMBOL
	EXISTING CONSTRUCTION TO REMAIN
	SWINGING DOOR WITH SIZE-TYPE IDENTIFICATION (2068-A DENOTES 2'-0" X 6'-8" TYPE A DOOR)
	NEW CONSTRUCTION WALL REFERENCE, LETTER WITHIN DIAMOND CORRESPONDS TO CONSTRUCTION DETAIL OR SPECIFICATIONS
	ELECTRICAL DUPLEX RECEPTACLE OUTLET WALL MOUNTED AT 18" ABOVE FINISHED FLOOR OR 12" ABOVE COUNTER SURFACE WHERE REQ'D (SP- DENOTES GROUND FAULT INTERRUPTER)
	TELEPHONE OUTLET WALL MOUNTED AT 18" ABOVE FINISHED FLOOR
	FLUSH FLOOR MOUNTED ELECTRICAL DUPLEX RECEPTACLE
	ELEC. JUNCTION BOX, (USE SMALLEST FOR SCONCES)
	RECESSED 6" DIAMETER LED LIGHTING FIXTURE "PROGRESS" OR EQ. WITH WHITE TRIM, 1500 MIN LUMEN LAMP, 3000 K ORI, LOWERCASE LETTER DESCRIBES CIRCUIT AND SWITCH CONTROL WHERE SHOWN
	SCONCE FOR BATHROOMS BY "REJUVENATION" SILETZ #578, WITH SHADE 143 L, 2 LED LAMPS, WET LOCATION
	EXTERIOR INCANDESCENT SCONCE LIGHTING FIXTURE "PROGRESS" P567-50 WITH W/ LED CANDELABRA LAMPS MILSTONE (GULL SILVER FINISH)
	FLOOD LIGHT WITH 150 W PAR LAMPS
	RECESSED 6" DIAMETER WALL WASHER LED LT. FIXTURE, "PROGRESS" OR EQ., 1500 MIN. LUMEN LAMP, 3000 K WHITE TRIM
	SURFACE INCANDESCENT LIGHTING FIXTURE "REJUVENATION", MORELAND, #CC85, SHADE #018CE BRUSHED NICKEL FINISH, LED LAMPS
	FLUORESCENT LIGHT FIXTURE WARM WHITE T8 LAMPS
	PORCELAIN SOCKET, LED LAMPS
	FANLIGHT, DUCT TO EXTERIOR, WET LOCATION "PANASONIC" MODEL ###
	SINGLE POLE LIGHT SWITCH, WALL MOUNTED AT 42" ABOVE FINISHED FLOOR (SUBSCRIPT "3" INDICATES 3-WAY SWITCH) COORDINATE LOCATION WITH TRIM.
	SMOKE DETECTOR, DUAL SENSING PHOTO-VOLTAIC AND IONIZATION DETECTING, HARDWIRED & INTERCONNECTED
	HEAT DETECTOR HARDWIRED & INTERCONNECTED
	CARBON MONOXIDE DETECTOR, HARDWIRED & INTERCONNECTED
	FIRE EXTINGUISHER, A-B-C RATED 5 LB
	HOSE BIB (FROST FREE)
	CEILING DIFFUSER (SUPPLY), WHITE
	CEILING REGISTER (RETURN), WHITE

