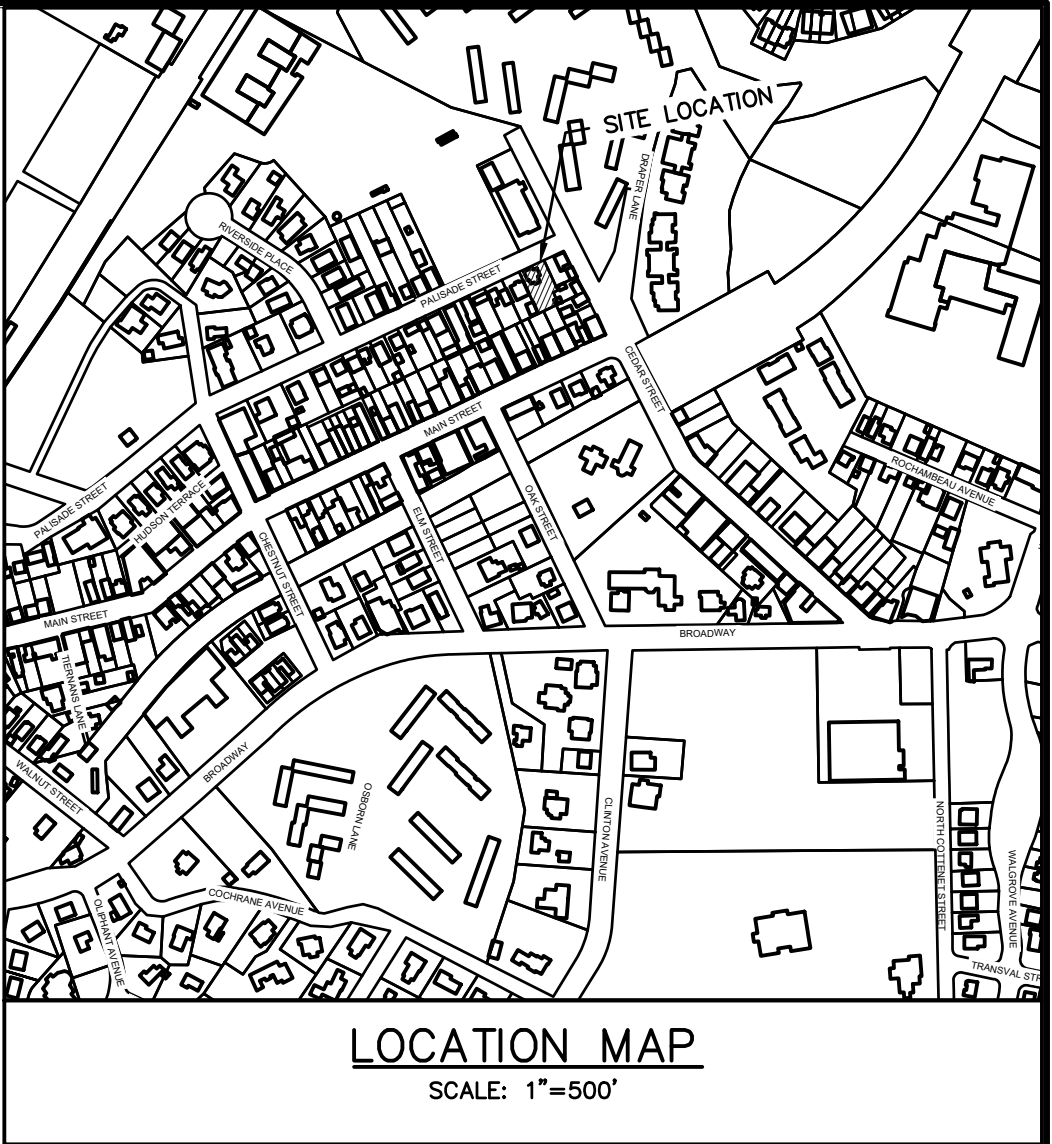


LEGEND

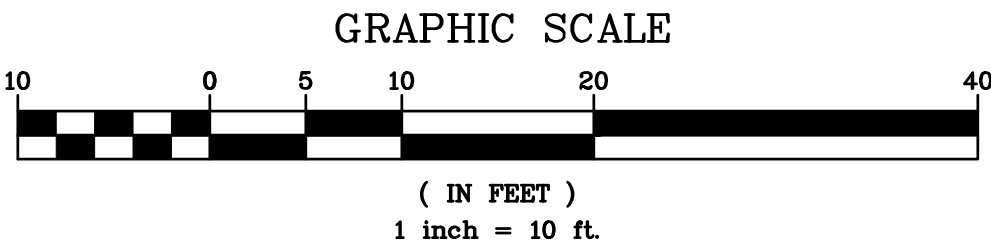
- PROPERTY LINE  
PROPOSED TREE REMOVAL  
PROPOSED DEMO



GENERAL NOTES:

1. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE SUPERVISION OF THE CONSTRUCTION.
2. NO CHANGES SHALL BE MADE TO THESE PLANS EXCEPT AS PER NYS LAW CHAPTER 987.
3. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO A.C.I., A.S.C., ZONING, AND THE NEW YORK STATE BUILDING CODE.
4. ALL CONDITIONS, LOCATIONS AND DIMENSIONS SHALL BE FIELD VERIFIED AND THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED OF ANY DISCREPANCIES.
5. ALL CHANGES MADE TO THE PLANS SHALL BE APPROVED BY THE ENGINEER AND ANY SUCH CHANGES SHALL BE FILED AS AMENDMENTS TO THE ORIGINAL BUILDING PERMIT.
6. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
7. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF HIS EMPLOYEES, SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES, AND OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.
8. SAFETY DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL AGENCIES IN EFFECT DURING THE PERIOD OF CONSTRUCTION.
9. THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL MAKE APPLICATION TO RECEIVE ALL NECESSARY PERMITS TO PERFORM THE WORK UNDER CONTRACT. THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL BE LICENSED TO DO ALL WORK AS REQUIRED BY THE LOCAL, COUNTY, AND STATE AGENCIES WHICH MAY HAVE JURISDICTION OVER THOSE TRADES, AND SHALL PRESENT THE OWNER WITH COPIES OF ALL LICENSES AND INSURANCE CERTIFICATES.
10. FINAL GRADING AROUND THE BUILDING AREA SHALL SLOPE AWAY FROM THE STRUCTURE.
11. ALL WRITTEN DIMENSIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER ANY SCALED DIMENSIONS.
12. ADJOINING PUBLIC AND PRIVATE PROPERTY SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION, REMODELING AND DEMOLITION WORK. PROTECTION MUST BE PROVIDED FOR FOOTINGS, FOUNDATIONS, PARTY WALLS, CHIMNEYS, SKYLIGHTS AND ROOFS. PROVISIONS SHALL BE MADE TO CONTROL WATER RUNOFF AND EROSION DURING CONSTRUCTION OR DEMOLITION ACTIVITIES. THE PERSON MAKING OR CAUSING AN EXCAVATION TO BE MADE SHALL PROVIDE WRITTEN NOTICE TO THE OWNERS OF ADJOINING BUILDINGS ADVISING THEM THAT THE EXCAVATION IS TO BE MADE AND THAT THE ADJOINING BUILDING SHOULD BE PROTECTED. SAID NOTIFICATION SHALL BE DELIVERED NOT LESS THAN 10 DAYS PRIOR TO THE SCHEDULED STARTING DATE OF THE EXCAVATION.
13. OWNER SHALL INSURE THAT THE INSURANCE PROVIDED BY THE CONTRACTOR HIRED TO PERFORM THE WORK SHALL BE ENDORSED TO NAME HUDSON ENGINEERING & CONSULTING, P.C., AND ANY DIRECTORS, OFFICERS, EMPLOYEES, SUBSIDIARIES, AND AFFILIATES, AS ADDITIONAL INSURED ON ALL POLICIES AND HOLD HARMLESS DOCUMENTS, AND SHALL STIPULATE THAT THIS INSURANCE IS PRIMARY, AND THAT ANY OTHER INSURANCE OR SELF-INSURANCE MAINTAINED BY HUDSON ENGINEERING & CONSULTING, P.C., SHALL BE EXCESS ONLY AND SHALL NOT BE CALLED UPON TO CONTRIBUTE WITH THIS INSURANCE. 150 ADDITIONAL INSURED ENDORSEMENT FORM NUMBER CG2010 1185 UNDER G.L. COPIES OF THE INSURANCE POLICIES SHALL BE SUBMITTED TO HUDSON ENGINEERING & CONSULTING, P.C., FOR APPROVAL PRIOR TO THE SIGNING OF THE CONTRACT.
14. INDUSTRIAL CODE RULE 753: THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 72 HOURS PRIOR TO THE START OF HIS OPERATIONS AND SHALL COMPLY WITH ALL THE LATEST INDUSTRIAL CODE RULE 753 REGULATIONS.

156 PALISADE AVENUE EXISTING  
CONDITIONS & DEMO PLAN BASED UPON  
EXISTING INFORMATION PROVIDED BY  
SUMMIT LAND SURVEYING, P.C., DATED  
MAY 4, 2019.



No.	Description	Date	PROJECT:
			PROPOSED MULTI-FAMILY DWELLING 156 PALISADE AVENUE VILLAGE OF DOBBS FERRY WESTCHESTER COUNTY – NEW YORK
			EXISTING CONDITIONS & DEMO PLAN
			HEC & HUDSON ENGINEERING CONSULTING, P.C. 45 Knollwood Road, Suite 201 Elmsford, New York 10523 T: 914-909-0420 F: 914-560-2086 © 2021
THIS PLAN NOT VALID FOR CONSTRUCTION WITHOUT ENGINEERS SEAL & SIGNATURE			State of New York Michael J. Stern No. 00687 LICENSED PROFESSIONAL ENGINEER
Date: 09/29/21 Sheet: 1 Scale: 1" = 10' Designed By: N.S. Checked By: M.S. Sheet No. C-1			

ANY ALTERATIONS OR REVISIONS OF THESE PLANS, UNLESS DONE BY OR UNDER THE DIRECTION OF THE NYS LICENSED AND REGISTERED ENGINEER THAT PREPARED THEM, IS A VIOLATION OF THE NYS EDUCATION LAW.

