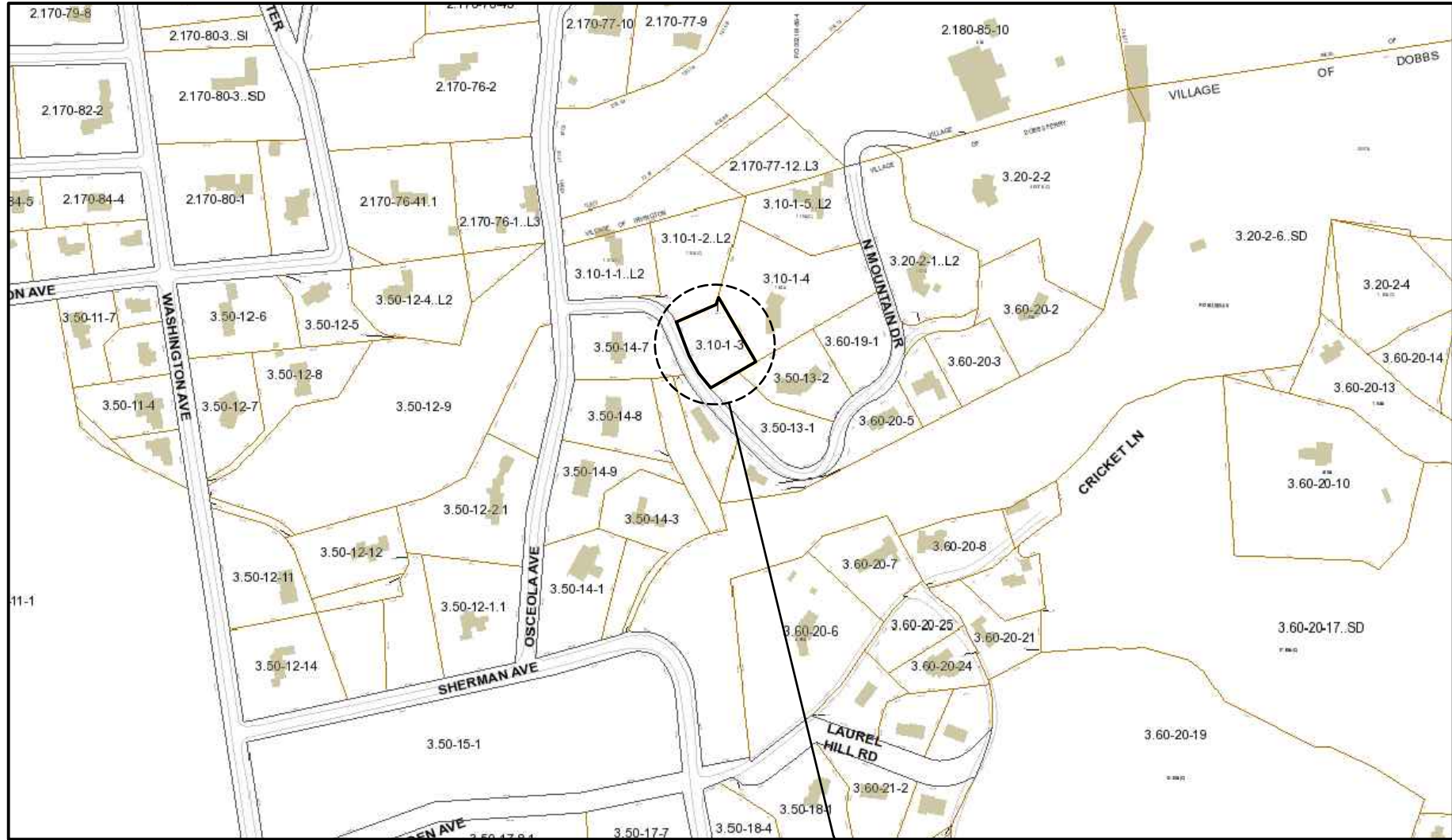




NOT FOR CONSTRUCTION

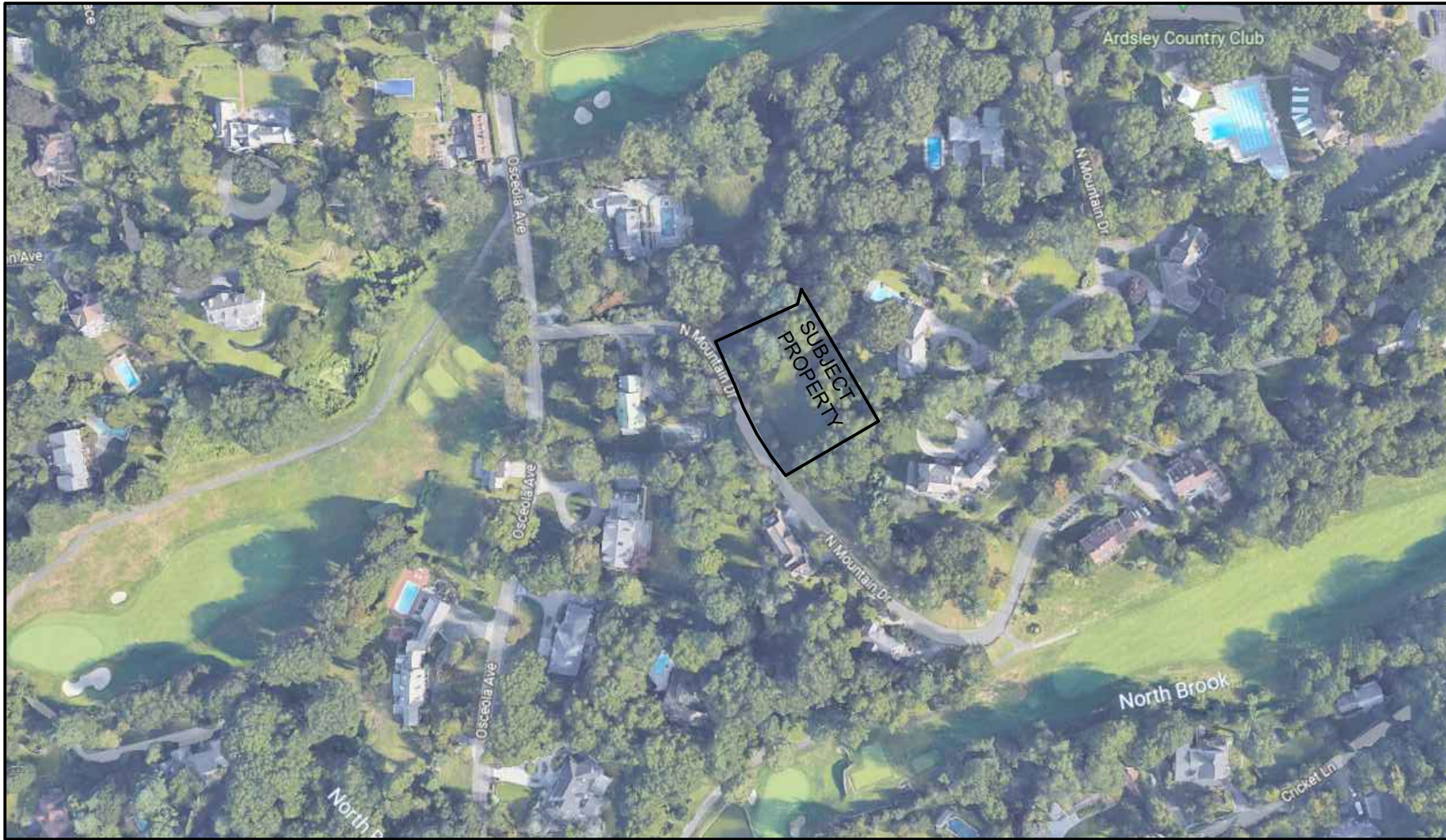
# GIGLIO RESIDENCE

79 NORTH MOUNTAIN DRIVE  
DOBBS FERRY, N.Y. 10522

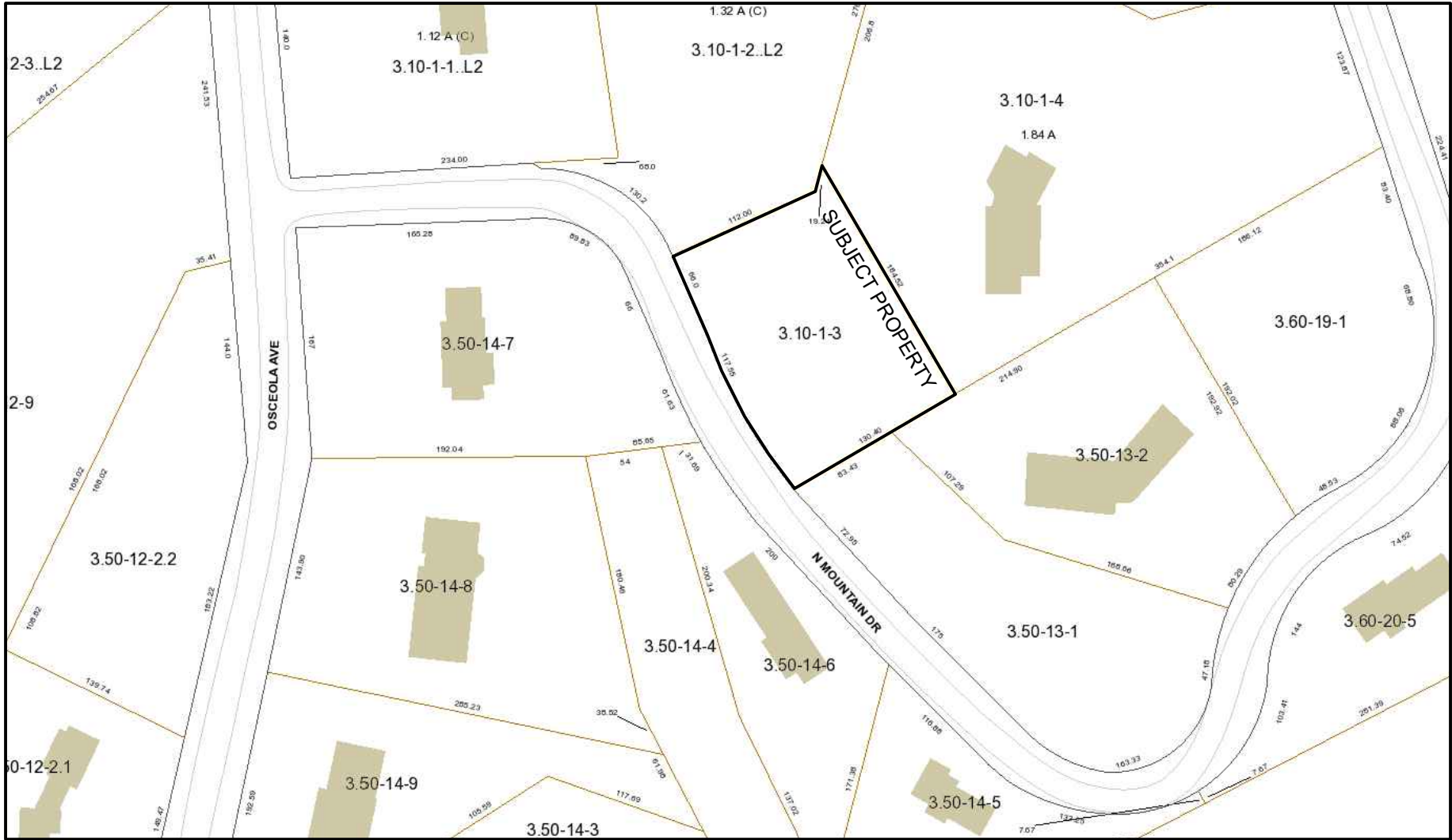


**SITE LOCATION MAP**  
NOT TO SCALE

SUBJECT  
PROPERTY



**AERIAL LOCATION MAP**  
NOT TO SCALE



**VICINITY MAP**  
NOT TO SCALE

| CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA |                                |                         |                |                             |  |                        |                     |         |                 |   |               |                          |                        |
|---|--------------------------------|-------------------------|----------------|-----------------------------|--|------------------------|---------------------|---------|-----------------|---|---------------|--------------------------|------------------------|
| GROUND<br>SNOW LOAD                     | WIND DESIGN                    |                         |                |                             | SEISMIC<br>DESIGN<br>CATEGORY<br>(RCNT ONLY) | SUBJECT TO DAMAGE FROM |                     |         | CLIMATE<br>ZONE | ICE BARRIER<br>UNDERLAYMENT<br>REQUIRED | FLOOD HAZARDS | AIR<br>FREEZING<br>INDEX | MEAN<br>ANNUAL<br>TEMP |
|   | SPECIAL<br>WIND SPEED<br>(MPH) | TOPO<br>EFFECTS         | WIND<br>REGION | WINDBORNE<br>DEBRIS<br>ZONE |  | WEATHERING             | FROST LINE<br>DEPTH | TERMITE |                 |   |               |                          |                        |
|   | 30 LBS / SQ.FT.                | *SPECIAL<br>WIND REGION | NO             | YES                         |  |                        |                     |         |                 |   |               |                          |                        |

\* 115 MPH to 120 MPH, the special wind region should serve as warning to design professionals in evaluating wind loading conditions. Wind speeds higher than the derived values taken from Section 1609 of the IBC and Figure R301.2 (4) A of the IRC are likely to occur and should be considered in the design.

\*\* State if applicable. For flood hazards the Design Professional shall state if they are applicable, Y/N. Verify with FIRM Maps. Maps are available on the FEMA web site <http://www.floodmap.floodsimple.com/>

| INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENTS               |                            |                        |                                |                      |                                 |                        |                    |                               |                              |
|--|----------------------------|------------------------|--------------------------------|----------------------|---------------------------------|------------------------|--------------------|-------------------------------|------------------------------|
| CLIMATE<br>ZONE  | FENESTRATION<br>U - FACTOR | SKYLIGHT<br>U - FACTOR | GLAZED<br>FENESTRATION<br>SHGC | CEILING<br>R - VALUE | WOOD<br>FRAME WALL<br>R - VALUE | MASS WALL<br>R - VALUE | FLOOR<br>R - VALUE | BASEMENT<br>WALL<br>R - VALUE | SLAB<br>R - VALUE<br>& DEPTH |
| TABLE R402.1.1 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT |                            |                        |                                |                      |                                 |                        |                    |                               |                              |
| 4A   | 0.27                       | 0.50                   | 0.4                            | 49                   | 20 + 5                          | 15 / 20                | 30                 | 15 / 19                       | 10 , 4 FT                    |
| TABLE R402.1.4 EQUIVALENT FACTORS                                    |                            |                        |                                |                      |                                 |                        |                    |                               |                              |
| 4A   | 0.27                       | 0.50                   | 0.4                            | 0.0026               | 0.045                           | 0.058                  | 0.033              | 0.047                         | 0.050                        |

| MANUAL J DESIGN CRITERIA          |          |                          |                          |                               |                              |                               |                                  |
|-----------------------------------|----------|--------------------------|--------------------------|-------------------------------|------------------------------|-------------------------------|----------------------------------|
| ELEVATION                         | LATITUDE | WINTER HEATING           | SUMMER COOLING           | ALTITUDE CORRECTION<br>FACTOR | INDOOR DESIGN<br>TEMPERATURE | DESIGN TEMPERATURE<br>COOLING | HATING TEMPERATURE<br>DIFFERENCE |
| 179                               | 41       | 7                        | 87                       | 1                             | 68                           | 75                            | 61                               |
| COOLING TEMPERATURE<br>DIFFERENCE |          | WIND VELOCITY<br>HEATING | WIND VELOCITY<br>COOLING | COINCIDENT WET<br>BULB        | DAILY RANGE                  | WINTER HUMIDITY               | SUMMER HUMIDITY                  |
| 12                                |          | 20.4                     | 7.5                      | 72                            | M                            | 30                            | 55                               |

| LIST OF DRAWINGS |  | FOR<br>ZBA<br>MEETING<br>09-14-2022 | FOR<br>PLANNING<br>BOARD<br>MEETING<br>11-09-2022 | FOR<br>PLANNING<br>BOARD<br>MEETING<br>01-05-2023 | FOR<br>PB AND<br>AHRB<br>MEETING<br>02-02-2023 |
|------------------|--|-------------------------------------|---|---|--|
| CS               | LIST OF DRAWINGS, LOCATION MAPS, AND DESIGN CRITERIA | ● 08-24-2022                        | ● 10-13-2022                                      | ● 12-19-2022                                      | ● 01-19-2023                                   |
| GN- 1            | GEN. NOTES, PR.DESC., CONST. SEQ., ROCK REMOV. NOTES |                                     |   | ● 12-09-2022                                      | ● 01-19-2023                                   |
| GN- 2            | DOOR AND WINDOW SCHEDULES, FINISH SCHEDULES          |                                     |   |   | ● 01-19-2023                                   |
| SP - 1.0         | PROPOSED SITE PLAN                                   | ● 08-24-2022                        | ● 10-13-2022                                      | ● 12-08-2022                                      | ● 01-19-2023                                   |
| SP - 1.1         | SLOPES ANALYSIS                                      | ● 06-15-2022                        | ● 06-15-2022                                      | ● 06-15-2022                                      | ● 06-15-2022                                   |
| SP - 1.2         | SLOPES ANALYSIS                                      | ● 06-15-2022                        | ● 06-15-2022                                      | ● 06-15-2022                                      | ● 01-19-2023                                   |
| SP - 1.3         | PROPOSED TREE REMOVAL PLAN                           |                                     | ● 10-13-2022                                      | ● 12-08-2022                                      | ● 01-19-2023                                   |
| SP - 1.4         | PROPOSED PERMEABLE PAVING PLAN AND DETAILS           |                                     |   | ● 12-08-2022                                      | ● 01-19-2023                                   |
| SP - 1.5         | PROPOSED GRADING PLAN AND RETAINING WALL DETAILS     |                                     |   | ● 12-08-2022                                      | ● 01-19-2023                                   |
| SP - 2           | PROPOSED FLOOR PLANS                                 |                                     | ● 10-13-2022                                      | ● 10-13-2022                                      |  |
| SP - 3.0         | PROPOSED ELEVATIONS                                  |                                     | ● 10-13-2022                                      | ● 11-29-2022                                      |  |
| SP - 3.1         | PROPOSED ELEVATIONS AND SKY EXPOSURE PLANE           |                                     |   | ● 01-02-2023                                      | ● 01-19-2023                                   |
| SP - 4           | PROPOSED SITE CROSS SECTIONS                         |                                     |   | ● 10-13-2022                                      | ● 01-19-2023                                   |
| A-2.0            | BASEMENT FLOOR PLAN                                  |                                     |   |   | ● 01-19-2023                                   |
| A-2.1            | FIRST FLOOR PLAN                                     |                                     |   |   | ● 01-19-2023                                   |
| A-2.2            | SECOND FLOOR PLAN                                    |                                     |   |   | ● 01-19-2023                                   |
| A-3.1            | SOUTH AND WEST ELEVATIONS                            |                                     |   |   | ● 01-19-2023                                   |
| A-3.2            | NORTH AND EAST ELEVATIONS                            |                                     |   |   | ● 01-19-2023                                   |
| A-3.3            | EXTERIOR DETAILS                                     |                                     |   |   | ● 01-19-2023                                   |
| A-3.4            | EXTERIOR DETAILS                                     |                                     |   |   | ● 01-19-2023                                   |

TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED, THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE CURRENTLY IN EFFECT.



WARNING:  
IT IS A VIOLATION OF THE NEW YORK STATE EDUCATIONAL LAW ARTICLE 145 SECTION 7209 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT, ENGINEER OR LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY.



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www.integralegr.com : w

PROJECT TITLE:  
**GIGLIO RESIDENCE**  
79 NORTH MOUNTAIN DRIVE  
DOBBS FERRY, N.Y. 10522  
PROJECT NO.: 2207

**GOTHAM DESIGN**  
AND COMMUNITY  
DEVELOPMENT LTD.

329 Broadway  
Dobbs Ferry, N.Y. 10522  
Phone: ( 914 ) 693-5093  
Fax: ( 914 ) 693-5390  
email: arch329@gmail.com

ISSUED / REVISIONS  
REVISED LIST OF DRAWINGS 11-29-2022  
REVISED LIST OF DRAWINGS 12-19-2022  
REVISED LIST OF DRAWINGS 01-19-2023

SHEET TITLE:  
**COVER SHEET**

DATE:  
**10-13-2022**  
SCALE:  
**AS NOTED**  
DRAWN BY:  
**SSJ**  
CHECKED BY:  
**PRS**

**CS**



## PROJECT DESCRIPTION

- SEE THIS SHEET

## GENERAL NOTES

- THESE DRAWINGS PERTAIN TO THE ATTACHED DRAWINGS.
- THESE DRAWINGS, TOGETHER WITH THE SPECIFICATIONS AND CONTRACT FOR CONSTRUCTION, COMPRISE THE CONTRACT DOCUMENTS FOR THIS PROJECT.
- THE DRAWINGS AND SPECIFICATIONS ARE TO BE CONSIDERED AS COMPLEMENTARY. ALL LABOR, MATERIALS, EQUIPMENT, AND APPURTENANCES NECESSARY FOR THE EXECUTION OF THE WORK, IF SHOWN ON THE DRAWINGS BUT NOT DESCRIBED IN THE SPECIFICATIONS, OR IF DESCRIBED IN THE SPECIFICATIONS BUT NOT SHOWN ON THE DRAWINGS, AND ANY WORK WHICH IS NECESSARY TO COMPLETE THE WORK WITHIN THE LIMITS ESTABLISHED BY THE DRAWINGS AND SPECIFICATIONS, IS TO BE EXECUTED IN THE SAME MANNER AS THE OTHER PORTIONS OF THE CONTRACT. FOR VERIFICATION CONTACT GOTHAM DESIGN.
- ALL CONSTRUCTION WORK MUST BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE LAWS, REGULATIONS, ORDINANCES, BUILDING CODES, AND REQUIREMENTS OF THE VILLAGE OF DOBBS FERRY, THE COUNTY OF WESTCHESTER, THE STATE OF NEW YORK, THE FEDERAL GOVERNMENT, AND ALL OTHER AUTHORITIES HAVING JURISDICTION OVER THE WORK TO BE PERFORMED.
- ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE 2020 NEW YORK STATE RESIDENTIAL CODE AND NEW YORK STATE STRETCH CODE AND THE 2020 NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE RESIDENTIAL PROVISIONS, LATEST EDITION.
- EACH CONTRACTOR PERFORMING WORK ON THIS PROJECT IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR THEIR WORK, FOR COORDINATING AND SCHEDULING ALL REQUIRED INSPECTIONS OF THEIR WORK, AND OBTAINING ALL REQUIRED APPROVALS OF THEIR WORK FROM ALL AUTHORITIES HAVING JURISDICTION.

## BUILDING CODE CRITERIA

- CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA - DOBBS FERRY NY

- CONSTRUCTION TYPE: TYPE 5B - COMBUSTIBLE

- OCCUPANCY: - ONE FAMILY DWELLING

- FIRE RATINGS:

|                        |                                 |
|------------------------|---------------------------------|
| EXTERIOR BEARING WALLS | 3/4 HOUR (MODIFIED UL No. U326) |
| INTERIOR BEARING WALLS | 3/4 HOUR (UL No. 10317)         |
| COMMON WALLS           | 2 HOUR (UL 263)                 |
| FLOOR CONSTRUCTION 1   | 1 HOUR (UL No. L537)            |
| ROOF CONSTRUCTION      | 3/4 HOUR                        |

THE REQUIREMENTS FOR FIRE RATINGS OF THESE COMPONENTS IN TYPE 5B CONSTRUCTION IS 0 HOURS. THE FIRE RATINGS NOTED ABOVE EXCEED THE REQUIREMENTS.

ALL INTERIOR AND EXTERIOR BEARING WALL, FLOOR, AND ROOF ASSEMBLIES SHALL BE FIRE BLOCKED AS REQUIRED BY CODE.

- DESIGN LOADS: ROOF DL = 10 PSF SNOW LOAD = 30 PSF  
FLOOR DL = 25 PSF LL = 40 PSF

- TAPE AND COMPOUND ALL INSIDE GYPSUM BOARD CORNERS; CORNER BEAD AND COMPOUND ALL OUTSIDE GYPSUM BOARD CORNERS, J-BEAD AND COMPOUND ALL TERMINATION EDGES OF GYPSUM BOARD WHERE EXPOSED. ALL GYPSUM BOARD WORK IS TO BE IN ACCORDANCE WITH GYPSUM CONSTRUCTION HANDBOOK, UNITED STATES GYPSUM, LATEST EDITION.

## SCOPE OF WORK

- THE CONTRACTOR IS TO FURNISH AND INSTALL ALL MATERIALS, EQUIPMENT, AND LABOR REQUIRED FOR COMPLETION OF THIS PROJECT AS INDICATED ON THE CONTRACT DOCUMENTS EXCEPT AS IDENTIFIED AS EXCLUDED IN THE SPECIFICATIONS OR NOTED AS NIC (NOT IN CONTRACT) ON THE DRAWINGS.
- THE ONLY ITEMS TO BE EXCLUDED FROM THE BID PRICE FOR THE CONTRACTED SCOPE OF WORK ARE THOSE IDENTIFIED IN THE BID DOCUMENTS AND IN THE SPECIFICATIONS.
- ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THE QUALITY STANDARDS IDENTIFIED IN THE CORRESPONDING SECTION OF THE SPECIFICATIONS.
- EACH CONTRACTOR IS TO FURNISH ALL MATERIALS, LABOR, TOOLS, MACHINERY, SCAFFOLDING, EQUIPMENT, APPURTENANCES, AND APPLIANCES NECESSARY FOR THE PROPER HANDLING AND EXECUTION OF THE WORK.
- EACH CONTRACTOR WILL HANDLE AND STORE THE MATERIALS IN A SECURED AREA, PROTECTED FROM ADVERSE CONDITIONS, IN ACCORDANCE WITH THE MANUFACTURERS' INSTRUCTIONS, SO AS TO MAINTAIN A SAFE AND SECURE WORK SITE, AND SO AS TO PROTECT THE PREMISES AND MATERIALS FROM DAMAGE OR DETRIORATION.
- SITE WORK**
- ALL SITE WORK SHALL BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS INCLUDING THE SPECIFIC REQUIREMENTS OF THE VILLAGE OF DOBBS FERRY BUILDING DEPARTMENT.
- STORM WATER RUNOFF FROM THE PROPOSED ROOF AREAS WILL BE COLLECTED IN ROOF GUTTERS. THESE GUTTERS WILL CONNECT VIA DOWNSPOUTS TO THE EXISTING STORM DRAINAGE SYSTEM.
- ALL EXCAVATED MATERIAL, EXCEPT THAT WHICH WILL BE REQUIRED FOR BACKFILLING, WILL BE REMOVED FROM THE SITE AS SOON AS PRACTICAL. IF STOCKPILING IS NECESSARY, MATERIAL MAY ONLY BE PLACED WHERE INDICATED BY GOTHAM DESIGN AND MUST BE PROTECTED TO PROHIBIT EROSION OR SEDIMENTATION INTO THE EXISTING STREAM, TO ADJACENT PROPERTIES, PUBLIC STREETS, OR SIDEWALKS, AND MAY NOT BE PLACED UNDER THE CANOPY OF TREES.
- ALL EXISTING TREES ON THE PROPERTY SHALL BE PROTECTED AT ALL TIMES AND TEMPORARY FENCING WILL BE INSTALLED AROUND TREES ADJACENT TO THE WORK AREA AT THE DRIP LINE.
- NO MATERIALS OR DEBRIS MAY BE STOCKPILED WITHIN THE DRIP LINE OF ANY TREE AT ANY TIME.
- IN THE EVENT IT BECOMES NECESSARY TO REMOVE ANY TREES ON THE PROPERTY, ALL REQUIRED REMOVAL PERMITS SHALL BE OBTAINED PRIOR TO ANY TREE BEING JEOPARDIZED.

## COORDINATION

- USE LABELED DIMENSIONS ONLY. DO NOT SCALE DIMENSIONS FROM THE DRAWINGS. FOR CLARIFICATION, CONTACT GOTHAM DESIGN.
- IN THE EVENT OF DIMENSIONAL DISCREPANCIES, CONFLICTS OR MISSING DIMENSIONS, CONTACT GOTHAM DESIGN FOR VERIFICATION PRIOR TO PROCEEDING WITH THE WORK.
- IN THE EVENT OF DISCREPANCIES OR CONFLICTS BETWEEN THE EXISTING CONDITIONS, CONSTRUCTION CONDITIONS, AND THE CONTRACT DOCUMENTS, CONTACT GOTHAM DESIGN FOR VERIFICATION PRIOR TO PROCEEDING WITH THE WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING THE LOCATION OF ALL FRAMING MEMBERS AND SYSTEMS TO BE INSTALLED INCLUDING PLUMBING, HEATING, AIR CONDITIONING, ELECTRICAL, FIXTURES AND OTHER EQUIPMENT TO AVOID CONFLICTS AND UNNECESSARY OR EXCESSIVE NOTCHING, CUTTING, OR OTHER DISTURBANCE OF STRUCTURAL COMPONENTS.
- DO NOT CLOSE-OFF OR OBSTRUCT DRIVEWAYS, STREETS, WALKS, OR OTHER FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS, AS REQUIRED BY GOVERNING REGULATIONS.
- CONDUCT DEMOLITION AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES AND TO AVOID DISTURBANCE TO THE EXISTING RESIDENCE.
- ALL CONTRACTORS FURNISHING WORK MUST COOPERATE WITH THE OWNER AND WITH EACH OTHER TO MAINTAIN AN EFFICIENT AND SAFE JOB SITE.
- MAINTAIN EXISTING UTILITIES. DO NOT DISRUPT UTILITY SERVICES TO THE EXISTING RESIDENCE WITHOUT APPROPRIATE AUTHORIZATION FROM UTILITY COMPANIES. IF DISRUPTION OF UTILITIES IS NECESSARY, PROVIDE TEMPORARY SERVICE AS REQUIRED. IN THE EVENT UTILITIES MUST BE DISCONNECTED AND SERVICES INTERRUPTED, CONTRACTOR MUST PROVIDE 48 HOUR ADVANCE NOTICE TO THE OWNER AND OTHER CONTRACTORS FURNISHING SERVICES.
- CONTRACTORS FURNISHING WORK MUST PROTECT ADJACENT EXISTING SURFACES AND NEW WORK AT ALL TIMES. DAMAGES MUST BE CORRECTED IN A TIMELY FASHION AT NO EXPENSE TO THE OWNER OR OTHER CONTRACTORS. EACH CONTRACTOR IS RESPONSIBLE FOR PROTECTING THEIR WORK UNTIL ACCEPTANCE BY THE OWNER.