	ABOVE FINISHED FLOOR	M.T.D.	MOUNTED	00-PROCUREMENT & GENERAL REQUIREMENTS	
A.H.J.	AUTHORITY HAVING JURISDICTION	M.T.L.	METAL	1. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND FIELD CONDITIONS PRIOR TO CONSTRUCTION. DIMENSIONS AND RELATED INSTALLATION CONDITIONS FOR ALL FABRICATED AND BUILT COMPONENTS SHALL BE FIELD VERIFIED	1.
BOT.	BOTTOM	O.C.	ON CENTER	2. GENERAL CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH SITE WORKING CONDITIONS, HOURS OF LEGAL OPERATION AND RELATED PERFORMANCE CRITERIA. GENERAL CONTRACTOR SHALL CONTACT STEVEN SECON ARCHITECT REGARDING ANY DEVIATIONS OR FIELD CONDITIONS CONFLICTING WITH THE DRAWINGS.	2.
CLG.	CEILING	P.T.	PRESSURE TREATED	3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CODES, ORDINANCES, AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, INSPECTIONS, AND CERTIFICATE(S) OF OCCUPANCY, INSURANCES, AND BONDS AS REQUIRED.	3.
C.M.U.	CONCRETE MASONRY UNIT	P.T.D.	PAINTED	4. ALL MATERIALS SPECIFIED OR USED TO EXECUTE THIS PROJECT SHALL BE DELIVERED, STORED AND INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.	4.
EL.	ELEVATION	TYP.	TYPICAL	5. DESIRED SUBSTITUTION, OR DEVIATIONS FROM CONTRACT DOCUMENTS WILL REQUIRE WRITTEN APPROVAL FROM STEVEN SECUN ARCHITECT PRIOR TO INSTALLATION.	5.
FIXT.	FIXTURE	U.N.O.	UNLESS NOTED OTHERWISE	6. REMOVE EXISTING CONSTRUCTION AS REQUIRED TO ALLOW INSTALLATION OF NEW WORK SHOWN ON THE DRAWINGS. PATCH AREAS OF DEMOLITION FLUSH AND SMOOTH TO ADJACENT SURFACES, READY FOR APPLICATION OF FINISHES.	6.
CONC.	CONCRETE	V.C.T.	VINYL COMPOSITE TILE	7. SHUTDOWNS AND INTERRUPTIONS TO NORMAL ACTIVITIES SHALL BE REVIEWED WITH OWNER PRIOR TO IMPLEMENTATION. THE GC SHALL CONTACT AND COORDINATE UTILITY SHUT-DOWNS, RECONNECTS AND UPGRADES WITH THE PROPER PROVIDER IN A TIMELY MANNER.	7.
GC	GENERAL CONTRACTOR	V.I.F.	VERIFY IN FIELD	8. PROVIDE SHORING, STABILIZATION AND BRACING AS REQUIRED. PROVIDE PROPERTY, SITE AND PERSONAL PROTECTION AS REQUIRED, FOR THE SAFE AND ORDERLY EXECUTION OF THE WORK. PROVIDE P.E. ENGINEERING DRAWINGS AS REQUIRED BY LOCAL MUNICIPALITY.	8.
GWB	GYPSUM WALL BOARD	WD.	WOOD	9. PROVIDE WEATHER PROTECTION IN A TIMELY MANNER TO PROTECT THE SITE, PREMISES, MATERIALS, INSTALLED WORK AND PERSONNEL.	9.
GL.	GLASS			10. ALL MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS AND SERVICES TO BE COMPLETE AND OPERATIONAL. INSTALLATIONS SHALL NOT CONFLICT WITH FIXTURES OR CONSTRUCTION SHOWN. MECHANICAL, ELECTRICAL AND PLUMBING WORK SHALL BE PERFORMED BY LICENSED TRADESMAN.	10.
HT.	HEIGHT			11. THE GENERAL CONDITIONS FOR THIS PROJECT ARE "THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION AIA DOCUMENT A201, 1997 EDITION", AVAILABLE FROM ARCHITECT.	11.
				12. THE GC SHALL COORDINATE THE WORK OF ALL TRADE, INCLUDING OWNER-PROVIDED SUBCONTRACTORS.	12.
				13. THE GC SHALL SUBMIT A WRITTEN PROGRESS SCHEDULE AS WELL AS A LISTING OF ALL MAJOR SUBCONTRACTORS WITHIN 2 WEEKS OF AWARD FOR OWNER APPROVAL.	13.
				14. SUBMIT MONTHLY APPLICATIONS FOR PAYMENT OR AS INDICATED IN OWNER-CONTRACTOR AGREEMENT IN AIA G702 FORMAT. PROVIDE UNIT PRICES AND ALLOWANCES AS PER OWNER-CONTRACTOR AGREEMENT.	14.
				15. ALL DELIVERIES, STAGING AND AVAILABLE UTILITIES SHALL BE COORDINATED WITH OWNER PRIOR TO CONSTRUCTION.	15.
				16. PROVIDE REMOVALS AND PROPER, LEGAL DISPOSAL OF ALL WASTE. MINIMIZE DUST AND DISRUPTION DURING DEMOLITION. LEAVE PROJECT IN "BROOM-CLEAN" CONDITION.	16.
				17. WORK IN HARMONY WITH INDEPENDENT CONTRACTORS HIRED BY THE OWNER.	17.
				18. PROVIDE MINIMUM WARRANTY FOR ALL NEW & AFFECTED CONSTRUCTION OF 2 YEARS FROM TIME OF SUBSTANTIAL COMPLETION. PROVIDE OWNER WITH MANUALS AND WARRANTIES.	18.
				19. WHERE NO SPECIFICATION IS GIVEN, THE MINIMUM STANDARD FOR INSTALLATION SHALL ACCORDING TO THE NATIONAL ASSOC. OF HOME BUILDERS' RESIDENTIAL CONSTRUCTION PERFORMANCE GUIDELINES' CURRENT EDITION.	19.
				20. THE GC AND EACH OF HIS SUBCONTRACTORS SHALL HAVE A MINIMUM OF 5 YEARS OF RELATED WORK EXPERIENCE ON PROJECTS OF A SIMILAR NATURE. FAILURE TO PROVIDE ADEQUATELY TRAINED TRADESMAN AND SUPERVISION WILL BE GROUNDS FOR TERMINATION.	20.
				21. WHERE CONFLICTS OR POSSIBLE CONTRADICTION INFORMATION ARE SHOWN, THE BASIS OF THE BID SHALL BE BASED ON THE MORE EXPENSIVE MEANS.	21.
				22. CONTRACTORS' INPUT AND RECOMMENDATIONS ARE WELCOMED AND ANTICIPATED. CONSTRUCTION ALTERNATIVES WILL BE CONSIDERED IF THEY HAVE MERIT AND CAN ACHIEVE A BETTER RESULT THAN INDICATED HEREIN FOR THE SAME COST AND TIME. SUCH CHANGES SHALL NOT TAKE PLACE WITHOUT THE APPROVAL OF THE ARCHITECT AND OWNER.	22.
				23. CONTRACTOR AND HIS SUBCONTRACTORS SHALL MAINTAIN WORKMANS COMPENSATION AND ADEQUATE LIABILITY INSURANCE FOR THE ENTIRE DURATION OF THE PROJECT PLUS 3 YEARS. OWNER SHALL BE RESPONSIBLE FOR PROPERTY INSURANCE ON VALUE OF BUILDING PLUS CONSTRUCTION INCLUDING FIRE AND VANDALISM (BUILERS RISK INSURANCE) DURING THE COURSE OF CONSTRUCTION.	23.
				24. ALL DEBRIS MUST BE REMOVED DAILY FROM JOBSITE AND PROPERLY DISPOSED OF. ALL FLAMMABLE MATERIALS MUST BE STORED IN UL APPROVED STORAGE CONTAINERS. FIRE EXTINGUISHERS WITH MINIMUM 10 LBS CAPACITY, RATED ABC TO BE PLACED EVERY 1000 SF OF PROPERTY DURING CONSTRUCTION.	24.
				02- EXISTING CONDITIONS	
				1. CONTRACT DOCUMENTS HAVE BEEN PREPARED USING INFORMATION AVAILABLE AT THE TIME OF CONTRACT PREPARATION. SUBSURFACE EXPLORATIONS AND DATA DISCOVERED WILL BE NOTED ON DRAWINGS.	1.
				2. CONTRACTOR SHALL USE REASONABLE EXPERIENCE AND SENSE IN ESTABLISHING UNFORESEEN OR CONCEALED CONDITIONS.	2.
				3. DEMOLITION OR EVACUATION REVEALING UNFORESEEN OR CONCEALED CONDITIONS CONFLICTING WITH THE DRAWINGS OR INDICATING PROPOSED CONSTRUCTION, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AS SOON AS POSSIBLE.	3.
				4. REMOVE EXISTING CONSTRUCTION AS REQUIRED TO ALLOW INSTALLATION OF NEW WORK SHOWN ON THE DRAWINGS. PATCH AREAS OF DEMOLITION FLUSH AND SMOOTH TO ADJACENT SURFACES, READY FOR APPLICATION OF FINISHES.	4.
				5. SHUTDOWNS AND INTERRUPTIONS TO NORMAL ACTIVITIES SHALL BE REVIEWED WITH OWNER PRIOR TO IMPLEMENTATION. THE GC SHALL CONTACT AND COORDINATE UTILITY SHUT-DOWNS, RECONNECTS AND UPGRADES WITH THE PROPER PROVIDER IN A TIMELY MANNER.	5.
				6. PROVIDE SHORING, STABILIZATION AND BRACING AS REQUIRED. PROVIDE PROPERTY, SITE AND PERSONAL PROTECTION AS REQUIRED, FOR THE SAFE AND ORDERLY EXECUTION OF THE WORK. PROVIDE REMOVALS AND PROPER, LEGAL DISPOSAL OF ALL WASTE. LEAVE PROJECT IN "BROOM-CLEAN" CONDITION. ITEMS TO BE SALVAGED FOR RE-USE OR KEEPSAKE SHALL BE REMOVED TO THE FULLEST EXTENT POSSIBLE IN CAREFUL, NON-DESTRUCTIVE MANNER.	6.
				7. IF DISCOVERED, SUSPECT OR BELIEVED CONTAMINATED OR HAZARDOUS CONDITIONS ARE EXISTING AND PRESENT, SUCH CONSTRUCTION SHALL BE BROUGHT TO THE OWNERS AND ARCHITECTS ATTENTIONS AS SOON AS POSSIBLE.	7.
				03- CONCRETE	
				1. THE DESIGN, MIXING, TRANSPORTING, AND CURING OF ALL STRUCTURAL CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE". THE ACI.	1.
				2. STRUCTURAL CONCRETE SHALL POSSESS A 28-DAY COMPRESSIVE STRENGTH OF 3,000 PSI.	2.
				3. AGGREGATES SHALL CONFORM TO ASTM C33, THE COARSE COMPONENT EITHER WASHED PORTLAND OR CRUSHED STONE. FINE AGGREGATE SHALL BE CLEAN NATURAL SAND.	3.
				4. PORTLAND CEMENT SHALL BE IN COMPLIANCE WITH ASTM C150, TYPE I.	4.
				5. DETORMED REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ASTM A185, GRADE 60.	5.
				6. STANDARD DETAILS FOR HOOKS, BENDS, AND DEVELOPMENT LENGTHS SHALL BE IN CONFORMANCE WITH THE "CONCRETE REINFORCING STEEL HANDBOOK", THE CRSI	6.
				7. SMOOTH WIRE FABRIC REINFORCEMENT SHALL BE IN COMPLIANCE WITH ASTM A185. SHEETS ONLY NO ROLLS, PER ACI ASTM A185.	7.
				8. GRG SHALL BE NON-METALLIC AND NON-SHRINK, AND POSSESS A 28-DAY COMPRESSIVE STRENGTH OF 5,000 PSI.	8.
				9. EXPANSION ANCHORS SHALL BE STAINLESS STEEL "KINK BOLTS" AS MANUFACTURED BY THE HULTI CO. NEW RE-BAR DOWELS SECURED TO EXISTING CONSTRUCTION WITH "HIT C-100" ADHESIVE ANCHORS.	9.
				10. PROVIDE REINFORCED CONCRETED UNDERPINNING AS REQUIRED TO 3"-6" BELOW GRADE OR TO EQUALIZE DEPTHS OF NEW AND ADJACENT FOOTINGS TO PREVENT UNDERMINING.	10.
				11. PROVIDE 3" MIN. POUR TO AVOID DAMAGE TO STRUCTURE.	11.
				12. SLABS ON GRADE FOR WALKS OR PATIOS SHALL BE 4" (6" AT DRIVEWAYS) AIR-ENTRAINED 3000 PSI WITH 6W6 W/F REINFORCEMENT ON 4" COMPACTED GRAVEL BASE. PROVIDE EXPANSION JOINTS AT 5' O.C., TOOLED FLAT CONTROL JOINTS AT 5' O.C.	12.
				13. FLOOD FINISH UNDER EXPOSED SLABS, BROOM FINISH EXTERIOR EXPOSED SLABS.	13.
				14. APPLY CURING COMPOUND, FINISH IN ACCORDANCE WITH ACI 318.	14.
				15. OBSERVE MINIMUM REPAIR CONCRETE COVER PER ACI STANDARDS.	15.
				16. CONCRETE SHALL POSSESS A MAXIMUM SLUMP OF 3.	

[illegible]

1. REMOVE AND REPLAC EX. WC'S DECK WITH LARGER WOOD DECK.
2. CONVERT SINGLE FAMILY RES. USE TO 2 FAMILY RESIDENTIAL USE
3. ADD 1 OFF-STREET PARKING SPACE ON SITE

A-0. OUTLINE SPECIFICATIONS, SITE PLAN, ZONING DATA, NOTES AND LEGEND

A-1. EXISTING FLOOR PLANS AND ELEVATIONS

A-2. PROPOSED FLOOR PLANS

A-3. PROPOSED ELEVATIONS

A-4. PROPOSED SCHEDULES, AND DETAILS

SITE PLAN & ZONING DATA

① SITE PLAN

ZONING COMPONENT	ALLOWED	EXISTING	PROPOSED	COMMENT
LOT SIZE	5000 SF MIN	6786	6786	CONFORMS
FRONT SETBACK	20'	1'	18.2'	★ 1.8' VARIANCE REQUIRED (NEW STEPS)
REAR SETBACKS	25'	1.2'	8.1'	★ 16.9' VARIANCE REQUIRED (NEW DECK)
ONE SIDE SETBACK	10'	0	0	EXISTING NON-CONFORMING
TOTAL SIDE SETBACKS	20'	6.55	59.7'	CONFORMS
MIN. LOT WIDTH	50'	110	110	CONFORMS
BLDG. COVERAGE	27%	17.3%	21.6%	CONFORMS
IMPERVIOUS SURFACES COVERAGE	54%	32.6%	40.9%	CONFORMS
HEIGHT - MAIN BLDG	40'	25.5	25.5	CONFORMS
LOT DEPTH	100'	64.58	64.58	EXISTING NON-CONFORMING
SKY EXPOSURE PLANE	10'H, 45'	90'	90'	EXISTING NON CONFORMING
PARKING	2/UNIT	1	2	CURBOUT, PARKING VARIANCE REQUIRED

SITE PLAN BASED ON SURVEY PROVIDED BY OWNER,
PERFORMED BY: SUMMIT LAND SURVEYING PC
DATED: AUGUST 22, 2018

SECTION/BLOCK/LOT: 3-90-SI-5
ADDRESS: 21 RIVERSIDE PL

ZONING DISTRICT: MDR-1
LOT SIZE: 6786 SF

ENERGY CODE INFORMATION (BASED ON NYS RES-CHECK VALUES.)