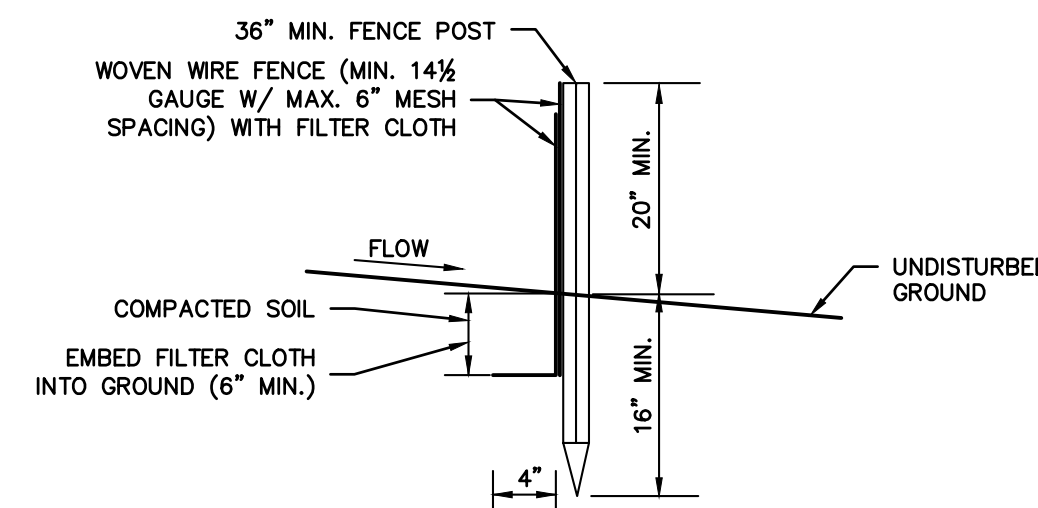
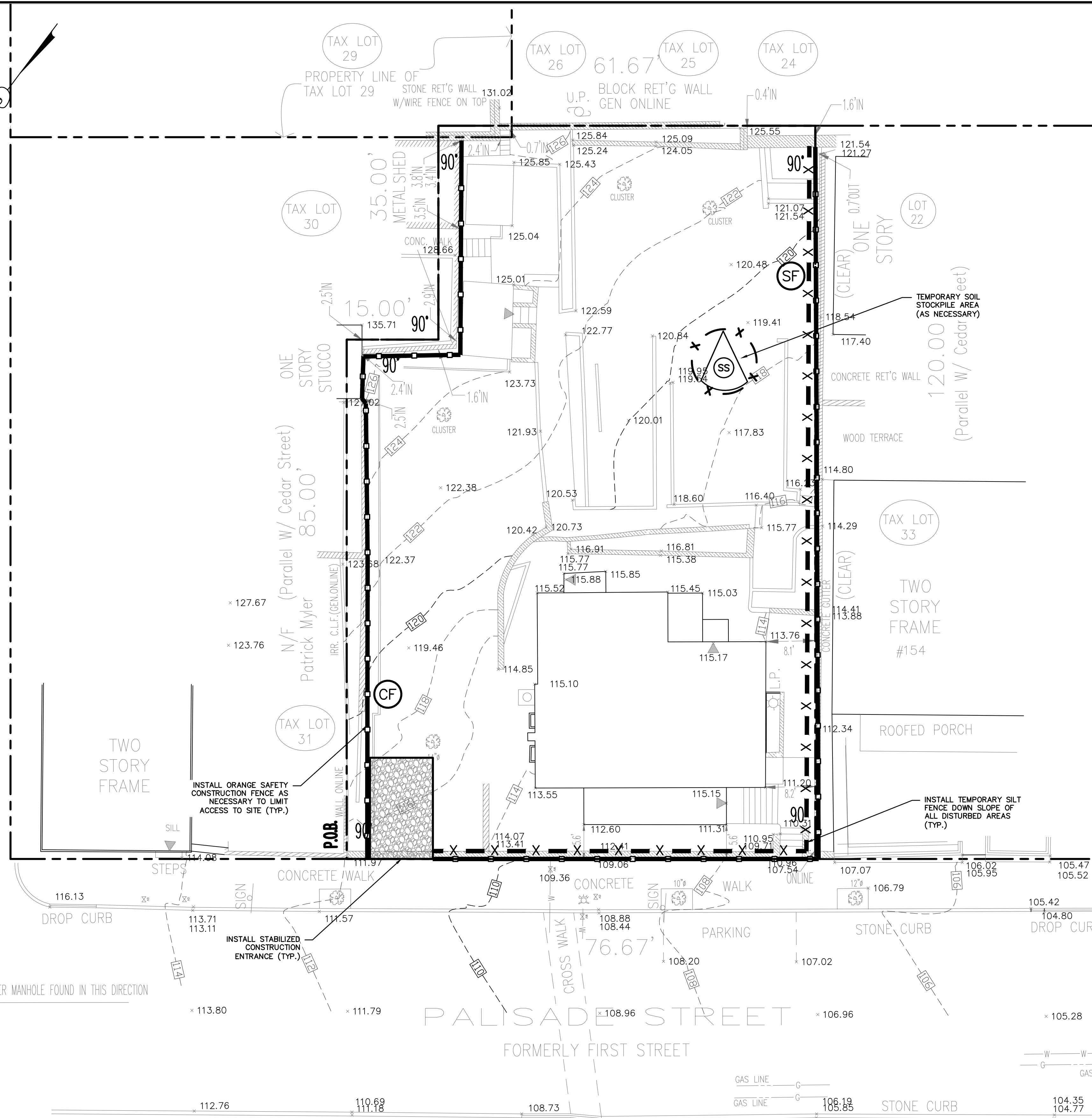


CEDAR STREET

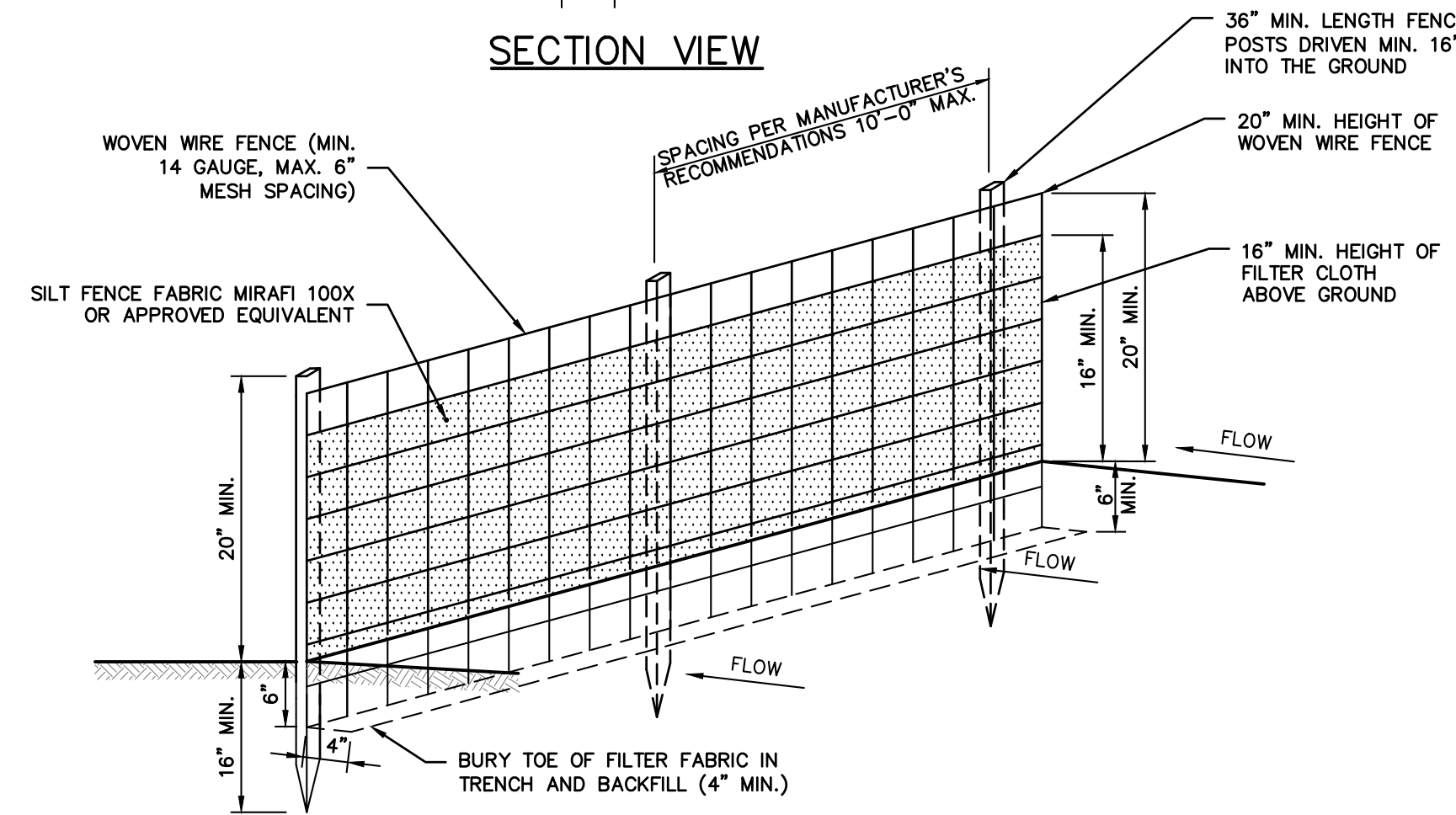
## LEGEND

- PROPERTY LINE ———
- TEMPORARY SILT FENCE — X — X — (SF)
- TEMPORARY CONSTRUCTION FENCE — — — — — (CF)
- TEMPORARY SOIL STOCKPILE AREA (SS)

ANY ALTERATIONS OR REVISIONS OF THESE PLANS, UNLESS DONE BY OR UNDER THE DIRECTION OF THE NYS LICENSED AND REGISTERED ENGINEER THAT PREPARED THEM, IS A VIOLATION OF THE NYS EDUCATION LAW.



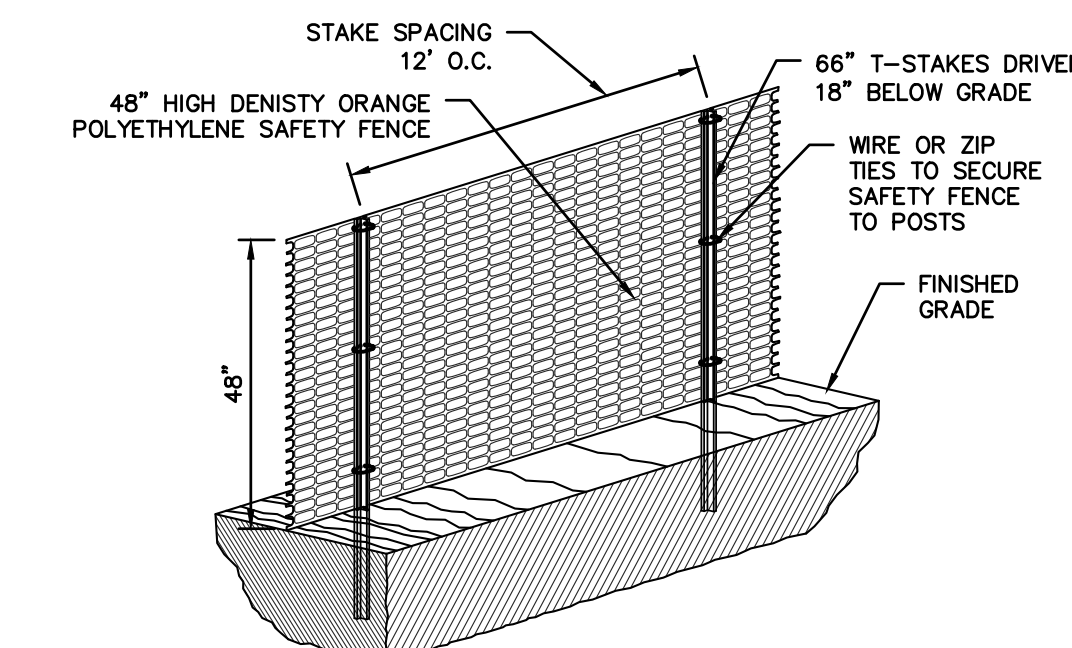
SECTION VIEW



PERSPECTIVE VIEW

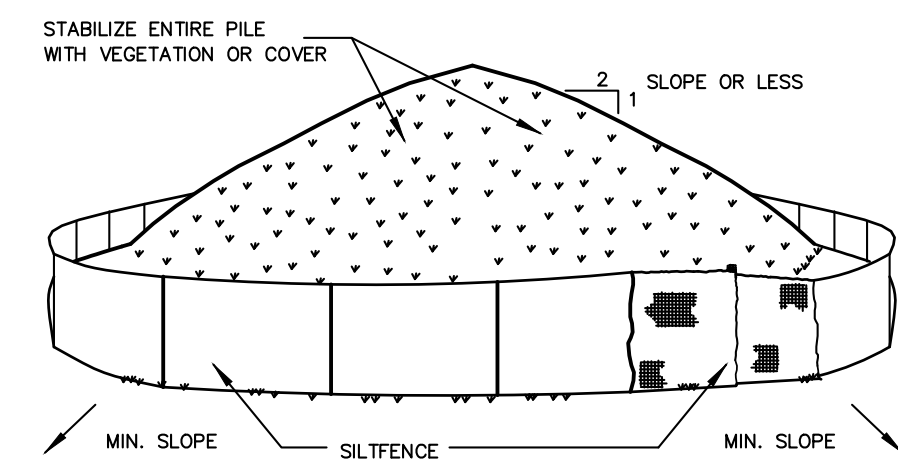
- NOTES:
- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL, EITHER 'T' OR 'U' TYPE OR HARDWOOD.
  - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
  - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
  - PREFABRICATED UNITS SHALL BE GEOTAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
  - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED AND REPLACED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
  - INSTALL FABRIC ON UPHILL SIDE OF SUPPORT POSTS.
  - SILT FENCE SHALL NOT BE USED IN DRAINAGE WAYS.