## DISPUTES

- GOTHAM DESIGN HAS THE AUTHORITY TO NEGOTIATE SETTLEMENTS IN DISPUTES CONCERNING THE OBLIGATIONS OR WORK TO BE PERFORMED EITHER BETWEEN THE CONTRACTORS OR BETWEEN THE CONTRACTORS AND THE OWNER.
- GOTHAM DESIGN HAS THE AUTHORITY TO REJECT WORK WHICH DOES NOT CONFORM WITH THE INTENT OF THE CONTRACT DOCUMENTS. WORK REJECTED BY GOTHAM DESIGN DUE TO FAILURE TO CONFORM WITH THE INTENT OF THE CONTRACT DOCUMENTS MUST BE CORRECTED BY THE CONTRACTOR WITHOUT ADDITIONAL EXPENSE TO THE OWNER

- IN MATTERS REGARDING THE QUALITY, QUANTITY, AND AESTHETIC EFFECT OF THE WORK, GOTHAM DESIGN'S DECISIONS WILL BE CONSIDERED FINAL.

## ERRORS AND OMISSIONS

- THE CONTRACTOR IS RESPONSIBLE TO THE OWNER FOR ERRORS AND OMISSIONS IN THE WORK AND FOR FAILURE TO PERFORM IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- THE CONTRACTOR'S SERVICES MUST BE PERFORMED IN A SKILLFUL AND COMPETENT MANNER IN ACCORDANCE WITH ACCEPTED STANDARDS OF THE CONSTRUCTION INDUSTRY AND WITH THE REQUIREMENTS OF THOSE AGENCIES HAVING JURISDICTION OR OTHERWISE IDENTIFIED IN THE SPECIFICATIONS.
- THE CONTRACTOR WILL PROVIDE ALL WORK DETERMINED BY GOTHAM DESIGN TO BE MISSING OR INCOMPLETE. WORK DETERMINED BY GOTHAM DESIGN TO BE MISSING OR INCOMPLETE MUST BE FURNISHED AND COMPLETED BY THE CONTRACTOR WITHOUT ADDITIONAL EXPENSE TO THE OWNER.
- THE CONTRACTOR MUST REPLACE ALL WORK DETERMINED BY GOTHAM DESIGN TO BE INSTALLED IMPROPERLY OR SUBSTANDARD WITHOUT ADDITIONAL EXPENSE TO THE OWNER.

## CHANGES

- ANY CHANGES IN THE ACCEPTED CONTRACT DOCUMENTS OR IN THE COMPLETED WORK WHICH WILL EFFECT THE SCOPE OF WORK, QUALITY AND AESTHETIC EFFECT OF THE WORK, OR THE CONTRACT PRICE REQUIRES A CHANGE ORDER APPROVED BY GOTHAM DESIGN. THIS CHANGE ORDER MUST FIRST BE SUBMITTED TO THE OWNER FOR REVIEW AND APPROVAL PRIOR TO BEING EXECUTED BY THE CONTRACTOR.
- NO CHANGES, ALTERATIONS, OR MODIFICATIONS TO THE DESIGN, THE CONTRACT DOCUMENTS, OR THE PROPOSED OR COMPLETED WORK ARE PERMISSIBLE BY ANY PARTY, INCLUDING THE OWNER AND THE CONTRACTOR, WITHOUT A WRITTEN CHANGE ORDER APPROVED BY GOTHAM DESIGN.

## SUBSTITUTIONS

- SUBSTITUTIONS OF MATERIALS, PRODUCTS, OR METHODS ARE PERMISSIBLE ONLY WITH PRIOR WRITTEN AUTHORIZATION FROM GOTHAM DESIGN.
- GOTHAM DESIGN WILL CONSIDER REQUESTS FOR SUBSTITUTIONS UP TO FIVE DAYS PRIOR TO INITIATION OF WORK.

## CLEAN UP

- CONTRACTOR SHALL PROTECT THE EXISTING RESIDENCE FROM DUST INFILTRATION AND DAMAGE FROM DEBRIS WITH TEMPORARY BARRIERS AND PROTECTION BOARDS.
- EACH CONTRACTOR IS RESPONSIBLE FOR CLEANING THEIR WORK AREAS AND REMOVING ALL DEBRIS ASSOCIATED WITH THEIR WORK FROM THE PREMISES AT THE END OF EACH WORK DAY. ALL DEBRIS MUST BE DISPOSED OF IN ACCORDANCE WITH ALL REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
- EACH CONTRACTOR IS RESPONSIBLE FOR MAKING SURE THAT THEIR WORK AREA IS LEFT BROOM CLEAN AT THE END OF EACH WORK DAY.

## SAFETY REQUIREMENTS

- NO WORK SHALL COMMENCE UNTIL AN EXCAVATION PERMIT OR A BUILDING PERMIT HAS BEEN ISSUED BY THE DOBBS FERRY BUILDING DEPARTMENT. ALL WORK SHALL INCORPORATE THE BEST PRACTICES FOR DUST CONTROL AND SITE PROTECTION.
- ROCK REMOVAL WORK SHALL BE LIMITED TO THE HOURS BETWEEN 9:00 AM AND 5:00 PM MONDAY THROUGH FRIDAY. NO WORK IS PERMITTED ON NATIONAL HOLIDAYS OR WEEKENDS.

- EACH CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF ALL LADDERS, SCAFFOLDS, OR OTHER EQUIPMENT USED UNDER THEIR JURISDICTION AND IN CONNECTION WITH THEIR WORK.
- EACH CONTRACTOR IS RESPONSIBLE FOR ALL PROPERTY INCLUDING MATERIALS, EQUIPMENT, TOOLS, AND APPURTENANCES DELIVERED TO THE JOB SITE UNDER THEIR JURISDICTION AND IN CONNECTION WITH THEIR WORK WHICH IS STOLEN FROM THE PROPERTY OR DAMAGED ON THE PREMISES.

## RESPONSIBILITY

- EACH CONTRACTOR AND SUBCONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR ALL ACCIDENTS RESULTING IN INJURY TO PERSONS OR DAMAGE TO PROPERTY CAUSED BY THE FAULT OR NEGLIGENCE OF THEMSELVES, THEIR AGENTS, EMPLOYEES, OR SUBCONTRACTORS.
- EACH CONTRACTOR IS RESPONSIBLE FOR ALL PROPERTY INCLUDING MATERIALS, EQUIPMENT, TOOLS, AND APPURTENANCES DELIVERED TO THE JOB SITE UNDER THEIR JURISDICTION AND IN CONNECTION WITH THEIR WORK WHICH IS STOLEN FROM THE PROPERTY OR DAMAGED ON THE PREMISES.
- EACH CONTRACTOR INDEMNIFIES AND HOLDS THE OWNER AND GOTHAM DESIGN HARMLESS FROM ALL LIABILITIES AND LOSS BECAUSE OF INJURY TO ANY PERSON OR DAMAGE TO ANY PROPERTY THAT MAY OCCUR OR MAY BE ALLEGED TO HAVE OCCURRED DURING THE PERFORMANCE OF THE WORK AS A RESULT, EITHER DIRECTLY OR INDIRECTLY, OF THE CONTRACTORS FAULT OR NEGLIGENCE OR THAT OF THEIR AGENTS, EMPLOYEES, OR SUB CONTRACTORS AND WHETHER OR NOT SUCH INJURY OR DAMAGE IS ALSO ATTRIBUTABLE TO THE OWNER'S FAULT OR NEGLIGENCE.
- GOTHAM DESIGN AND ITS CONSULTANTS HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL, OR DISPOSAL, OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE JOB SITE INCLUDING, BUT NOT LIMITED TO, ASBESTOS PRODUCTS, POLYCHLORIDE BIPHENYL (PCB), LEAD, OR OTHER TOXIC SUBSTANCES.
- IN THE EVENT THAT THE CONTRACTOR DISCOVERS HAZARDOUS MATERIALS ON THE SITE, ALL WORK SHALL BE HALTED IMMEDIATELY AND THE REMOVAL OR CONTAINMENT OF THE HAZARDOUS MATERIAL SHALL BE CONDUCTED IN STRICT COMPLIANCE WITH THE REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION.
- THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING PROPER HANDLING METHODS FOR ALL MATERIALS ON THE SITE AND FOR INSTRUCTING ALL WORKERS IN PRECAUTIONS, RISKS, AND REQUIREMENTS FOR THE PROPER HANDLING OF POTENTIALLY HAZARDOUS MATERIALS IN ACCORDANCE WITH ALL AUTHORITIES HAVING JURISDICTION INCLUDING, BUT NOT LIMITED TO, OSHA.

## INSURANCE

- EACH CONTRACTOR AND SUBCONTRACTOR MUST OBTAIN AND MAINTAIN AN ACCIDENT AND PUBLIC LIABILITY INSURANCE POLICY FOR THIS PROJECT COVERING FROM COMMENCEMENT THROUGH COMPLETION OF ALL WORK. EACH CONTRACTOR AND SUBCONTRACTOR MUST FURNISH A BINDER TO THE OWNER FROM THE CONTRACTOR'S INSURANCE AGENT INDICATING THE TYPE AND AMOUNTS OF COVERAGE. THE MUNICIPALITY, THE OWNER, AND GOTHAM DESIGN SHALL BE NAMED AS "ADDITIONAL INSURED" ON THE BINDER.
- BY ACCEPTING THE CONTRACT TO WORK ON THIS PROPERTY, THE CONTRACTOR AGREES TO DEFEND, INDEMNIFY, KEEP, AND SAVE HARMLESS THE OWNER, THE PROPERTY, AND GOTHAM DESIGN AND THEIR REPRESENTATIVES, AGENTS AND EMPLOYEES IN BOTH INDIVIDUAL AND OFFICIAL CAPACITIES AGAINST ALL SUITS, CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING ATTORNEY'S FEES, CAUSED BY, RELATED TO, OR INCIDENTAL TO THE PERFORMANCE OF THE WORK UNDER THE CONTRACT BY THE CONTRACTOR OR ITS SUBCONTRACTORS UP TO THE FULL EXTENT WHICH WOULD OTHERWISE RENDER THESE PROVISIONS VOID OR UNENFORCEABLE.
- EACH CONTRACTOR AND SUBCONTRACTOR MUST PROVIDE AND MAINTAIN WORKER'S COMPENSATION INSURANCE IN ACCORDANCE WITH NEW YORK STATE REQUIREMENTS FOR ALL EMPLOYEES FURNISHING LABOR FOR THIS PROJECT. NO ONE MAY WORK ON THIS PROJECT WITHOUT BEING COVERED BY WORKER'S COMPENSATION INSURANCE. THE WORKER'S COMPENSATION POLICY SHALL BE INCLUDED ON THE INSURANCE BINDER.
- CERTIFICATES OF INSURANCE ACCEPTABLE TO THE OWNER MUST BE FILED WITH THE OWNER PRIOR TO THE COMMENCEMENT OF THE WORK.
- THE OWNER MUST OBTAIN AND MAINTAIN LIABILITY INSURANCE AS WILL PROTECT HIM FROM HIS CONTINGENT LIABILITY FOR INJURY AND DAMAGES WHICH MAY ARISE DURING THE WORK OF THIS PROJECT AND FROM ANY OTHER LIABILITY FOR WHICH THE CONTRACTORS ARE REQUIRED TO BE INSURED UNDER THE PROVISIONS OF THE CONTRACT.
- THE OWNER MUST OBTAIN AND MAINTAIN FIRE INSURANCE INCLUDING EXTENDED COVERAGE AND MALICIOUS MISCHIEF COVERAGE ON THE STRUCTURE AND CONTENTS TO 100 PERCENT OF THE INSURABLE VALUE THEREOF, PROTECTING THE OWNER'S INTEREST. THE CONTRACTORS' INTERESTS, AND THE SUBCONTRACTORS' INTERESTS, AS USED HEREIN, INCLUDES EACH PARTY'S PROPERTY AND THE PROPERTY OF OTHERS FOR WHICH THEY ARE RESPONSIBLE, INCLUDING ALL MATERIALS, EQUIPMENT, AND SUPPLIES.

## WAIVER OF LIENS

- EACH CONTRACTOR IS RESPONSIBLE FOR PROVIDING A WAIVER OF LIEN TO THE BENEFIT OF THE OWNER IN A FORM ACCEPTABLE TO GOTHAM DESIGN COVERING ALL LABOR, MATERIALS, AND OTHER EXPENSES AT THE TIME COMPENSATION IS RECEIVED FOR SAME.
- SUBSEQUENT PAYMENTS TO CONTRACTORS WILL NOT BE PAID UNTIL AN ACCEPTABLE WAIVER OF LIENS HAS BEEN RECEIVED FOR PREVIOUS WORK OF THE SAME CONTRACTOR.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING WAIVERS OF LIENS FROM ALL SUPPLIERS AND SUBCONTRACTORS FURNISHING LABOR AND MATERIALS THROUGH THE GENERAL CONTRACTOR.
- A RELEASE OF ALL LIENS TO THE BENEFIT OF THE OWNER IN A FORM ACCEPTABLE TO GOTHAM DESIGN SHALL BE PROVIDED BY THE CONTRACTOR AT THE TIME OF FINAL PAYMENT.

## PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF THE CONSTRUCTION OF A SINGLE-FAMILY HOME WITH AN ATTACHED THREE-CAR GARAGE ON A PARCEL WITH A GROSS AREA OF 23,337 SQUARE FEET. AS PROPOSED THIS HOUSE WILL HAVE A BUILDING COVERAGE OF APPROXIMATELY 4,200 SQUARE FEET AND AN IMPERVIOUS SURFACE AREA OF APPROXIMATELY 33.3%, EXCLUDING Pervious PAVING. THE PROPOSED HOUSE WILL HAVE A KITCHEN WITH A DEFINED BREAKFAST AREA, DINING ROOM, LIBRARY, FAMILY ROOM, PANTRY, AND HOME OFFICE ON THE FIRST FLOOR, AS WELL AS A LAUNDRY, THREE-FIXTURE BATHROOM AND A POWDER ROOM. THERE IS A MAIN ENTRY/STAIR HALL, AND A SEPARATE FAMILY ENTRY WITH CLOSETS AND AN ACCESS TO THE GARAGE. THE PROPOSED SECOND FLOOR WILL HAVE A MASTER BEDROOM SUITE WITH SLEEPING CHAMBER, WALK-IN CLOSETS, AND PRIVATE BATHROOM. THERE ARE ALSO TWO SEPARATE BEDROOMS WITH PRIVATE BATHROOMS AND A LAUNDRY ROOM ON THE SECOND FLOOR. THERE IS AN ATTIC SPACE ACCESSIBLE FROM THE SECOND FLOOR ABOVE THE GARAGE. THE PORTION OF THE BASEMENT THAT IS ABOVE GRADE AT THE NORTHWEST CORNER OF THE HOUSE WILL INCLUDE A RECREATION ROOM WITH A SEPARATE BATHROOM. ALSO PROPOSED IN THE MASSING OF THE HOUSE IS A FRONT ENTRY PORCH, A FAMILY ENTRY PORCH, AND A FAMILY PORCH ON THE NORTHEAST CORNER OF THE HOUSE.

THE PROJECT PROPOSED THE INSTALLATION OF A SWIMMING POOL WITH A WRAP AROUND TERRACE, WHICH WILL BE ACCESSIBLE FROM THE HOUSE.

THE PROJECT WILL REQUIRE SIGNIFICANT ROCK REMOVAL AND REGRADING, WHICH WILL REQUIRE EITHER THE CONSTRUCTION OF DRY-STONE RETAINING WALLS OR THE EXPOSURE OF EXCAVATED LEDGE ROCK. THE ENTIRE SITE WILL BE LANDSCAPED TO PROVIDE SOIL STABILITY AND SCREENING TO NEIGHBORING PROPERTIES.

THE PROJECT WILL REQUIRE THE INSTALLATION OF A LARGE STORMWATER RETENTION/DETENTION SYSTEM CAPABLE OF HANDLING ALL OF THE STORMWATER RUNOFF FROM THE PROPOSED IMPROVEMENTS AND THE ADOPTION OF AN EROSION AND SEDIMENT CONTROL PLAN TO PROTECT THE SITE AND THE NEIGHBORING PROPERTIES.

ACCESS TO THE HOUSE WILL BE VIA A PROPOSED DRIVEWAY CONNECTING TO NORTH MOUNTAIN DRIVE. UTILITY CONNECTIONS WILL BE TO THE EXISTING SERVICE LINES LOCATED IN NORTH MOUNTAIN DRIVE. THE HOUSE WILL BE SERVICED BY PUBLIC WATER AND SANITARY SEWER.

## ROCK REMOVAL MITIGATING MEASURES

WORK SHALL PROCEED IN STRICT COMPLIANCE WITH THE FOLLOWING REQUIREMENTS:

- NO WORK SHALL COMMENCE UNTIL AN EXCAVATION PERMIT OR A BUILDING PERMIT HAS BEEN ISSUED BY THE DOBBS FERRY BUILDING DEPARTMENT. ALL WORK SHALL INCORPORATE THE BEST PRACTICES FOR DUST CONTROL AND SITE PROTECTION.
- ROCK REMOVAL WORK SHALL BE LIMITED TO THE HOURS BETWEEN 9:00 AM AND 5:00 PM MONDAY THROUGH FRIDAY. NO WORK IS PERMITTED ON NATIONAL HOLIDAYS OR WEEKENDS.
- PRIOR TO BEGINNING WORK, SURVEY AND STAKE THE PROPOSED EXCAVATION FOR THE FOUNDATION, THE STORMWATER DRAINAGE SYSTEM, THE DRIVEWAY AND THE RETAINING WALLS. A DATUM ELEVATION MARK SHALL BE SET ON SITE FOR USE IN DETERMINING THE REQUIRED DEPTH OF EXCAVATION. CARE SHALL BE TAKEN TO AVOID EXCAVATING MORE MATERIAL THAN REQUIRED.
- THE REMOVAL OF EXISTING VEGETATION AND SOILS ARE SUBJECT TO RULES AND REGULATIONS THAT WERE ESTABLISHED IN THE EROSION AND SEDIMENT CONTROL PLAN THAT WAS CREATED FOR THIS PROJECT AND APPROVED BY THE DOBBS FERRY PLANNING BOARD.
- ALL WORK SHALL PROCEED IN STRICT COMPLIANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
- STRIP TOPSOIL AND STOCKPILE AT THE LOCATIONS INDICATED ON THE PLANS. TEMPORARILY STABILIZE TOPSOIL STOCKPILES WITH HYDROSEED DURING MAY 1ST THROUGH OCTOBER 31ST PLANTING SEASON, OR BY COVERING WITH TARPULINS NOVEMBER 1ST THROUGH APRIL 30TH. INSTALL SILT FENCE AROUND THE TOE OF SLOPE.
- EXCAVATE THE SOILS TO THE REQUIRED DEPTH AND TO EXPOSE ROCK LEDGE REQUIRING REMOVAL. STOCKPILE MATERIAL ON SITE SCHEDULED FOR REUSE AT THE LOCATIONS INDICATED ON THE PLANS COVERING WITH TARPULINS AND INSTALLING SILT FENCE AROUND THE TOE OF SLOPE. SOIL THAT IS NOT SCHEDULED FOR REUSE AT THE SITE SHALL BE REMOVED FROM THE SITE AS SOON AS PRACTICAL.
- CONSTRUCTION OPERATIONS SHALL BE SCHEDULED TO MINIMIZE THE AMOUNT OF AREA DISTURBED AT ONE TIME.
- IT IS UNDERSTOOD THAT IT WILL BE NECESSARY TO MOVE THE ROCK HAMMER AROUND TO ACHIEVE THE BEST RESULTS, BUT CARE SHOULD BE TAKEN TO WORK METHODOICALLY, WETTING OR TEMPORARILY COVERING DISTURBED AREAS IF NECESSARY TO PREVENT DUST FROM BECOMING AIRBORNE.
- PRIOR TO INITIATING ROCK REMOVAL, A DEWATERING PIT SHALL BE CONSTRUCTED ON-SITE CONSISTING OF A HOLE OR TRENCH POSITIONED DOWN-SITE FROM THE HOLE OR TRENCH. THE HOLE OR TRENCH SHALL BE FULLY LOCATED WITHIN THE AREA DESIGNATED FOR CONSTRUCTION DISTURBANCE ON THE SITE PLAN APPROVED BY THE DOBBS FERRY PLANNING BOARD AND SHALL NOT BE PLACED WITHIN 5 FEET OF THE SUBSURFACE STORMWATER STRUCTURE ON THE SITE. THE HOLE OR TRENCH SHALL NOT BE DEEPER THAN FOUR (4) FEET AND SHALL HAVE A BASE FILLED TO A DEPTH OF ONE (1) FOOT WITH 2 INCH CLEAN AGGREGATE. WATER AND SLUDGE SHALL BE DIRECTED TO THE DEWATERING PIT BY MEANS OF TRENCHING AND TEMPORARY BEMS.
- A WATER SPRAY SYSTEM SHALL BE SET UP TO WET THE SURFACES OF ROCK AS THEY ARE BEING HAMMERED. USING HAND HELD HOSES WITH A SUITABLE HOSE SPRAY NOZZLE, ATTACHED THAT IS DESIGNED TO BREAK INTO SMALL DROPLETS, ROCK SURFACES SCHEDULED FOR REMOVAL SHALL BE SPRAYED DOWN WITH WATER TO REDUCE AIRBORNE DUST. AREAS SHALL BE KEPT WET DURING ALL TIMES WHEN REMOVAL OR THE HANDLING OF ROCK MATERIAL IS IN PROCESS. SINCE WATER IS NOT AVAILABLE AT THE SITE, A WATER TANK SHALL BE PROVIDED ON THE PROPERTY.
- CARE SHALL BE EXERCISED IN THE WATERING PROCESS TO AVOID EXCESSIVE IRRIGATION, WHICH COULD CREATE RUNOFF AND EROSION PROBLEMS. THE FREQUENCY AND VOLUME OF WATER SPRAY SHALL BE LIMITED TO THAT AMOUNT NECESSARY TO ACHIEVE THE GOAL OF CONTROLLING DUST FROM THE ROCK REMOVAL PROCESS.
- IF WATER BEGINS TO COLLECT IN THE AREA WHERE ROCK IS BEING REMOVED, CONFIRM FIRST THAT THE AREA IS NOT BEING OVERWATERED. IF CONTINUED WATERING IS REQUIRED TO CONTROL THE DUST AND IF IT IS NOT PRACTICAL TO HAVE THE WATER FLOW TO THE DEWATERING PIT BY GRAVITY, A PUMP AND HOSE MAY BE USED TO REMOVE THE WATER FROM THE ROCK REMOVAL AREA AND DISCHARGE IT INTO THE DEWATERING PIT.
- THE PERCOLATION TESTS PREVIOUSLY PERFORMED AT THIS SITE INDICATE THAT THE DEWATERING PIT SHOULD BE ABLE TO DRAIN NATURALLY. IF WATER BEGINS TO FILL IN THE DEWATERING PIT, CEASE WATERING THE ROCK AND CEASE ROCK REMOVAL UNTIL THE CONDITIONS HAVE BEEN CORRECTED.
- DEWATERING PITS SHALL BE INSPECTED DAILY DURING THE OPERATION FOR CLOGGING OR OVERFLOW. INLET AND DISCHARGE HOSES SHALL BE CLEARED OF OBSTRUCTIONS WHENEVER NECESSARY.
- EXCAVATED ROCK SHALL BE STORED ON THE SITE IN THE STOCK PILE LOCATIONS INDICATED ON THE SITE PLAN APPROVED BY THE DOBBS FERRY PLANNING BOARD OR OTHERWISE AS REQUIRED BY THE BUILDING DEPARTMENT.
- ROCK AND PARTICULATE MATTER RETAINED ON SITE SHALL BE SUFFICIENTLY WETTED OR COVERED TO PREVENT PARTICULATE MATTER FROM BECOMING AIRBORNE. TARPS, PLASTIC, OR OTHER SUITABLE MATERIALS SHALL BE SECURED OVER THE STOCK PILES AND WORK AREA AS REQUIRED BY THE BUILDING DEPARTMENT TO FURTHER REDUCE DUST EMISSIONS.
- EXCAVATED ROCK THAT IS NOT SCHEDULED TO BE RETAINED ON-SITE FOR THE PURPOSES OF THE PROPOSED CONSTRUCTION SHALL BE REMOVED BY TRUCKS DULY LICENSED FOR THIS PURPOSE AS SOON AS PRACTICAL.
- TRUCKS TRANSPORTING SOILS, ROCK, AND PARTICULATE MATTER SHALL BE COVERED PRIOR TO LEAVING THE SITE AND SHALL BE KEPT COVERED UNTIL REACHING THE DESTINATION FOR UNLOADING.
- DURING PERIODS OF STEADY WINDS EXCEEDING 15 MPH OR GUSTS EXCEEDING 20 MPH, ROCK REMOVAL OPERATIONS SHALL BE SUSPENDED UNTIL THE WIND SUBSIDES. IF NECESSARY WIND BARRIERS CONSISTING OF FENCES OR BARRIERS SUITABLE FOR THIS PURPOSE MAY BE REQUIRED. SNOW, BURLAP, AND SILT FENCES MAY BE USED TO CONTROL AIR CURRENTS AND REDUCE DUST BLOWING. HAY BALES AND SIMILAR SEDIMENT CONTROL DEVICES MAY ALSO SERVE AS WIND BREAKS. BARRIERS SHOULD BE PLACED PERPENDICULAR TO PREVAILING CURRENTS, AT INTERVALS APPROXIMATELY 15 TIMES THEIR HEIGHT.
- DUST CONTROL MEASURES SHALL BE MAINTAINED THROUGH DRY WEATHER PERIODS UNTIL ALL DISTURBED AREAS ARE STABILIZED.
- CLEAN UP OF WORK AREAS, ROCK STORAGE PILES, AND OTHER AREAS WHERE THERE IS A RISK OF DUST AND SIMILAR DEBRIS RESULTING FROM THIS WORK SHALL INCLUDE THE WETTING DOWN OF THE AREA AND THE USE OF BROOMS AND RAKES TO COLLECT THE MATERIAL FOR DISPOSAL. WHEN SWEEPING AREAS OF DUST AND DEBRIS, SWEEPING COMPOUND, SUCH AS GREENSWEEP, SHALL BE USED TO REDUCE AIRBORNE DUST.
- MAINTAIN THE STREET FREE OF DIRT AND DEBRIS. ON DAYS WHEN THERE HAS BEEN TRUCK TRAFFIC, SWEEP THE STREETS CLEAN AND, IF NECESSARY, EMPLOY A STREET SWEEPER.
- THE SITE PLAN APPROVED BY THE DOBBS FERRY PLANNING BOARD INCLUDES GRADING PLANS, EROSION AND SEDIMENT CONTROL PLANS AND DETAILS, AND A LANDSCAPING PLAN AND DETAILS WHICH SHOULD BE REVIEWED AND CONSIDERED INTEGRAL TO THE EFFORTS TO MITIGATE DUST ON THE SITE, AS WELL AS THE PERMANENT CONTROLS INTENDED TO STABILIZE THE SITE.
- THE PROPOSED WORK HAS BEEN DESIGNED IN ACCORDANCE WITH AND SHALL BE PERFORMED AND COMPLETED IN FULL COMPLIANCE WITH THE 2020 NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE - RESIDENTIAL PROVISIONS, LATEST EDITION BY AFFIXING A SEAL AND SIGNING THIS SET OF CONSTRUCTION DOCUMENTS, THE REGISTERED DESIGN PROFESSIONAL HEREBY ATTESTS THAT, TO THE BEST OF HIS OR HER KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE CODE.
- THIS BUILDING IS TYPE 5B CONSTRUCTION.
- THIS BUILDING'S USE IS A ONE FAMILY DWELLING.
- SEPARATE PERMIT REQUIRED FOR FIRE SPRINKLER SYSTEMS AND HVAC UNIT AND DUCTWORK