6" BATT INSULATION=R-19 OR U=.05
10" BATT INSULATION= R-30 OR U=.03
2" RIGID INSULATION=R-10 OR U=.10
1" CLOSED CELL SPF INSUL-R=5.5 U=.15
ARGON FILLED WINDOW SASH=R-3 OR U=.34
SHEATHING,GYP. BD, ROOFING=NEGLECTIBLE

WALLS
.05 X 1754 SF + .34 X 280 SF =10
2034 SF

ROOF/FLOOR
.03 X 1450 SF =.03
1450 SF

FOUNDATION WALLS
.10 X 50 SF + .34 X 12 =.15
62 SF

SUNSCREEN EXEMPTION PER SECTION 502.2.5.

ASSEMBLY	PROPOSED U VALUE BEFORE GLAZING	ALLOWABLE U VALUE
EXTERIOR WALL	.10	.06
ROOF/CEILING	.03	.026
FLOOR	.03	.047
FOUNDATION WALL	.15	.047

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL TRAINING,
THIS PROJECT COMPLIES WITH THE NEW YORK STATE ENERGY AND
CONSERVATION CODE.

STEVEN SECON, A.I.A.

RECEIVED

OCT 28 2020

Village of Dobbs Ferry Planning Department

I.R.C. CODE INFORMATION

CLIMATIC & GEOGRAPHIC DESIGN CRITERIA-CLIMATE ZONE 4A

WIND DESIGN	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM WEATHER	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	ICE FREEZING INDEX	MEAN ANNUAL TEMP
SPEED WPM	U-FACTOR	NO	YES	NO	NO	NO
11-12	NO	NO	NO	NO	NO	NO

ECCO 2020 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

INSULATION	GLAZING	ROOF	MASS WALL/FLOOR	BASEMENT WALL	SLAB	CRACK
R-VALUE	R-VALUE	R-VALUE	R-VALUE	R-VALUE	R-VALUE	R-VALUE
0.35	0.55	0.4	40	10 or 14"	6/13	19
0.35	0.55	0.4	0.026	0.06	0.098	0.047
0.35	0.55	0.4	0.026	0.06	0.098	0.047

FRONT VIEW

NEILL RESIDENCE
- ADDITION & ALTERATIONS -
21 RIVERSIDE PLACE
DOBBS FERRY, NY 10522
MUNI I.D.# 3-80-36-22

DRAWING TITLE

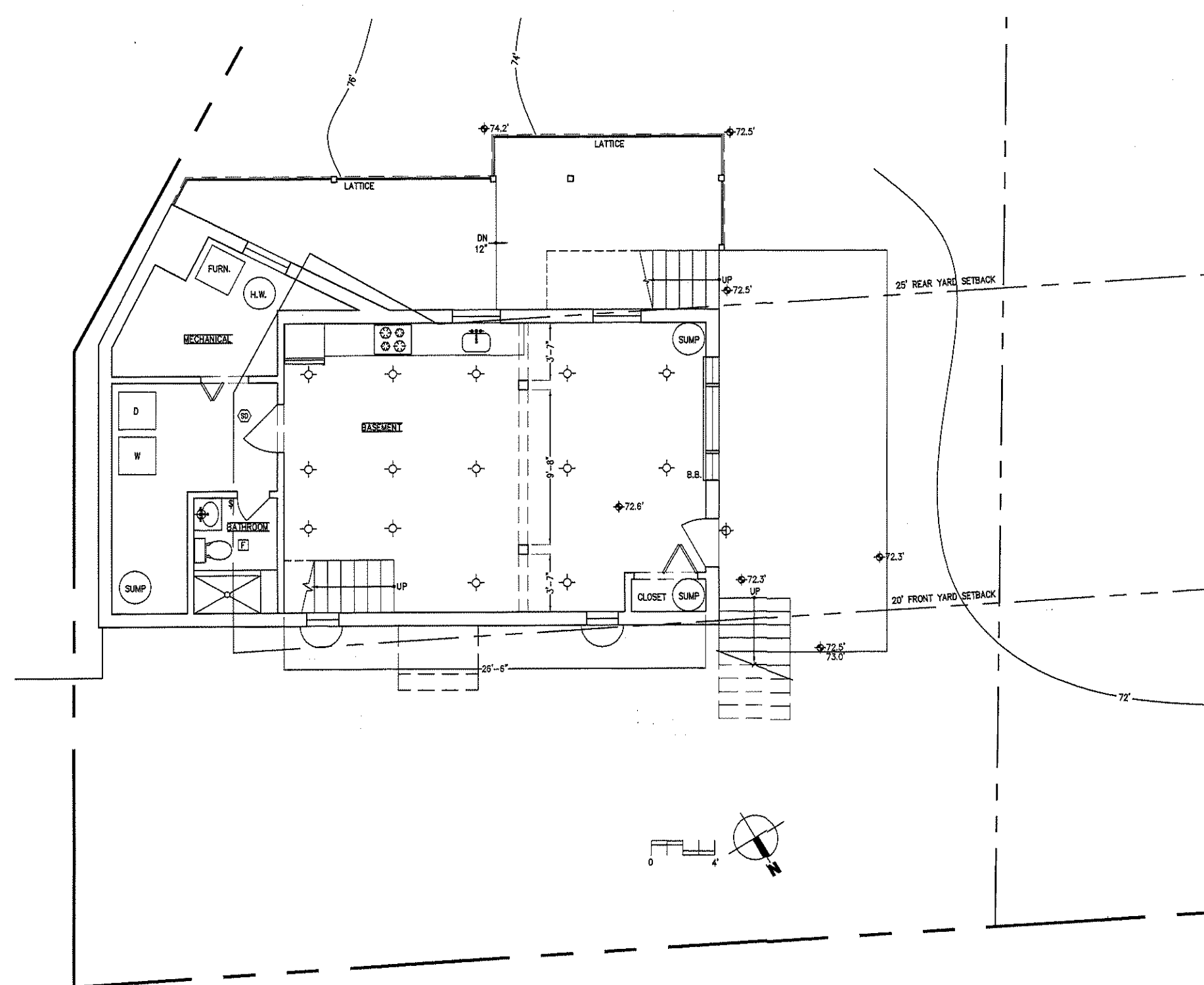
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08 06 20