## REINFORCED SILT FENCE



CONSTRUCTION FENCE

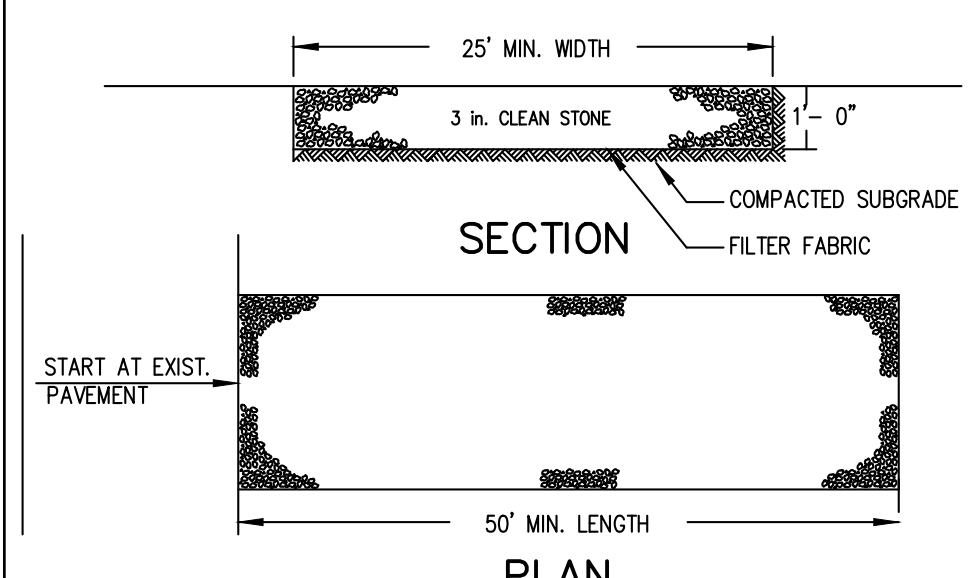
## SOIL STOCKPILING



INSTALLATION NOTES

- INSTALLATION NOTES:
- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
  - SOILS OR FILL TO BE STOCKPILED ON SITE DURING CUTTING AND FILLING ACTIVITIES SHOULD BE LOCATED ON LEVEL PORTIONS OF THE SITE WITH A MINIMUM OF 50-75 FOOT SETBACKS FROM TEMPORARY DRAINAGE SWALES.
  - MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
  - UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
  - STOCKPILES REMAINING IN PLACE FOR MORE THAN A WEEK SHOULD BE SEEDDED AND MULCHED OR COVERED WITH GEOTEXTILE FABRIC SURROUNDED BY SILT FENCE.
  - SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILT FENCE.

## STABILIZED CONSTRUCTION ENTRANCE



- INSTALLATION NOTES:
- STONE SIZE - USE 3" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
  - LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
  - THICKNESS - NOT LESS THAN SIX (6) INCHES.
  - WIDTH - 25 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
  - FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
  - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
  - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
  - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

## INSTALLATION & MAINTENANCE OF EROSION CONTROL:

CONSTRUCTION SCHEDULE  
NOTIFY APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 5 DAYS PRIOR TO START.

EROSION CONTROL MEASURES  
INSTALL ALL EROSION CONTROL MEASURES PRIOR TO START OF CONSTRUCTION. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY  
MAINTENANCE (TO BE PERFORMED DURING ALL PHASES OF CONSTRUCTION)

AFTER ANY RAIN CAUSING RUNOFF, CONTRACTOR TO INSPECT HAYBALES, ETC. AND REMOVE ANY EXCESSIVE SEDIMENT AND INSPECT STOCKPILES AND CORRECT ANY PROBLEMS WITH SEED ESTABLISHMENT.  
INSPECTIONS SHALL BE DOCUMENTED IN WRITING AND SUBMITTED TO THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION.

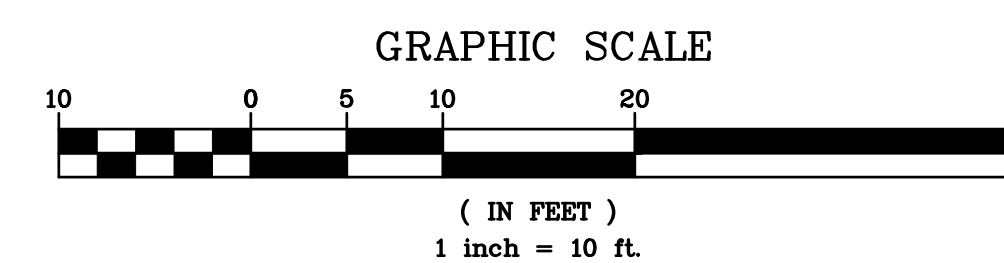
INSPECTION BY MUNICIPALITY - FINAL GRADING  
REMOVE UNNEEDED SUBGRADE FROM SITE.  
CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY - LANDSCAPING  
SPREAD TOPSOIL EVENLY OVER AREAS TO BE SEEDDED. HAND RAKE LEVEL.  
BROADCAST 1.25 LB. BAG OF JONATHAN GREEN "FASTGROW" MIX OR EQUAL OVER AREA TO BE SEEDDED. APPLY STRAW MULCH AND WATER WITHIN 2 DAYS OF COMPLETION OF TOPSOILING. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY - FINAL LANDSCAPING  
GRASS ESTABLISHED.  
CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY - FINAL INSPECTION  
ALL EROSION CONTROL MEASURES REMOVED AND GRASS ESTABLISHED.  
CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

156 PALISADE AVENUE EROSION & SEDIMENT CONTROL PLAN BASED UPON EXISTING INFORMATION PROVIDED BY SUMMIT LAND SURVEYING, P.C., DATED MAY 4, 2019.



No.	Description	Revisions	Date

THIS PLAN NOT VALID FOR CONSTRUCTION WITHOUT ENGINEER'S SEAL & SIGNATURE

PROJECT: PROPOSED MULTI-FAMILY DWELLING  
156 PALISADE AVENUE  
VILLAGE OF DOBBS FERRY  
WESTCHESTER COUNTY - NEW YORK

EROSION & SEDIMENT CONTROL PLAN











HEC & HUDSON ENGINEERING CONSULTING, P.C.  
45 Knollwood Road, Suite 201  
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T: 914-909-0420  
F: 914-560-2086  
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State of New York  
MICHAEL F. STERN  
No. 00857  
LICENSED PROFESSIONAL ENGINEER

Date: 09/29/21 Sheet: 2  
Scale: 1" = 10'  
Designed By: N.S.  
Checked By: M.S.  
Sheet No. C-2



### LEGEND

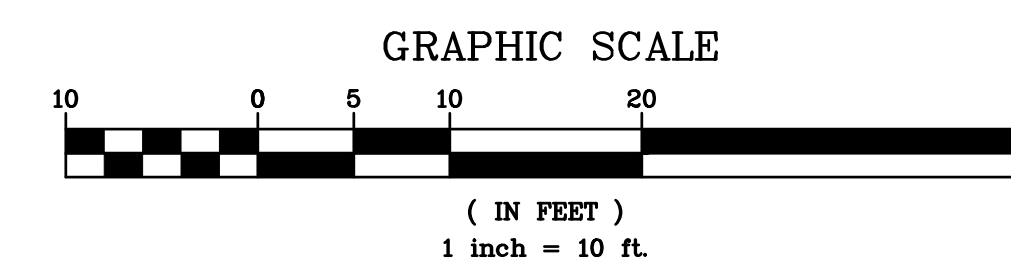
PROPERTY LINE		PROPOSED STORM PIPE	
PROPOSED ASPHALT DRIVEWAY		PROPOSED WATER SERVICE	
PROPOSED WALKWAY/PATIO		PROPOSED SANITARY SEWER SERVICE	
PROPOSED STONE MASONRY WALL		TEST PIT LOCATION	
PROPOSED CONTOUR		PROPOSED LIMIT OF DISTURBANCE	
PROPOSED SPOT GRADE	+116.66		

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TEST HOLE DATA:

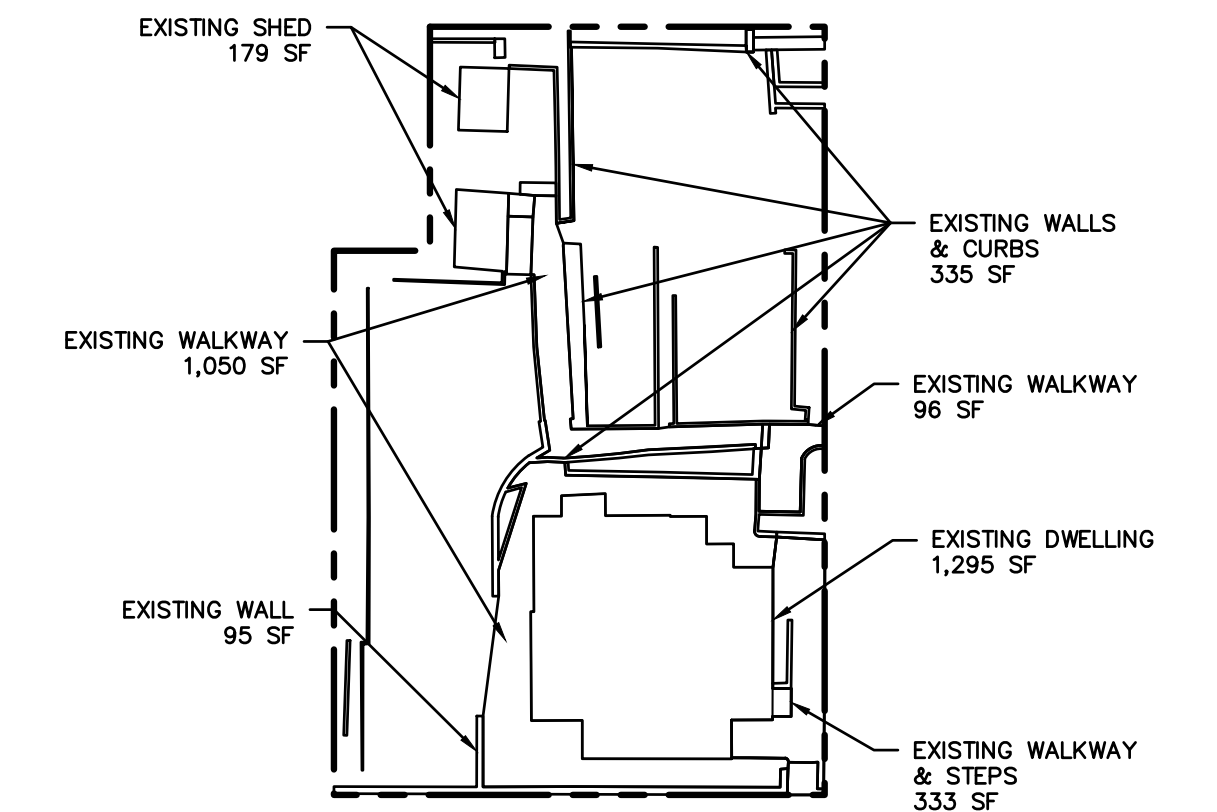
TEST HOLE #1  
DEPTH - 108"  
0-16" TOPSOIL  
16-72" GREY BROWN SANDY SILT  
72-108" BROWN SANDY LOAM  
NO GROUNDWATER  
NO LEDGE ROCK  
PERC. = 9" INCHES/HOUR

156 PALISADE AVENUE STORMWATER  
MANAGEMENT PLAN IS BASED UPON  
EXISTING INFORMATION PROVIDED BY  
SUMMIT LAND SURVEYING, P.C., DATED  
MAY 4, 2019.