## CONSTRUCTION SEQUENCE NOTES:

- PRIOR TO INITIATING ANY WORK AT THE SITE, THE CONTRACTOR SHALL SCHEDULE AND CONDUCT A SITE MEETING WITH THE GENERAL CONTRACTOR, PROJECT DESIGN COORDINATOR, PROJECT ENGINEER, AND BUILDING INSPECTOR TO DISCUSS THE SCHEDULE OF CONSTRUCTION, THE REQUIRED INSPECTIONS, AND MITIGATING MEASURES THAT SHALL BE IMPLEMENTED TO PROTECT AND CONTROL THE CONDITIONS AT THE SITE.
- A USIC DIG CHECK, TICKET #11222-001-484 HAS ALREADY BEEN CONDUCTED WITH THE LOCATION OF ALL UTILITIES IN THE VICINITY OF THE SUBJECT PROPERTY LOCATED AND MARKED.
- TEST PITS, SOIL ANALYSIS, AND PERCOLATION TESTS FOR THE SUBJECT PROPERTY HAVE ALREADY BEEN CONDUCTED BY HUDSON ENGINEERING, WITH THE TEST RESULTS FILED WITH THE DOBBS FERRY BUILDING DEPARTMENT.
- TREES SCHEDULED TO BE REMOVED SHALL BE RIBBONED.
- THE EROSION AND SEDIMENT CONTROL AND SITE PROTECTION MEASURES STIPULATED ON THE DRAWINGS AND IN THE MANAGEMENT PLAN PREPARED BY HUDSON ENGINEERING AND APPROVED BY THE VILLAGE IN THE SITE PLAN REVIEW SHALL BE INSTALLED INCLUDING THE FOLLOWING:
  - SILT FENCING.
  - ORANGE PLASTIC CONSTRUCTION FENCING ERECTED AROUND AREAS TO BE USED FOR EX-FILTRATION TO AVOID COMPACTION OF THE SOILS AND ALONG THE AREAS THAT ARE DESIGNATED FOR "NO DISTURBANCE."
  - STEEL CYCLONE FENCING AND LOCKABLE GATES TO PREVENT UNAUTHORIZED ACCESS TO THE SITE.
  - TREE AND SHRUB PROTECTION.
  - ANTI-TRACK STABILIZED CONSTRUCTION ENTRY.
  - STRAWBALE BARRIERS.
  - SOIL STOCKPILE AREAS.
  - DIVERSION SWALES.
  - INLET PROTECTION.
  - DEWATERING PITS.
  - SURFACE STABILIZATION.
  - CONCRETE WASHOUT.
- PRIOR TO INITIATING WORK AT THE SITE, HUDSON ENGINEERING SHALL INSPECT THE SITE AND PROVIDE WRITTEN CONFIRMATION TO THE BUILDING DEPARTMENT THAT THE REQUIRED SITE PROJECT MEASURES HAVE BEEN PROPERLY INSTALLED.
- THE BUILDING INSPECTOR AND VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL AND SITE PROTECTION MEASURES, IF DEEMED NECESSARY.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SCHEDULING ALL INSPECTIONS REQUIRED BY THE BUILDING INSPECTOR PRIOR TO WORK PROCEEDING AND ANY AREAS TO BE INSPECTED BEING CONCEALED BY SUBSEQUENT WORK.
- REMOVE TREES SCHEDULED FOR REMOVAL.
- STRIP TOPSOIL AND STOCKPILE AT THE LOCATIONS INDICATED ON THE PLANS. TEMPORARILY STABILIZE TOPSOIL STOCKPILES WITH HYDROSEED DURING MAY 1ST THROUGH OCTOBER 31ST PLANTING SEASON, OR BY COVERING WITH TARPULINS NOVEMBER 1ST THROUGH APRIL 30TH. INSTALL SILT FENCE AROUND THE TOE OF THE SLOPE.
- SURVEY AND STAKE THE PROPOSED EXCAVATION FOR THE FOUNDATION, THE STORMWATER DRAINAGE SYSTEM, THE DRIVEWAY, AND THE RETAINING WALLS. A DATUM ELEVATION MARK SHALL BE SET ON SITE FOR USE IN DETERMINING THE REQUIRED DEPTH OF EXCAVATION. CARE SHALL BE TAKEN TO AVOID EXCAVATING MORE MATERIAL THAN REQUIRED.
- EXCAVATE THE SOILS TO THE REQUIRED DEPTH AND TO EXPOSE ROCK LEDGE REQUIRING REMOVAL AND STOCKPILE MATERIAL ON SITE SCHEDULED FOR REUSE AT THE LOCATIONS INDICATED ON THE PLANS COVERING WITH TARPULINS AND INSTALLING SILT FENCE AROUND THE TOE OF SLOPE. SOIL THAT IS NOT SCHEDULED FOR REUSE AT THE SITE SHALL NOT BE STOCKPILED AND SHALL BE REMOVED FROM THE SITE.
- REMOVE ROCK LEDGE TO THE REQUIRED DEPTH USING ROCK HAMMERS. DURING ROCK REMOVAL, A WATER SPRAY SYSTEM SHALL BE SET UP TO WET THE SURFACES OF ROCK AS THEY ARE BEING HAMMERED. USING HAND HELD HOSES WITH A SUITABLE HOSE SPRAY NOZZLE DESIGNED TO BREAK THE WATER STREAM INTO SMALL DROPLETS.
- REMOVED ROCK SCHEDULED FOR REUSE ON THE SITE SHALL BE STOCKPILED IN A LOCATION WITHIN PROXIMITY OF WHERE IT WILL BE USED TO REDUCE THE NUMBER OF TIMES THAT THE ROCK NEEDS TO BE MOVED. ROCK THAT IS NOT SCHEDULED FOR REUSE ON SITE SHALL NOT BE STOCKPILED AND SHALL BE REMOVED FROM THE SITE.
- ALL SURPLUS SOIL, ROCK, AND UNSUITABLE MATERIALS SHALL BE HANDLED, REMOVED FROM THE SITE, AND DISPOSED OF IN COMPLIANCE WITH THE REQUIREMENTS OF THE BUILDING INSPECTOR AND ALL AUTHORITIES HAVING JURISDICTION.
- CONSTRUCT DRystone RETAINING WALLS.
- SURVEY AND STAKE THE FOUNDATION FOOTINGS.
- FORM, INSTALL STEEL REINFORCING, AND POUR CONCRETE FOOTINGS.
- HAVE THE SURVEYOR SET NAILS IN THE FOOTINGS AT THE CORNERS OF FOUNDATION WALLS.
- FORM, INSTALL STEEL REINFORCING, AND POUR CONCRETE RETAINING WALLS.
- FOLLOWING THE REMOVAL OF THE FORMS, SURVEY THE FOUNDATION AND HAVE AN AS-BUILT SURVEY PREPARED AND SUBMITTED TO THE BUILDING INSPECTOR.
- APPLY WATERPROOFING, PROTECTIVE MEMBRANE, AND INSULATION BOARD TO THE EXTERIOR FACE OF THE FOUNDATION.
- INSTALL FOOTING DRAINS, COVER WITH GRAVEL AND FILTER FABRIC AND BACKFILL WITH GRAVEL AND THEN WITH SUITABLE FILL TO NOT HIGHER THAN HALF THE FOUNDATION WALL HEIGHT.
- EXCAVATE AND PREPARE THE AREA FOR THE EXFILTRATION SYSTEM AND INSTALL CULTEC UNITS AND DRAINAGE COMPONENTS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS.
- INSTALL ORANGE PLASTIC CONSTRUCTION FENCING AROUND THE EXFILTRATION SYSTEM TO PREVENT VEHICLES FROM DRIVING OVER THE AREA OR MATERIALS BEING INADVERTENTLY STORED OVER THE SYSTEM.
- AFTER CONCRETE HAS REACHED A SUITABLE CURE, BACKFILL WITH SUITABLE MATERIAL TO ROUGH GRADE.
- ROUGH GRADE DRIVEWAY, POOL AREA, AND SITE SURROUND.
- INSTALL THE SANITARY SEWER, WATER, ELECTRIC, AND OTHER UTILITY SERVICES FROM THE STREET TO THE BASEMENT.
- INSTALL DRAINAGE WORK TRIBUTARY TO EXFILTRATION SYSTEMS FROM THE DRIVEWAY AND THE TERRACE. INSTALL INLET PROTECTION MEASURES TO PREVENT SILT FROM ENTERING THE SYSTEM DURING CONSTRUCTION.
- FINE GRADE AND SEED ALL DISTURBED AREAS.
- PROCEED WITH THE CONSTRUCTION OF THE PROPOSED HOUSE.
- INSTALL THE SWIMMING POOL.
- INSTALL SUB-BASE AND PERMEABLE PAVERS FOR TERRACE AND WALKWAYS.
- INSTALL CURBING AND SUB-BASE GRAVEL COURSES FOR DRIVEWAY PAVING.
- INSTALL BITUMINOUS CONCRETE SUB-BASE FOR DRIVEWAY PAVING.
- INSTALL LANDSCAPE WATERING SYSTEM AND CONTROLS.
- INSTALL 4" - 6" TOPSOIL, FINE GRADE, SEED THE ENTIRE SITE AND INSTALL LANDSCAPE PLANTS IN ACCORDANCE WITH THE LANDSCAPE PLAN.
- SPREAD SALT HAY OVER SEEDED AREAS AND MAINTAIN ALL PLANTED AREAS UNTIL MATERIAL HAS TAKEN ROOT AND BECOMES STABLE.
- INSTALL A BITUMINOUS TOP COAT IN THE DRIVEWAY.
- CLEAN PAVEMENT AND DRAIN LINES. CLEAN EXFILTRATION SYSTEMS.
- ENSURE GRASS STAND IS ACHIEVED AND RESEED, IF NECESSARY.
- MAINTAIN ALL EROSION AND SEDIMENTATION MEASURES AT ALL TIMES FROM CONSTRUCTION COMMENCING TO THE COMPLETION OF CONSTRUCTION AND THE PERMANENT STABILIZATION OF THE SITE. INSPECT SILT FENCES, STRAWBALE BARRIERS, AND SITE PROTECTION WEEKLY, IN ADVANCE OF FORECAST STORMS, AND FOLLOWING STORM EVENTS. MAINTAIN AND REPAIR AS NECESSARY.
- AFTER CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED WITH VEGETATION, REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES.
- MAINTAIN THE SITE FREE OF DEBRIS AT ALL TIMES. REMOVE DUMPSTERS WITHIN 24 HOURS OF BEING FILLED.
- MAINTAIN THE STREET CLEAN AT ALL TIMES. AT THE END OF EACH DAY, HAND SWEEP THE STREET OF DIRT. WHEN NECESSARY, EMPLOY A STREET SWEEPER TO CLEAN THE STREET.
- CONSTRUCTION VEHICLES SHALL NOT BE PARKED ON THE PUBLIC STREETS.
- SUBMIT "AS-BUILT" DRAWINGS OF THE COMPLETED WORK, INCLUDING UPDATED CONSTRUCTION DRAWINGS AND A SITE PLAN SHOWING ALL SITE IMPROVEMENTS, TO THE BUILDING DEPARTMENT TOGETHER WITH A FINAL SURVEY.
- OBTAIN THE CERTIFICATE OF OCCUPANCY FOLLOWING THE FINAL INSPECTION BY THE BUILDING INSPECTOR.

TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED, THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE CURRENTLY IN EFFECT



WARNING: IT IS A VIOLATION OF THE NEW YORK STATE EDUCATIONAL LAW ARTICLE 145 SECTION 7209 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT, TO PREPARE OR LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY.



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PROJECT TITLE:  
**GIGLIO  
RESIDENCE**  
79 NORTH MOUNTAIN DRIVE  
DOBBS FERRY, N. Y. 10522  
PROJECT NO.: 2207

## GOTHAM DESIGN PLANNING AND DEVELOPMENT LTD.

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ISSUED / REVISIONS  
REVISED 01-19-2023  
ADDED ROCK REMOVAL  
MITIGATING MEASURES NOTES

## SHEET TITLE:

## GENERAL NOTES CONSTRUCTION SEQUENCE

|                            |                           |
|----------------------------|---------------------------|
| DATE:<br><b>12/09/2022</b> | DRAWN BY:<br><b>SSJ</b>   |
| SCALE:<br><b>AS NOTED</b>  | CHECKED BY:<br><b>PRS</b> |

# GN-1

# NOT FOR CONSTRUCTION



| DOOR SCHEDULE GIGLIO 79 NORTH MOUNTAIN DRIVE DOBBS FERRY, N.Y. 10522 |       |                       |                         |                    |          |   |          |      |           |       |
|--|-------|-----------------------|-------------------------|--------------------|----------|---|----------|------|-----------|-------|
| EXTERIOR   |       |                       |                         |                    |          |   |          |      |           |       |
| SYM  | MANUF | TYPE                  | NUMBER                  | ROUGH OPENING      | QUANTITY | GLAZING   | U-FACTOR | SHGC | GRILLES   | NOTES |
| A  |       | SWINGING DOOR         | (2) 3'-6" x 8'-0"       | 7'-3" x 8'-2 1/2"  | 1        | DOUBLE PANE LOW E INSUL GLASS                   |          |      | 2W 2H     | WOOD  |
| B  |       | SWINGING DOOR         | 3'-0" x 8'-0"           | 3'-3" x 8'-2 1/2"  | 1        |   |          |      |           | WOOD  |
| C  |       | SWINGING DOOR         | 3'-0" x 8'-0"           | 3'-3" x 8'-2 1/2"  | 1        |   |          |      |           | WOOD  |
| D  | PELLA | CLAD PATIO HINGED DR  | 2 PANEL<br>ASCPHD 6796  | 5'-7" x 8'-0"      | 1        | DOUBLE PANE ADVANCED COMFORT LOW E INSUL. GLASS | 0.26     | 0.23 | 2W 3H     |       |
| E  | PELLA | CLAD PATIO HINGED DR  | 2 PANEL<br>ASCPHD 7296  | 6'-0" x 8'-0"      | 2        | DOUBLE PANE ADVANCED COMFORT LOW E INSUL. GLASS | 0.26     | 0.23 | 2W 3H     |       |
| F  | PELLA | CLAD SLIDING PATIO DR | 2 PANEL<br>AS SPD 7296  | 6'-0" x 8'-0"      | 2        | DOUBLE PANE ADVANCED COMFORT LOW E INSUL. GLASS | 0.26     | 0.23 | 2W 3H     |       |
| G  | PELLA | CLAD SLIDING PATIO DR | 4 PANEL<br>AS SPD 14196 | 11'-8 7/8" x 8'-0" | 1        | DOUBLE PANE ADVANCED COMFORT LOW E INSUL. GLASS | 0.26     | 0.23 |           |       |
| H  |       | OVERHEAD DOOR         | 9'-0" x 8'-0"           | 9'-0" x 8'-0"      | 3        | DOUBLE PANE LOW E INSUL GLASS                   |          |      | (3) 3W 1H |       |
|  |       |                       |                         |                    |          |   |          |      |           |       |
|  | PELLA | ARCHITECT SERIES      | CLAD                    |                    |          |   |          |      |           |       |

- GLAZING NOTES:
1. PROVIDE SAFETY GLASS AND REQUIRED IDENTIFICATION LABEL ON ALL GLAZING WITHIN 18 INCHES OF ANY FLOOR.
  2. PROVIDE SAFETY GLASS AND REQUIRED IDENTIFICATION LABEL ON ALL GLAZING WITHIN 24 INCHES OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR IN A CLOSED POSITION AND WHERE THE GLAZING IS ON A WALL LESS THAN 180 DEGREES FROM THE PLANE OF THE DOOR IN A CLOSED POSITION AND WITHIN 24 INCHES OF THE HINGE SIDE OF AN IN-SWINGING DOOR.  
EXCEPTION: 1. DECORATIVE GLAZING 2. THERE IS AN INTERVENING WALL OR OTHER PERMANENT BARRIER BETWEEN THE DOOR AND GLAZING. 3.WHERE ACCESS THROUGH THE DOOR IS TO A CLOSET OR STORAGE AREA 3 FEET OR LESS IN DEPTH.
  3. PROVIDE SAFETY GLASS AND REQUIRED IDENTIFICATION LABEL ON ALL GLAZING IN ALL HAZARDOUS LOCATIONS. GLAZING IN WALLS, ENCLOSURES OR FENCES CONTAINING OR FACING HOT TUBS, SPAS, WHIRLPOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS, AND INDOOR OR OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION. THIS SHALL APPLY TO SINGLE GLAZING AND EACH PANE IN MULTIPLE GLAZING.  
EXCEPTION: GLAZING THAT IS MORE THAN 60 INCHES MEASURED HORIZONTALLY, AND IN A STRAIGHT LINE, FROM THE WATER'S EDGE OF A BATHTUB, HOT TUB, SPA, WHIRLPOOL OR SWIMMING POOL OR FROM THE EDGE OF A SHOWER, SAUNA OR STEAM ROOM.
  4. PROVIDE SAFETY GLASS AND REQUIRED IDENTIFICATION LABEL ON ALL GLAZING THAT IS WITHIN 60 INCHES FROM THE BOTTOM OF ANY STAIR AND LESS THAN 36 INCHES ABOVE THE FINISHED FLOOR OR LANDING. FOR MORE INFORMATION REFER TO SECTION 308 OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.

| WINDOW SCHEDULE GIGLIO 79 NORTH MOUNTAIN DRIVE DOBBS FERRY, N.Y. 10522 |       |                           |                                   |                         |                           |  |              |              |                     |  |
|--|-------|---------------------------|-----------------------------------|-------------------------|---------------------------|--|--------------|--------------|---------------------|--|
| SYM  | MANUF | TYPE                      | NUMBER                            | ROUGH OPENING           | QUANTITY                  | GLAZING  | U-FACTOR     | SHGC         | GRILLES             | NOTES                                  |
| 1  | PELLA | CLAD CASEMENT             | ASCC 2371                         | 1'-11 3/4" x 5'-11 3/4" | 2 (1 L, 1R)               | DOUBLE PANE ADVANCED COMFORT LOW E INSUL GL  | 0.26         | 0.25         | 2W 3H               |  |
| 2  | PELLA | CLAD CASEMENT             | ASCC 2371 2W                      | 3'-10 3/4" x 5'-11 3/4" | 2 L, R                    | DOUBLE PANE ADVANCED COMFORT LOW E INSUL GL  | 0.26         | 0.26         | 2W 3H               |  |
| 3  | PELLA | CLAD CASEMENT             | ASCC 2371 3W                      | 5'-9 3/4" x 5'-11 3/4"  | 1 L, F, R                 | DOUBLE PANE ADVANCED COMFORT LOW E INSUL GL  | 0.26         | 0.26         | 2W 3H               |  |
| 4  | PELLA | CLAD CASEMENT             | ASCC 2535                         | 2'-1 3/4" x 2'-11 3/4"  | 2 (1 L, 1 R)              | DOUBLE PANE ADVANCED COMFORT LOW E INSUL GL  | 0.26         | 0.26         | 2W 2H               |  |
| 5  | PELLA | CLAD CASEMENT             | ASCC 2941                         | 2'-5 3/4" x 3'-5 3/4"   | 2 (1 L, 1 R)              | DOUBLE PANE ADVANCED COMFORT LOW E INSUL GL  | 0.26         | 0.26         | 2W 2H               |  |
| 6  | PELLA | CLAD CASEMENT             | ASCC 3241                         | 2'-8 3/4" x 3'-5 3/4"   | 3 (1 L, 2 R)              | DOUBLE PANE ADVANCED COMFORT LOW E INSUL GL  | 0.26         | 0.26         | 2W 2H               |  |
| 7  | PELLA | CLAD CASEMENT             | ASCC 3253                         | 2'-8 3/4" x 4'-5 3/4"   | 1 L                       | DOUBLE PANE ADVANCED COMFORT LOW E INSUL GL  | 0.26         | 0.26         | 2W 2H               |  |
| 8  | PELLA | CLAD CASEMENT             | ASCC 3271                         | 2'-8 3/4" x 5'-11 3/4"  | 2 (1 L, 1 R)              | DOUBLE PANE ADVANCED COMFORT LOW E INSUL GL  | 0.26         | 0.26         | 2W 3H               |  |
| 9  | PELLA | CLAD CASEMENT             | ASCC 3232                         | 2'-8 3/4" x 2'-8 3/4"   | 2 FIXED                   | DOUBLE PANE ADVANCED COMFORT LOW E INSUL GL  | 0.26         | 0.26         | 2W 2H               |  |
| 10   | PELLA | CLAD CASEMENT             | ASCC 3232 2W*                     | 5'-7" x 2'-8 3/4"       | 1 FIXED                   | DOUBLE PANE ADVANCED COMFORT LOW E INSUL GL  | 0.26         | 0.26         | 2W 2H               | *ADD CENTER FILLER TO MATCH DOOR WIDTH |
| 11   | PELLA | CLAD CASEMENT             | ASCC 2547 2W                      | 4'-2 3/4" x 3'-11 3/4"  | 3 L, R                    | DOUBLE PANE ADVANCED COMFORT LOW E INSUL GL  | 0.26         | 0.26         | 2W 2H               |  |
| 12   | PELLA | CLAD CASEMENT             | ASCC 2941 2W                      | 4'-10 3/4" x 3'-5 3/4"  | 1 L, R                    | DOUBLE PANE ADVANCED COMFORT LOW E INSUL GL  | 0.26         | 0.26         | 2W 2H               |  |
| 13   | PELLA | CLAD CASEMENT             | ASCC 2947 2W                      | 4'-10 3/4" x 4'-11 3/4" | 1 L, R                    | DOUBLE PANE ADVANCED COMFORT LOW E INSUL GL  | 0.26         | 0.26         | 2W 2H               |  |
| 14   | PELLA | CLAD CASEMENT             | ASCC 3247 2W                      | 5'-4 3/4" x 3'-11 3/4"  | 1 L, R                    | DOUBLE PANE ADVANCED COMFORT LOW E INSUL GL  | 0.26         | 0.26         | 2W 2H               |  |
| 15   | PELLA | CLAD CASEMENT             | ASCC 3259 2W                      | 5'-4 3/4" x 4'-11 3/4"  | 2 L, R                    | DOUBLE PANE ADVANCED COMFORT LOW E INSUL GL  | 0.26         | 0.26         | 2W 2H               | EGRESS                                 |
| 16   | PELLA | CLAD CASEMENT             | ASCC 3271 2W                      | 5'-4 3/4" x 5'-11 3/4"  | 1 L, R                    | DOUBLE PANE ADVANCED COMFORT LOW E INSUL GL  | 0.26         | 0.26         | 2W 2H               |  |
| 17   | PELLA | CLAD CASEMENT             | ASCC 3541 2W                      | 5'-10 3/4" x 3'-5 3/4"  | 1 L, R                    | DOUBLE PANE ADVANCED COMFORT LOW E INSUL GL  | 0.26         | 0.26         | 2W 2H               |  |
| 18   | PELLA | CLAD CASEMENT             | ASCC 3571 2W                      | 5'-10 3/4" x 5'-11 3/4" | 2 FIXED                   | DOUBLE PANE ADVANCED COMFORT LOW E INSUL GL  | 0.26         | 0.26         | 2W 2H               |  |
| 19   | PELLA | CLAD CASEMENT             | ASCC 3541 2W                      | 5'-10 3/4" x 3'-5 3/4"  | 2 FIXED                   | DOUBLE PANE ADVANCED COMFORT LOW E INSUL GL  | 0.26         | 0.26         | 2W 2H               |  |
| 20   | PELLA | CLAD CASEMENT             | ASCC 3571 2W                      | 5'-10 3/4" x 5'-11 3/4" | 4 L, R                    | DOUBLE PANE ADVANCED COMFORT LOW E INSUL GL  | 0.26         | 0.26         | 2W 3H               | EGRESS                                 |
| 21   | PELLA | CLAD CASEMENT             | ASCC 3547 3W                      | 8'-9 3/4" x 3'-11 3/4"  | 1 L, F, R                 | DOUBLE PANE ADVANCED COMFORT LOW E INSUL GL  | 0.26         | 0.26         | 2W 2H               |  |
| 22   | PELLA | CLAD AWNING OVER CASEMENT | ASAW 3521 3W OVER<br>ASCC 3571 3W | 8'-9 3/4" x 6'-8 3/4"   | 2 FIXED OVER<br>2 L, F, R | DOUBLE PANE ADVANCED COMFORT LOW E INSUL GL<br>DOUBLE PANE ADVANCED COMFORT LOW E INSUL GL | 0.26<br>0.26 | 0.26<br>0.26 | 2W 1H OVER<br>2W 2H |  |
| 23   | PELLA | CLAD CASEMENT             | ASCC 2535 4W                      | 8'-4 3/4" x 2'-11 3/4"  | 1 L,L,R,R                 | DOUBLE PANE ADVANCED COMFORT LOW E INSUL GL  | 0.26         | 0.26         | 2W 2H               |  |
| 24   | PELLA | CLAD AWNING               | ASAW 3535 3W                      | 8'-9" x 2'-11 3/4"      | 2                         | DOUBLE PANE ADVANCED COMFORT LOW E INSUL GL  | 0.26         | 0.26         | 2W 2H               |  |
| 25   | PELLA | CLAD CASEMENT             | ASCC 3571 2W*                     | 6'-0" x 5'-11 3/4"      | 2 FIXED                   | DOUBLE PANE ADVANCED COMFORT LOW E INSUL GL  | 0.26         | 0.26         | 2W 2H               | *ADD CENTER FILLER TO MATCH DOOR WIDTH |
|  | PELLA | ARCHITECT SERIES          | CLAD                              | COLOR-IRON ORE          |                           |  |              |              |                     |  |

EGRESS WINDOW:  
REQUIREMENTS OF SECTION R310.2.1  
FOR EMERGENCY ESCAPE AND RESCUE OPENINGS.  
OPENINGS TO HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET.  
THE NET CLEAR HEIGHT OPENING SHALL NOT BE LESS THAN 24 INCHES.  
THE NET CLEAR WIDTH OPENING SHALL NOT BE LESS THAN 20 INCHES.  
GRADE FLOOR OPENINGS OR BELOW GRADE OPENINGS SHALL HAVE A  
CLEAR OPENING AREA OF NOT LESS THAN 5 SQUARE FEET.

R310.2.2- WHERE A WINDOW IS PROVIDED AS THE EMERGENCY  
ESCAPE AND RESCUE OPENING, IT SHALL HAVE A SILL  
HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.

TO THE BEST OF MY KNOWLEDGE, BELIEF,  
AND PROFESSIONAL JUDGMENT OF THE  
UNDERSIGNED, THE PLANS AND  
SPECIFICATIONS DEPICTED ON THESE  
DRAWINGS ARE IN COMPLIANCE WITH THE  
APPLICABLE PROVISION OF THE NEW YORK  
STATE UNIFORM FIRE PREVENTION AND  
BUILDING CODE AND THE NEW YORK STATE  
ENERGY CONSERVATION CONSTRUCTION  
CODE CURRENTLY IN EFFECT



WARNING :  
IT IS A VIOLATION OF THE NEW YORK STATE  
EDUCATIONAL LAW ARTICLE 145 SECTION 7209  
FOR ANY PERSON, UNLESS HE OR SHE IS  
ACTING UNDER THE DIRECTION OF A LICENSED  
PROFESSIONAL ARCHITECT, ENGINEER OR  
LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY.



PROJECT TITLE:

GIGLIO

RESIDENCE

79 NORTH MOUNTAIN DRIVE  
DOBBS FERRY, N.Y. 10522

PROJECT NO.: 2207

**GOTHAM  
DESIGN**  
PLANNING AND  
DEVELOPMENT LTD.

329 Broadway  
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Phone: ( 914 ) 693-5093  
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| ISSUED / REVISIONS |  |
|--------------------|--|
|                    |  |

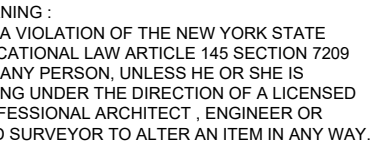
| SHEET TITLE:                         |                    |
|--------------------------------------|--------------------|
| WINDOW, DOOR AND<br>FINISH SCHEDULES |                    |
| DATE:<br>01-19-2023                  | DRAWN BY:<br>SSJ   |
| SCALE:<br>AS NOTED                   | CHECKED BY:<br>PRS |

GN-2

NOT FOR CONSTRUCTION



THE BEST OF MY KNOWLEDGE, BELIEF,  
PROFESSIONAL JUDGEMENT OF THE  
ERNSIGNED, THE PLANS AND  
IFICATIONS DEPICTED ON THESE  
WINGS ARE IN COMPLIANCE WITH THE  
LICABLE PROVISION OF THE NEW YORK  
TE UNIFORM FIRE PREVENTION AND  
DING CODE AND THE NEW YORK STATE  
RGY CONSERVATION CONSTRUCTION  
E CURRENTLY IN EFFECT



**GOTHAM**  
**DESIGN**  
PLANNING AND  
DEVELOPMENT LTD

UED / REVISIONS  
 /ISED 11-29-2022  
 OPOSED DRIVEWAY WILL BE  
 PHALT PAVING ( IMPERVIOUS)  
 /ISED 12-08-2022  
 RIVEWAY TO STREET  
 RET'G WALL AT PROP LINE  
 ONT RET'G WALL @ DRIVEWAY  
 PERVIOUS CALCULATIONS  
 ONING TABLE  
 RVIOUS CALCULATIONS  
 ED WATER AND SEWER  
 RVICE LINES FROM STREET  
 LOCATE EX. UTILITY POLE

SHEET TITLE:

**PROPOSED SITE PLAN**

1000

1000

|       |           |
|-------|-----------|
| DATE: | DRAWN BY: |
|-------|-----------|

|           |     |
|-----------|-----|
| 3-05-2022 | SSJ |
|-----------|-----|

|        |             |
|--------|-------------|
| SCALE: | CHECKED BY: |
|--------|-------------|

|         |     |
|---------|-----|
| S NOTED | PRS |
|---------|-----|

SP-1.0

1. 300 - 34. A (2) REDUCTIONS FOR STEEP SLOPES - GROSS MINUS PERCENTAGE OF STEEP SLOPED AREA DETERMINES NET LOT AREA
2. BUILDING AND LOT COVERAGE NUMBERS WERE CALCULATED USING THE GROSS LOT AREA
3. 300-34. B (5) (5) WHERE THE NATURAL SLOPE OF THE GROUND, AS SHOWN BY THE CONTOURS OF A TOPOGRAPHICAL SURVEY, MEASURED FROM THE FRONT LOT LINE TO THE MIDPOINT OF THE LOT OR TO THE REAR LOT LINE, WHICHEVER YIELDS THE GREATER SLOPE, EXCEEDS A GRADE OF ONE FOOT IN FOUR FEET, THE REQUIRED FRONT YARD CAN BE REDUCED BY 50% PROVIDED THAT THE REAR YARD IS INCREASED BY THE SAME AMOUNT.

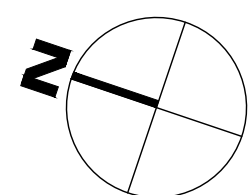
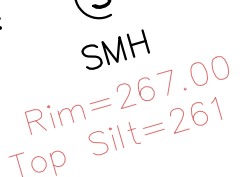
|                      |             |        |
|----------------------|-------------|--------|
| HOUSE                | 2,951       | SQ.FT. |
| GARAGE               | 789         | SQ.FT. |
| FRONT PORCH          | 118         | SQ.FT. |
| FAM ENTRY PORCH      | 29          | SQ.FT. |
| GREAT ROOM PORCH     | 303         | SQ.FT. |
| FRONT TERRACE        | 132         | SQ.FT. |
| STEPS                |             |        |
| AT FRONT PORCH       | 24          | SQ.FT. |
| AT FAMILY ENT. PORCH | 24          | SQ.FT. |
| AT FRONT WALKWAY     | 12          | SQ.FT. |
| AT BRKFST ROOM       | 64          | SQ.FT. |
| STONE WALLS          |             |        |
| FRONT & DRIVEWAY     | 297         | SQ.FT. |
| N. SIDE & REAR       | 403         | SQ.FT. |
| S. SIDE & REAR       | 248         | SQ.FT. |
| SIDE STONE STAIRS    | 140         | SQ.FT. |
| REAR STONE STAIRS    | 68          | SQ.FT. |
| SWIMMING POOL        | 620         | SQ.FT. |
| WINDOW WELL          | 59          | SQ.FT. |
| DRIVEWAY             | 2,003       | SQ.FT. |
|                      | TOTAL 8,284 | SQ.FT. |

|                  |       |        |
|------------------|-------|--------|
| HOUSE            | 2,899 | SQ.FT. |
| GARAGE           | 825   | SQ.FT. |
| FRONT PORCH      | 126   | SQ.FT. |
| FAM ENTRY PORCH  | 36    | SQ.FT. |
| GREAT ROOM PORCH | 303   | SQ.FT. |
| TOTAL            | 4,190 | SQ.FT. |

8,284/ 23,337 GROSS LOT AREA = 35.5%

FRONT WALK 533 SQ.FT.