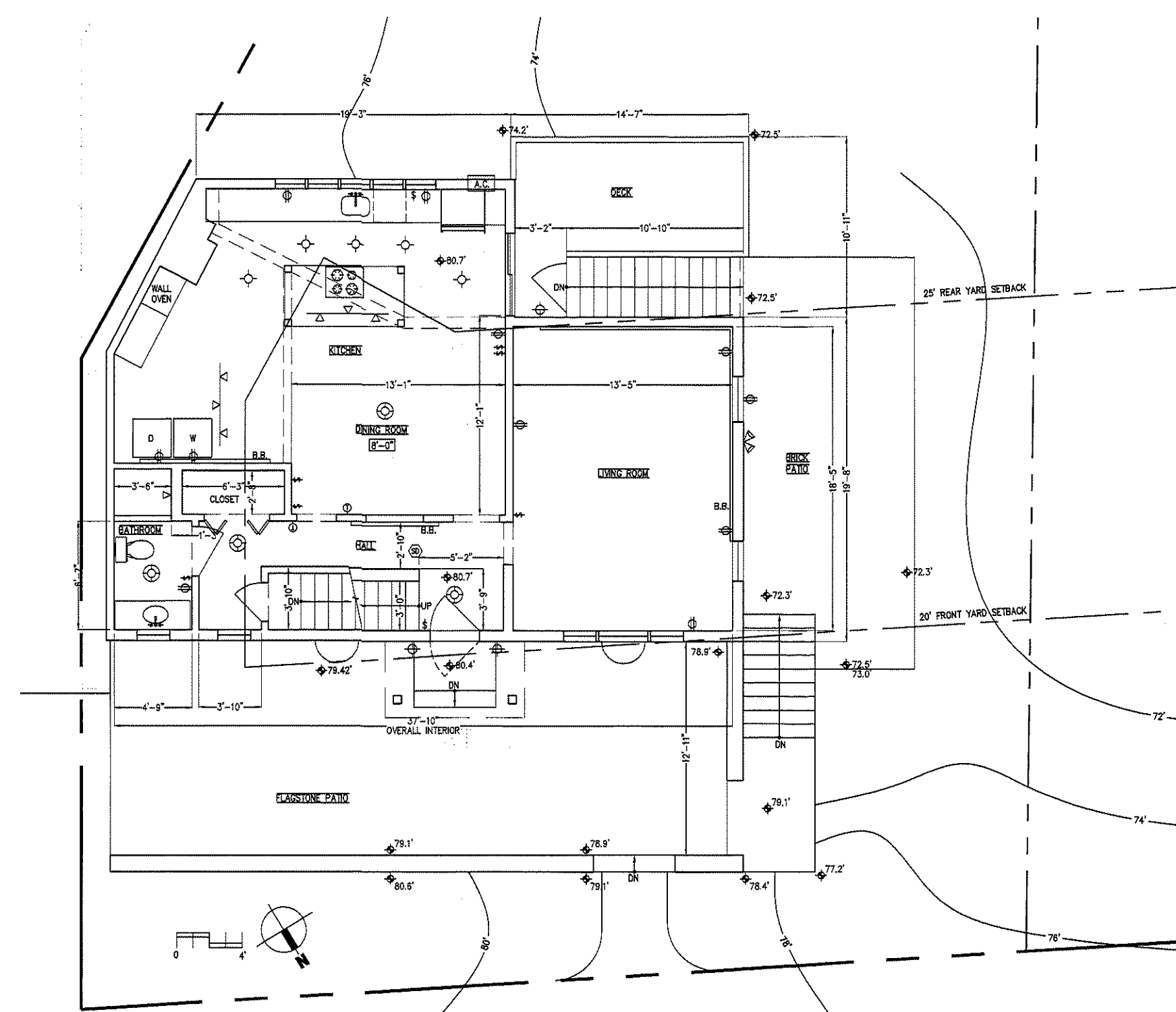
STEVEN SECON ARCHITECT

145 Palisade Street, Suite #403
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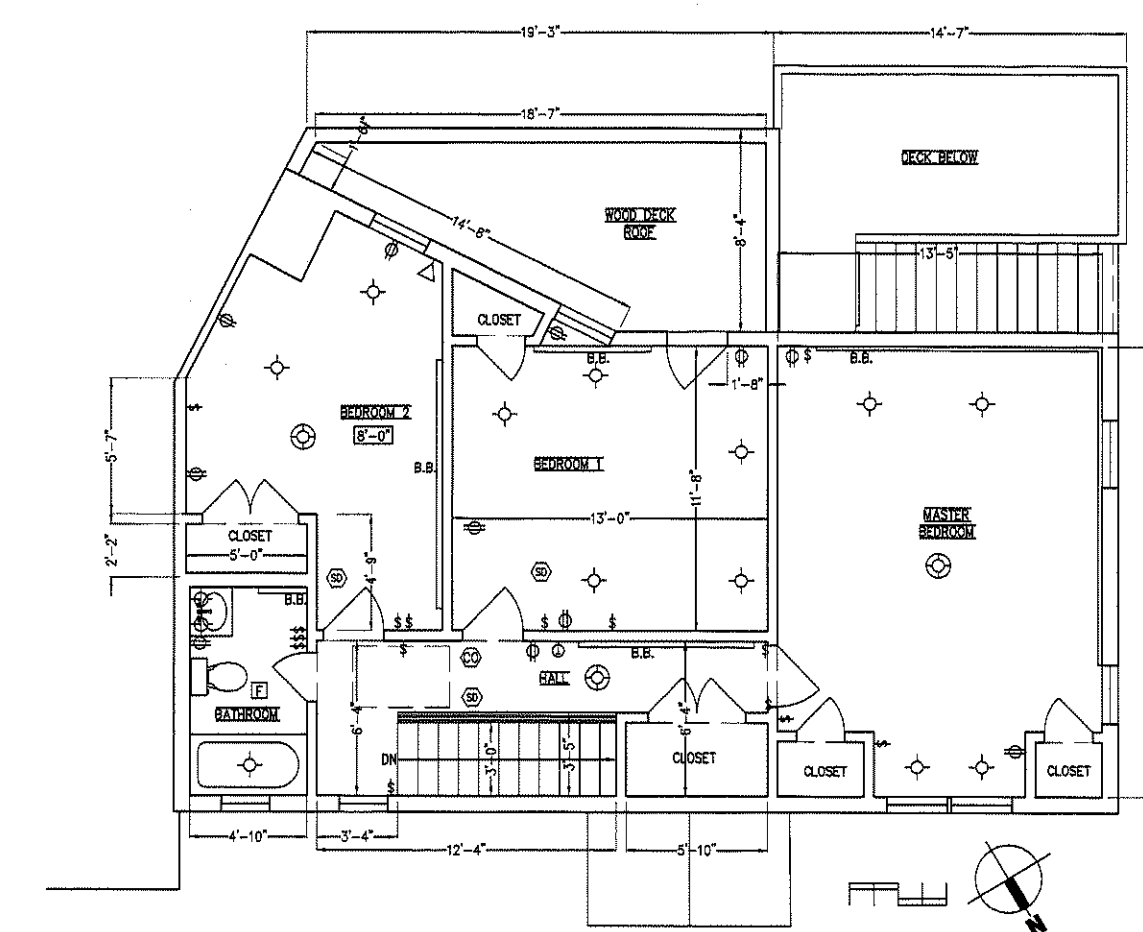
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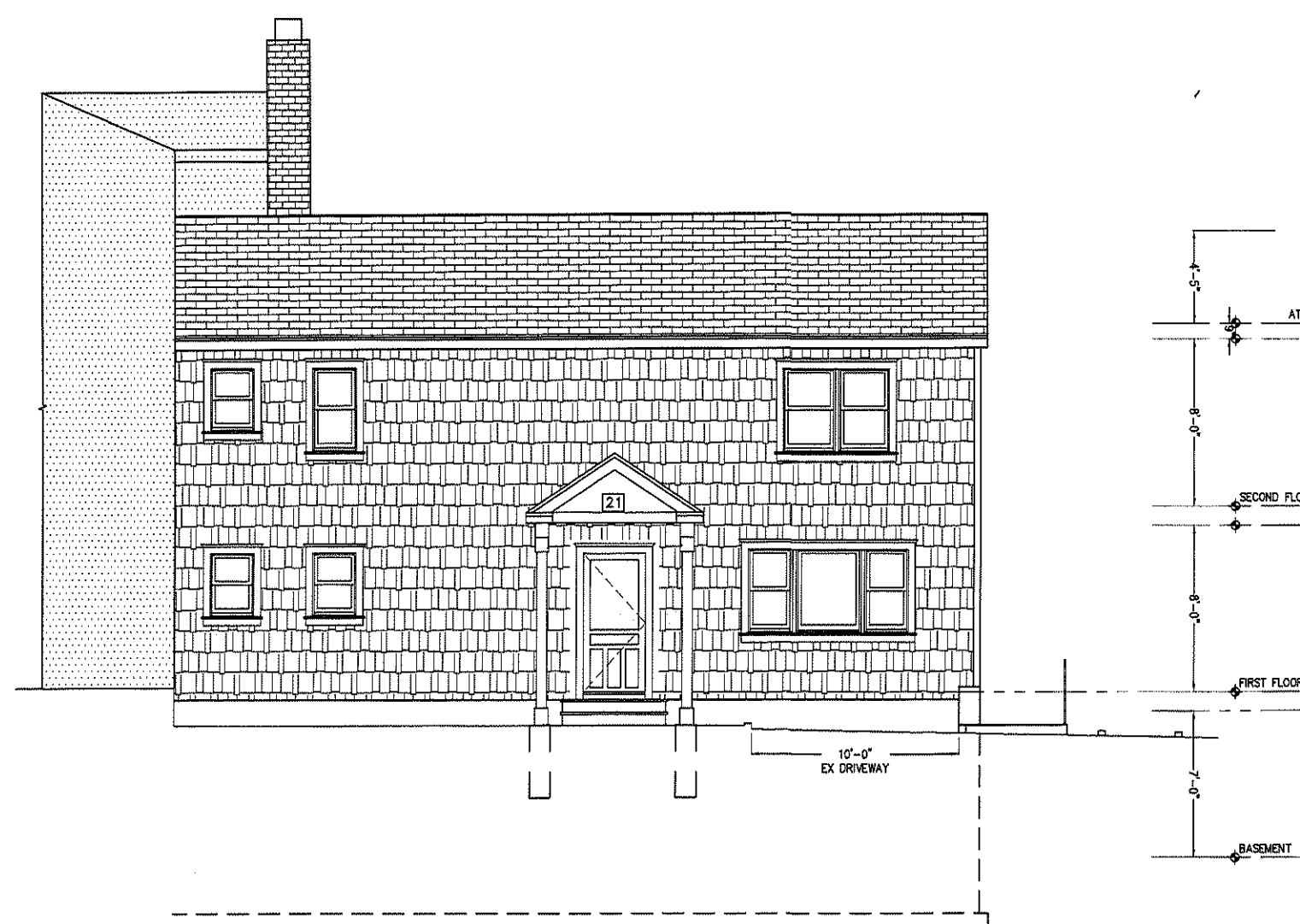
1 EXISTING BASEMENT PLAN
1/8"=1'-0"