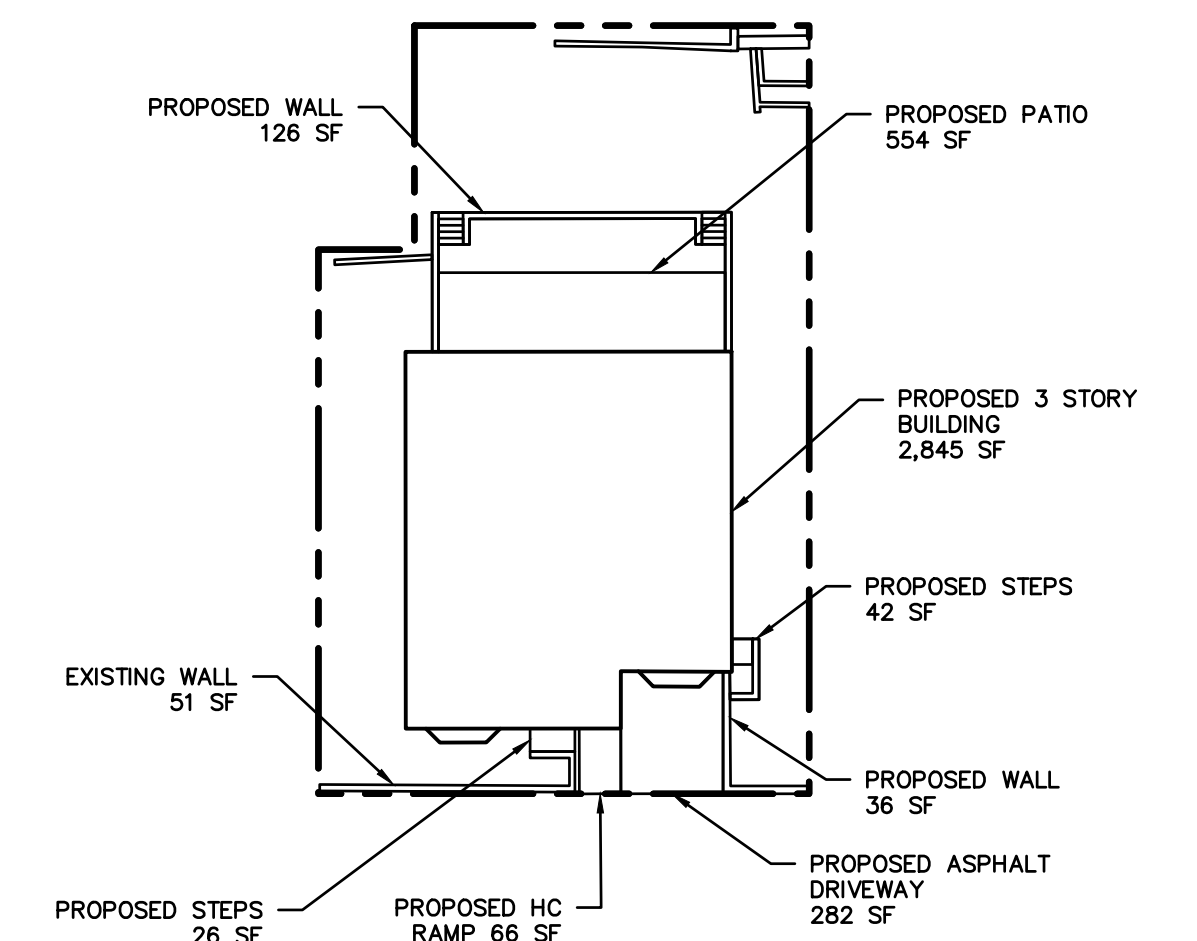
LOT COVERAGE CALCULATIONS (EXISTING)		
SHEET: 3.80	BLOCK: 40	LOT: 32
ZONE: MDR2		EXISTING (S)
AREA OF LOT:		8,975
EXISTING DWELLING(ALL ROOFED AREAS):		1,295
EXISTING PLATS:		167
EXISTING WALKWAYS & STEPS:		1,479
EXISTING CURBS & WALLS:		430
EXISTING ACCESSORY SHEDS:.		179
<b>TOTAL COVERAGE:</b>		<b>3,550</b>

LOT COVERAGE CALCULATIONS (PROPOSED)	
SHEET: 3.80	BLOCK: 40
LOT: 32	
ZONE: MDR2	EXISTING (s)
AREA OF LOT:	8,975
PROPOSED BUILDING (ALL ROOFED AREAS):	2,845
PROPOSED WALLS:	213
PROPOSED RAMP:	66
PROPOSED PATIO:	554
PROPOSED STEPS:	68
PROPOSED ASPHALT DRIVEWAY:	282
<b>TOTAL COVERAGE:</b>	<b>4,028</b>



EXISTING IMPERVIOUS COVERAGE

SCALE: 1"=30'

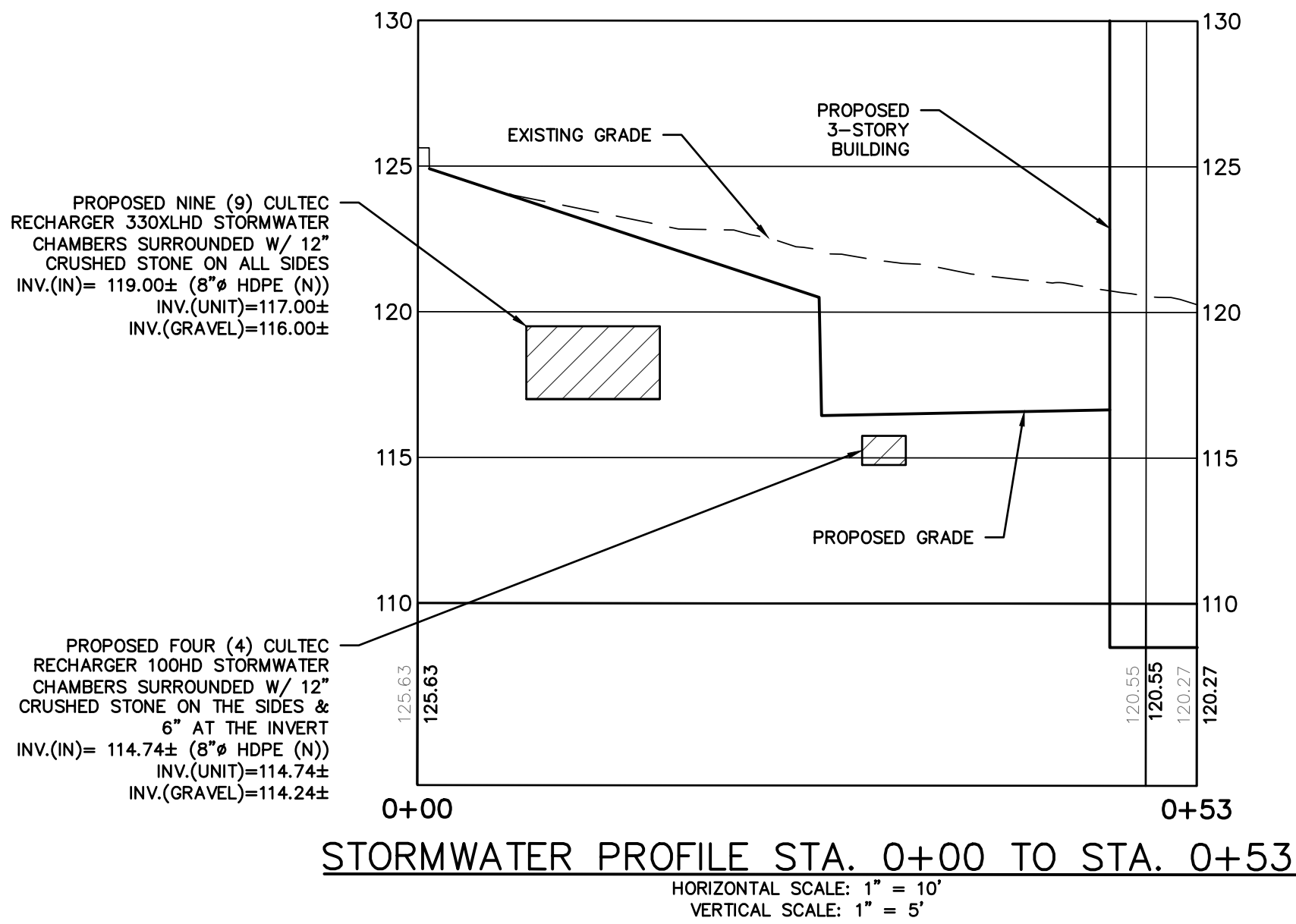


PROPOSED IMPERVIOUS COVERAGE

SCALE: 1"=30'

[illegible]





