

via electronic mail: [scollins@dobbsferry.com](mailto:scollins@dobbsferry.com)

January 19, 2023

Sarah Collins  
Village of Dobbs Ferry  
112 Main Street  
Dobbs Ferry, New York 10522  
(914) 231-8511

nicholas I faustini  
architect pc

RE: Proposed Interior and Exterior Alteration Remodel Design for:  
2 Osceola Ave Dobbs Ferry, NY 10522; Our Project No.: 21.1209

Dear Ms. Collins:

Please find attached our response below to the Memo Comments received at the last Pre-Submission Conference for PB/AHRB on January 5 2023:

**AI Engineers Comments 12.28.2022**

Project Description: Interior Alterations with a 120SF addition to building footprint, new deck, 198 sf addition to the existing cobblestone driveway, future pool and pool deck proposed.

NLF: The future pool has been removed from the application

1. Provide an existing conditions survey.

NLF: Survey attached as requested

2. The proposed application and increase in impervious area require a stormwater management plan and design calculations in conformance with the New York State Standards and Specifications for Erosions and Sediment Control, NYSDEC's most current version, or its successor. The plan must include all applicable details for sediment and erosion control.

NLF: Sediment Control Details provided on initial submission plans

3. As proposed the plan includes a future pool and pool deck as part of this application, the stormwater management plan must include adequate capacity for this future development.

NLF: Future Pool will be removed from the application at this time and proposed new impervious surfaces reduced to less than 400sf .

**Nelson Pope Voorhis Comments 12.28.2022:**

1. **SEQR.** This application is categorized as a Type II action under SEQR because it consists of the "construction or expansion of a single-family, two-family, or a three-family residence on an approved lot." No additional SEQR review is necessary.

NLF: No comment

2. **Site Plan Approval.** This application requires Site Plan approval by the Planning Board per Section 300-52 of the Zoning chapter. A public hearing will be required for Site Plan approval.

NLF: Understood. No comment

3. **Zoning.** The Applicant provided a zoning table for the OF-2 district. The Applicant provided a zoning table. As currently proposed, this application appears to require variances from the Zoning Board of Appeals or waivers by the Planning Board per Section 300-52(E) of the Zoning and Land Use chapter for the following: a. Minimum Lot Coverage by Impervious Surface- The Applicant proposes 25.40% impervious coverage, where 22.4% is allowed based on Table B-3 (for lots 40,000 square feet or greater) in the Zoning and Land Use chapter.

NLF: The future pool has been removed from the scope of work and values adjusted to comply

4. **Architectural and Historic Review Board.** This application will require Architectural and Historic Review Board approval and falls within the Residential Design Guidelines found in Appendix G of the Zoning & Land Use chapter.

NLF: Understood. No comment

5. **Local Waterfront Revitalization Consistency.** The Planning Board will need to make a consistency determination with the Village's LWRP per §300-52 (D) as part of its final Site Plan approval. The Applicant has provided a Coastal Consistency Form.

NLF: Understood. No comment

6. **Floodplain.** This project is located within the 500-year floodplain. This area does not meet the definition of a special flood hazard area and therefore does not require a floodplain development permit.

NLF: Understood. No comment

7. **Wetlands.** On sheet T-I, the proposed project appears to encroach into the wetlands. Please provide additional information, including the amount of wetland encroachment and proposed mitigation. If no encroachment is proposed, please update the site plan to show no encroachment into the wetland area.

NLF: The future pool has been removed from the application. The proposed exterior wood deck to be replaced is in generally the same footprint, immediately adjacent to the existing pond. No new footings will be placed within the wetland boundary. We have contacted NYS DEC for formal jurisdiction screening regarding waterbody's and streams and are awaiting a determination. Classification of waterbodies and streams have been included on the plans

#### Site Plan Comments

1. **Lighting.** Is lighting proposed for the site? If so, the Applicant should provide a lighting plan, and all proposed lighting must comply with §300-41 of the Zoning chapter.

NLF: All existing lighting shall remain. No new exterior lighting proposed.

2. **Trees.** Will tree removal be required for the project? The proposed project seems to be located where there are currently trees. The Village of Dobbs Ferry recently adopted new tree removal regulations. Please identify if any tree removal is required and submit a planting plan that meets §300-51(i), Tree Valuation, by providing the total aggregate diam. of trees proposed for removal & the total aggregate diameter of trees proposed to be planted.

NLF: No trees are scheduled for removal as part of the scope of work

3. **Landscaping.** The Applicant has not provided a landscaping plan per §300-44 of the Zoning chapter, and one will need to be provided.