REAR PERVIOUS TERRACE 2,339 SQ.FT.






SCALE : 1" = 10'-0"      GRAPHIC SCALE IN FEET

A horizontal scale bar with a black and white alternating pattern. Below the bar are numerical markings at 0, 5, 10, and 20.

# SP-1.0

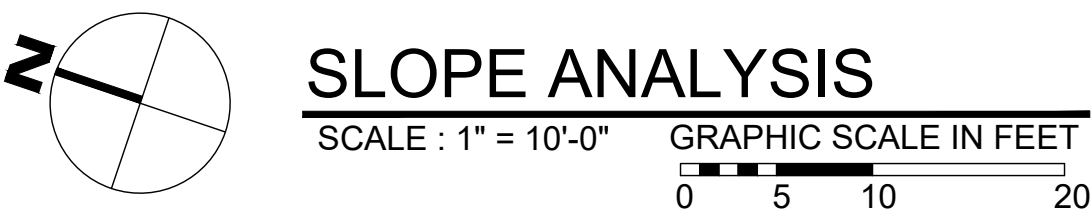
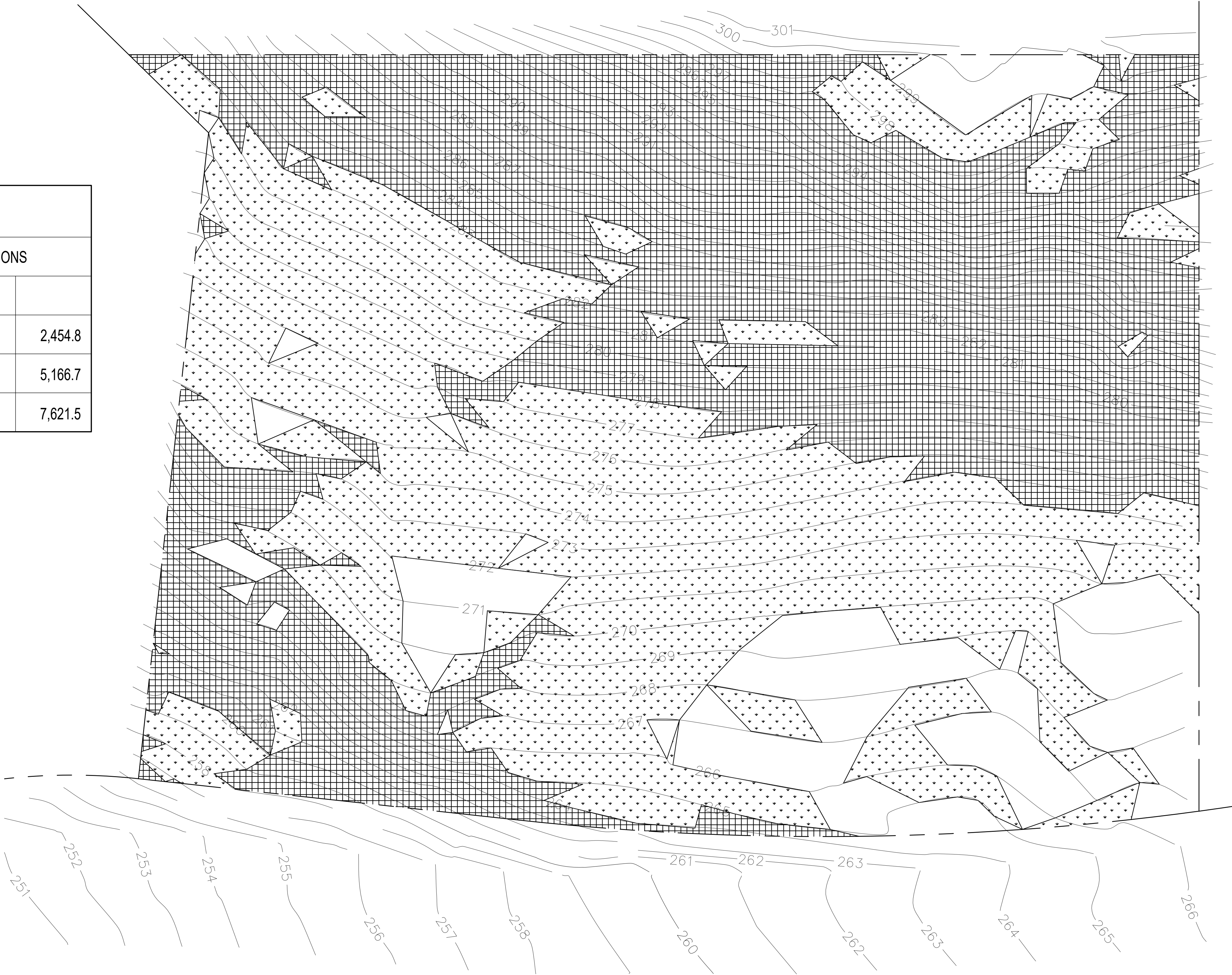


NOT FOR CONSTRUCTION

| SLOPE ANALYSIS  |            |             |         |            |         |
|---|------------|-------------|---------|------------|---------|
| HATCH   | RANGE      | AREA        | PERCENT | DEDUCTIONS |         |
|  | 0.0% - 15% | 3,184.38 SF | 13.6%   | 0.0%       |         |
|  | 15% - 25%  | 9,819.2 SF  | 42.1%   | 25%        | 2,454.8 |
|  | 25% - <    | 10,333.4 SF | 44.3%   | 50%        | 5,166.7 |
|   | TOTAL      | 23,337.43   | 100%    |            | 7,621.5 |

PROCESS DESCRIPTION:

TO PERFORM THE SLOPE ANALYSIS, A CAD SURVEY WITH TOPOGRAPHIC INFORMATION WAS IMPORTED INTO "REVIT" SOFTWARE TO MODEL A SURFACE WHICH PRECISELY FOLLOWS THE CONTOUR LINES FROM THE SURVEY. A REVIT PLUGIN CALLED "ENVIRONMENT" WAS USED TO INSERT THREE RANGE VALUES (0-15%, 15-25%, AND 25% - <). THE RANGE PARAMETER THEN CALCULATED THE AREA AND PERCENT OF THE SLOPES WITHIN THE PROPERTY LINES. TO ACCURATELY PRESENT THESE AREAS, THREE HATCHES WERE CREATED TO DIAGRAM EACH RANGE VALUE. THE RESULTS WERE THEN EXPORTED INTO AUTOCAD FOR FINAL DOCUMENTATION.



TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED, THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE CURRENTLY IN EFFECT.



WARNING:  
IT IS A VIOLATION OF THE NEW YORK STATE EDUCATIONAL LAW ARTICLE 145 SECTION 7209 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT, ENGINEER OR LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY.



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914-276-8874 : o  
914-774-0343 : m  
info@integraleogr.com : e  
www.integraleogr.com : w

PROJECT TITLE:  
**GIGLIO  
RESIDENCE**  
79 NORTH MOUNTAIN DRIVE  
DOBBS FERRY, N.Y. 10522  
PROJECT NO: **2207**

**GOTHAM  
DESIGN**  
PLANNING AND  
DEVELOPMENT LTD.

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Dobbs Ferry, N.Y. 10522  
Phone: ( 914 ) 693-5093  
Fax: ( 914 ) 693-5390  
email: arch329@gmail.com

ISSUED / REVISIONS

SHEET TITLE:  
**SLOPE  
ANALYSIS**

|                            |                           |
|----------------------------|---------------------------|
| DATE:<br><b>06/15/2022</b> | DRAWN BY:<br><b>SSJ</b>   |
| SCALE:<br><b>AS NOTED</b>  | CHECKED BY:<br><b>PRS</b> |

**SP-1.1**

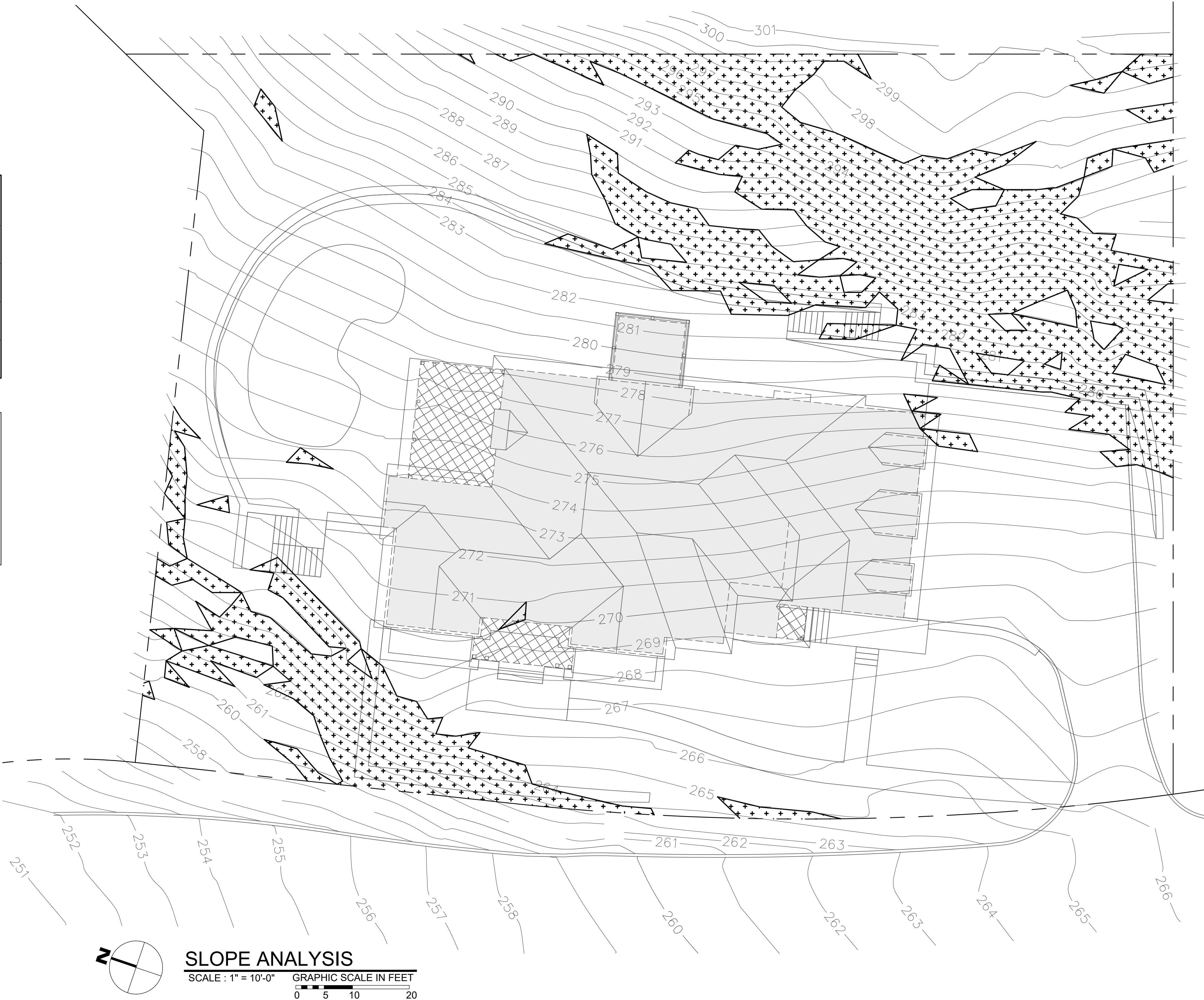


NOT FOR CONSTRUCTION

| SLOPE ANALYSIS |            |             |         |
|----------------|------------|-------------|---------|
| HATCH          | RANGE      | AREA        | PERCENT |
| <div></div>    | 0.0% - 35% | 19001.51 SF | 81.42%  |
| <div></div>    | 35% - <    | 4335.92 SF  | 18.58%  |
|                | TOTAL      | 23,337.43   | 100%    |

PROCESS DESCRIPTION:

TO PERFORM THE SLOPE ANALYSIS, A CAD SURVEY WITH TOPOGRAPHIC INFORMATION WAS IMPORTED INTO "REVIT" SOFTWARE TO MODEL A SURFACE WHICH PRECISELY FOLLOWS THE CONTOUR LINES FROM THE SURVEY. A REVIT PLUGIN CALLED "ENVIRONMENT" WAS USED TO INSERT THREE RANGE VALUES (0-35% AND 35% - <). THE RANGE PARAMETER THEN CALCULATED THE AREA AND PERCENT OF THE SLOPES WITHIN THE PROPERTY LINES. TO ACCURATELY PRESENT THESE AREAS, THREE HATCHES WERE CREATED TO DIAGRAM EACH RANGE VALUE. THE RESULTS WERE THEN EXPORTED INTO AUTOCAD FOR FINAL DOCUMENTATION.



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914-774-0343 : m  
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www.integralegr.com : w

PROJECT TITLE:  
**GIGLIO RESIDENCE**  
79 NORTH MOUNTAIN DRIVE  
DOBBS FERRY, N.Y. 10522  
PROJECT NO.: **2207**

**GOTHAM DESIGN**  
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email: arch329@gmail.com

ISSUED / REVISIONS  
REVISED 01-19-2023  
UPDATED ROOF PLAN AND  
SITE RETAINING WALLS

SHEET TITLE:  
**SLOPE ANALYSIS**

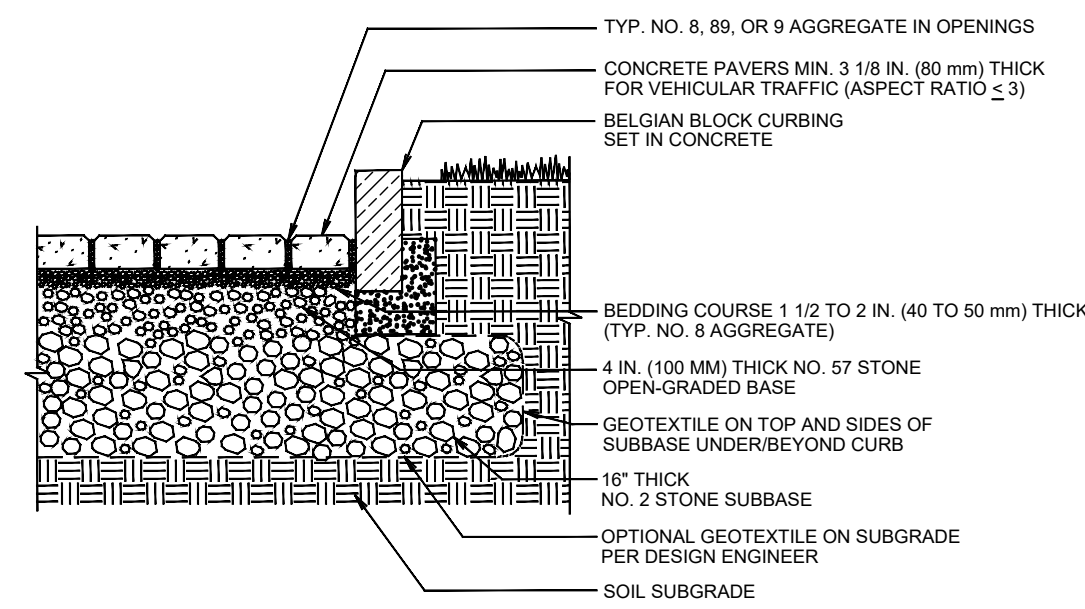
|                            |                           |
|----------------------------|---------------------------|
| DATE:<br><b>06/15/2022</b> | DRAWN BY:<br><b>SSJ</b>   |
| SCALE:<br><b>AS NOTED</b>  | CHECKED BY:<br><b>PRS</b> |

**SP-1.2**



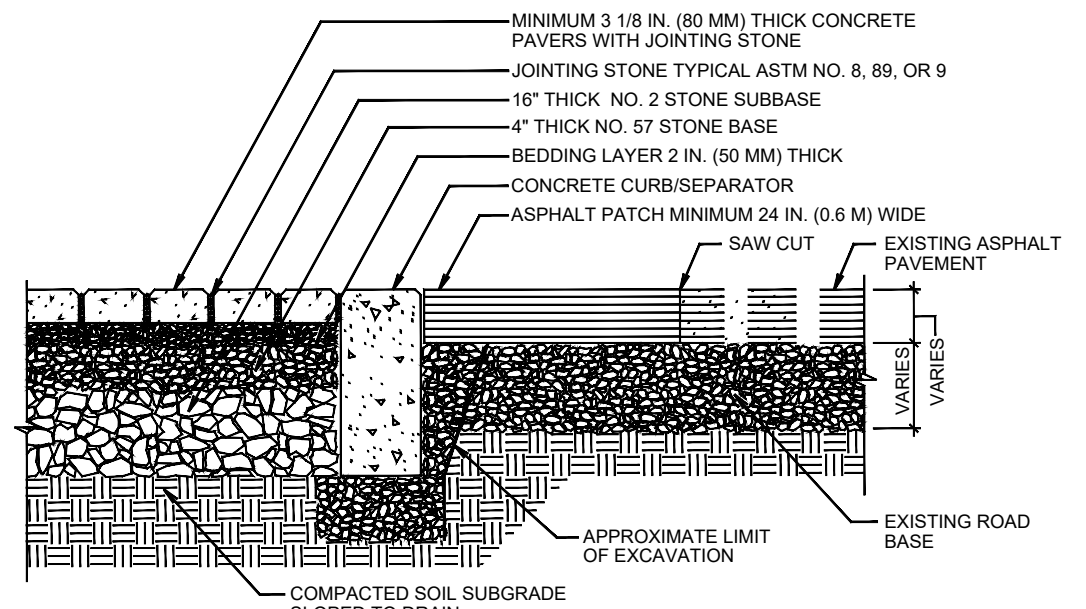






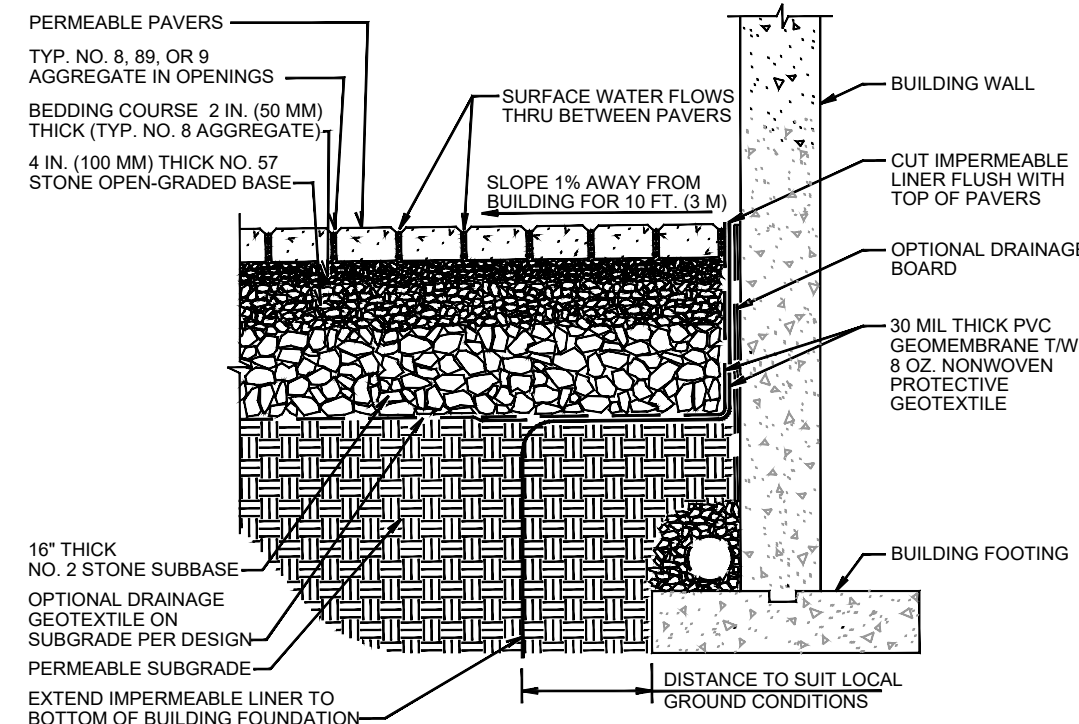
- NOTES:
1. 2 3/8 IN. (60 mm) THICK PAVERS MAY BE USED IN PEDESTRIAN AND RESIDENTIAL APPLICATIONS.
  2. NO. 2 STONE SUBBASE THICKNESS VARIES WITH DESIGN. CONSULT ICPI PERMEABLE INTERLOCKING CONCRETE PAVEMENT MANUAL.
  3. NO. 2 STONE MAY BE SUBSTITUTED WITH NO. 3 OR NO. 4 STONE.

PERMEABLE PAVEMENT WITH FULL INFILTRATION TO SOIL SUBGRADE



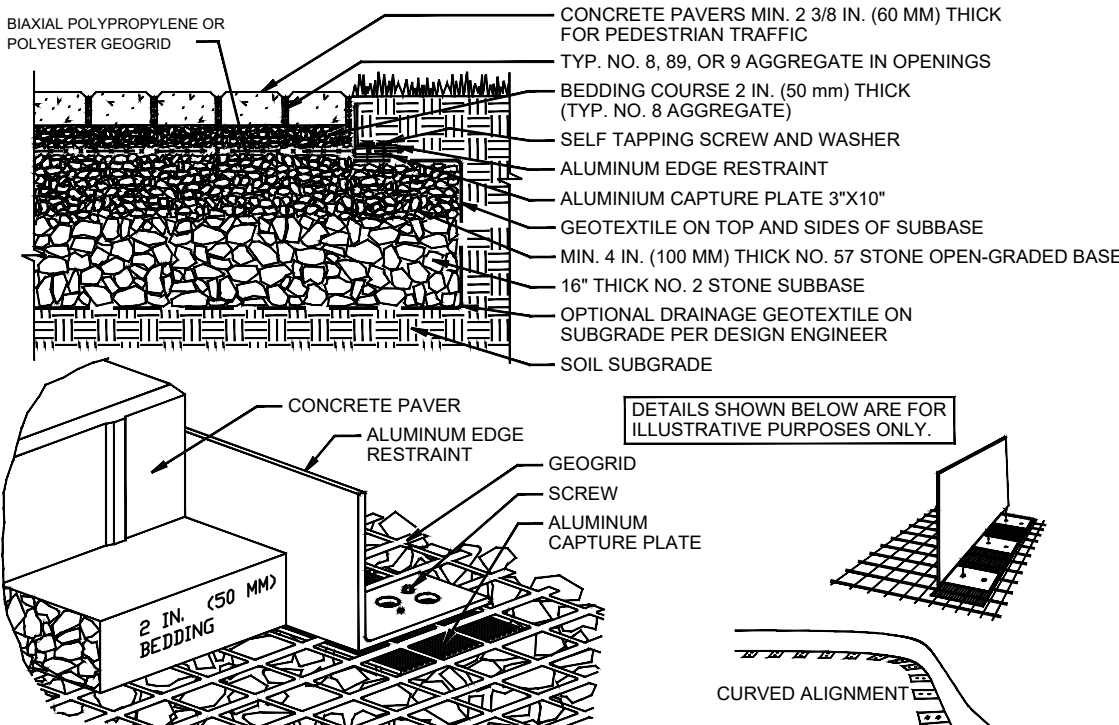
- NOTES:
1. 2 3/8 IN. (60 mm) THICK PAVERS MAY BE USED IN RESIDENTIAL APPLICATIONS.
  2. NO. 2 STONE SUBBASE THICKNESS VARIES WITH DESIGN. CONSULT ICPI PERMEABLE INTERLOCKING CONCRETE PAVEMENT MANUAL.

FLEXIBLE PAVEMENT TRANSITION DETAIL



- NOTE:
1. SELECT GEOTEXTILE PER AASHTO M 288.

FOUNDATION WALL PROTECTION FROM PICP



- NOTES:
1. USE 3 1/8 IN. (60 mm) THICK PAVERS IN RESIDENTIAL DRIVEWAY APPLICATIONS.
  2. NO. 2 STONE SUBBASE THICKNESS VARIES WITH DESIGN. CONSULT ICPI PERMEABLE INTERLOCKING CONCRETE PAVEMENT MANUAL.
  3. SELECT GEOTEXTILE PER AASHTO M 288.

PERMEABLE INTERLOCKING CONCRETE PAVEMENT ALUMINUM EDGE RESTRAINT WITH GEOGRID

## PERMEABLE PAVING DETAILS

NOT TO SCALE

### IMPERVIOUS COVERAGE PROPOSED

|                      |              |
|----------------------|--------------|
| HOUSE                | 2,951 SQ.FT. |
| GARAGE               | 789 SQ.FT.   |
| FRONT PORCH          | 118 SQ.FT.   |
| FAM ENTRY PORCH      | 29 SQ.FT.    |
| GREAT ROOM PORCH     | 303 SQ.FT.   |
| FRONT TERRACE        | 132 SQ.FT.   |
| STEPS                |              |
| AT FRONT PORCH       | 24 SQ.FT.    |
| AT FAMILY ENT. PORCH | 24 SQ.FT.    |
| AT FRONT WALKWAY     | 12 SQ.FT.    |
| AT BRKFST ROOM       | 64 SQ.FT.    |
| STONE WALLS          |              |
| FRONT & DRIVEWAY     | 207 SQ.FT.   |
| N. SIDE & REAR       | 493 SQ.FT.   |
| S. SIDE & REAR       | 248 SQ.FT.   |
| SIDE STONE STAIRS    | 140 SQ.FT.   |
| REAR STONE STAIRS    | 68 SQ.FT.    |
| SWIMMING POOL        | 620 SQ.FT.   |
| WINDOW WELL          | 59 SQ.FT.    |
| DRIVEWAY             | 2,003 SQ.FT. |
| TOTAL                | 8,284 SQ.FT. |

8,284/ 23,337 GROSS LOT AREA = 35.5%

### PERVIOUS SURFACES COVERAGE PROPOSED

|                       |              |
|-----------------------|--------------|
| FRONT WALK            | 533 SQ.FT.   |
| REAR PERVIOUS TERRACE | 2,339 SQ.FT. |