#### CONSTRUCTION SEQUENCING:

- THE FOLLOWING EROSION CONTROL SCHEDULE SHALL BE UTILIZED:
1. PLACE ORANGE CONSTRUCTION FENCING AROUND AREAS TO BE USED FOR EX-FILTRATION TO AVOID COMPACTION
  2. INSTALL A CONSTRUCTION ENTRANCE TO THE DEVELOPMENT AREA.
  3. ESTABLISH CONSTRUCTION STAGING AREA.
  4. INSTALL TREE PROTECTION ON TREES AS NOTED ON PLANS.
  5. SELECTIVE VEGETATION REMOVAL FOR SILT FENCE INSTALLATION.
  6. INSTALL SILT FENCE DOWN SLOPE OF ALL AREAS TO BE DISTURBED AS SHOWN ON THE PLAN.
  7. REMOVE TREES WHERE NECESSARY (CLEAR AND GRUB) FOR THE PROPOSED CONSTRUCTION.
  8. STRIP TOPSOIL AND STOCKPILE AT THE LOCATIONS SPECIFIED ON THE PLANS (UP GRADIENT OF EROSION CONTROL MEASURES). TEMPORARILY STABILIZE TOPSOIL STOCKPILES (HYDROSEED DURING MAY 1ST THROUGH OCTOBER 31ST PLANTING SEASON OR BY COVERING WITH A TARPULIN(S) NOVEMBER 1ST THROUGH APRIL 30TH. INSTALL SILT FENCE AROUND TOE OF SLOPE.
  9. ROUGH GRADE SITE.
  10. EXCAVATE AND INSTALL EX-FILTRATION SYSTEMS PER MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS. EXFILTRATION SYSTEMS SHALL BE TEMPORARILY PLUGGED UNTIL THE COMPLETION OF CONSTRUCTION AND THE SITE IS STABILIZED.
  11. ROUGH GRADE DRIVEWAYS AND DRAIN INLETS.
  12. INSTALL DRAINAGE WORK TRIBUTARY TO EX-FILTRATION SYSTEMS FROM DRIVEWAY INCLUDING ALL PRETREATMENT DEVICES, CATCH BASINS AND PIPING.
  13. EXCAVATE AND CONSTRUCT FOUNDATIONS FOR NEW DWELLING.
  14. CONSTRUCT BUILDINGS. INSTALL AND CONNECT ALL ROOF DRAIN LEADERS TO PREVIOUSLY INSTALLED EX-FILTRATION SYSTEMS.
  15. INSTALL CURBING, AND SUB-BASE COURSES, FINE GRADE AND SEED ALL DISTURBED AREAS. CLEAN PAVEMENT, DRAIN LINES, CATCH BASINS AND PRETREATMENT DEVICES. CLEAN EX-FILTRATION SYSTEMS. ENSURE GRASS STAND IS ACHIEVED.
  16. UNPLUG EXFILTRATION SYSTEMS. INSTALL AND CONNECT ALL ROOF DRAIN LEADERS TO PREVIOUSLY INSTALLED EXFILTRATION SYSTEMS.
  17. INSTALL 4"-6" TOPSOIL, FINE GRADE, SEED THE ENTIRE PROJECT SITE AND INSTALL LANDSCAPE PLANTINGS. SPREAD SALT HAY OVER SEEDED AREAS.
  18. INSTALL BITUMINOUS CONCRETE TOP COURSE ON DRIVEWAY.
  19. REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES AFTER THE SITE IS STABILIZED WITH VEGETATION.
- \*SOIL EROSION AND SEDIMENT CONTROL MAINTENANCE MUST OCCUR WEEKLY AND PRIOR TO AND AFTER EVERY ½" OR GREATER RAINFALL EVENT.

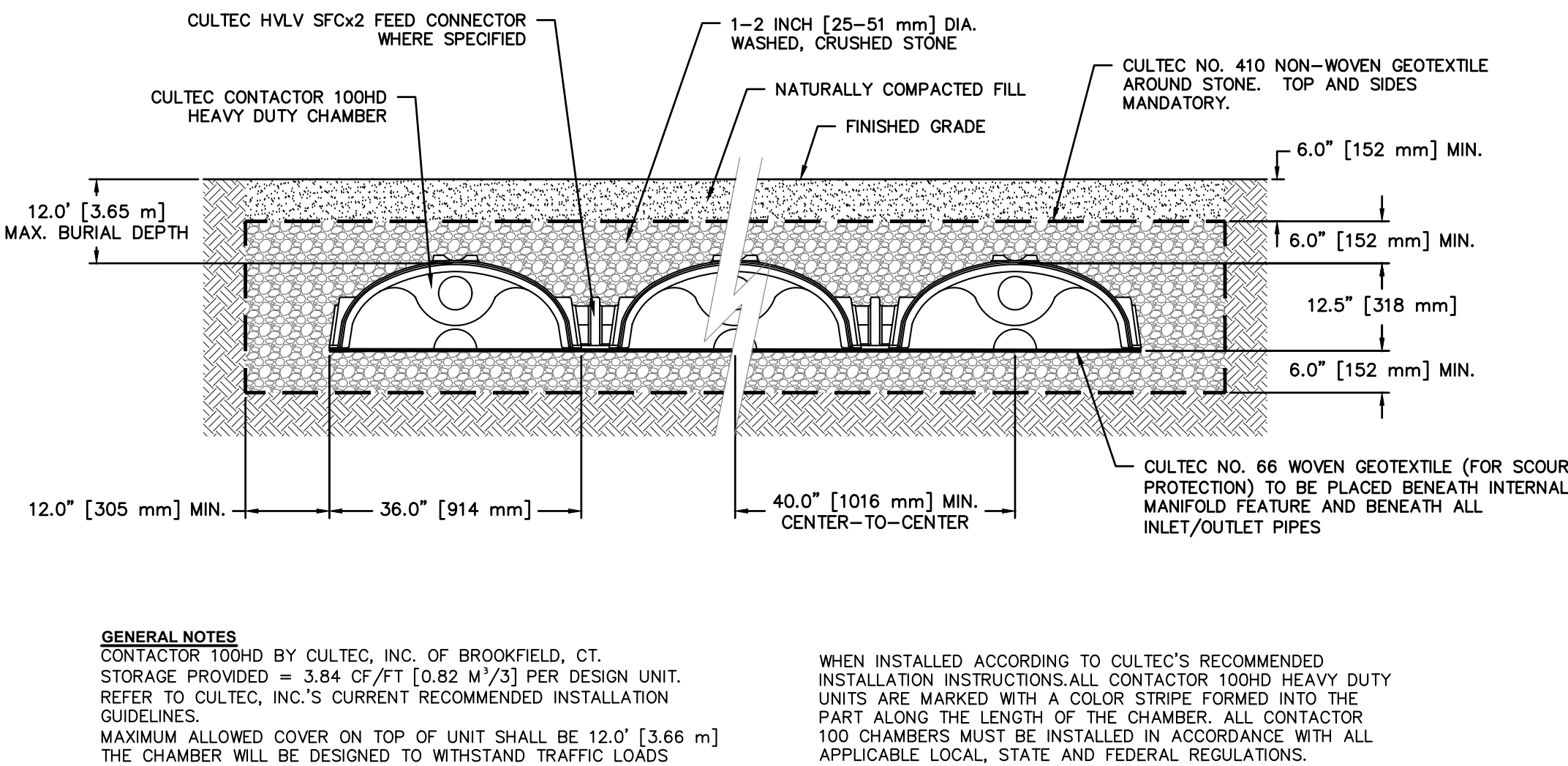
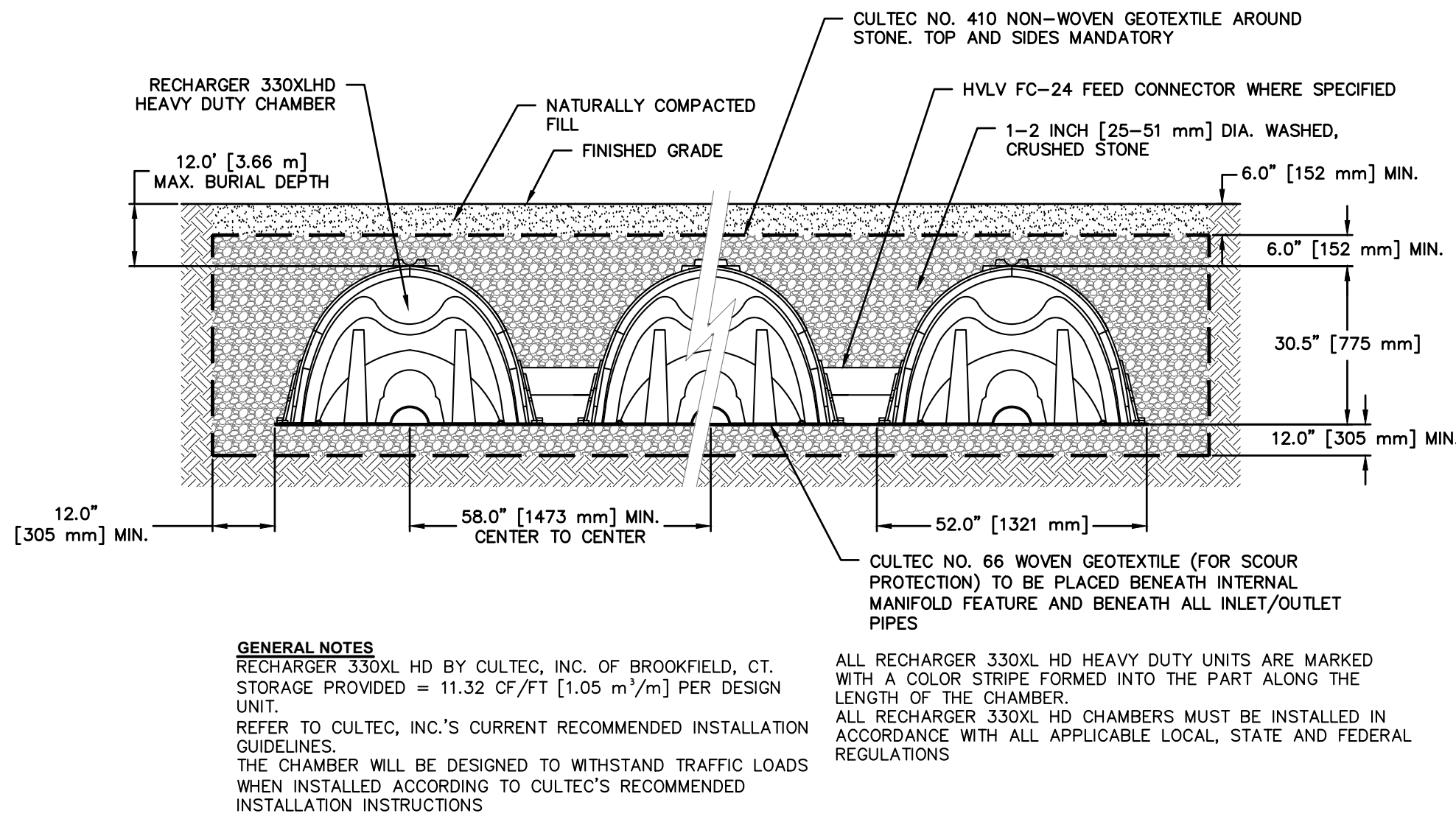
#### STORMWATER MANAGEMENT FACILITIES MAINTENANCE PROGRAM

- THE FOLLOWING MAINTENANCE PLAN HAS BEEN DEVELOPED TO MAINTAIN THE PROPER FUNCTION OF ALL DRAINAGE AND EROSION AND SEDIMENT CONTROL FACILITIES:
- MINIMIZE THE USE OF ROAD SALT FOR MAINTENANCE OF DRIVEWAY AREAS.
  - DRAINAGE INLETS SHALL BE VACUUM SWEEPED TWICE A YEAR, AT THE CONCLUSION OF THE LANDSCAPE SEASON IN THE FALL AND AT THE CONCLUSION OF THE SAND AND DE-ICING SEASON IN THE SPRING. INSPECT EXFILTRATION/ATTENUATION GALLERY FOR SEDIMENT AND REMOVE SAME IF FOUND.
- THE PERMANENT MAINTENANCE PROGRAM WILL BE MANAGED BY THE FUTURE HOMEOWNERS UPON COMPLETION OF CONSTRUCTION AND ACCEPTANCE OF THE IMPROVEMENTS.