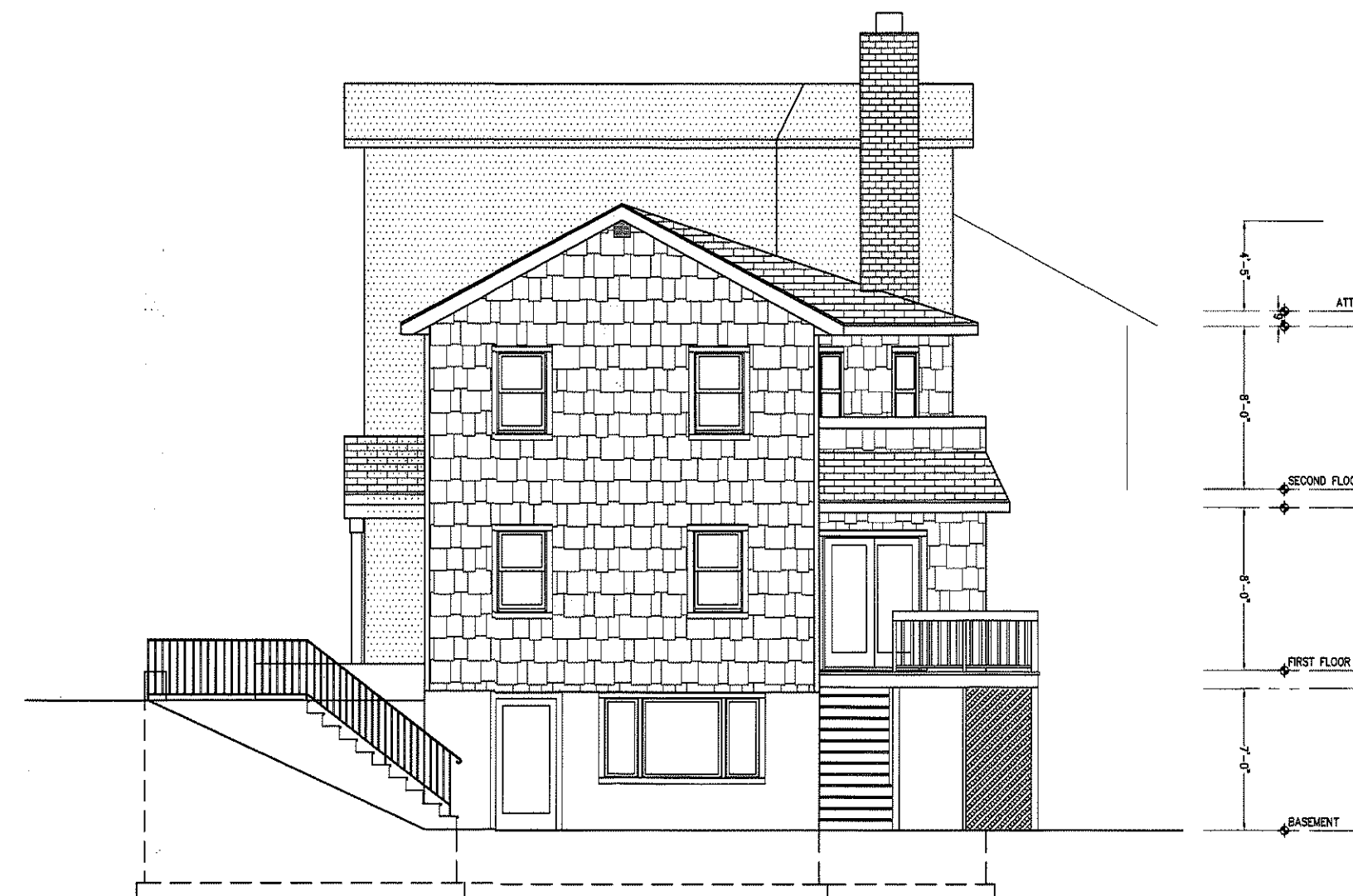
2 EXISTING FIRST FLOOR PLAN
1/8"=1'-0"



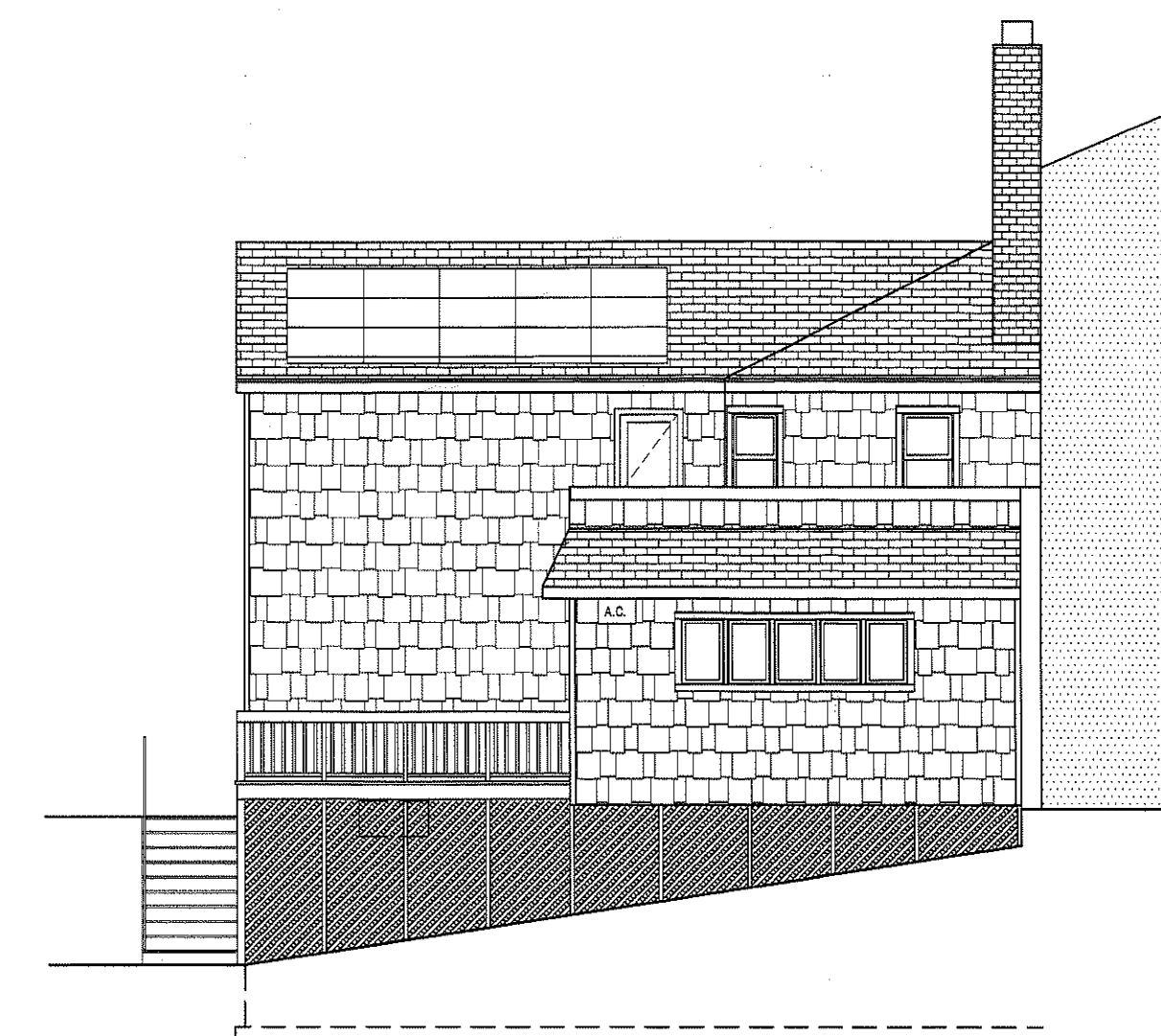
3 EXISTING SECOND FLOOR PLAN
1/8"=1'-0"