### BUILDING COVERAGE PROPOSED

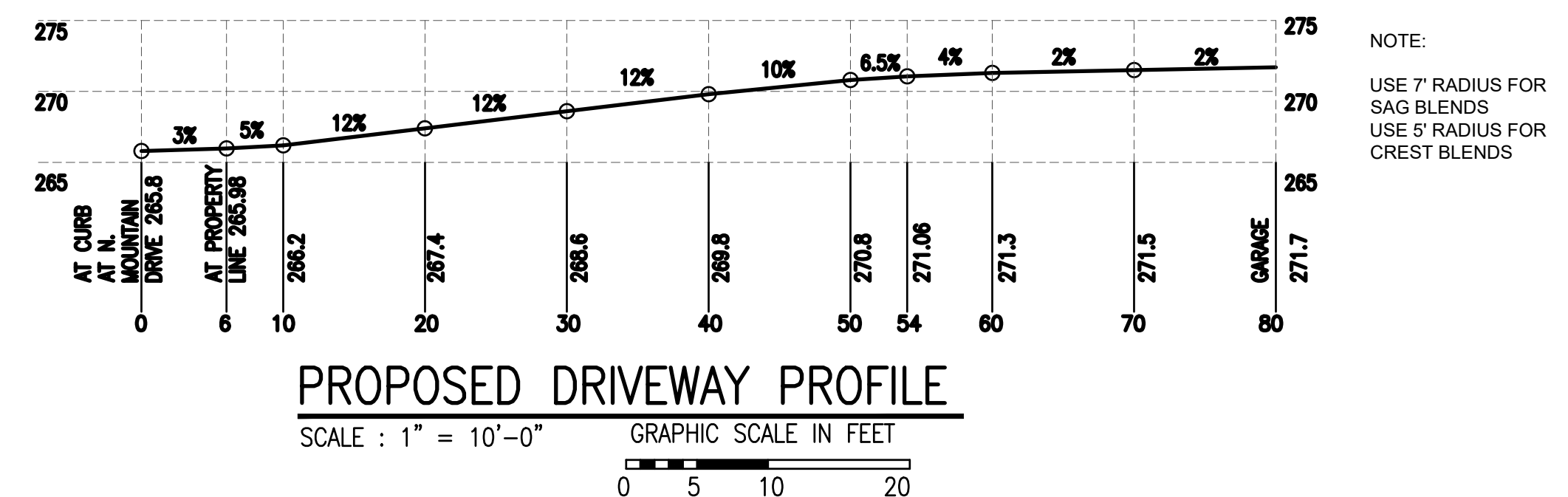
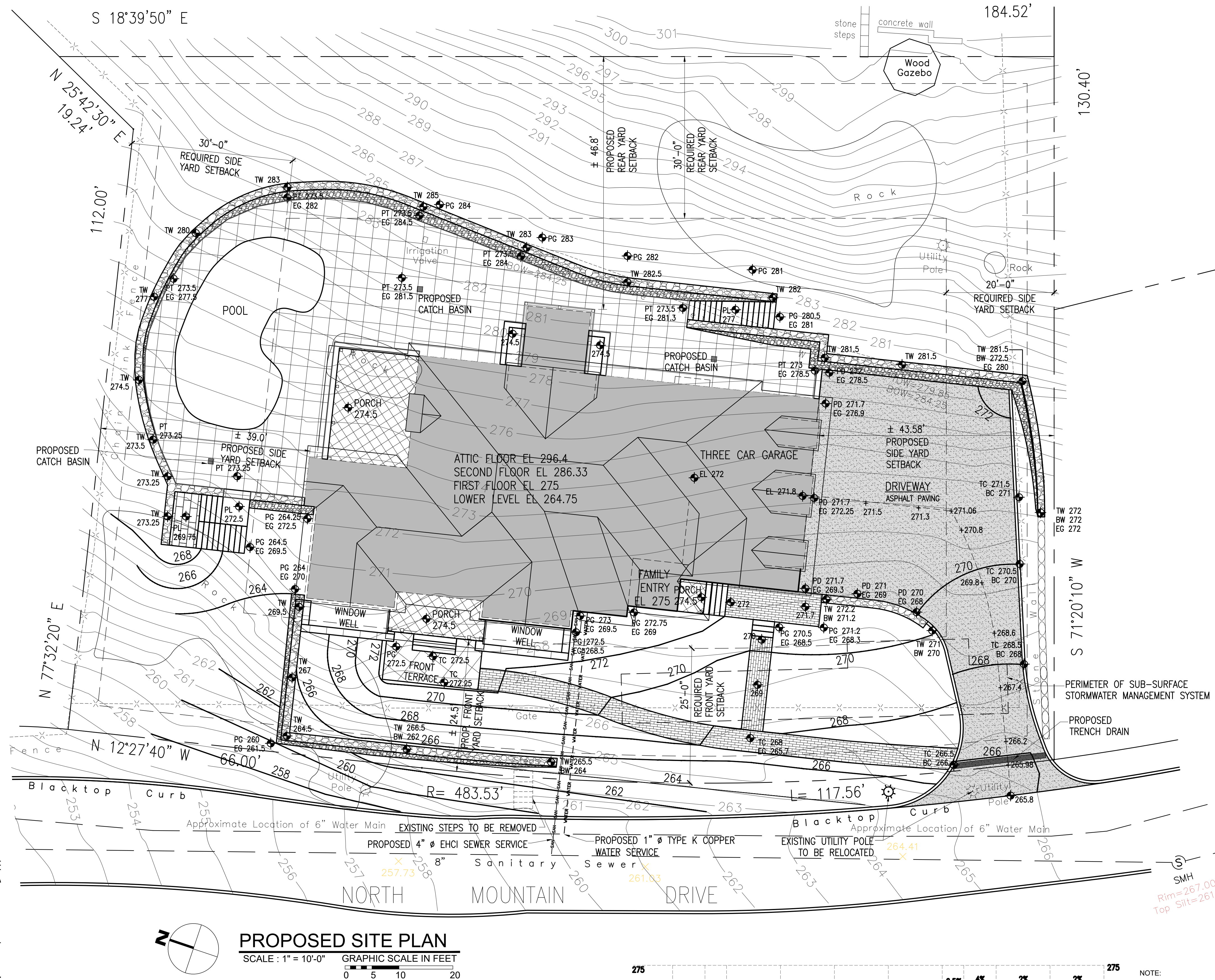
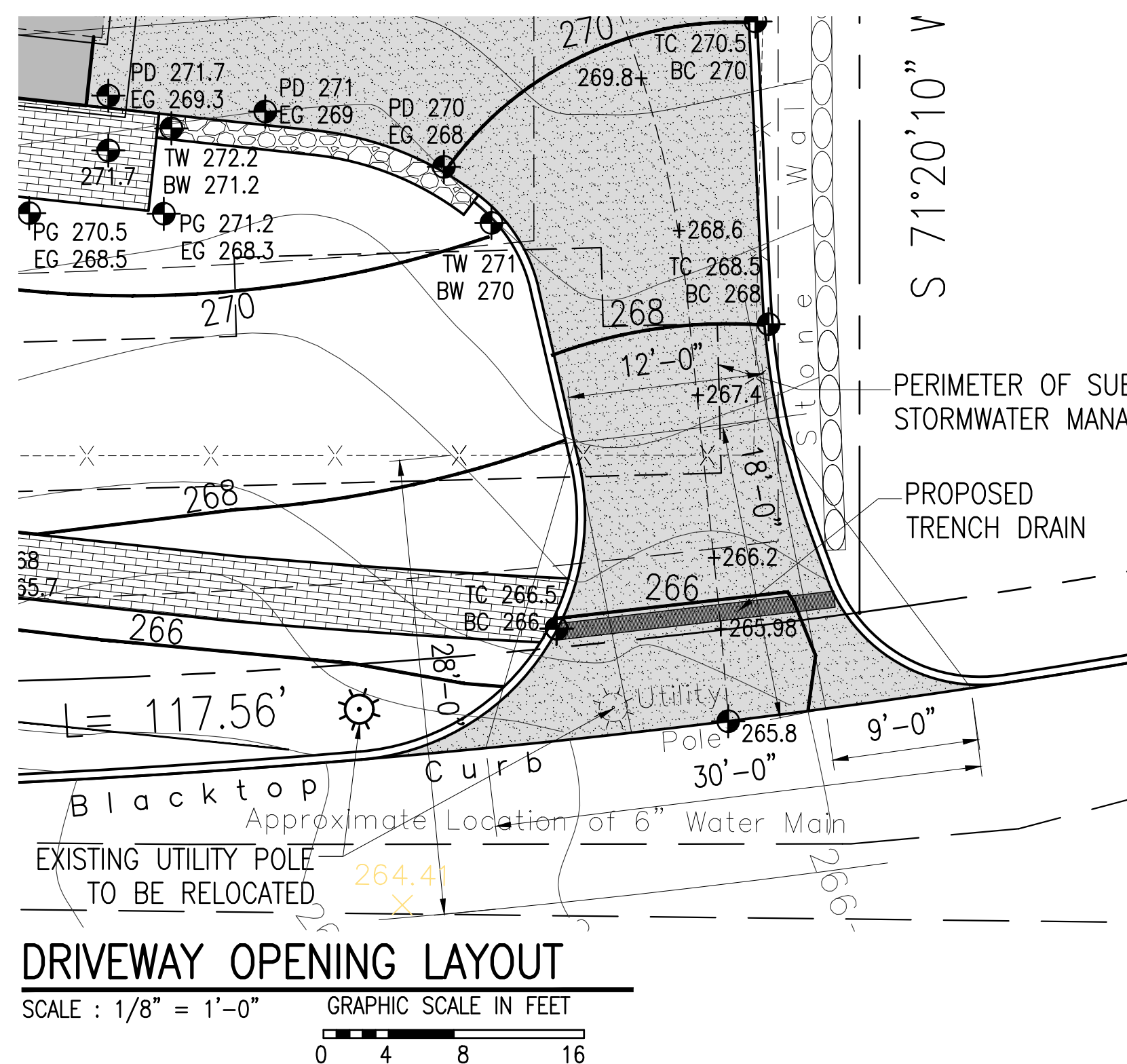
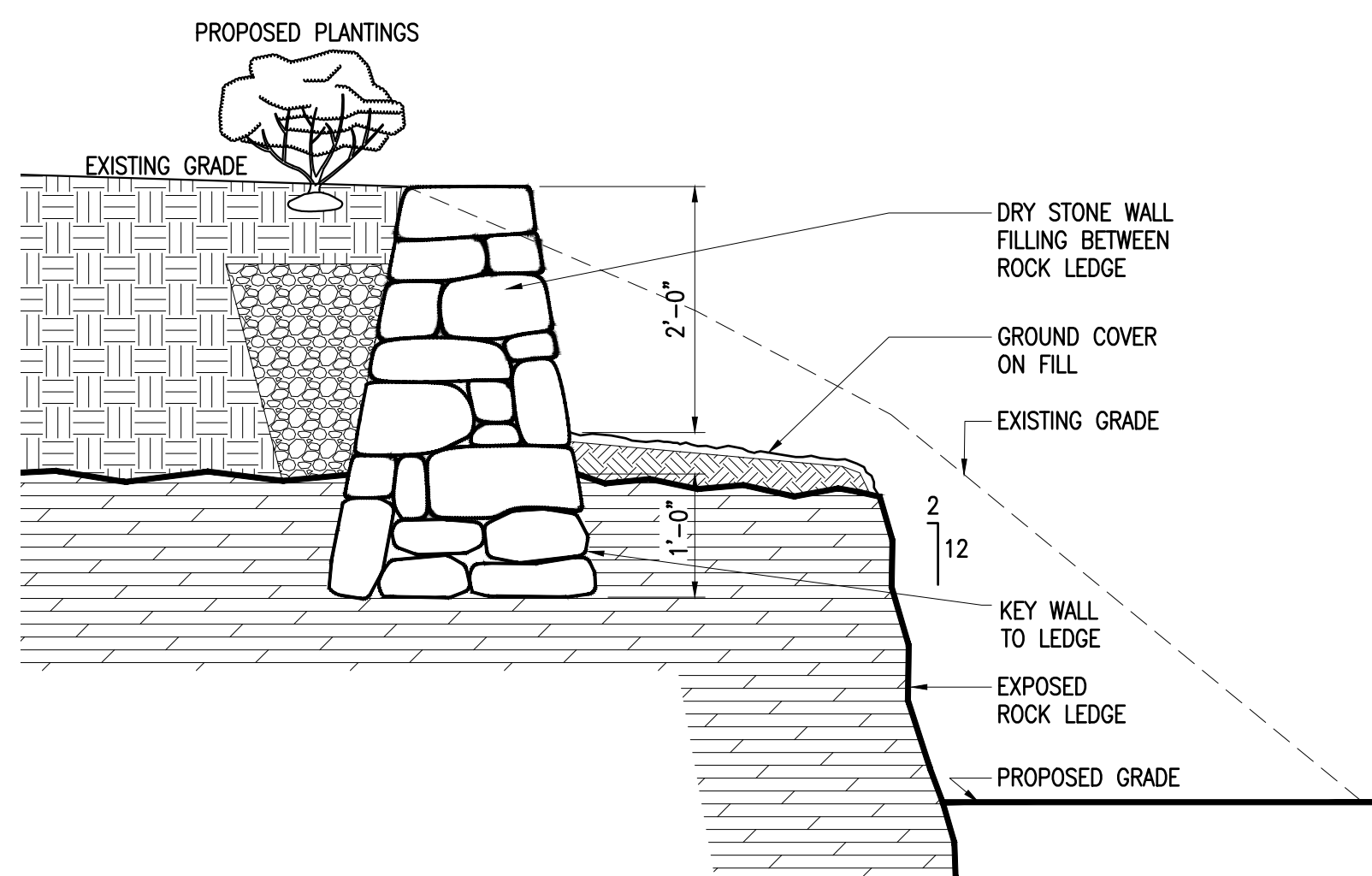
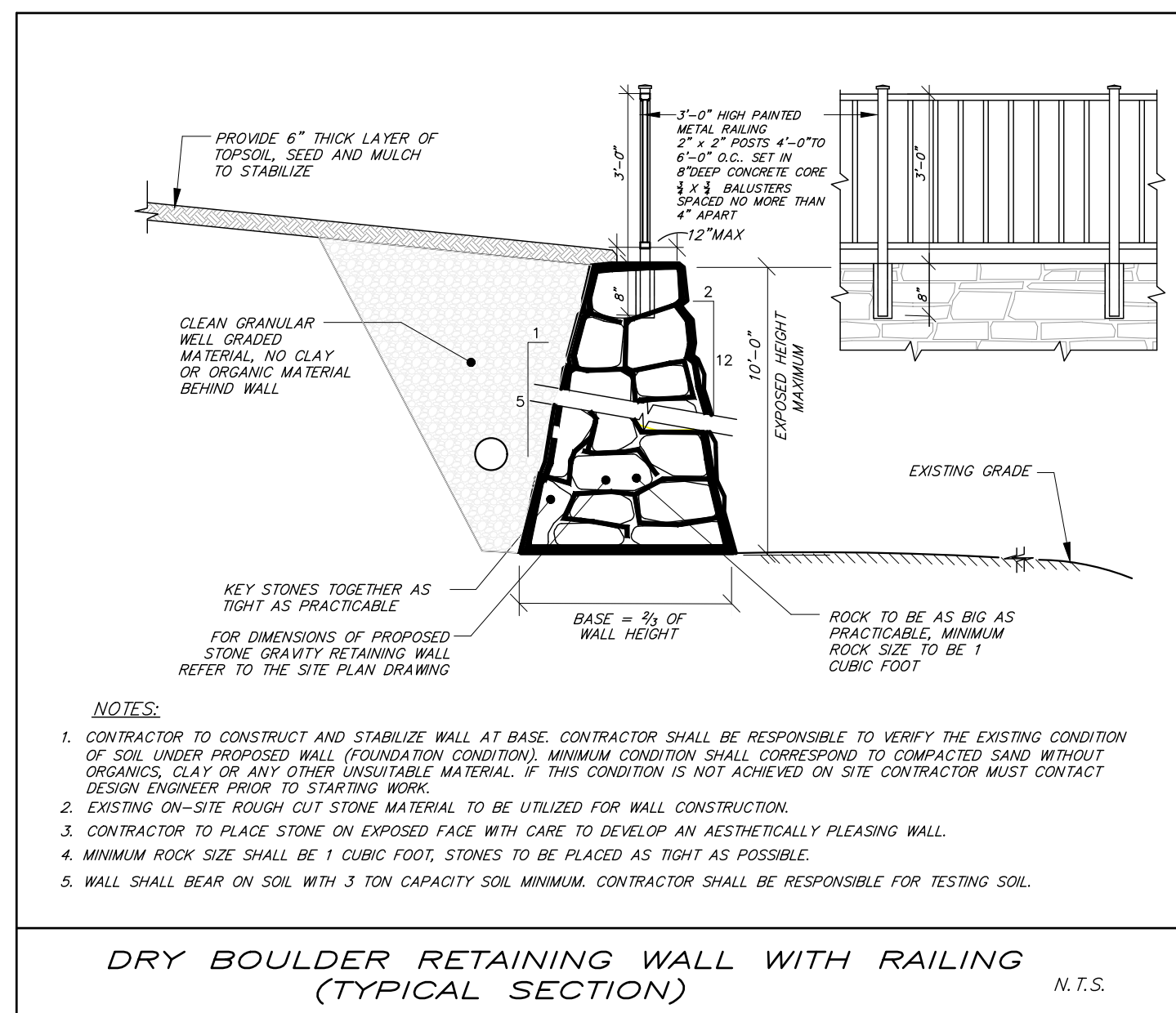
|                  |              |
|------------------|--------------|
| HOUSE            | 2,899 SQ.FT. |
| GARAGE           | 825 SQ.FT.   |
| FRONT PORCH      | 126 SQ.FT.   |
| FAM ENTRY PORCH  | 36 SQ.FT.    |
| GREAT ROOM PORCH | 303 SQ.FT.   |
| TOTAL            | 4,190 SQ.FT. |

4190 / 23337 GROSS LOT AREA = 17.95%

</



NOT FOR CONSTRUCTION



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info@integralengr.com : e  
www.integralengr.com : w

PROJECT FILE: **GIGLIO**  
**RESIDENCE**  
79 NORTH MOUNTAIN DRIVE  
DOBBS FERRY, N.Y. 10522  
PROJECT NO.: **2207**

**GOTHAM  
DESIGN**  
PLANNING AND  
DEVELOPMENT LT

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Stonemaas Ferry, N.Y. 10522  
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Email: arch329@gmail.com

ISSUED / REVISIONS  
REVISED 12-08-2022  
DRIVEWAY TO STREET  
RET'G WALL AT PROP LINE  
FRONT RET'G WALL @ DRIVEWAY  
ADDED WATER AND SEWER  
SERVICE LINES FROM STREET  
RELOCATE EX. UTILITY POLE  
ADDED PROPOSED DRIVEWAY  
PROFILE

|                          |            |
|--------------------------|------------|
| REVISED                  | 12-19-2023 |
| DRIVEWAYS OPENING LAYOUT |            |
| REVISED                  | 01-19-2024 |
| UPDATED ROOF PLAN AND    |            |
| SITE RETAINING WALLS     |            |

**PROPOSED  
GRADING PLAN AND  
RETAINING WALL  
DETAILS**

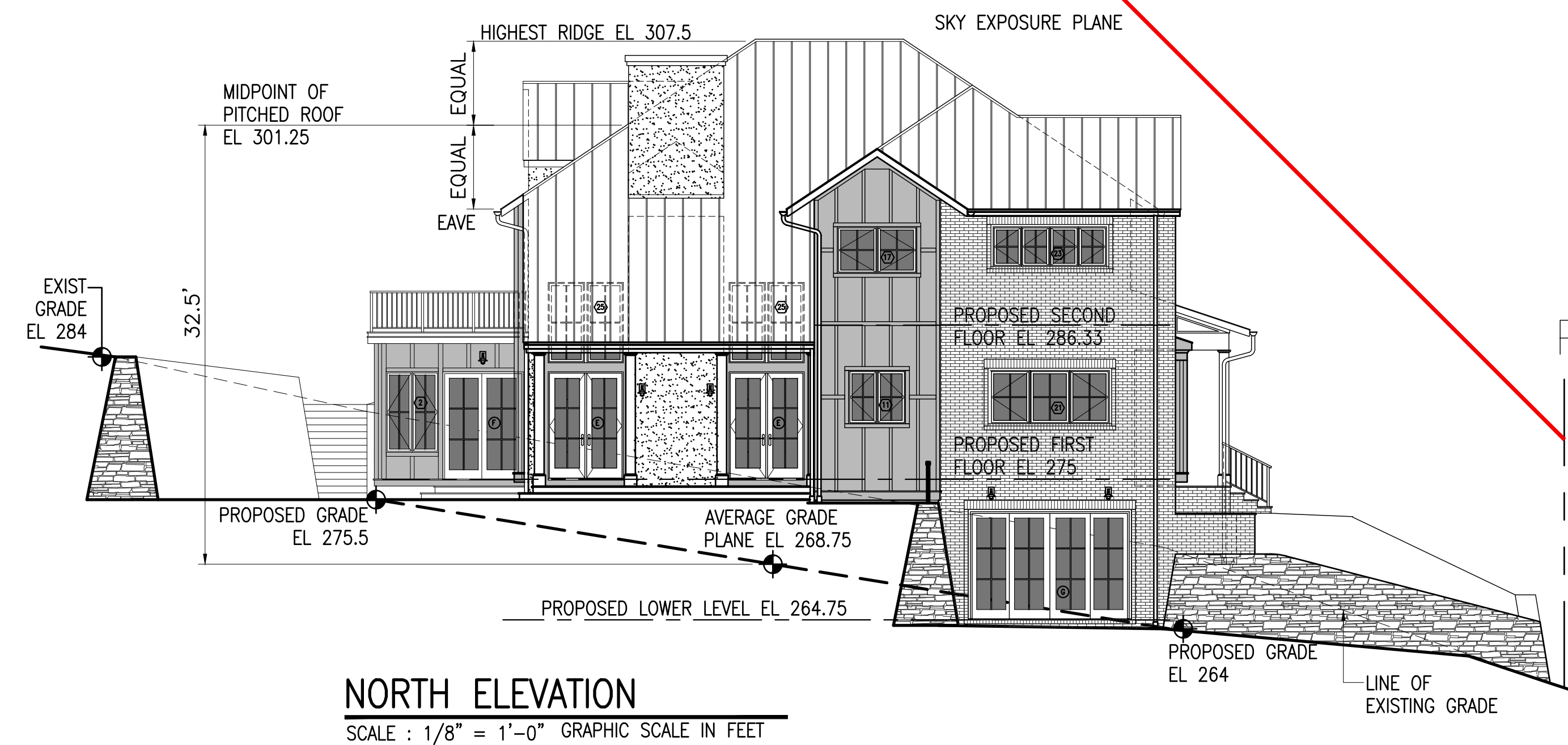
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|----------------------------|---------------------------|
| DATE:<br><b>11-29-2022</b> | DRAWN BY:<br><b>SSJ</b>   |
| SCALE:<br><b>AS NOTED</b>  | CHECKED BY:<br><b>PRS</b> |

# SP-1.5

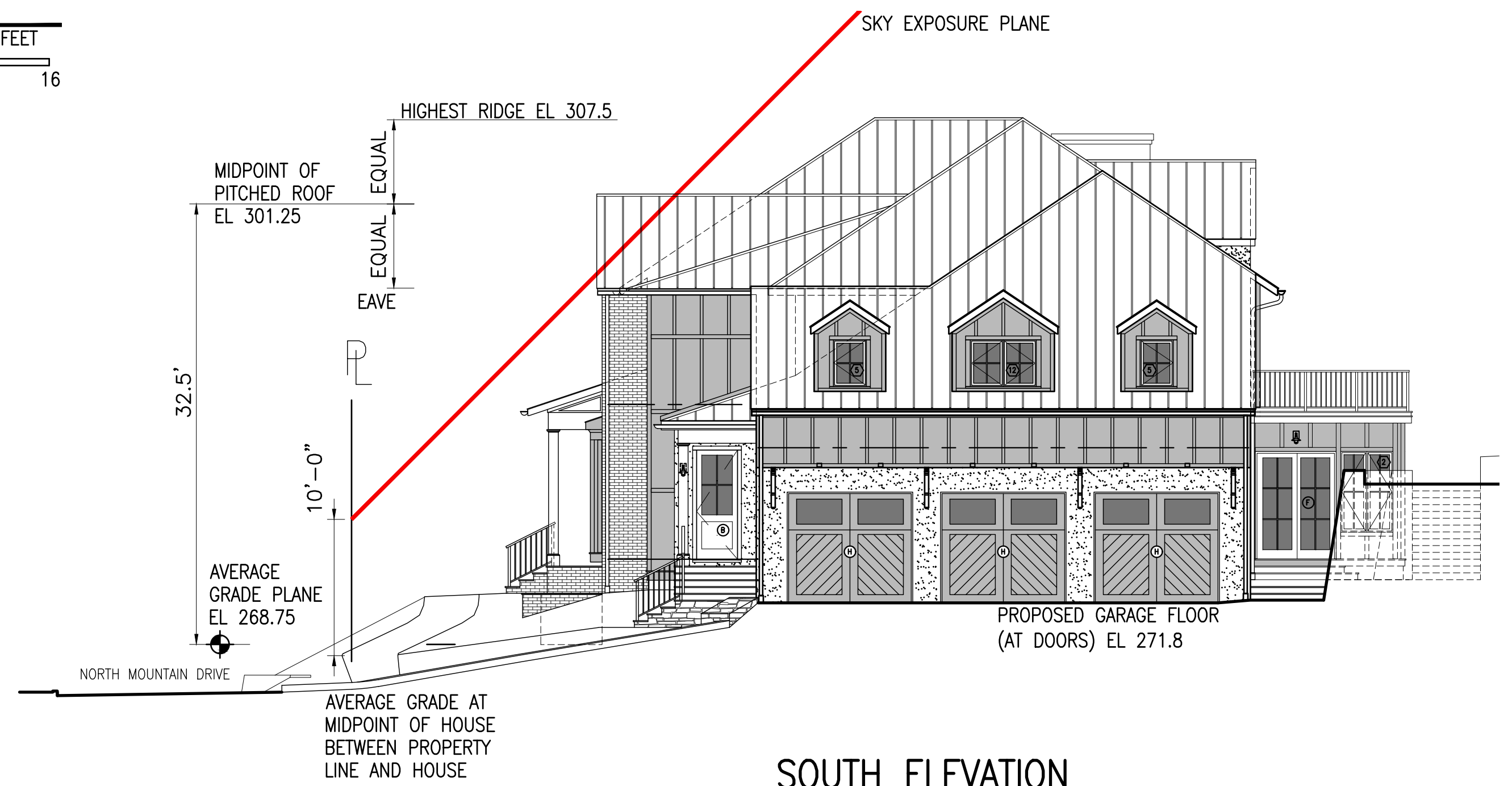




**EAST ELEVATION**  
SCALE : 1/8" = 1'-0" GRAPHIC SCALE IN FEET  
0 1 2 4 8 16



**NORTH ELEVATION**  
SCALE : 1/8" = 1'-0" GRAPHIC SCALE IN FEET  
0 1 2 4 8 16



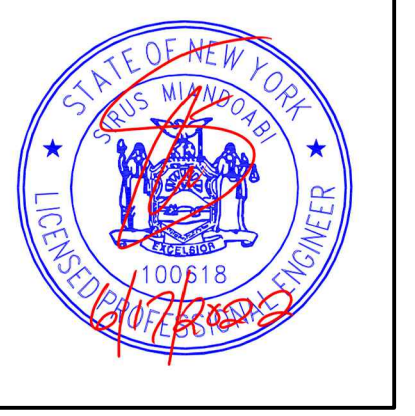
**SOUTH ELEVATION**  
SCALE : 1/8" = 1'-0" GRAPHIC SCALE IN FEET  
0 1 2 4 8 16



**WEST ELEVATION (NORTH MOUNTAIN DRIVE)**  
SCALE : 1/8" = 1'-0" GRAPHIC SCALE IN FEET  
0 1 2 4 8 16

NOT FOR CONSTRUCTION

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WARNING : IT IS A VIOLATION OF THE NEW YORK STATE EDUCATIONAL LAW ARTICLE 145 SECTION 7209 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT, ENGINEER OR LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY.



PROJECT TITLE: **GIGLIO RESIDENCE**  
79 NORTH MOUNTAIN DRIVE  
DOBBS FERRY, N.Y. 10522  
PROJECT NO.: **2207**

**GOTHAM DESIGN**  
PLANNING AND DEVELOPMENT LTD.

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Dobbs Ferry, N.Y. 10522  
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email: arch329@gmail.com

ISSUED / REVISIONS  
REVISED 01-19-2023  
UPDATED ELEVATIONS

SHEET TITLE:


**PROPOSED ELEVATIONS AND SKY EXPOSURE PLANE**

|                  |                 |
|------------------|-----------------|
| DATE: 01-02-2023 | DRAWN BY: SSJ   |
| SCALE: AS NOTED  | CHECKED BY: PRS |

**SP-3.1**



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PROJECT TITLE:  
**GIGLIO RESIDENCE**  
79 NORTH MOUNTAIN DRIVE  
DOBBS FERRY, N.Y. 10522  
PROJECT NO.: **2207**