**NLF:** Landscaping plan provided with original submission and re-attached here

4. **Stormwater Management Plan.** The Applicant has not yet provided a Stormwater Management Plan but has provided details for a silt fence. It is unclear from the submitted plans where this fencing will be located. As per §262-4E of the Village Code, a stormwater management and erosion and sediment control permit must be obtained for any development or land-disturbing activity. Once provided, the Village Engineer will review the plan and comment on this information.

**NLF:** Silt Fencing indicated on plans as requested.

5. **Erosion and Sediment Control.** The Applicant has provided soil erosion and sediment control notes. The Village Engineer will review and provide comments on this information.

**NLF:** No Comment

VERY TRULY YOURS,  
Nicholas L. Faustini Architect PC

Nicholas L. Faustini AIA, NCARB



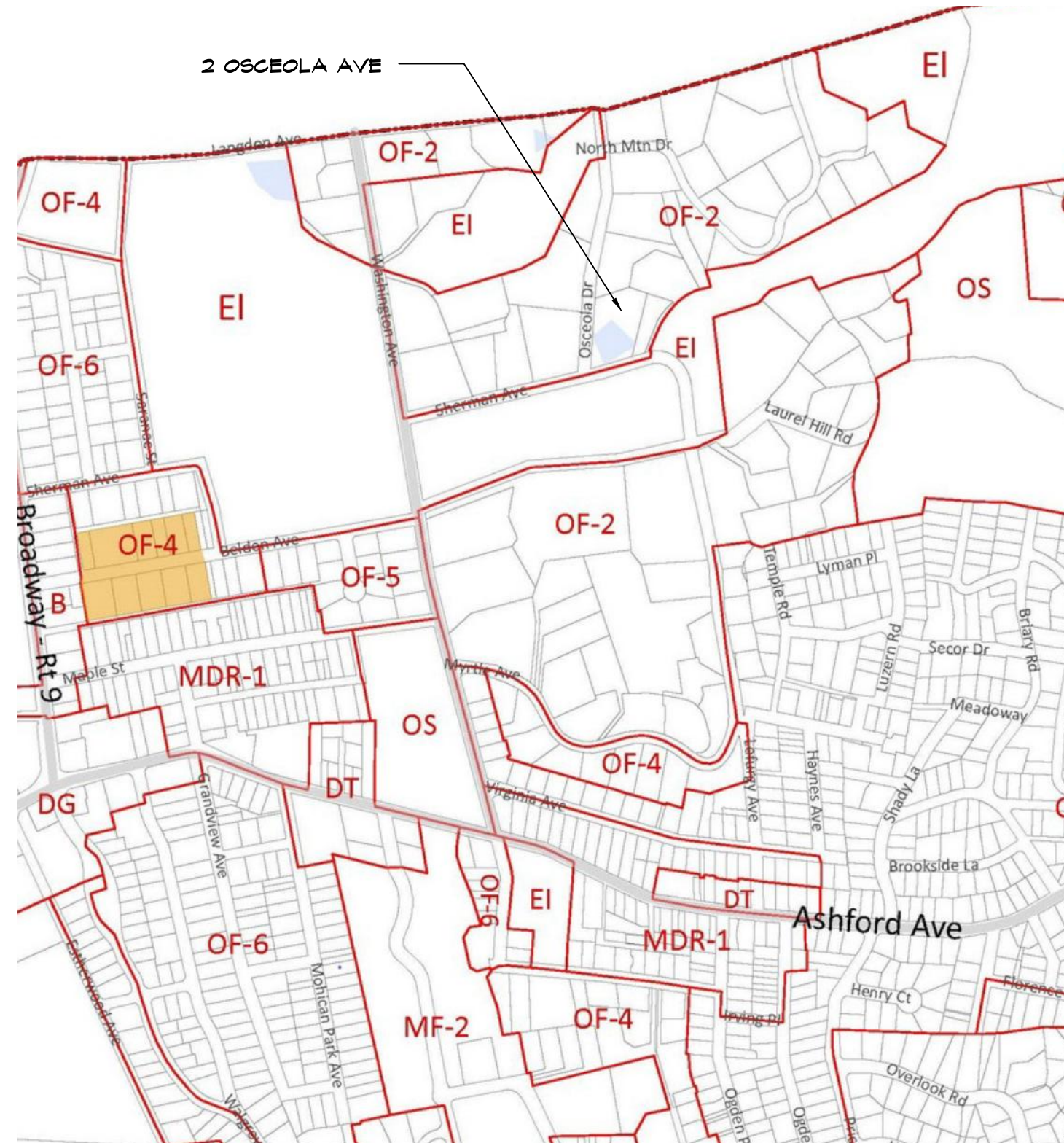






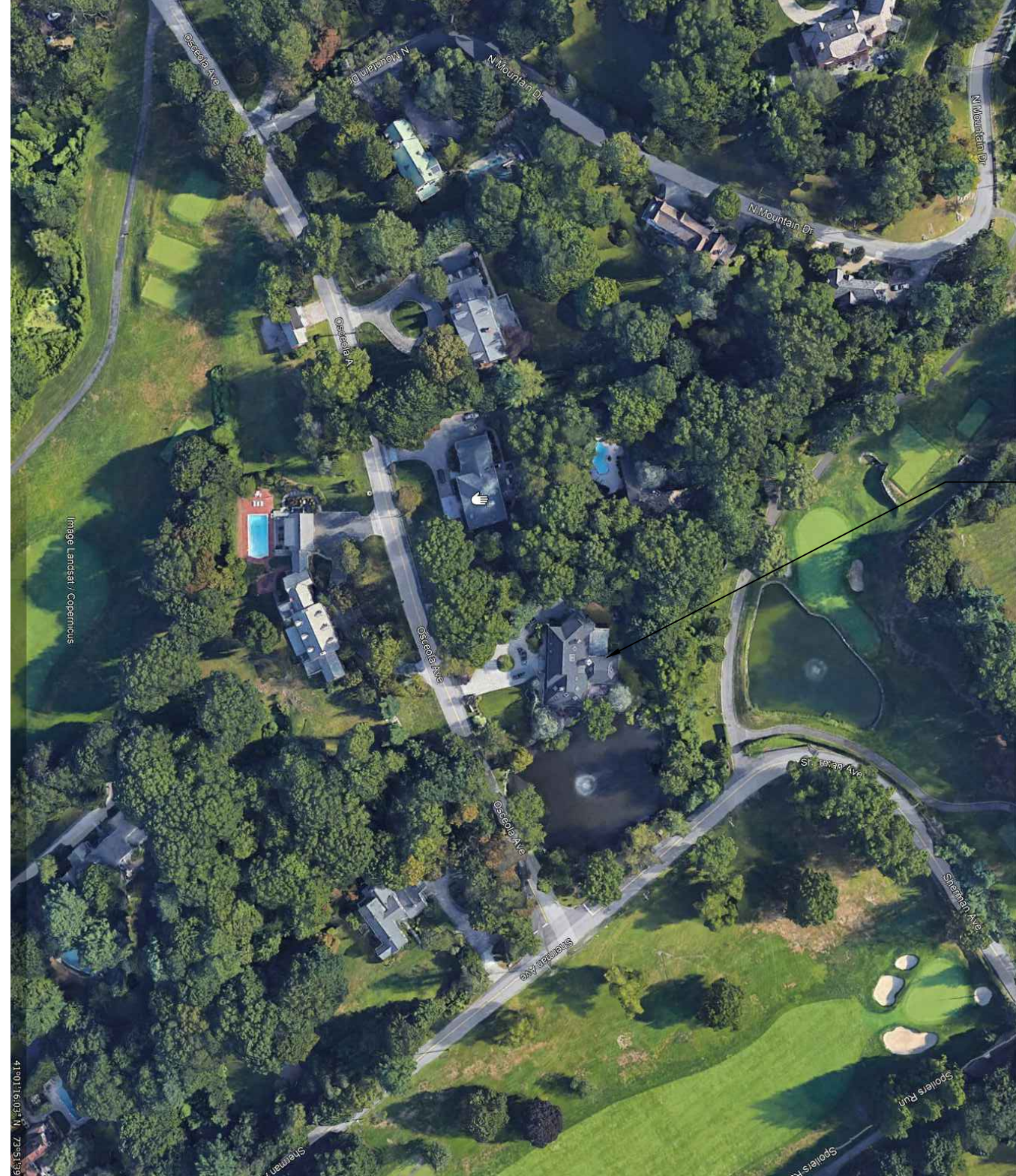
1 200 FT BUFFER MAP

NTS



2 ZONING DISTRICTS

NTS



3 AERIAL SITE PLAN

NTS

**National Wetlands Inventory**

Ecological Services

Description for code **R5UBH** (this code does not meet the Federal Wetland Classification Standard, but is used in historic and/or scalable data):