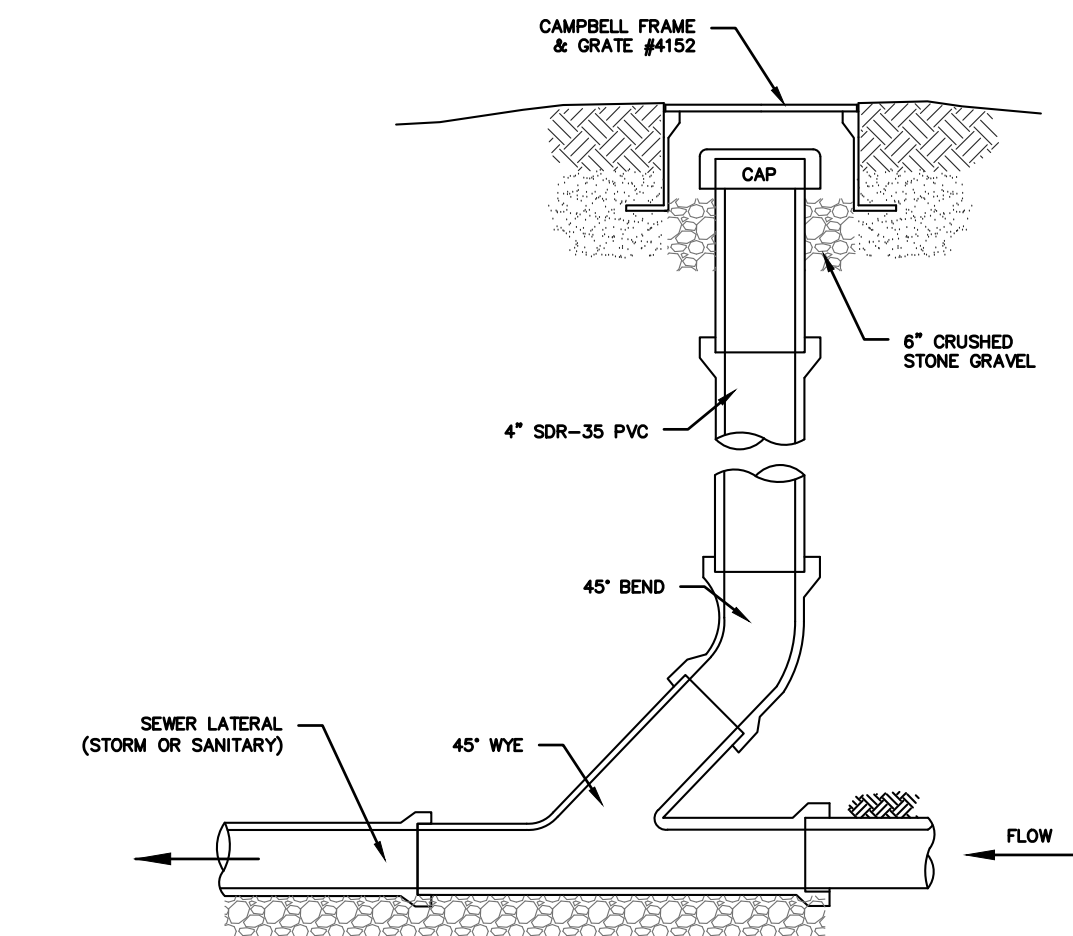
#### NOTES:

1. THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.
2. "AS-BUILT" DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY.
3. INFILTRATION SYSTEM ACCESS PORTS SHALL BE SHOWN ON THE "AS-BUILT"
4. THE INFILTRATION SYSTEM MUST NOT BE CONNECTED UNTIL CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
5. ALL EXISTING TREES SHALL BE PROTECTED WITH A MINIMUM OF 6-INCHES OF WOOD CHIPS OR MULCH IN AREAS PRONE TO COMPACTION DUE TO CONSTRUCTION ACTIVITIES.
6. WHEN TREE ROOTS ARE ENCOUNTERED DURING EXCAVATION, THEY SHALL NEVER BE PULLED WITH MACHINERY. WHERE NECESSARY, CUT ROOTS CLEANLY AND BRIDGE WHEN POSSIBLE.
7. WORK WITHIN DRIP LINE OF TREES SHALL BE COMPLETED BY HAND.
8. FOUNDATION & DECK FOOTINGS TO EXTEND TWO (2') FEET BELOW THE PROPOSED GALLERY IN AREAS WHERE GALLERY CANNOT BE SET FURTHER THAN TEN (10') FEET AWAY FROM FOUNDATION & DECK FOOTINGS.
9. ALL WORK PERFORMED WITHIN THE VILLAGE RIGHT-OF-WAY SHALL BE PERFORMED TO THE SATISFACTION OF THE VILLAGE ENGINEER AND HIGHWAY DEPARTMENT.
10. ALL WORK PERFORMED WITH THE PROPERTY OF THE HOA SHALL BE PERFORMED TO THE SATISFACTION OF THE VILLAGE ENGINEER AND THE HOA.
11. PRIOR TO INSTALLATION OF THE STORMWATER MANAGEMENT SYSTEM IN THE REAR, THE AREA SHOULD BE ROUGH GRADED AND ALLOWED TO SETTLE FOR A FOUR (4) MONTH PERIOD. PERCOLATION TESTING SHALL BE COMPLETED AFTER THIS PERIOD.
12. ALL SOIL REMOVED FOR THE EXCAVATION OF THE FOUNDATION, PIPES AND STRUCTURES IS TO BE STORED ON SITE.

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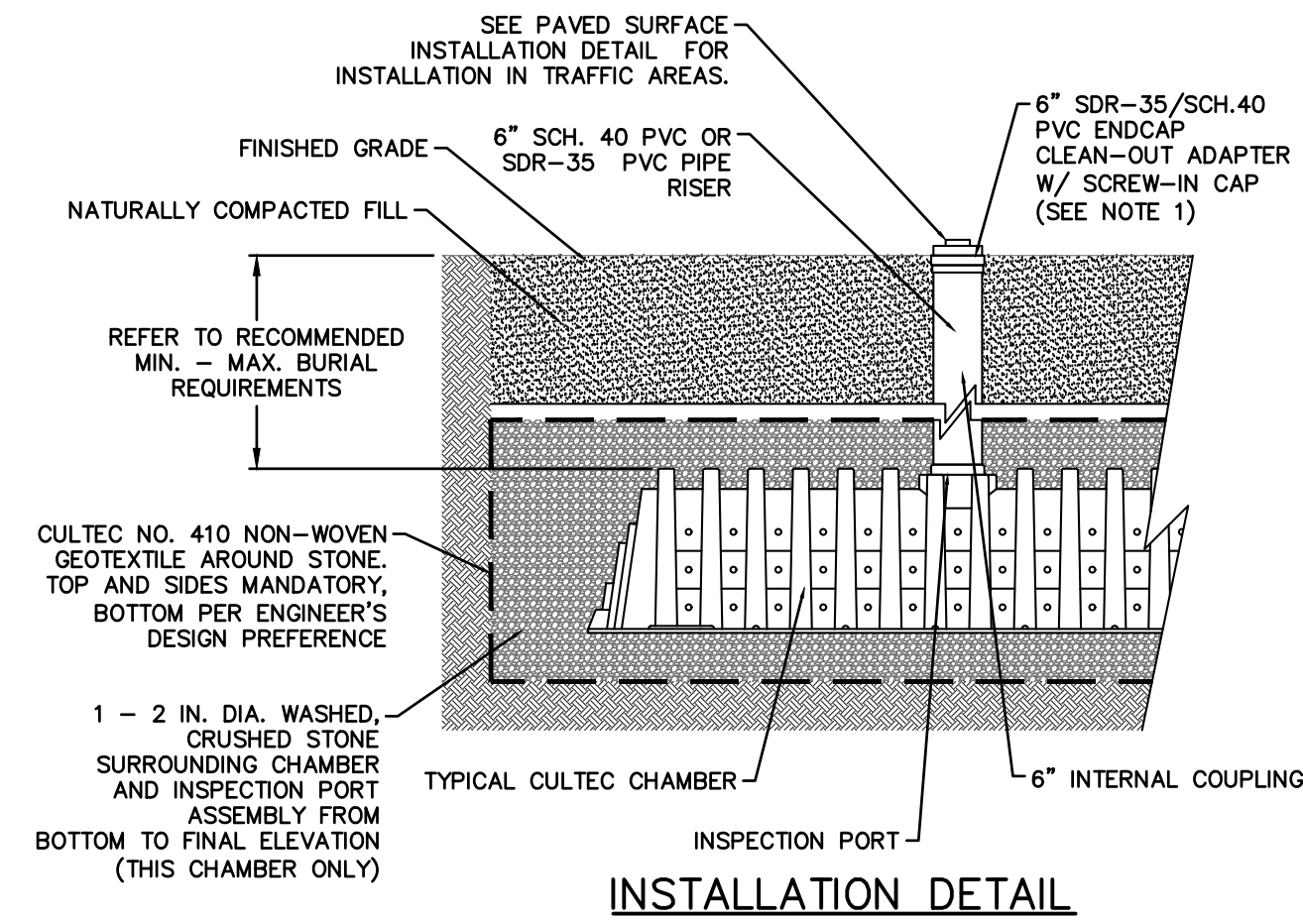
#### CULTEC CONTACTOR 100HD



- NOTES (SANITARY SEWER SERVICES):
1. ALL SANITARY SEWER SERVICES TO BE 4" SCH. 40 @ 1.0% MINIMUM.
  2. IN ACCORDANCE WITH THE NYS RESIDENTIAL BUILDING CODE, THE FOLLOWING REQUIREMENTS APPLY:
    - A. CLEANOUTS SHALL BE INSTALLED NOT MORE THAN 100 FEET APART IN HORIZONTAL DRAINAGE LINES (P3005.2.2).
    - B. CLEANOUTS SHALL BE INSTALLED AT EACH CHANGE OF DIRECTION OF THE DRAINAGE SYSTEM GREATER THAN 45 DEGREES.
    - C. CLEANOUTS SHALL BE INSTALLED SO THAT THE CLEANOUT OPENS TO ALLOW CLEANING IN THE DIRECTION OF THE FLOW OF THE DRAINAGE LINE (P3005.2.8).
- NOTES (STORM SEWER):
1. REFER TO PLAN FOR SPECIFIC PIPE SIZING AND SLOPE SPECIFICATIONS; HOWEVER, IN GENERAL, ALL STORM SEWER SERVICES TO BE 6" SCH. 40 @ 1.0% MINIMUM.
  2. CLEANOUTS SHALL BE PLACED BEFORE SIGNIFICANT PIPE BEND LOCATIONS (I.E., JUNCTIONS, 90-DEGREE BENDS, ETC.) UNLESS A ROOF LEADER DOWNSPOUT CONNECTION IS PROPOSED.