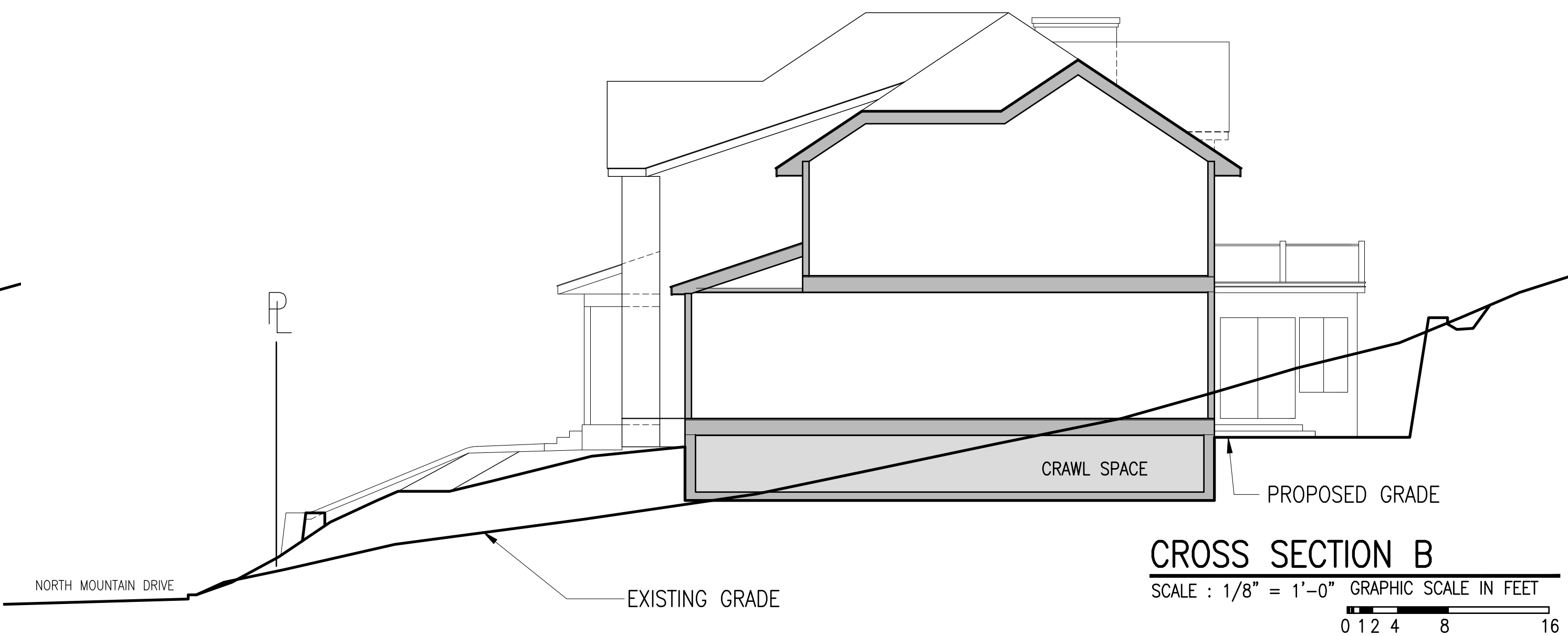
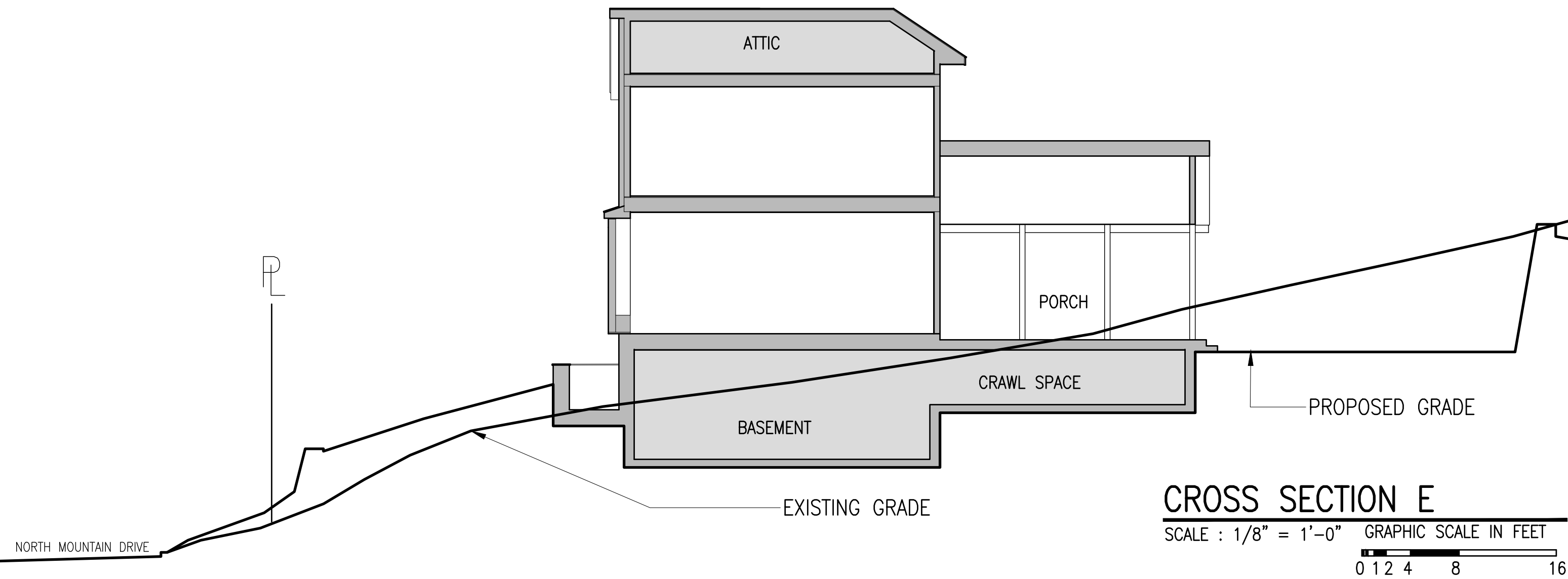
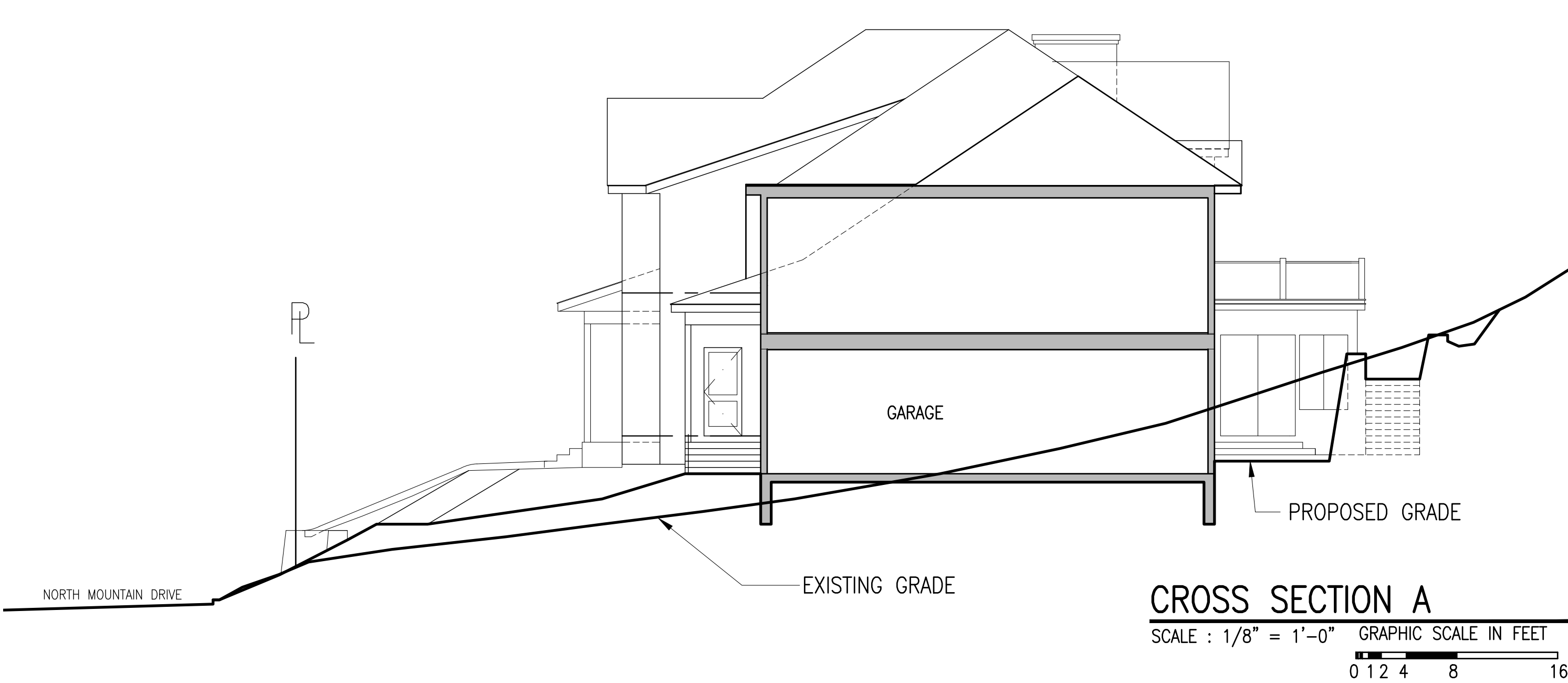
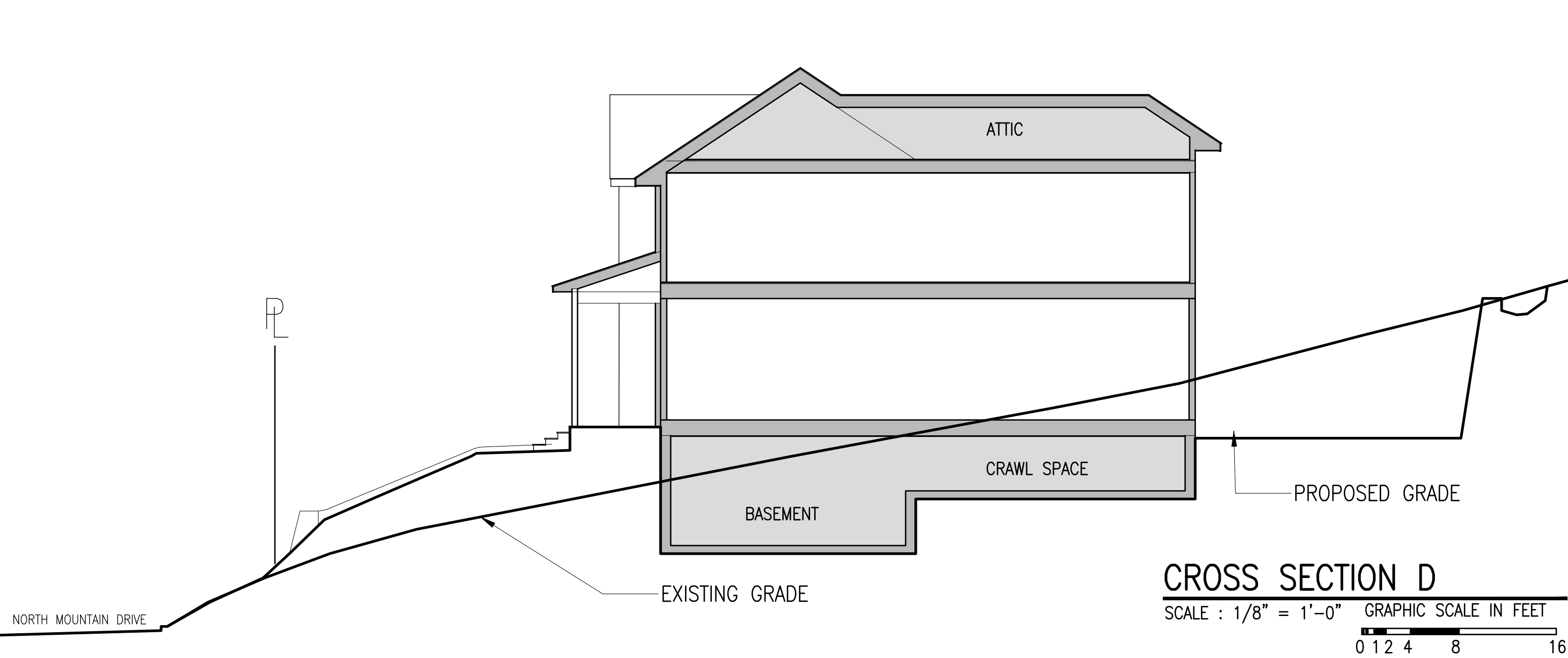
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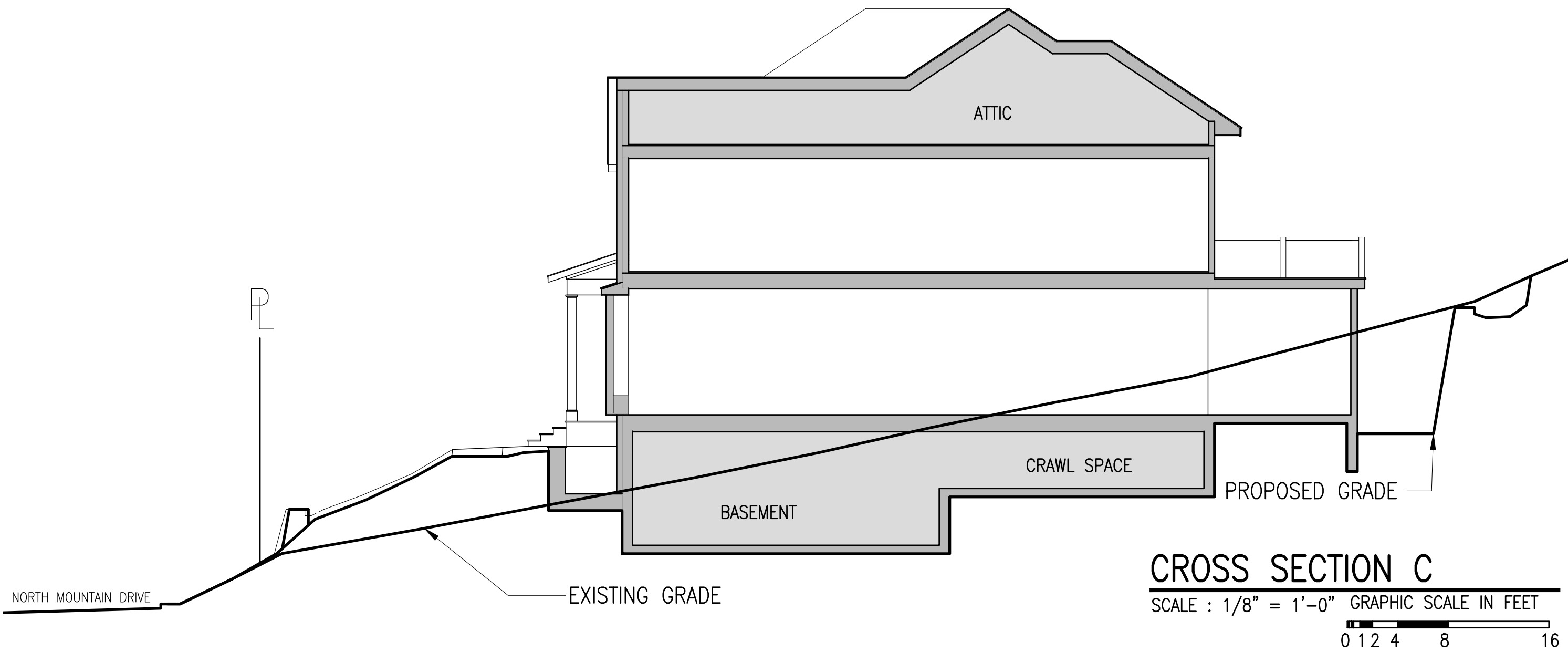
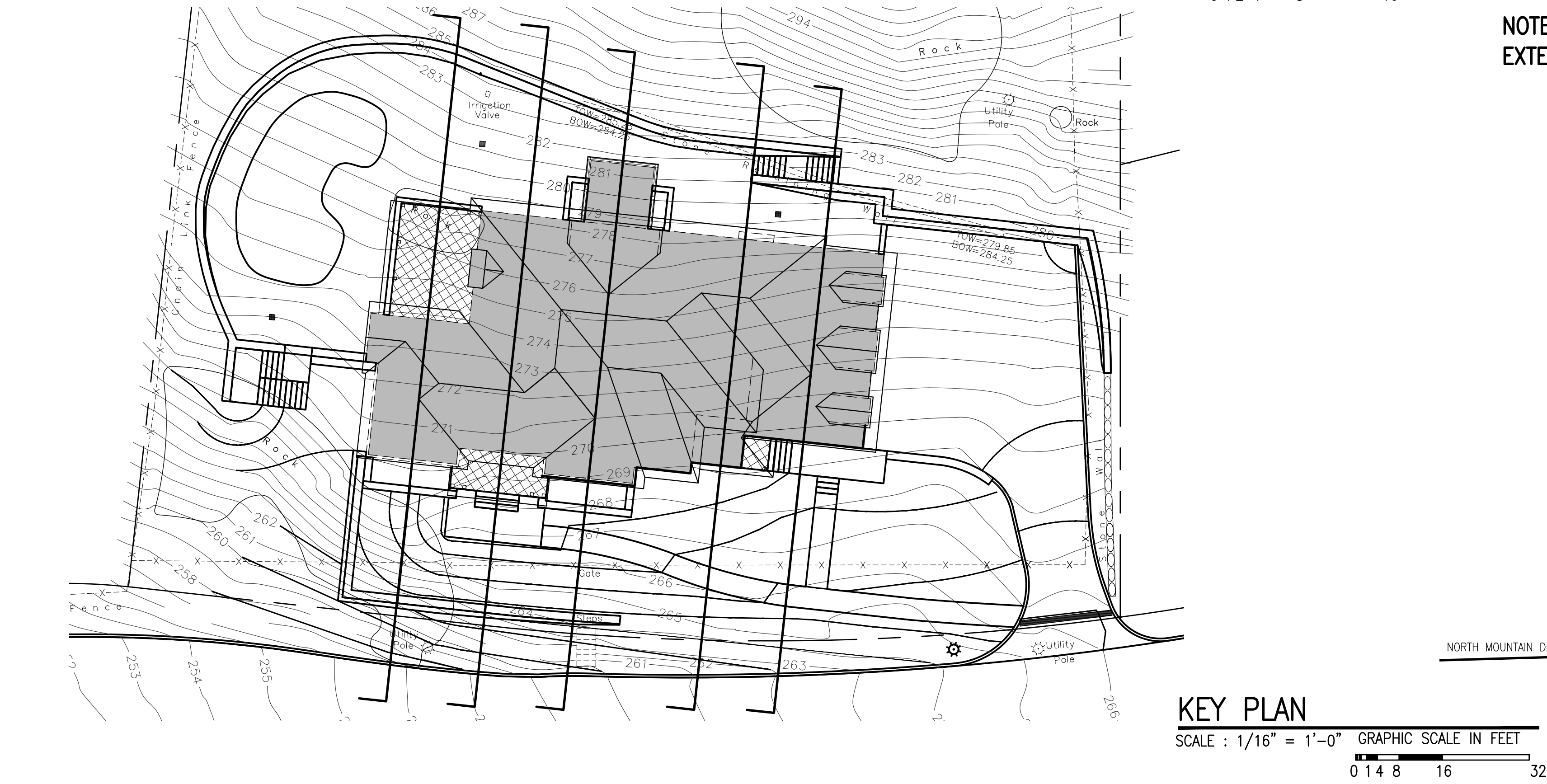
ISSUED / REVISIONS  
REVISED 01-19-2023  
ADDED NOTE ON ROCK REMOVAL  
ADDED WINDOW WELLS TO SECTIONS  
UPDATED BASE SITE PLAN FOR THE KEY

| SHEET TITLE:        |                    |
|---------------------|--------------------|
| CROSS SECTIONS      |                    |
| DATE:<br>10-13-2022 | DRAWN BY:<br>SSJ   |
| SCALE:<br>AS NOTED  | CHECKED BY:<br>PRS |

SP-4

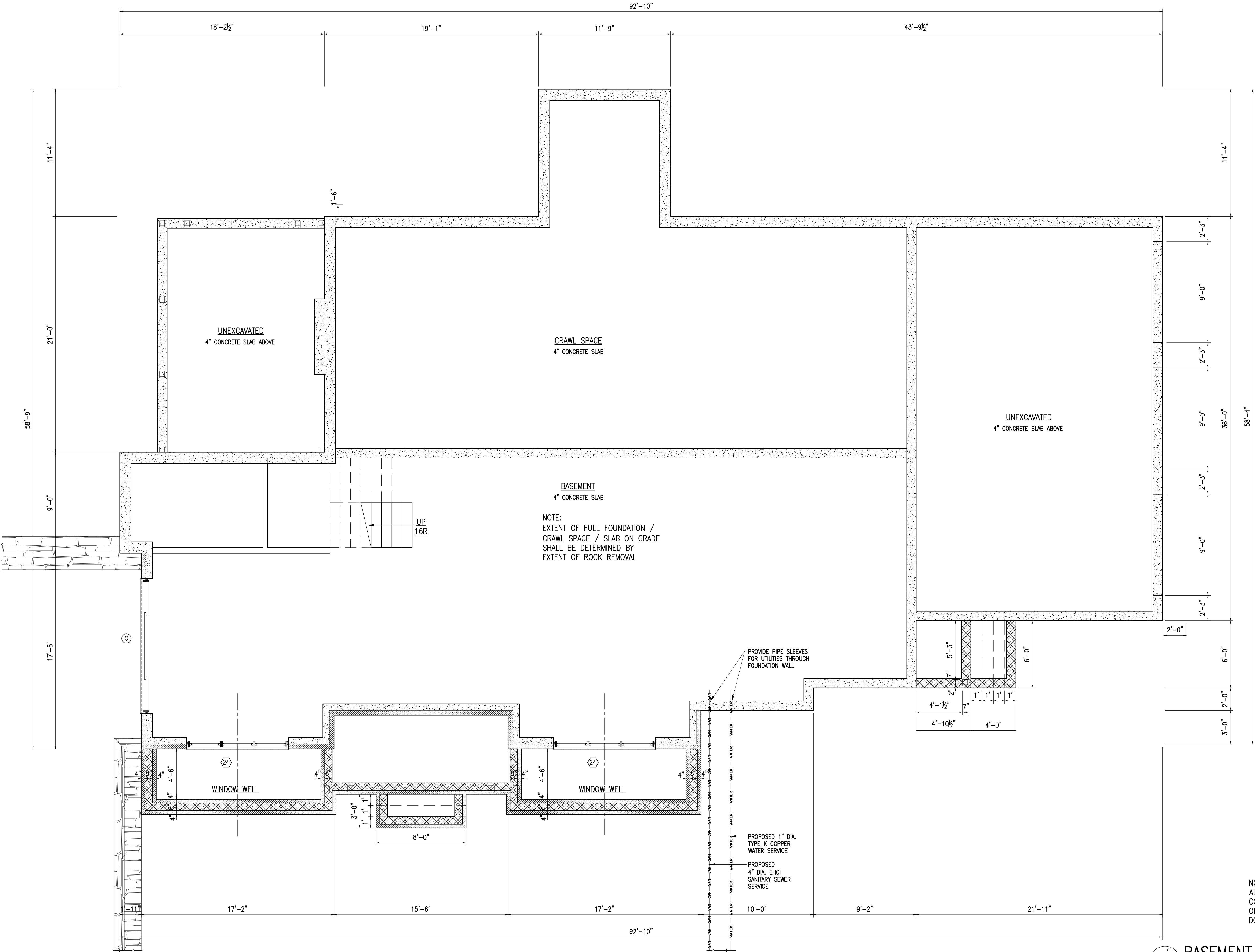


NOTE:  
EXTENT OF FULL FOUNDATION / CRAWL SPACE / SLAB ON GRADE SHALL BE DETERMINED BY EXTENT OF ROCK REMOVAL

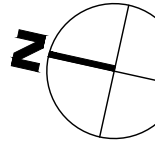


NOT FOR CONSTRUCTION





NOTE;  
ALL EXTERIOR LIGHTING WILL BE  
COMPLIANT WITH SECTION 300-41  
OF THE VILLAGE OF  
DOBBS FERRY ZONING CODE.



BASEMENT FLOOR PLAN

SCALE : 1/4" = 1'-0" GRAPHIC SCALE IN FEET

0 1 2 4 8

TO THE BEST OF MY KNOWLEDGE, BELIEF,  
AND PROFESSIONAL JUDGMENT OF THE  
UNDERSIGNED, THE PLANS AND  
SPECIFICATIONS DEPICTED ON THESE  
DRAWINGS ARE IN COMPLIANCE WITH THE  
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CODE CURRENTLY IN EFFECT



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PROJECT TITLE:  
**GIGLIO  
RESIDENCE**  
79 NORTH MOUNTAIN DRIVE  
DOBBS FERRY, N.Y. 10522  
PROJECT NO.: **2207**

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SHEET TITLE:

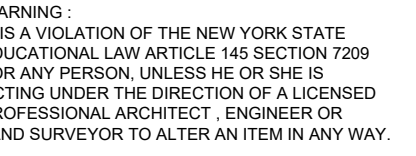
**BASEMENT  
FLOOR PLAN**

|                            |                           |
|----------------------------|---------------------------|
| DATE:<br><b>01-19-2023</b> | DRAWN BY:<br><b>SSJ</b>   |
| SCALE:<br><b>AS NOTED</b>  | CHECKED BY:<br><b>PRS</b> |

**A-2.0**



TO THE BEST OF MY KNOWLEDGE, BELIEF,  
AND PROFESSIONAL JUDGEMENT OF THE  
UNDERSIGNED, THE PLANS AND  
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APPLICABLE PROVISION OF THE NEW YORK  
STATE UNIFORM FIRE PREVENTION AND  
BUILDING CODE AND THE NEW YORK STATE  
ENERGY CONSERVATION CONSTRUCTION  
CODE CURRENTLY IN EFFECT

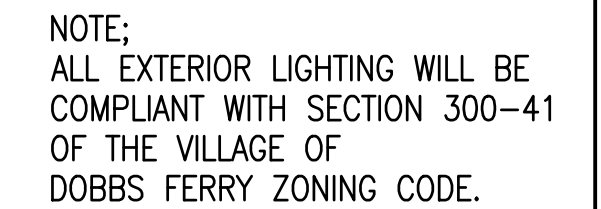


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SHEET TITLE:


|                            |                           |
|----------------------------|---------------------------|
| DATE:<br><b>01-19-2023</b> | DRAWN BY:<br><b>SSJ</b>   |
| SCALE:<br><b>AS NOTED</b>  | CHECKED BY:<br><b>PRS</b> |

## A-2.1



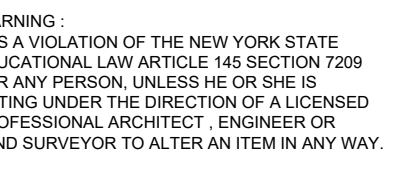
**FIRST FLOOR PLAN**

SCALE :  $1/4" = 1'-0"$  GRAPHIC SCALE IN FEET





THE BEST OF MY KNOWLEDGE, BELIEF,  
AND PROFESSIONAL JUDGEMENT OF THE  
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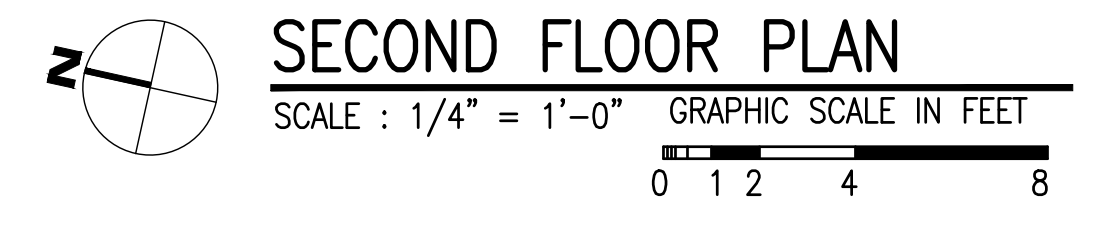
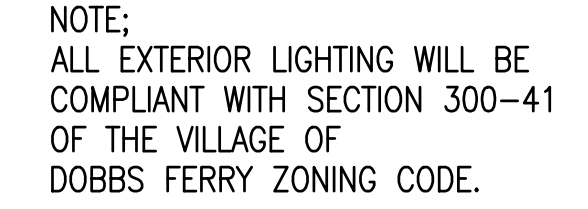
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 Fax: ( 914 ) 693-5390  
 Email: arch329@gmail.com

HEET TITLE:

**SECOND FLOOR PLAN**

|                            |                           |
|----------------------------|---------------------------|
| DATE:<br><b>01-19-2023</b> | DRAWN BY:<br><b>SSJ</b>   |
| SCALE:<br><b>AS NOTED</b>  | CHECKED BY:<br><b>PRS</b> |

## A-2.2







## EXTERIOR LIGHT FIXTURES

MODERN FORMS "SUSPENSE" WS-W1911 12W 590 LUMENS

THIS FIXTURE USES LED TO PROVIDE LIGHTING IN A DARK SKY FRIENDLY DESIGN. THIS CONTEMPORARY LANTERN SHOWCASES A MOUTH BLOWN CLEAR GLASS ELEMENT AND IS EQUIPPED WITH STATE OF THE ART LEDs FOR A FILAMENT FREE DESIGN

### EXTERIOR LIGHT FIXTURE NOTES:

THE PROPOSED LIGHT FIXTURE HAS A METAL CAP ON THE TOP PROVIDING FULL CUT OFF TO BE DARK SKY COMPLIANT. THE MANUFACTURER'S SPECIFICATION CITE ITS COMPLIANCE WITH DARK SKY REQUIREMENTS. EACH FIXTURE ALSO HAS A MOUTH BLOWN CLEAR GLASS GLOBE TO DIFFUSE AND SOFTEN THE ILLUMINATION AND REDUCE GLARE. THE FINISH IS BRUSHED ALUMINUM OR STAINLESS STEEL.

THESE FIXTURES ARE PROPOSED TO BE USED FOR THE FIRST FLOOR ENTRY PORCH, THE FAMILY ENTRY PORCH, THE GREAT ROOM PORCH AND ABOVE THE BREAKFAST ROOM DOORS.

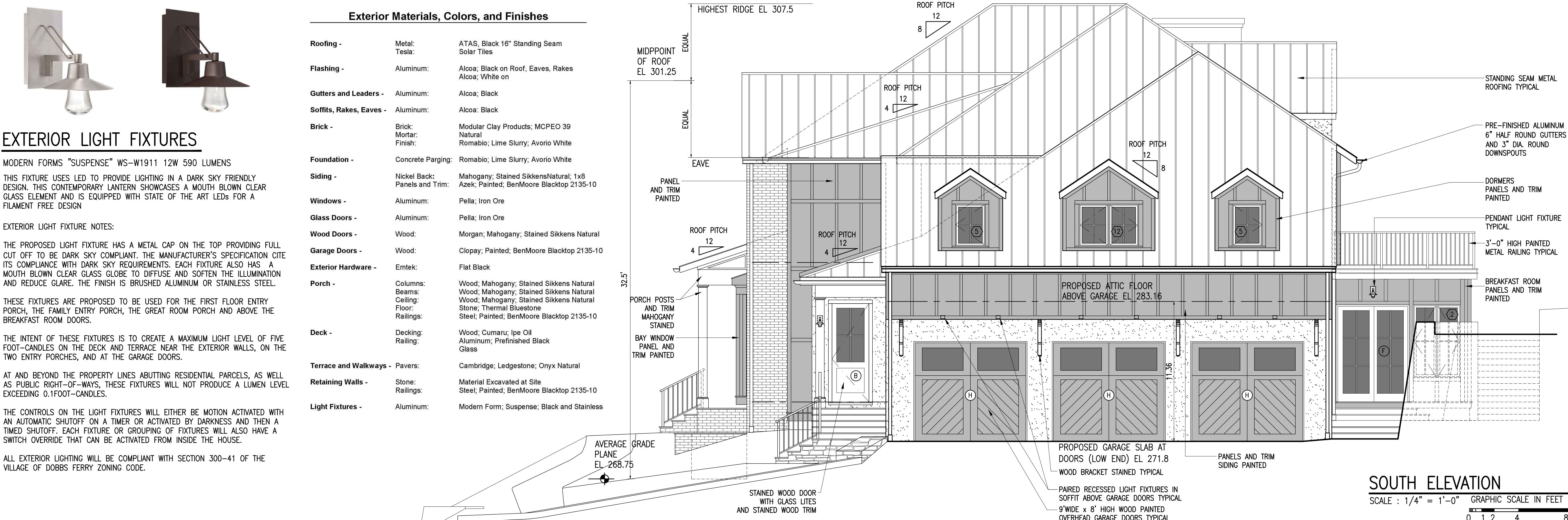
THE INTENT OF THESE FIXTURES IS TO CREATE A MAXIMUM LIGHT LEVEL OF FIVE FOOT-CANDLES ON THE DECK AND TERRACE NEAR THE EXTERIOR WALLS, ON THE TWO ENTRY PORCHES, AND AT THE GARAGE DOORS.

AT AND BEYOND THE PROPERTY LINES ABUTTING RESIDENTIAL PARCELS, AS WELL AS PUBLIC RIGHT-OF-WAYS, THESE FIXTURES WILL NOT PRODUCE A LUMEN LEVEL EXCEEDING 0.1FOOT-CANDLES.

THE CONTROLS ON THE LIGHT FIXTURES WILL EITHER BE MOTION ACTIVATED WITH AN AUTOMATIC SHUTOFF ON A TIMER OR ACTIVATED BY DARKNESS AND THEN A TIMED SHUTOFF. EACH FIXTURE OR GROUPING OF FIXTURES WILL ALSO HAVE A SWITCH OVERRIDE THAT CAN BE ACTIVATED FROM INSIDE THE HOUSE.