4 EXISTING NORTH ELEVATION
1/8"=1'-0"



5 EXISTING WEST ELEVATION
1/8"=1'-0"



6 EXISTING SOUTH ELEVATION
1/8"=1'-0"

1	08 27 20	DENIAL-CLARIFICATION
NO.	DATE	REVISION/ISSUE

SEAL



PROJECT NEILL RESIDENCE
- ADDITION & ALTERATIONS -
21 RIVERSIDE PLACE
DOBBS FERRY, NY 10522
MUNI I.D. # 3.80-36-22

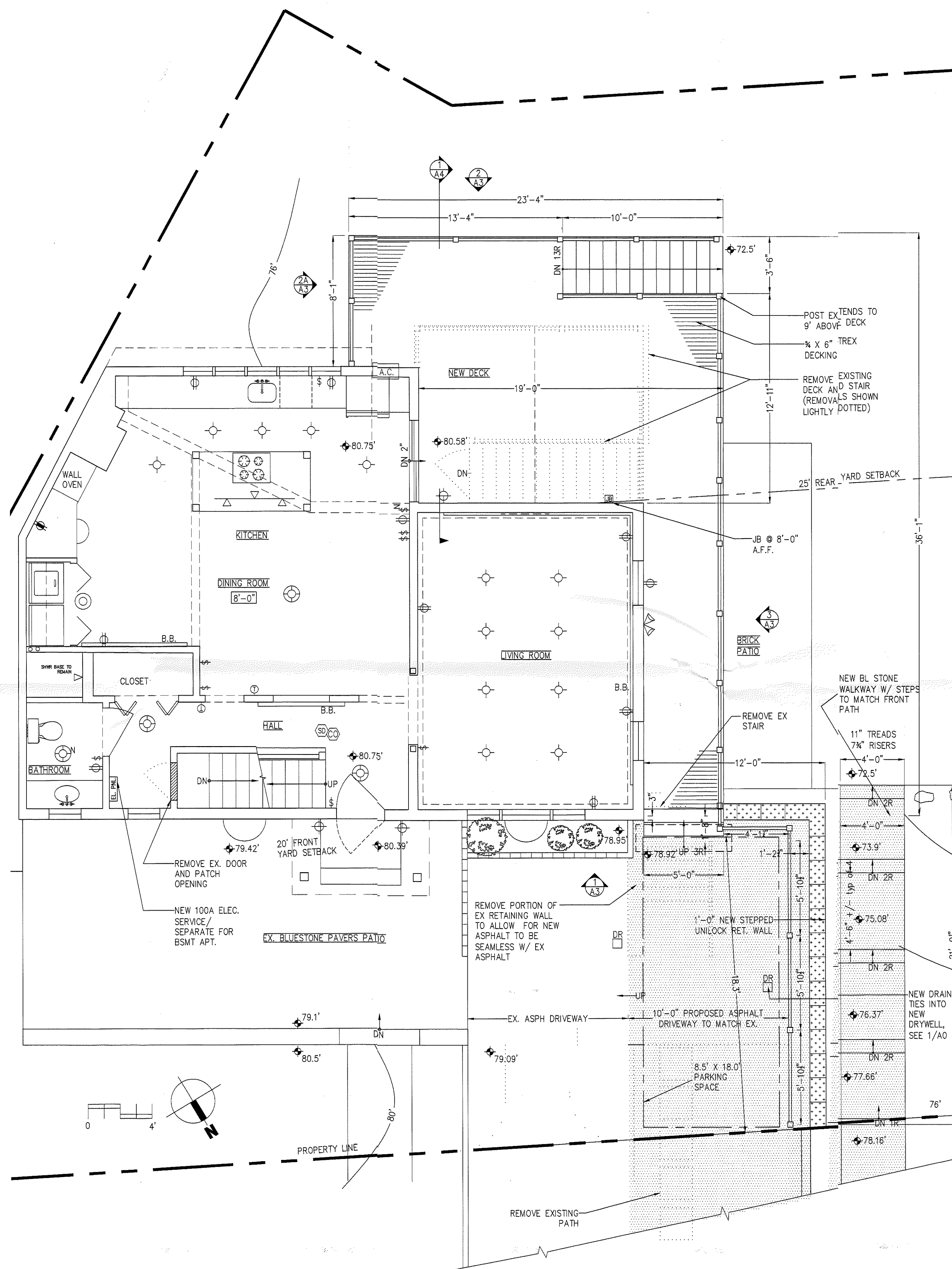
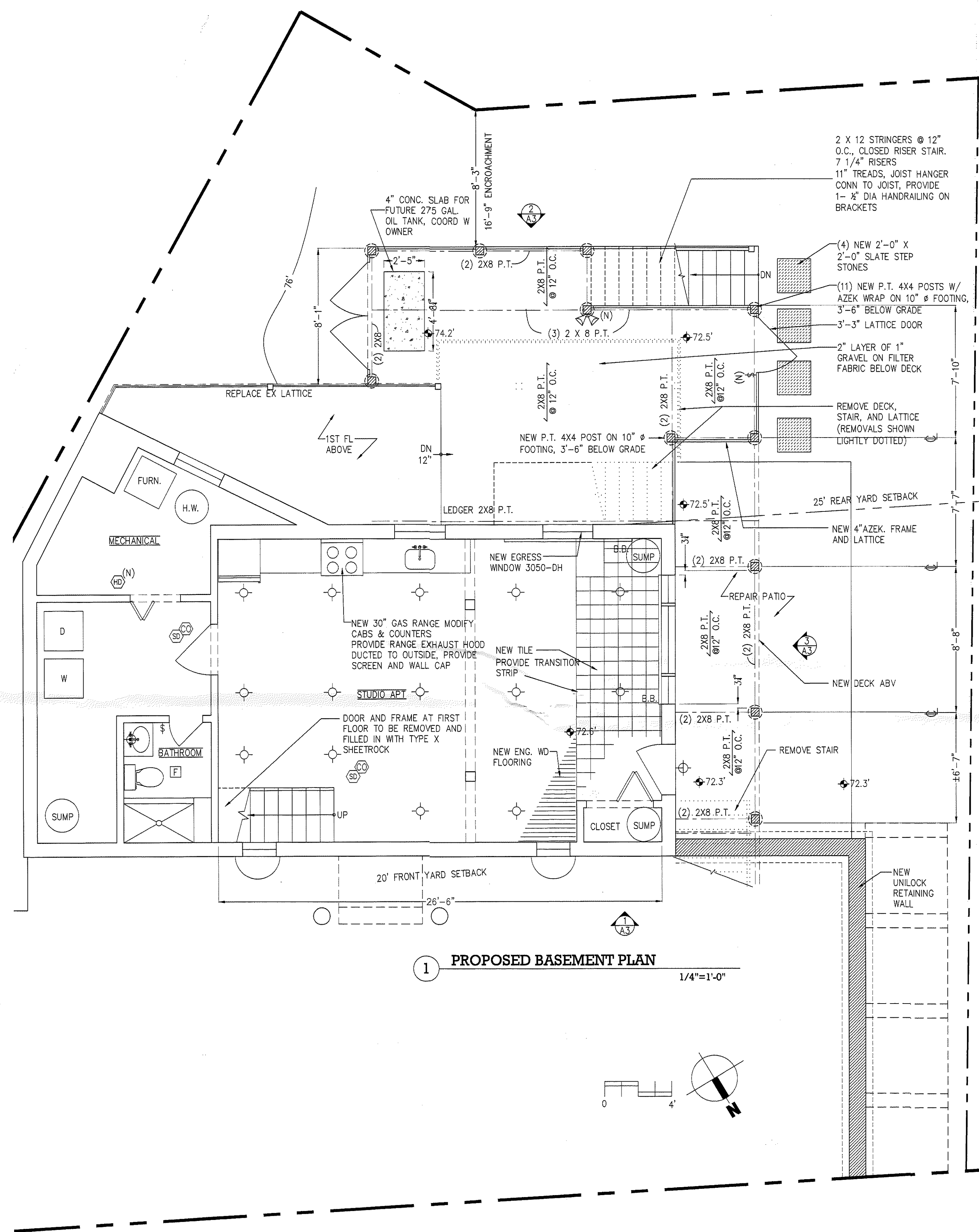
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EXISTING FLOOR PLANS
AND ELEVATIONS

DATE	SCALE	CAD FILE
08 06 20	AS NOTED	

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A-1



DENIAL-CLARIFICATION		
NO.	DATE	REVISION/ISSUE
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- ADDITION & ALTERATIONS
21 RIVERSIDE PLACE
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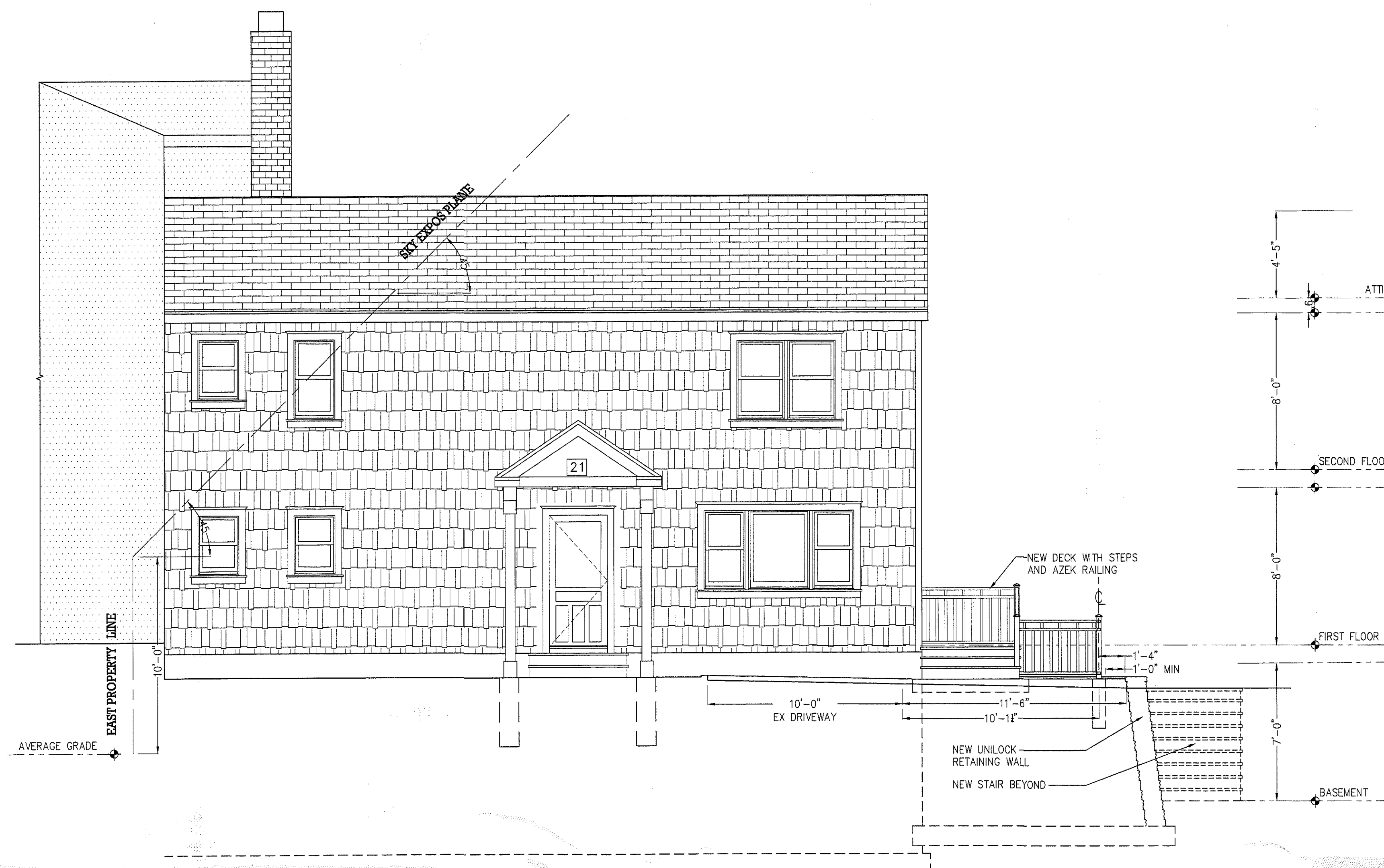
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PROPOSED BASEMENT AND
FIRST FLOOR PLANS