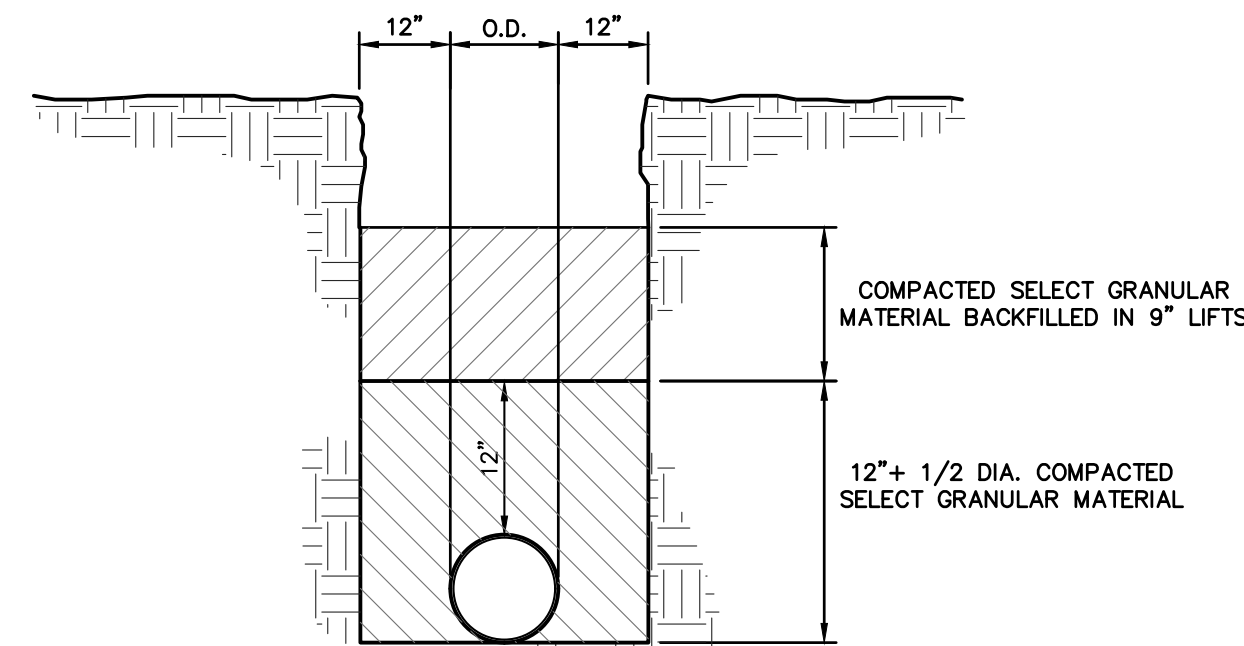
#### SEWER CLEANOUT DETAIL (GRAVITY)

(STORM OR SANITARY)

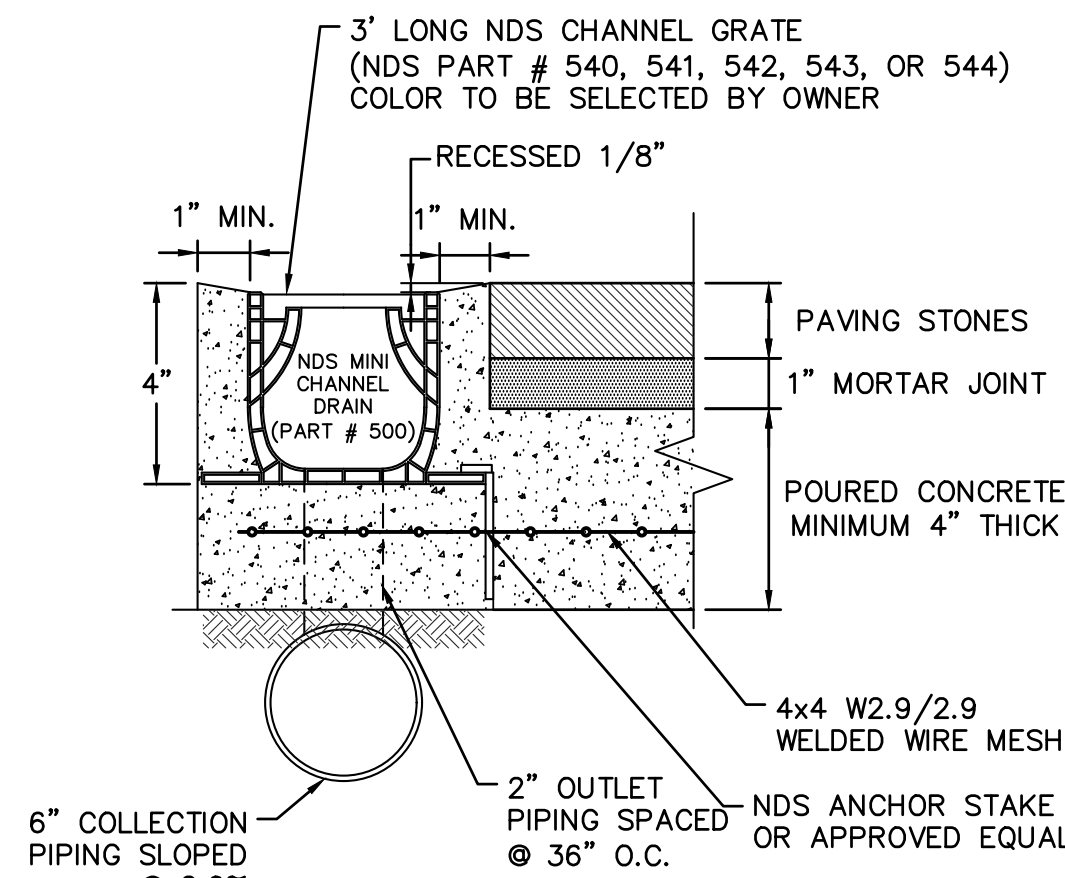


#### NOTES:

1. WHEN ACCESS PORT IS UTILIZED AS SYSTEM OVERFLOW, INSTALL NDS MODEL 50 GRATE. GRATE TO BE SET 1/2" ABOVE ADJACENT GRADE. ADJACENT GRADE TO PITCH AWAY FROM ACCESS PORT IN ALL DIRECTION.
2. INSPECTION PORT NOT TO SERVE AS OVERFLOW WHEN INSTALLED IN PAVED/TRAFFIC AREAS.



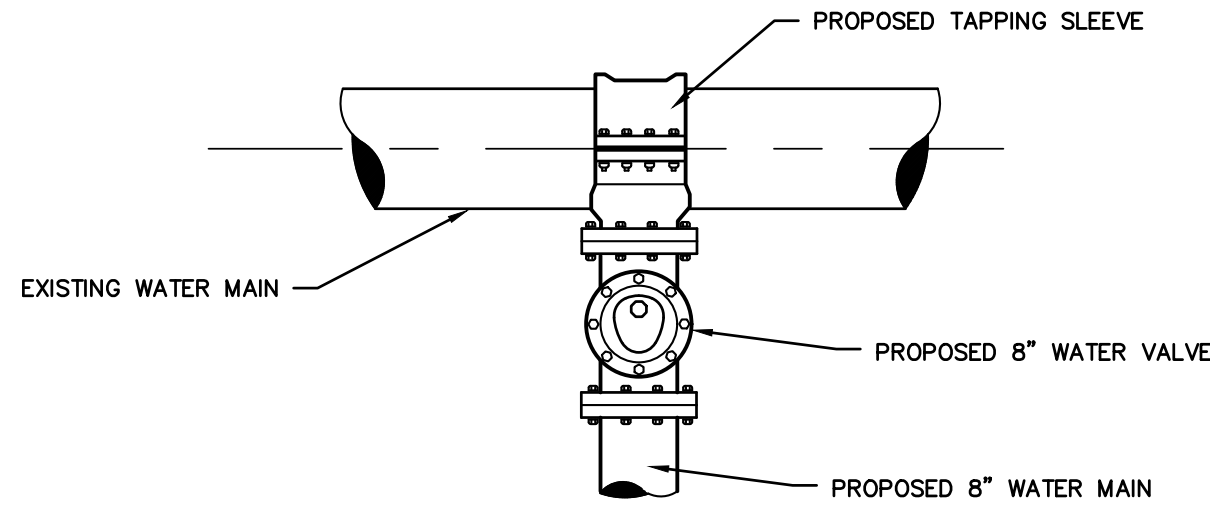
#### TRENCH BEDDING



#### NDS MINI CHANNEL DRAIN

No.	Description	Revisions	Date	PROJECT:
				PROPOSED MULTI-FAMILY DWELLING 156 PALISADE AVENUE VILLAGE OF DOBBS FERRY WESTCHESTER COUNTY – NEW YORK
				DETAILS
				<b>HUDSON</b> ENGINEERING CONSULTING, P.C. 45 Knollwood Road, Suite 201 Elmsford, New York 10523 T: 914-909-0420 F: 914-560-2086 © 2021
THIS PLAN NOT VALID FOR CONSTRUCTION WITHOUT ENGINEERS SEAL & SIGNATURE				 Date: 10/27/21 Sheet: 4 Scale: N.T.S. Designed By: M.S. Checked By: M.S. Sheet No. 5
HEC				C-5

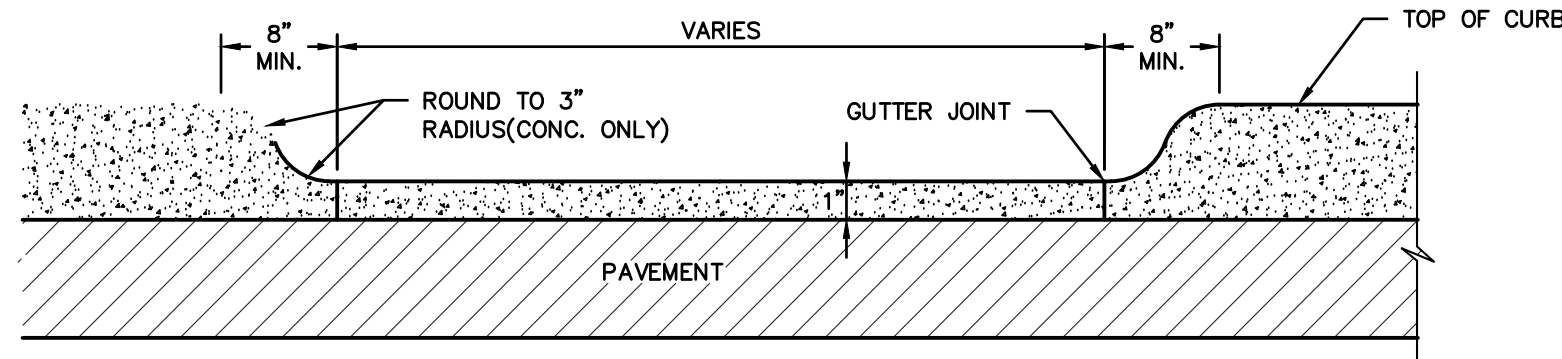




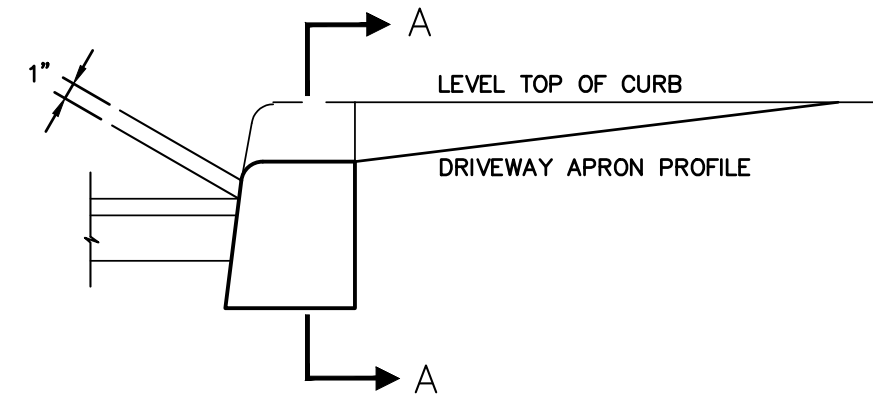
### WET TAP TO EXISTING MAIN

#### NOTES:

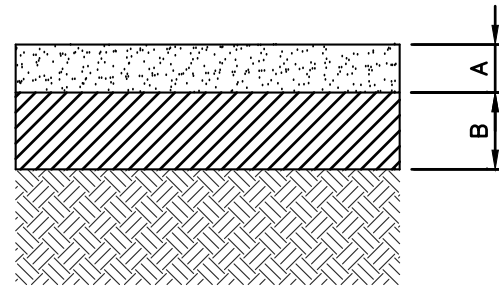
1. CLEAN EXISTING MAIN PRIOR TO INSTALLING TAPPING SLEEVE.
2. PRIOR TO MAKING TAP, THE SLEEVE SHALL BE PRESSURE TESTED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.
3. TAPPING SLEEVE SHALL BE INSTALLED WITHIN THE MANUFACTURER'S REQUIREMENTS.