ALL EXTERIOR LIGHTING WILL BE COMPLIANT WITH SECTION 300-41 OF THE VILLAGE OF DOBBS FERRY ZONING CODE.

| Exterior Materials, Colors, and Finishes |                   |   |
|--|-------------------|---|
| Roofing -                                | Metal:            | ATAS, Black 16" Standing Seam Solar Tiles             |
| Flashing -                               | Aluminum:         | Alcoa; Black on Roof, Eaves, Rakes<br>Alcoa; White on |
| Gutters and Leaders -                    | Aluminum:         | Alcoa; Black  |
| Soffits, Rakes, Eaves -                  | Aluminum:         | Alcoa; Black  |
| Brick -                                  | Brick:            | Modular Clay Products; MCPEO 39                       |
|  | Mortar:           | Natural   |
|  | Finish:           | Romabio; Lime Slurry; Avorio White                    |
| Foundation -                             | Concrete Parging: | Romabio; Lime Slurry; Avorio White                    |
| Siding -                                 | Nickel Back:      | Mahogany; Stained SikkensNatural; 1x8                 |
|  | Panels and Trim:  | Azek; Painted; BenMoore Blacktop 2135-10              |
| Windows -                                | Aluminum:         | Pella; Iron Ore                                       |
| Glass Doors -                            | Aluminum:         | Pella; Iron Ore                                       |
| Wood Doors -                             | Wood:             | Morgan; Mahogany; Stained Sikkens Natural             |
| Garage Doors -                           | Wood:             | Clopay; Painted; BenMoore Blacktop 2135-10            |
| Exterior Hardware -                      | Emtek:            | Flat Black  |
| Porch -                                  | Columns:          | Wood; Mahogany; Stained Sikkens Natural               |
|  | Beams:            | Wood; Mahogany; Stained Sikkens Natural               |
|  | Ceiling:          | Wood; Mahogany; Stained Sikkens Natural               |
|  | Floor:            | Stone; Thermal Bluestone                              |
|  | Railings:         | Steel; Painted; BenMoore Blacktop 2135-10             |
| Deck -                                   | Decking:          | Wood; Cumaru; Ipe Oil                                 |
|  | Railing:          | Aluminum; Prefinished Black Glass                     |
| Terrace and Walkways -                   | Pavers:           | Cambridge; LedgeStone; Onyx Natural                   |
| Retaining Walls -                        | Stone:            | Material Excavated at Site                            |
|  | Railings:         | Steel; Painted; BenMoore Blacktop 2135-10             |
| Light Fixtures -                         | Aluminum:         | Modern Form; Suspense; Black and Stainless            |



NOT FOR CONSTRUCTION

NOTE: WINDOWS IN STUCCO SHALL BE SET IN 2 x 4 FRAMING THAT IS FLUSH WITH INSIDE OF 2 x 6 EXTERIOR FRAME WALL WITH THE STUCCO RETURNED TO FACE OF WINDOW FRAME ON TOP AND SIDES WITH STONE SILL UNDER WINDOW SILL

**WEST ELEVATION (NORTH MOUNTAIN DRIVE )**  
SCALE : 1/4" = 1'-0" GRAPHIC SCALE IN FEET  
0 1 2 4 8

TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED, THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE CURRENTLY IN EFFECT

**STATE OF NEW YORK**  
**DOBBS FERRY, NY 10522**  
**10018**  
**10/1/2023**

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PROJECT TITLE:  
**GIGLIO RESIDENCE**  
79 NORTH MOUNTAIN DRIVE  
DOBBS FERRY, N.Y. 10522  
PROJECT NO.: **2207**

**GOTHAM DESIGN**  
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ISSUED / REVISIONS

|            |             |
|------------|-------------|
| DATE:      | DRAWN BY:   |
| 01-19-2023 | SSJ         |
| SCALE:     | CHECKED BY: |
| AS NOTED   | PRS         |

SHEET TITLE:  
**PROPOSED ELEVATIONS**

**A-3.1**



NOT FOR CONSTRUCTION



NORTH ELEVATION  
SCALE : 1/4" = 1'-0" GRAPHIC SCALE IN FEET  
0 1 2 4 8

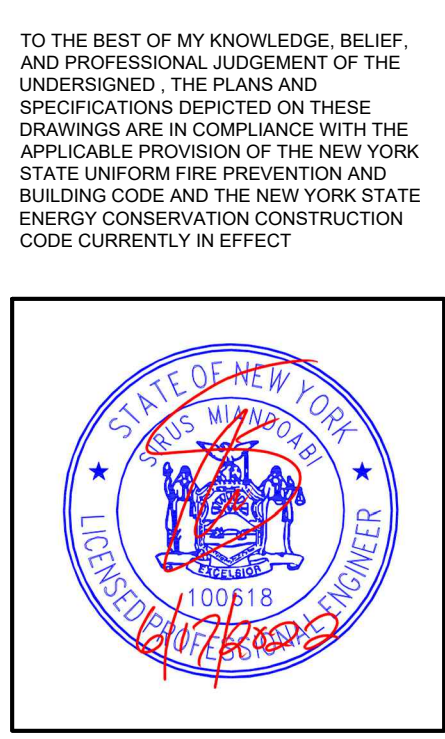
NOTE:  
ALL EXTERIOR LIGHTING WILL BE COMPLIANT  
WITH SECTION 300-41 OF THE VILLAGE OF  
DOBBS FERRY ZONING CODE.



EAST ELEVATION  
SCALE : 1/4" = 1'-0" GRAPHIC SCALE IN FEET  
0 1 2 4 8

NOTE: WINDOWS IN STUCCO SHALL BE SET IN 2 X 4 FRAMING THAT  
IS FLUSH WITH INSIDE OF 2 X 6 EXTERIOR FRAME WALL WITH  
THE STUCCO RETURNED TO FACE OF WINDOW FRAME ON TOP  
AND SIDES WITH STONE SILL UNDER WINDOW SILL

| Exterior Materials, Colors, and Finishes |   |   |
|--|---|---|
| Roofing -                                | Metal:<br>Tesla:                                      | ATAS, Black 16" Standing Seam<br>Solar Tiles  |
| Flashing -                               | Aluminum:   | Alcoa; Black on Roof, Eaves, Rakes<br>Alcoa; White on   |
| Gutters and Leaders -                    | Aluminum:   | Alcoa; Black  |
| Soffits, Rakes, Eaves -                  | Aluminum:   | Alcoa; Black  |
| Brick -                                  | Brick:<br>Mortar:<br>Finish:                          | Modular Clay Products; MCPEO 39<br>Natural<br>Romabio; Lime Slurry; Avorio White  |
| Foundation -                             | Concrete Parging:                                     | Romabio; Lime Slurry; Avorio White  |
| Siding -                                 | Nickel Back:<br>Panels and Trim:                      | Mahogany; Stained SikkensNatural; 1x8<br>Azek; Painted; BenMoore Blacktop 2135-10   |
| Windows -                                | Aluminum:   | Pella; Iron Ore   |
| Glass Doors -                            | Aluminum:   | Pella; Iron Ore   |
| Wood Doors -                             | Wood:   | Morgan; Mahogany; Stained Sikkens Natural   |
| Garage Doors -                           | Wood:   | Clopay; Painted; BenMoore Blacktop 2135-10  |
| Exterior Hardware -                      | Emtek:  | Flat Black  |
| Porch -                                  | Columns:<br>Beams:<br>Ceiling:<br>Floor:<br>Railings: | Wood; Mahogany; Stained Sikkens Natural<br>Wood; Mahogany; Stained Sikkens Natural<br>Stone; Thermal Bluestone<br>Steel; Painted; BenMoore Blacktop 2135-10 |
| Deck -                                   | Decking:<br>Railing:                                  | Wood; Cumaru; Ipe Oil<br>Aluminum; Prefinished Black<br>Glass   |
| Terrace and Walkways -                   | Pavers:   | Cambridge; LedgeStone; Onyx Natural   |
| Retaining Walls -                        | Stone:<br>Railings:                                   | Material Excavated at Site<br>Steel; Painted; BenMoore Blacktop 2135-10   |
| Light Fixtures -                         | Aluminum:   | Modern Form; Suspense; Black and Stainless  |



WARNING:  
IT IS A VIOLATION OF THE NEW YORK STATE  
EDUCATIONAL LAW ARTICLE 145 SECTION 7209  
FOR ANY PERSON, UNLESS HE OR SHE IS  
ACTING UNDER THE DIRECTION OF A LICENSED  
PROFESSIONAL ARCHITECT, ENGINEER OR  
LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY.

**IEE** Integral Engineering Services  
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Dobbs Ferry, NY 10522  
914-274-8874 : o  
914-774-0343 : m  
info@integraleeng.com : e  
www.integraleeng.com : w

PROJECT TITLE:  
**GIGLIO RESIDENCE**  
79 NORTH MOUNTAIN DRIVE  
DOBBS FERRY, N.Y. 10522  
PROJECT NO.: 2207

**GOTHAM DESIGN**  
PLANNING AND DEVELOPMENT LTD.

329 Broadway  
Dobbs Ferry, N.Y. 10522  
Phone: ( 914 ) 693-5093  
Fax: ( 914 ) 693-5390  
email: arch329@gmail.com

| ISSUED / REVISIONS |  |
|--------------------|--|
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|                    |  |

| SHEET TITLE:        |                    |
|---------------------|--------------------|
| PROPOSED ELEVATIONS |                    |
| DATE:<br>01-19-2023 | DRAWN BY:<br>SSJ   |
| SCALE:<br>AS NOTED  | CHECKED BY:<br>PRS |

A-3.2



NOT FOR  
CONSTRUCTION



TURNING :  
IS A VIOLATION OF THE NEW YORK STATE  
EDUCATIONAL LAW ARTICLE 145 SECTION 7209  
FOR ANY PERSON, UNLESS HE OR SHE IS  
ACTING UNDER THE DIRECTION OF A LICENSED  
PROFESSIONAL ARCHITECT , ENGINEER OR  
LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY



PROJECT TITLE: **GIGLIO**  
**RESIDENCE**  
 79 NORTH MOUNTAIN DRIVE  
 DOBBS FERRY, N.Y. 10522  
 PROJECT NO.: **2207**

**GOTHAM  
DESIGN**  
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ISSUED / REVISIONS

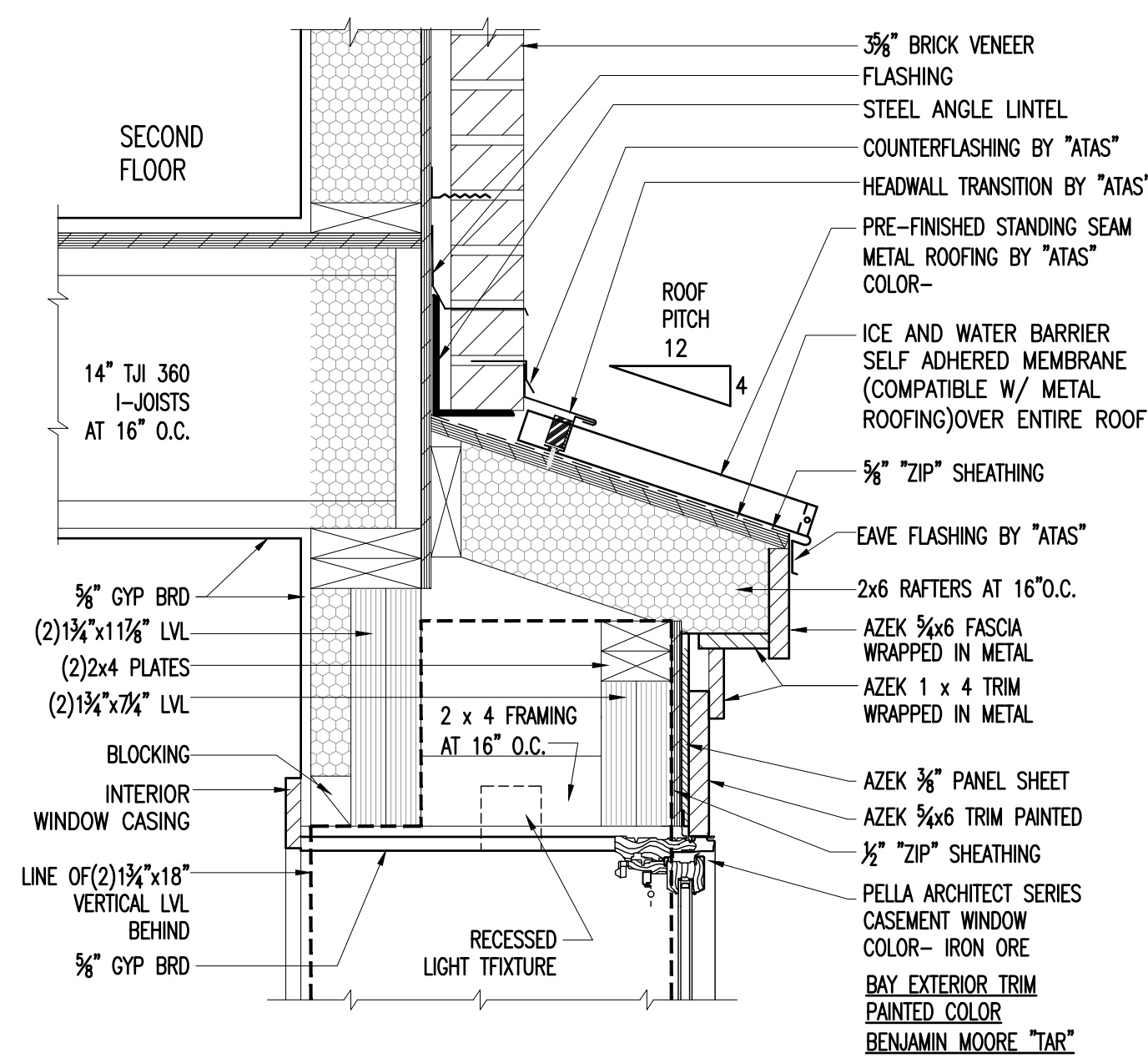
SHEET TITLE:

## EXTERIOR DETAILS

|       |           |
|-------|-----------|
| DATE: | DRAWN BY: |
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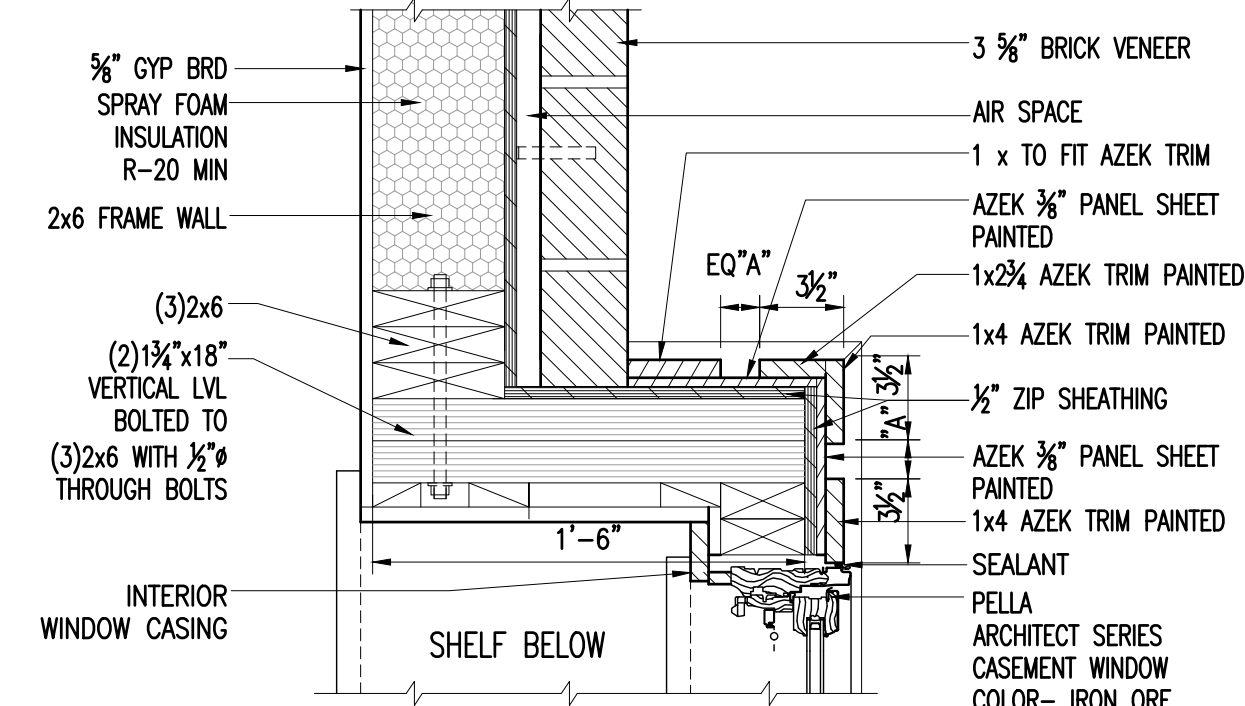
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| SCALE: | CHECKED BY: |
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### A-3.3



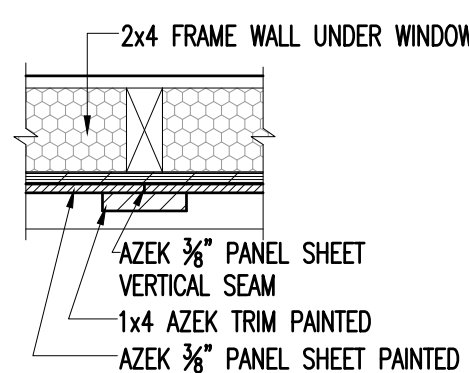
BAY WINDOW DETAIL F

SCALE :  $1\frac{1}{2}" = 1'-0"$  GRAPHIC SCALE IN FEET 



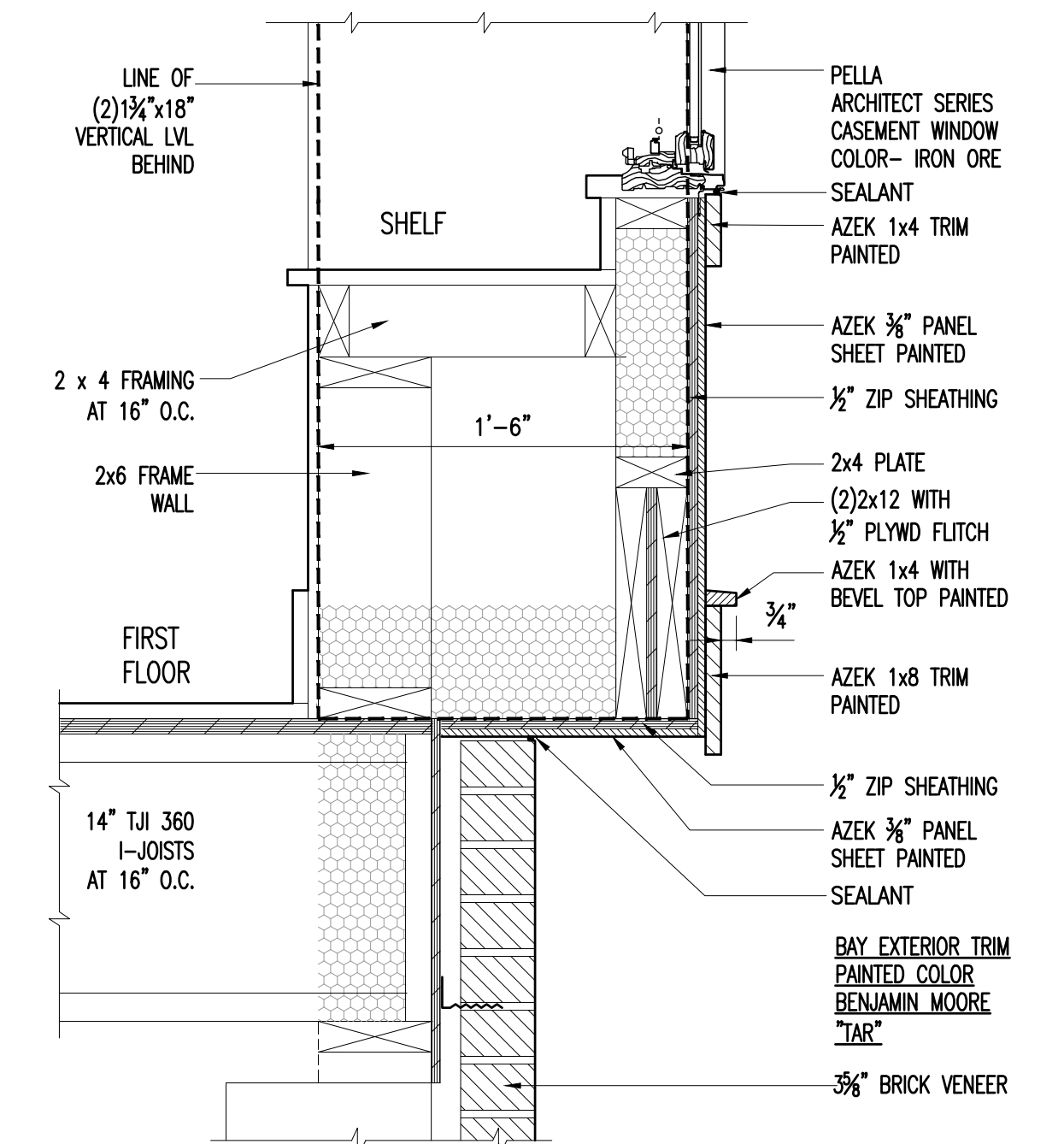
BAY WINDOW DETAIL E

SCALE :  $1\frac{1}{2}" = 1'-0"$  GRAPHIC SCALE IN FEET 




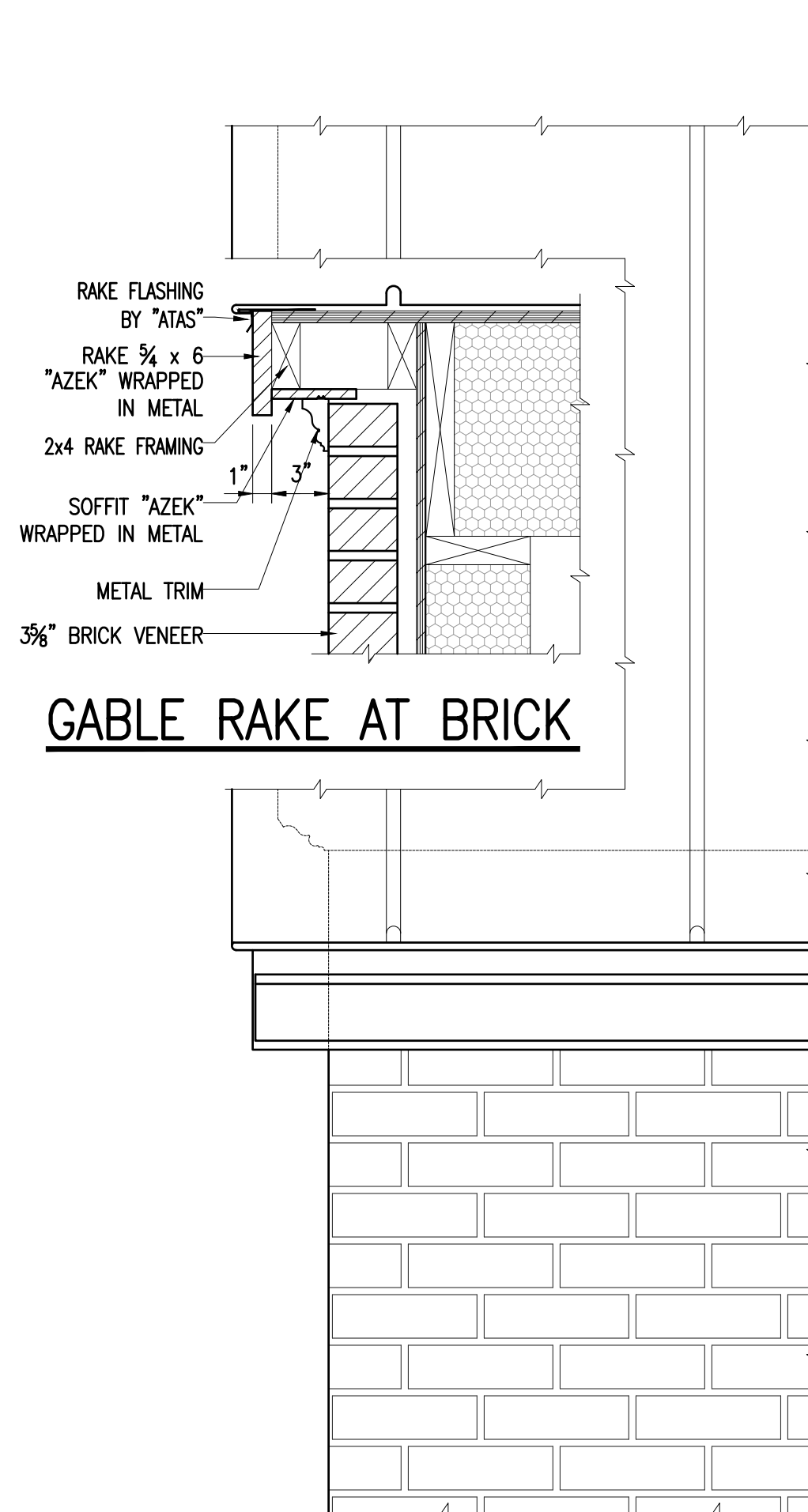
BAY WINDOW DETAIL G

SCALE :  $1\frac{1}{2}" = 1'-0"$  GRAPHIC SCALE IN FEET 

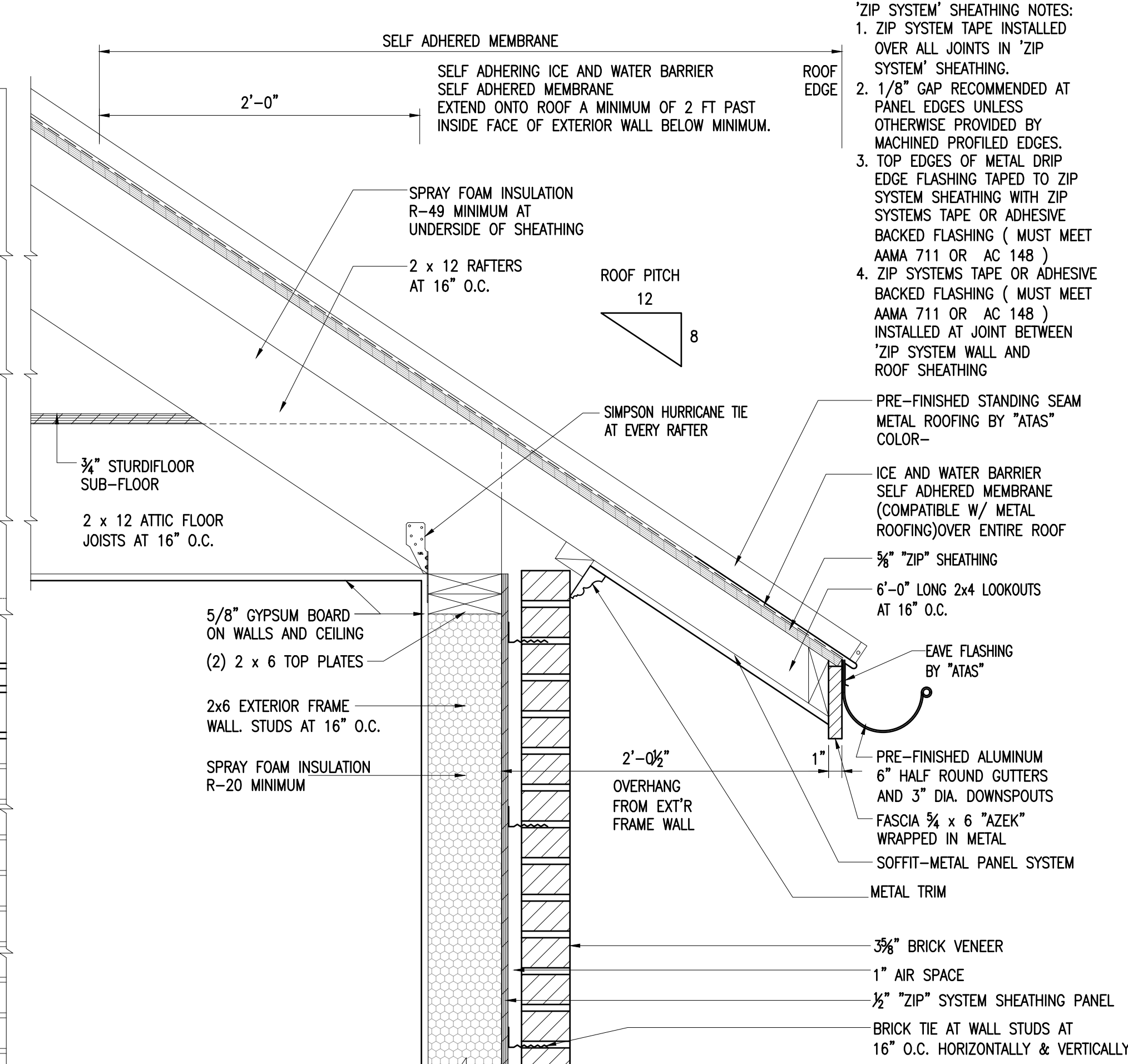


BAY WINDOW DETAIL D

SCALE :  $1\frac{1}{2}" = 1'-0"$  GRAPHIC SCALE IN FEET 



GABLE RAKE AT BRICK

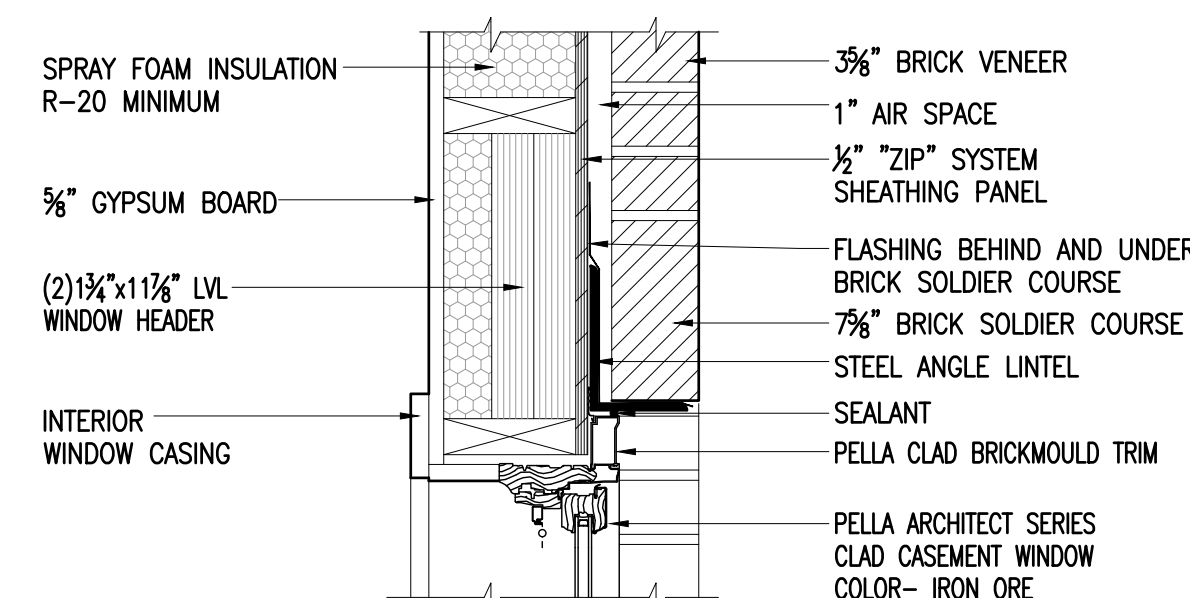


EAVE ELEVATION AT BRICK

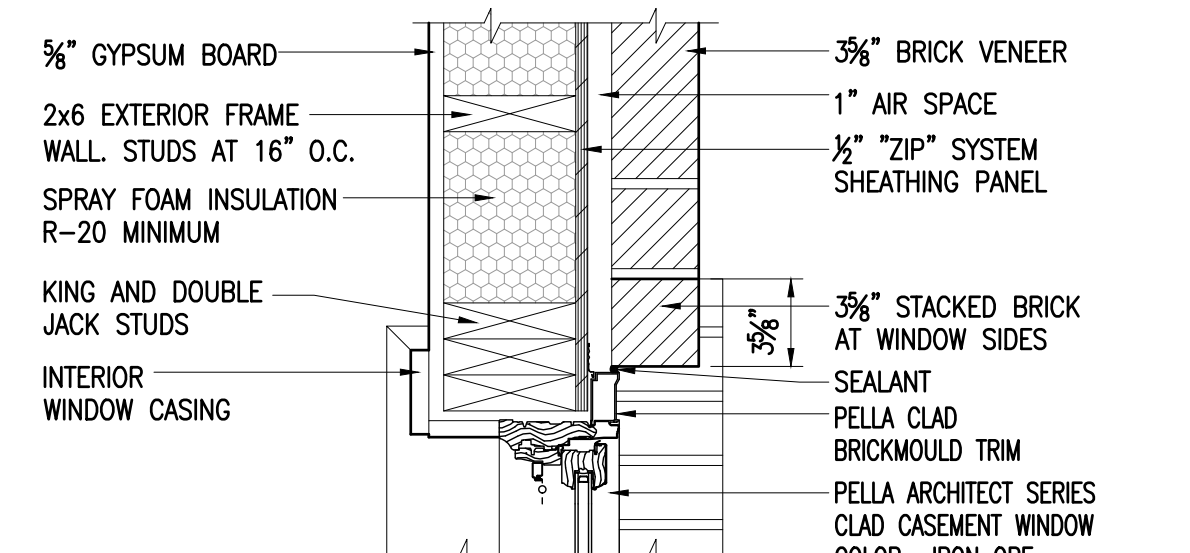
SCALE : 1 1/2" = 1'-0" GRAPHIC SCALE IN FEET