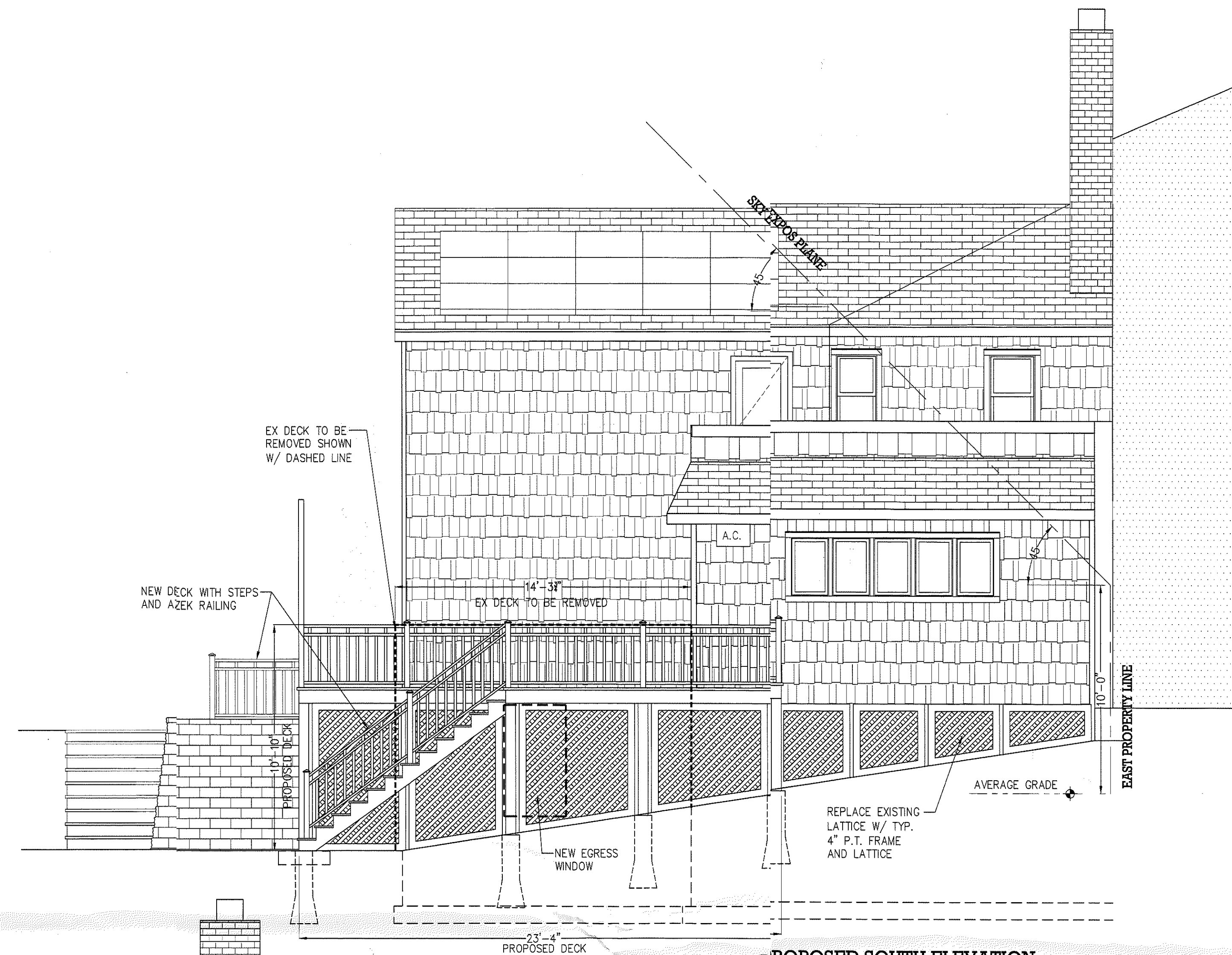
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08 06 20	AS NOTED	

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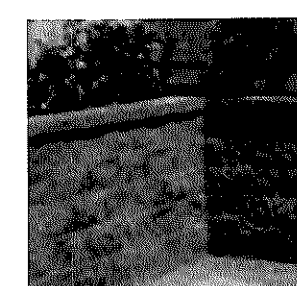
A-2



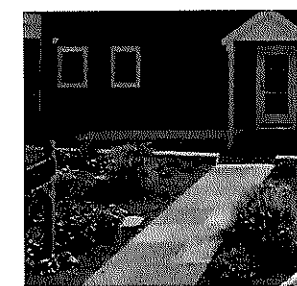
1 PROPOSED NORTH ELEVATION
1/4"=1'-0"