### SECTION A-A

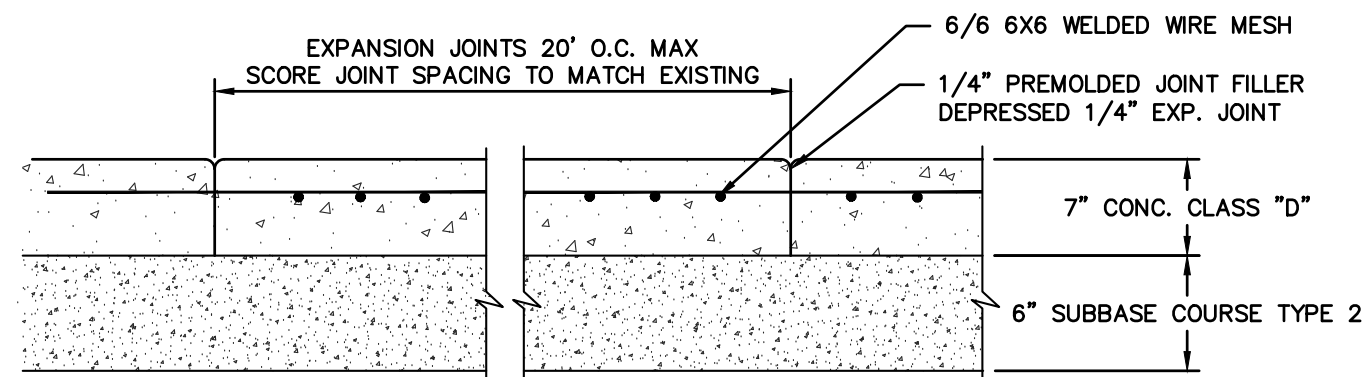


### CURB CUT DETAIL



A- 2" TOP COURSE- N.Y.S.D.O.T. ITEM, 403.178202, TYPE 6 F2  
B- 4" SUBBASE COURSE- N.Y.S.D.O.T. ITEM, 304.12, TYPE 2

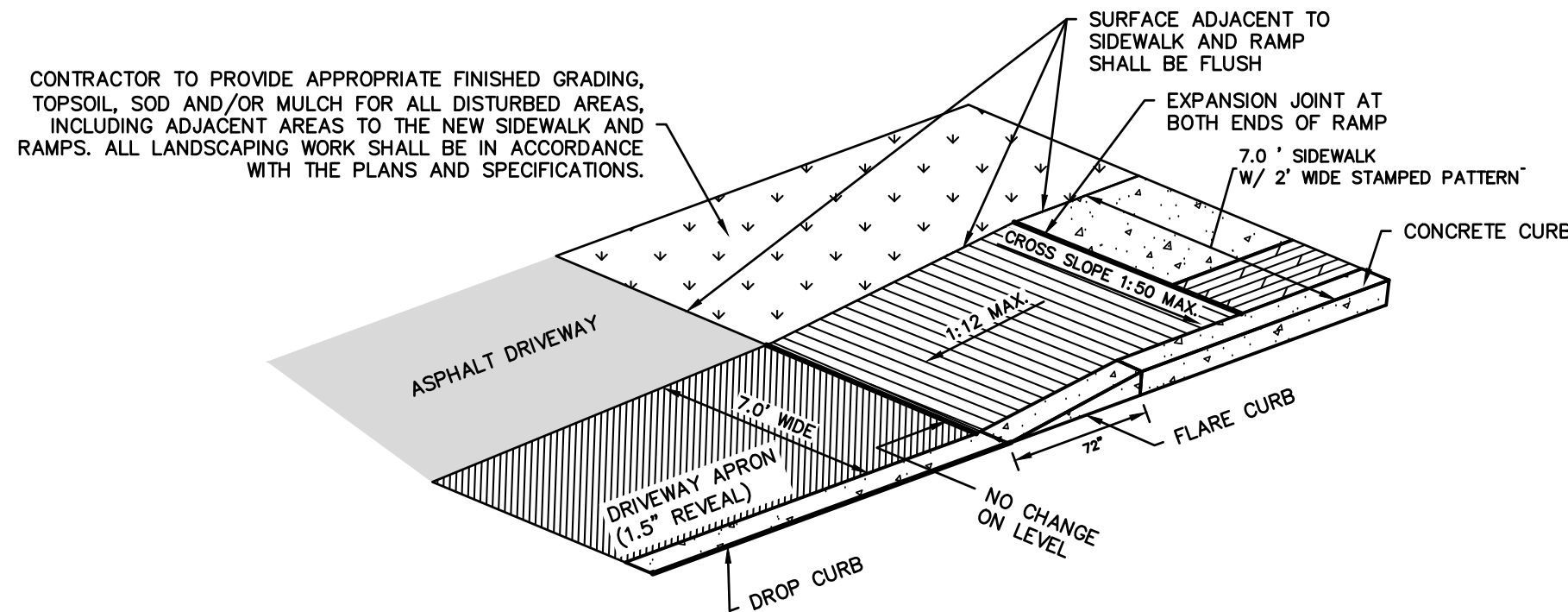
### DRIVEWAY PAVEMENT SECTION



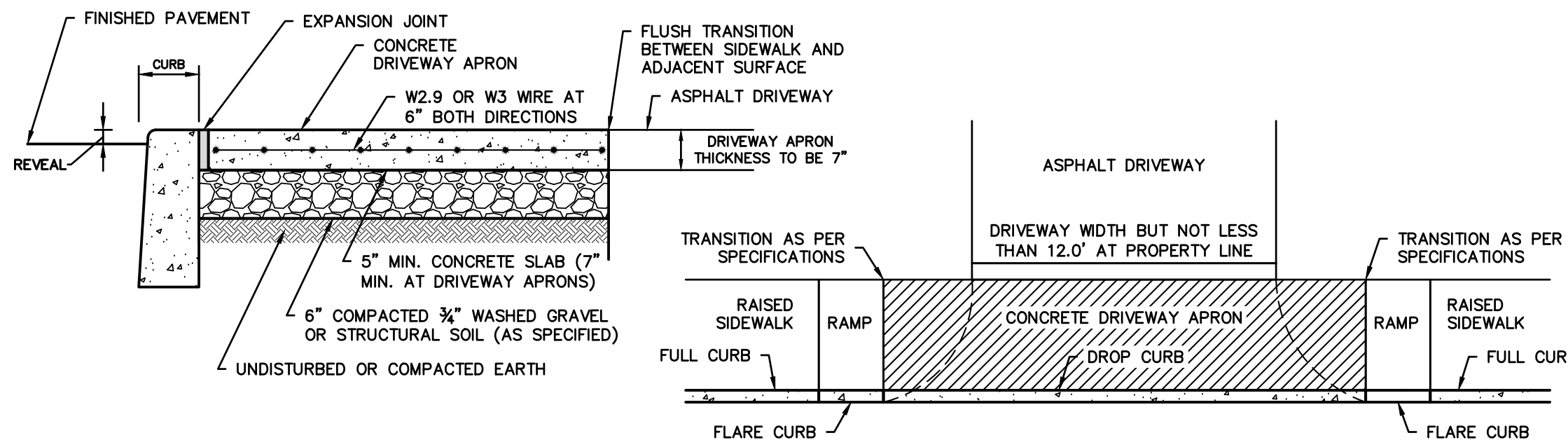
### CONCRETE DRIVEWAY APRON

#### NOTE:

1. PROVIDE EXPANSION JOINT BETWEEN NEW WORK AND EXISTING SIDEWALKS.
2. WHERE NEW APRON IS PROPOSED TO MEET EXISTING SIDEWALKS, SCORE/EXPANSION JOINTS SHALL BE SPACED TO MATCH THE EXISTING SIDEWALK.



### RAMP DETAIL AT DRIVEWAY INTERSECTION



### CONCRETE DRIVEWAY APRON/DROP SIDEWALK

#### RAMP CONSTRUCTION NOTES:

1. ALL RAMP AND SIDEWALK SPECIFICATIONS TO BE IN ACCORDANCE WITH NYS BUILDING CODE, LOCAL CODES, AND TO COMPLY WITH A.D.A CODE REGULATIONS.
2. MAXIMUM SLOPE OF RAMP NOT TO EXCEED 1:12 AND 1:50 CROSS SLOPE.
3. CONTRACTOR TO PROVIDE A STABLE, FIRM, SLIP RESISTANT SURFACE, FREE OF PONDING AND ICE CORNERS.
4. IF A LANDING HAS TO BE INCORPORATED IN RAMP THE MAXIMUM VERTICAL RISE BETWEEN A LANDING OR RESTING SPACE SHALL NOT BE GREATER THAN 30 INCHES.
5. ALL CONCRETE REQUIRED FOR THE NEW CONCRETE CURBS AND SIDEWALKS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF FC = 4,000 PSI AT 28 DAYS.
6. CONCRETE SIDEWALK THICKNESS SHALL BE 5" TYPICAL AND 7" THICK AT DRIVEWAYS
7. ALL STEEL REINFORCING SHALL HAVE A MINIMUM YIELD STRENGTH OF 60,000 PSI.
8. WIRE FABRIC REINFORCEMENT FOR THE CONCRETE SIDEWALK SHALL CONFORM TO THE REQUIREMENTS OF ASTM 1855 AND SHALL BE A MINIMUM 6"x6".
9. PREMOLED BITUMINOUS JOINT FILLER SHALL BE IN ACCORDANCE WITH APPLICABLE SUBSECTIONS OF NEW YORK STATE DEPARTMENT OF TRANSPORTATION SPECIFICATION SECTION 705-07.THE JOINT FILLER SHALL CONFORM TO ASTM D1751 AND BE MIN. 3/8" THICK BY FULL DEPTH OF THE CONCRETE SIDEWALK PLACED AT MAX. 20' O.C.
10. THE CONTRACTOR SHALL APPLY (2) TWO COATS OF ANTI-SPALLING COMPOUND TO THE NEW CONCRETE SIDEWALK AND CURBS. AT THE CONTRACTOR'S OPTION, ONE OF THE FOLLOWING DESCRIBED COMPOUNDS OR APPROVED EQUAL SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS:
  - 10.a. SILICONE ANTI-SPALLING COMPOUND - AN UNDILUTED MATERIAL CONSISTING OF A COLORED SODIUM METHYL SILICONATE MEETING THE FOLLOWING SPECIFICATIONS:
    - 10.a.1. TOTAL SOLIDS 28% MINIMUM
    - 10.a.2. NAZO NOT LESS THAN 9% NOT MORE THAN 10.5%
    - 10.a.3. SILICONE SOLIDS NOT LESS THAN 19.5% NOT MORE THAN 21%
    - 10.a.4. COLOR NOT LIGHTER THAN G.E. (SC-50)(PHENOLPHALEIN) NO. 81565
  - 10.b. DUROK SHIELD - AS MANUFACTURED BY: DUROK BUILDING MATERIALS, INC. HASTINGS-ON-HUDSON, NEW YORK
  11. SIKAGARD CURE/HARD - AS MANUFACTURED BY: SIKA CHEMICAL CORP., LYNDBURST, NEW JERSEY

ANY ALTERATIONS OR REVISIONS OF THESE PLANS, UNLESS DONE BY OR UNDER THE DIRECTION OF THE NYS LICENSED AND REGISTERED ENGINEER THAT PREPARED THEM, IS A VIOLATION OF THE NYS EDUCATION LAW.

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Date: 10/27/21 Sheet: 5 Scale: N.T.S. Designed By: M.S. Checked By: M.S. Sheet No.				STATE OF NEW YORK MICHAEL P. STERN LICENSED PROFESSIONAL ENGINEER No. 00687
				<b>C-5</b>