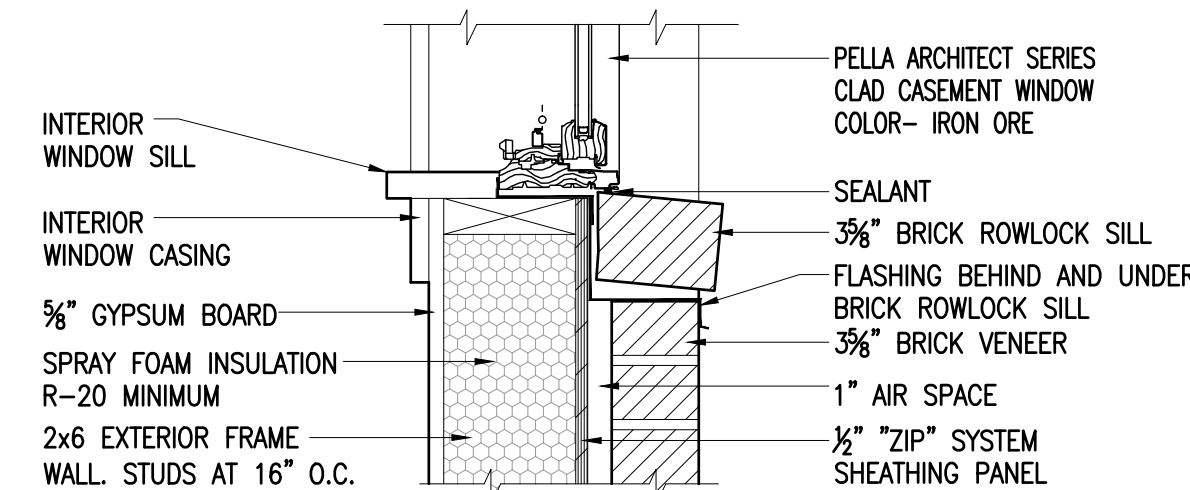
SCALE : 1 1/2" = 1'-0" GRAPHIC SCALE IN FEET



DETAIL B




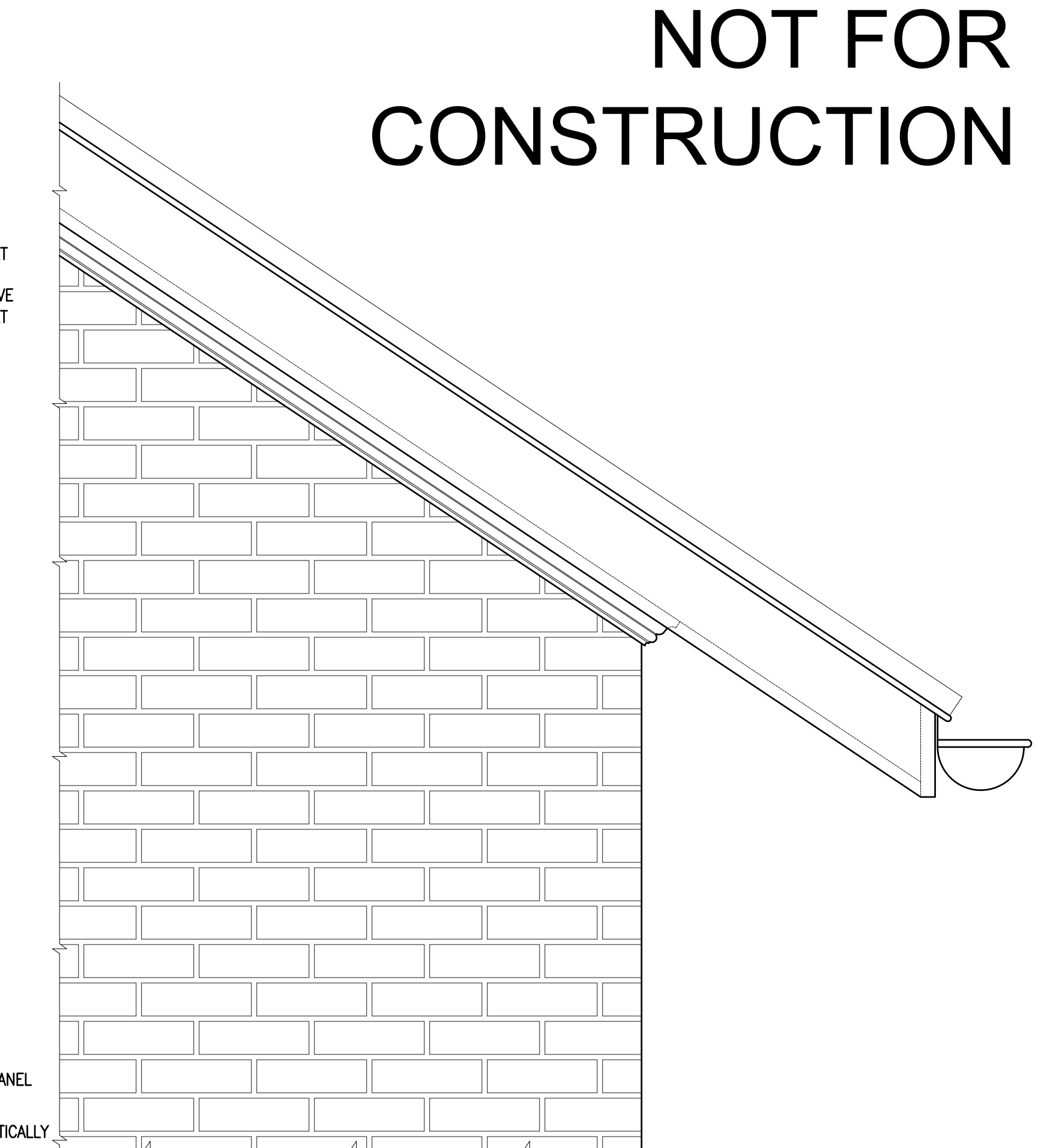
DETAIL C



### DETAIL A

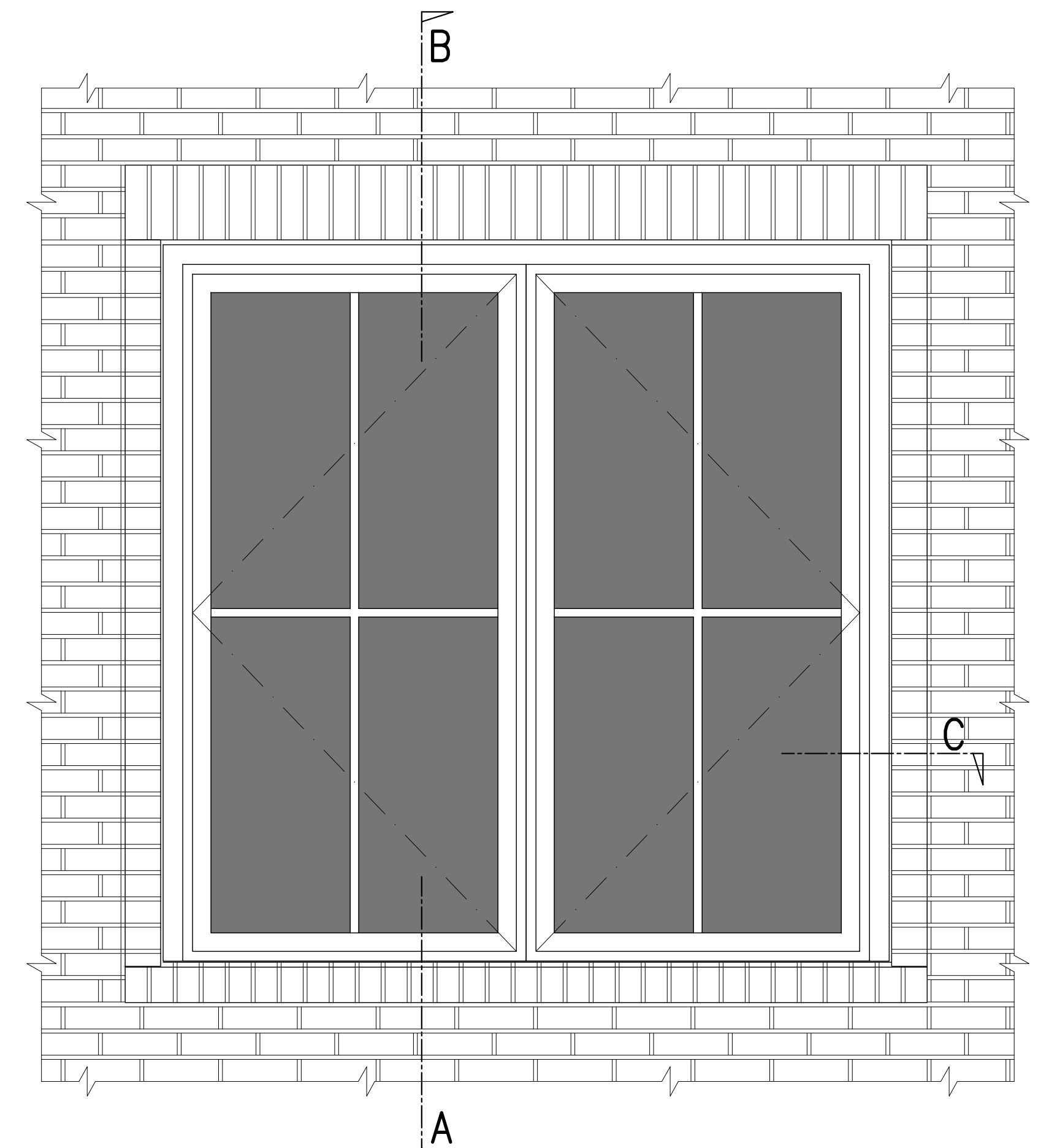
### DETAILS— WINDOW IN BRICK

SCALE :  $1\frac{1}{2}" = 1'-0"$  GRAPHIC SCALE IN FEET 




GABLE END ELEVATION AT BRICK

SCALE : 1 1/2" = 1'-0" GRAPHIC SCALE IN FEET



ELEVATION— WINDOW IN BRICK

SCALE : 1" = 1'-0" GRAPHIC SCALE IN FEET 



STUCCO FINISH

COUNTERFLASHING BY "ATAS"

HEADWALL TRANSITION BY "ATAS"

PRE-FINISHED STANDING SEAM METAL ROOFING BY "ATAS" COLOR--

2 x 10 RAFTERS AT 16" O.C.

2 x 8 CLG JSTS AT 16" O.C.

14" TJI 360 I-JOISTS AT 16" O.C.

CEILING MAHOGANY T & G BEADBOARD

4" COVE MLDG MAHOGANY STAINED

3 1/2" BRICK VENEER

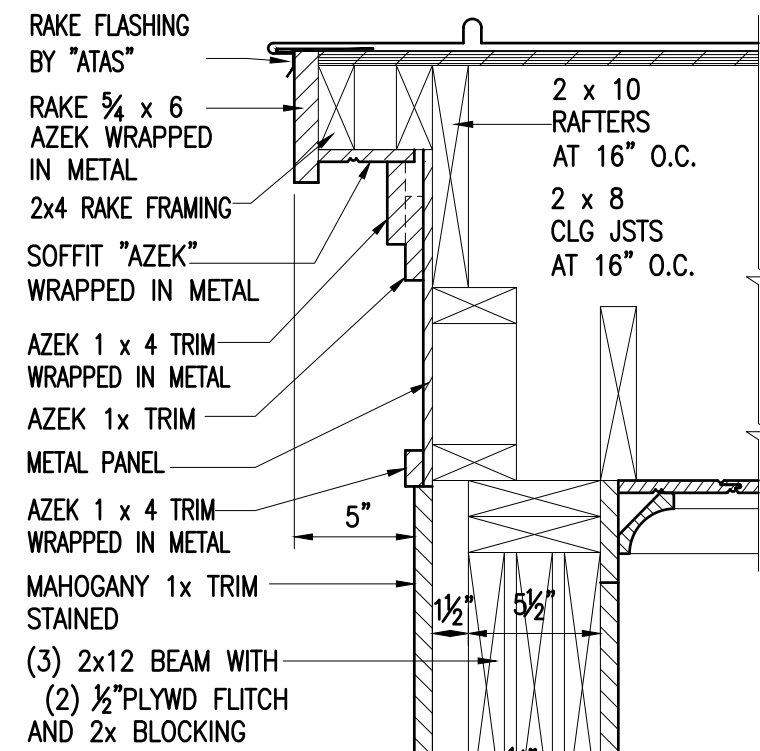
BRICK TIE AT WALL STUDS AT 16" O.C. HORIZONTALLY & VERTICALLY

Architectural cross-section drawing of a wall and floor assembly. The wall on the left is labeled "FIRST FLOOR ENTRY FOYER" and shows "14" TJI 360 I-JOISTS AT 16" O.C.". The wall assembly includes a "BRICK TIE AT WALL STUDS AT 16" O.C. HORIZONTALLY & VERTICALLY", "3 5/8" BRICK VENEER", "1" AIR SPACE", "1/2" ZIP SYSTEM SHEATHING PANEL", and "1 1/2" BLUESTONE LAID IN A RANDOM RECTANGULAR PATTERN". The floor assembly consists of a "2" SETTING BED", "4" CONCRETE SLAB", and "SLOPE FLOOR". Below the concrete slab is a "4" GRAVEL BASE".

## ENTRY PORCH DETAILS

SCALE :  $1\frac{1}{2}" = 1'-0"$  GRAPHIC SCALE IN FEET

A horizontal graphic scale bar with a black and white alternating pattern. It is labeled '0' at the left end and '1' at the right end, representing a scale of 1 foot.



ROOF PITCH 12/4  
 SIMPSON HURRICANE TIE AT EVERY RAFTER  
 2x10 RAFTERS AT 16" O.C.  
 2 x 8 CLG JSTS AT 16" O.C.  
 SOFFIT MAHOGANY T & G BEADBOARD STAINED  
 4" COVE MLDG MAHOGANY STAINED  
 1x TRIM MAHOGANY STAINED  
 MAHOGANY 3/4" TRIM  
 MAHOGANY BED MOULDING  
 MAHOGANY 1x TRIM  
 AZEK WRAPPED IN METAL AT SOFFIT AND AT RAKE  
 1'-6" ROUGH OVERHANGE  
 PRE-FINISHED STANDING SEAM METAL ROOFING BY "ATAS" COLOR-  
 ICE AND WATER BARRIER SELF ADHERED MEMBRANE (COMPATIBLE W/ METAL ROOFING) OVER ENTIRE ROOF  
 3/8" "ZIP" SHEATHING  
 4'-0" LONG 2x4 LOOKOUTS AT 16" O.C.  
 EAVE FLASHING BY "ATAS"  
 PRE-FINISHED ALUMINUM 6" HALF ROUND GUTTERS AND 3" DIA. DOWNSPOUTS  
 AZEK 3/8x6 FASCIA WRAPPED IN METAL  
 SOFFIT- METAL PANEL SYSTEM  
 (2) 2x6 PLATES ON  
 (2) 2x12 BEAM WITH  
 (2) 1/2" PLYWD FLUTCH AND 2x BLOCKING

**PLAN**

8 1/2"

7"

2x6 PT.TRTD BLOCK

2x8 PT.TRTD BLOCK

6x6 PT.TRTD POST

POST BOXED IN

MAHOAGANY 1x TRIM

**SECTION**

MAHOAGANY 1x TRIM

MAHOAGANY BED MOULDING

MAHOAGANY 6/4 x10 TRIM

8 1/2"

9 1/4"

GALVANIZED ZINC DIPPED ADJUSTABLE POST BASE W/ ANCHOR BOLT 'SIMPSON' AB 66Z OR EQUAL

BLUESTONE STEP

1'-0"

1'-0"

1'-0"

3/8" BRICK VENEER

6"

6"

6"

6"

FINISHED GRADE

POURED CONCRETE FOUNDATION WALL

**PORCH AT POST**

2 x 10  
RAFTERS  
AT 16" O.C.

SIMPSON HURRICANE  
TIE AT EVERY RAFTER

(2) 2x6 PLATES

2x6 FRAME WALL  
BEARING WALL

ATTIC FLOOR  
OVER GARAGE

2x6 PLATE

3/4" STURDY FLOOR  
SUB FLOOR

14" TJI 360 I-JOISTS  
AT 16" O.C.

RECESSED LED  
LIGHT FIXTURE

9' WIDE X 8' HIGH  
WOOD OVERHEAD  
GARAGE DOOR

PRE-FINISHED STANDING SEAM  
METAL ROOFING BY "ATAS"  
COLOR-

ICE AND WATER BARRIER  
SELF ADHERED MEMBRANE  
(COMPATIBLE W/ METAL  
ROOFING) OVER ENTIRE ROOF

5/8" "ZIP" SHEATHING

(3) 2x4 BLOCKING

EAVE FLASHING  
BY "ATAS"

PRE-FINISHED ALUMINUM  
6" HALF ROUND GUTTERS  
AND 3" DIA. DOWNSPOUTS

FASCIA 5/4 x 6 "AZEK"  
WRAPPED IN METAL

SOFFIT - METAL PANEL SYS

HORIZONTAL TRIM 1 x 6  
"AZEK" PAINTED

1/2" ZIP SHEATHING

AZEK 3/8" PANEL SHEET  
PAINTED

VERTICAL TRIM  
1 x 3 "AZEK" PAINTED  
AT 2'-0" O.C.

HORIZONTAL TRIM  
1 x 4 "AZEK" PAINTED

SOFFIT 1/2 x 6 "AZEK"  
T & G BEADBOARD PAINTED

WOOD BRACKET BEYOND

2'-0"

2'-0"

CANTILEVER  
FRAME TO FRAME

STUCCO RETURN


AZEK 1 x 4 PAINTED

## GARAGE EAVE DETAIL

SCALE : 1 1/2" = 1'-0" GRAPHIC SCALE IN FEET

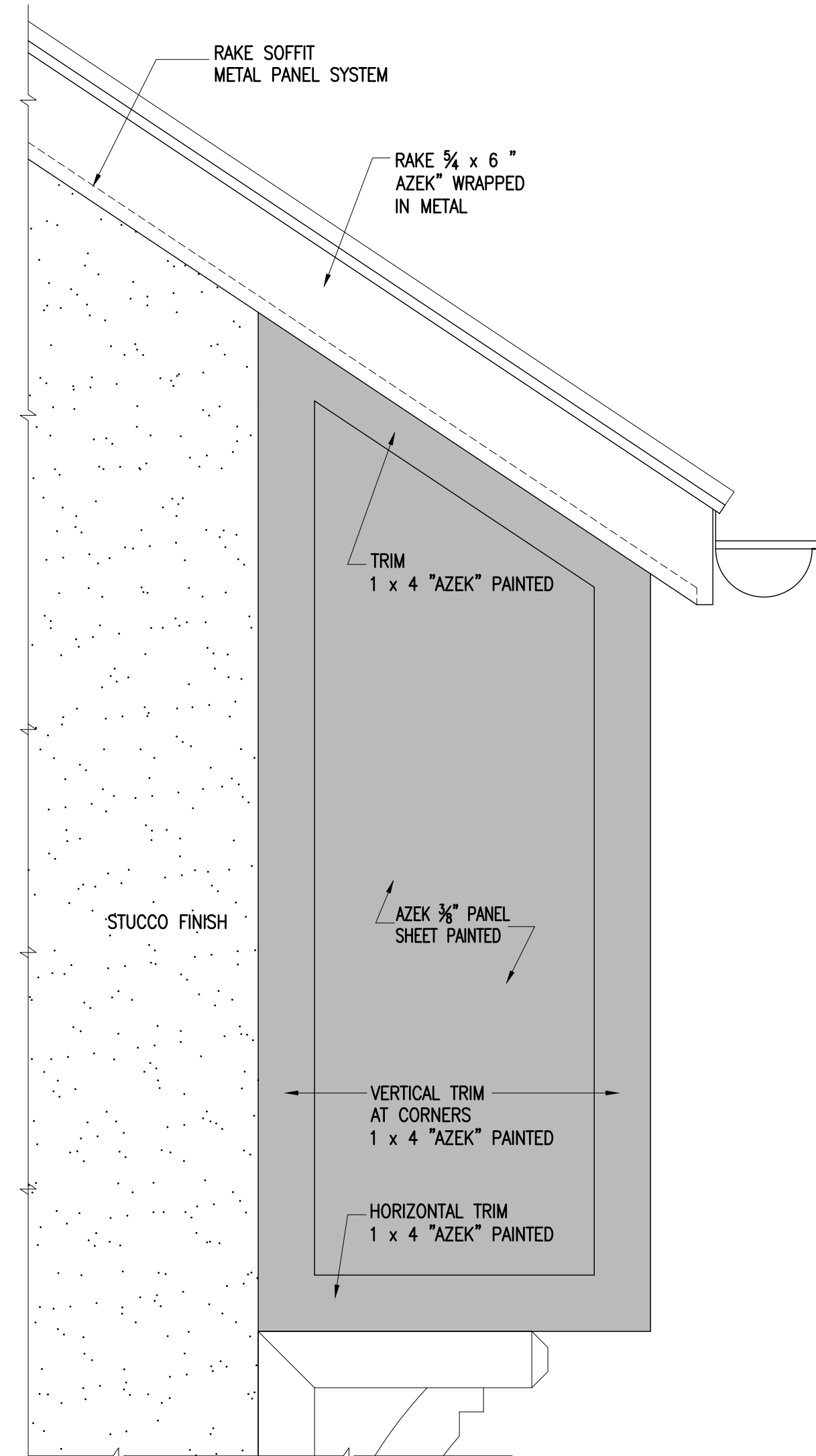
0 1

SCALE : 1" = 1'-0"  
GRAPHIC SCALE IN FEET



A horizontal scale bar with a black segment on the left and a white segment on the right. Below the bar are the numbers 0 and 1.

SCALE : 1" = 1'-0" GRAPHIC SCALE IN FEET 



SCALE :  $1\frac{1}{2}" = 1'-0"$  GRAPHIC SCALE IN FEET

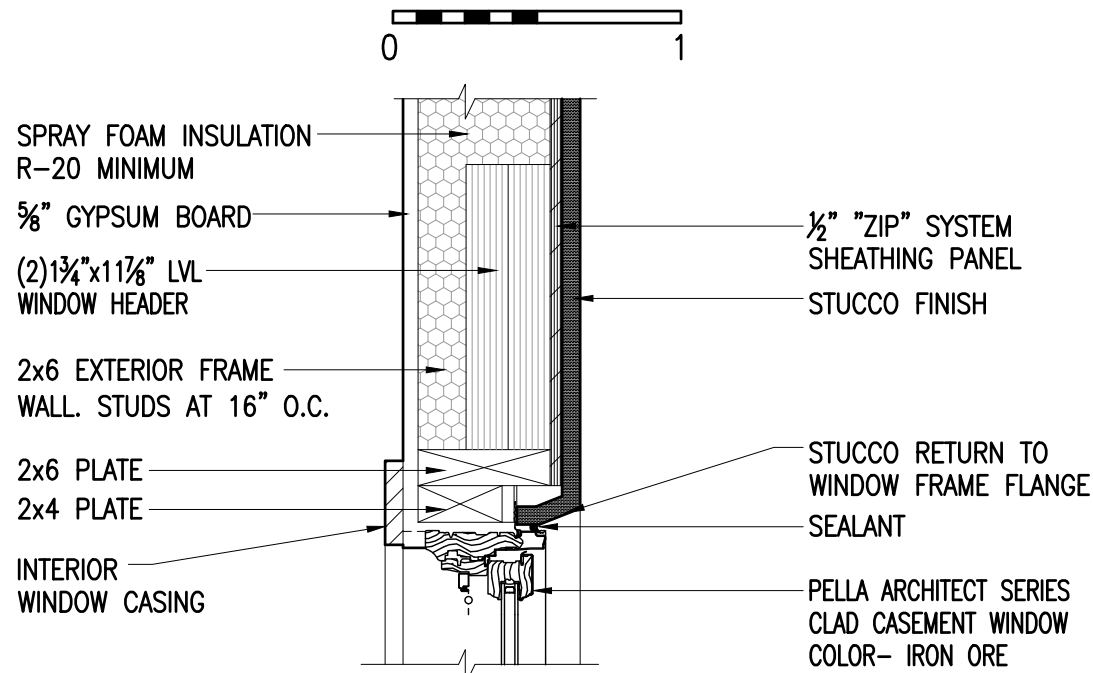



Diagram illustrating the cross-section of a window assembly, showing the following components and labels:

- SPRAY FOAM INSULATION R-20 MINIMUM
- 5/8" GYPSUM BOARD
- 2x6 EXTERIOR FRAME WALL STUDS AT 16" O.C.
- 2x6 KING STUD
- 2x6 JACK STUD
- 2x4 STUD
- INTERIOR WINDOW CASING
- 1/2" ZIP SYSTEM SHEATHING PANEL
- STUCCO FINISH
- STUCCO RETURN TO WINDOW FRAME FLANGE
- SEALANT
- BLUESTONE SILL BELOW
- PELLA ARCHITECT SERIES CLAD CASEMENT WINDOW
- COLOR - IRON ORE

Diagram illustrating the components and materials of a window assembly:

- INTERIOR WINDOW SILL
- INTERIOR WINDOW CASING
- 5/8" GYPSUM BOARD
- SPRAY FOAM INSULATION R-20 MINIMUM
- 2x6 EXTERIOR FRAME WALL STUDS AT 16" O.C.
- PELLA ARCHITECT SERIES CLAD CASEMENT WINDOW COLOR- IRON ORE
- SEALANT
- SLOPED BLUESTONE SILL WITH DRIP SET IN MORTAR
- FLASHING BEHIND AND UNDER BLUESTONE SILL AND WINDOW SILL
- STUCCO FINISH
- 1/2" "Zip" SYSTEM SHEATHING PANEL

TO THE BEST OF MY KNOWLEDGE, BELIEF,  
AND PROFESSIONAL JUDGEMENT OF THE  
UNDERIGNED, THE PLANS AND  
SPECIFICATIONS DEPICTED ON THESE  
DRAWINGS ARE IN COMPLIANCE WITH THE  
APPLICABLE PROVISIONS OF THE NEW YORK  
STATE UNIFORM FIRE PREVENTION AND  
BUILDING CODE AND THE NEW YORK STATE  
ENERGY CONSERVATION CONSTRUCTION  
CODE CURRENTLY IN EFFECT



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PROJECT TITLE: **GIGLIO  
RESIDENCE**

79 NORTH MOUNTAIN DRIVE  
DOBBS FERRY, N.Y. 10522

PROJECT NO: **2207**

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email: arch329@gmail.com

ISSUED / REVISIONS

SHEET TITLE:

## EXTERIOR DETAILS

|       |           |
|-------|-----------|
| DATE: | DRAWN BY: |
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| 01-19-2023 | SSJ |
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| SCALE: | CHECKED BY: |
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## A-3.4

## ACKNOWLEDGMENTS

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