2 PROPOSED SOUTH ELEVATION
1/4"=1'-0"



UNILOCK RETAINING WALL

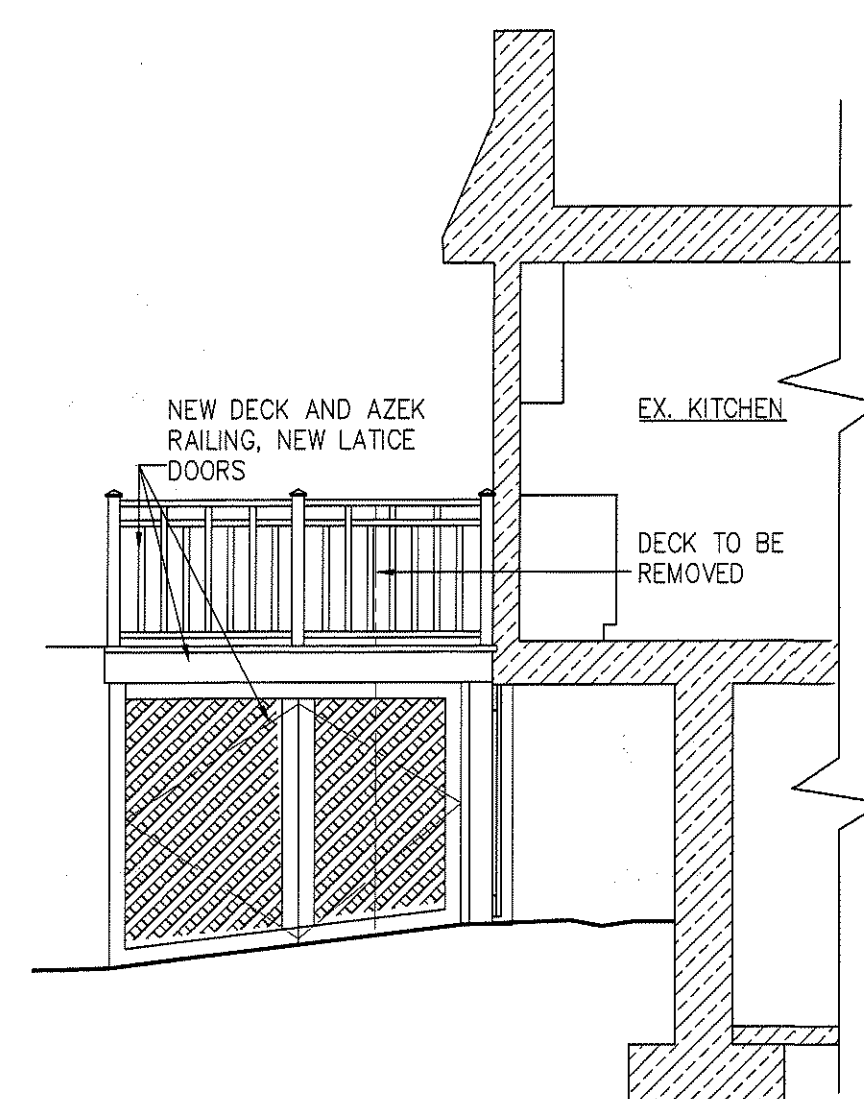


BLUESTONE PATH/STAIR
TO MATCH FRONT

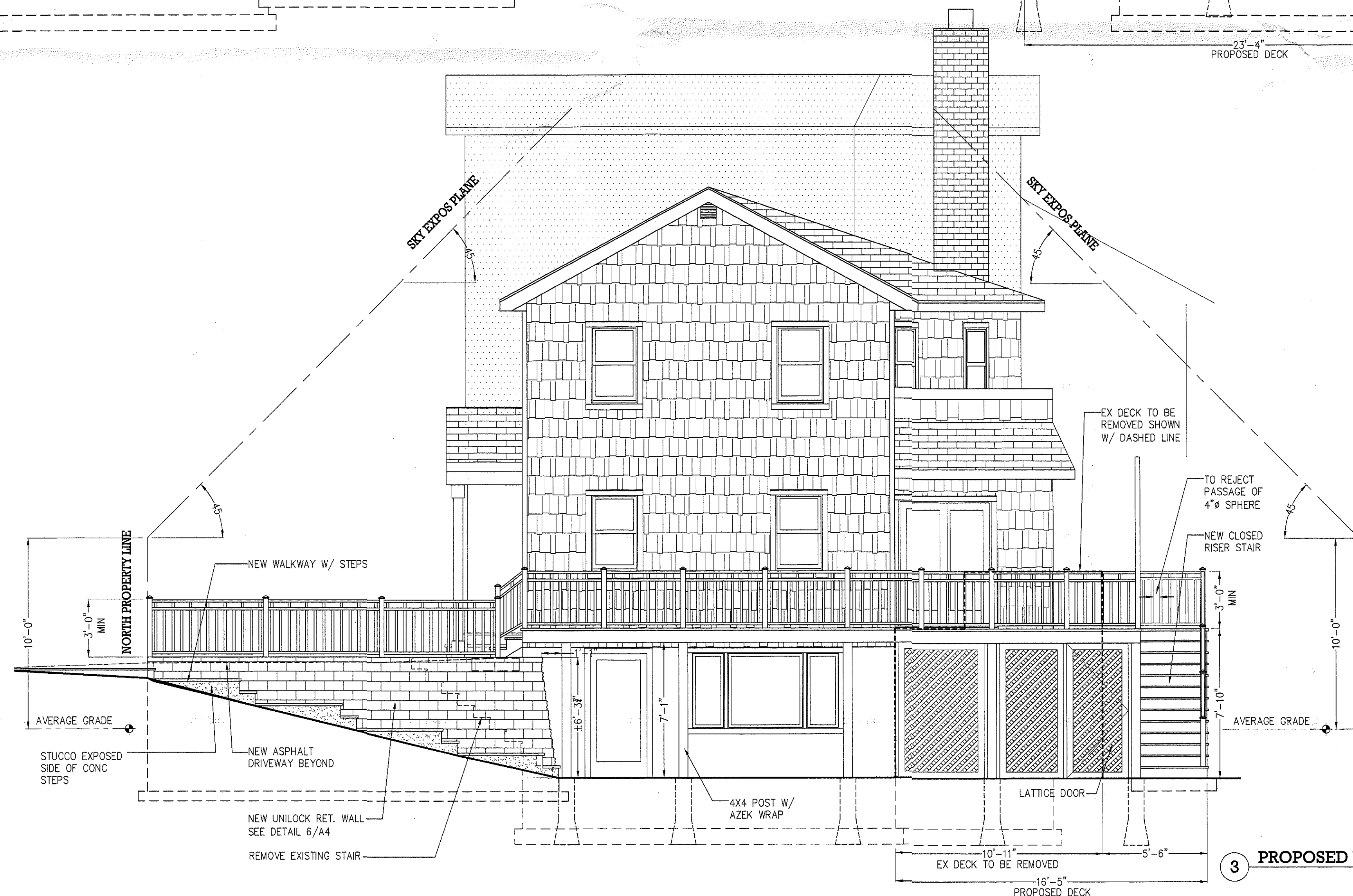


AZEK RAILING
TREX DECKING

MATERIALS



2A PROPOSED PARTIAL EAST ELEVATION
1/4"=1'-0"



3 PROPOSED WEST ELEVATION
1/4"=1'-0"

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PROPOSED ELEVATIONS

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CAMPBELL FRAME & REMOVE, GRATE NO. 2800 OR APPROVED EQUAL, RIM EL. 78.8

ASPH DRIVEWAY AND BASE

12"x12"x24"x 4" TH PRECAST CONC. DRAIN INLET/SUMP

OUTLET PIPE & 12" SUMP

6" SUBBASE TYPE 2

UNDISTURBED EARTH

6" SDR-35 PIPE, 1% MIN SLOPE

6" OVERFLOW, GRATE, ACCESS PORT TO GRADE 71.5

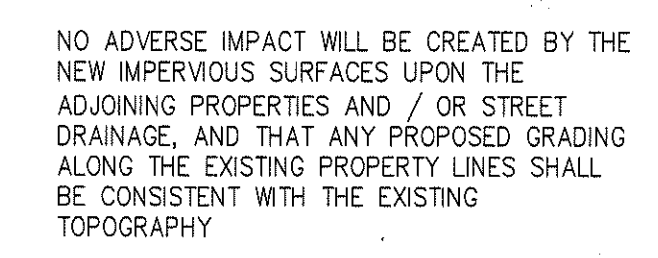
PVC INFILTRATOR BY "CULTEC" - RECHARGER #330, 418 GAL CAPACITY EACH

16" LAYER OF 1" GRAVEL WRAPPED IN FILTER FABRIC

APPROVED SUBGRADE

7.5'x4.3' WIDE PER UNIT

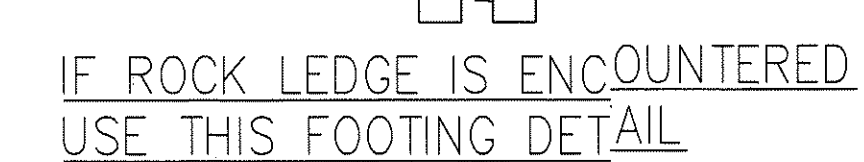
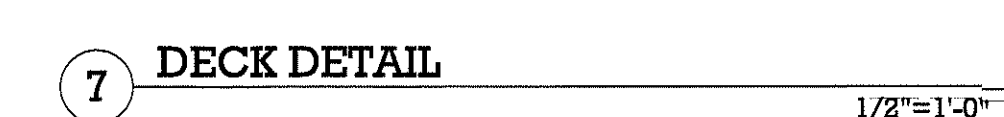
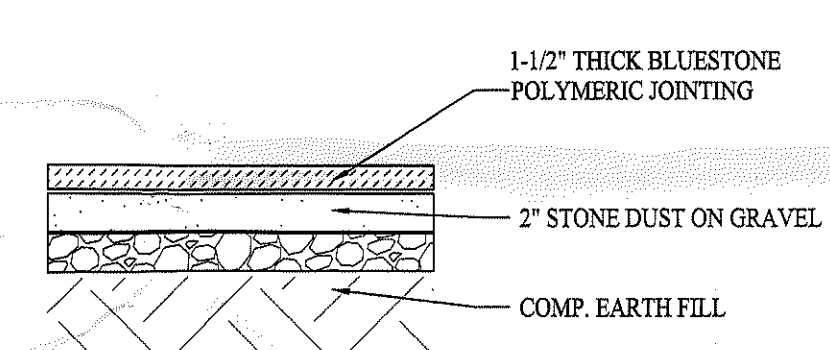
- LOCATE MIN. 10' FROM HOUSE OR PROPERTY LINES
- AT PROPER DEPTH TO ASSURE MIN. 2% SLOPE
- FIELD VERIFY BOTTOM OF DRYWELL RESTS AT LEAST 1'-0" ABOVE ANY RESTRICTIVE LAYER



NCT	MOSAIC CERAMIC TILE	PROVIDED BY OWNER
WD-1	2 1/4" T&G OAK STRIP WOOD FLOORING	SELECT, BRUCE OR EQ., STAINED & SEALED
CT-1	GLAZED CERAMIC WALL TILE	PROVIDED BY OWNER
P-1	EGGSHELL LUSTER LATEX PAINT	PRATT & LAMBERT
P-2	FLAT, NO-DRIP LATEX PAINT	PRATT & LAMBERT
P-3	SATIN LUSTER LATEX PAINT	PRATT & LAMBERT
QT-1	QUARRY TILE	
ST-1	SLATE	
CPT-1	CARPET	

HEADER SCHEDULE

- PROVIDE DOUBLE STUDS AT DOUBLE HEADERS
- PROVIDE TRIPLE STUDS AT TRIPLE HEADERS
- WHERE HEADERS PROJECT (NOT FLUSH WITH WALL),
FUR OUT WALL TO FLUSH CONDITION



A-4