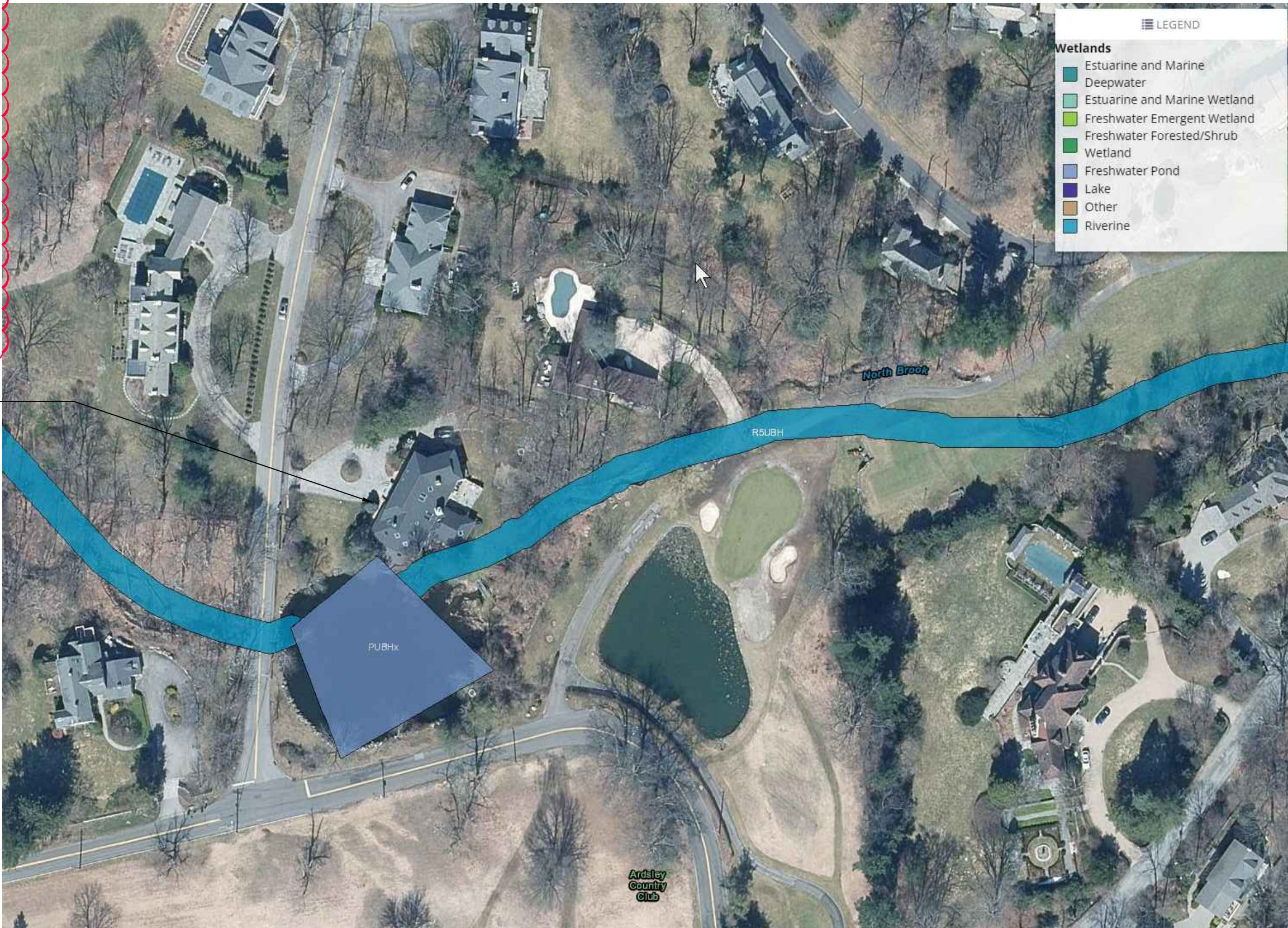
**R** System **RIVERINE** The Riverine System includes all wetlands and deepwater habitats contained within a channel, with two exceptions: (1) wetlands dominated by trees, shrubs, persistent emergents, emergent mosses, or lichens, and (2) habitats with water containing ocean-derived salts of 0.5 ppt or greater. A channel is an open conduit either naturally or artificially created which periodically or continuously contains moving water, or which forms a connecting link between two bodies of standing water.

**S** Subsystem **UNKNOWN PERENNIAL** This Subsystem designation was created specifically for use when the distinction between lower perennial, upper perennial, and tidal cannot be made from aerial photography and no data is available.

**UB** Class **UNCONSOLIDATED BOTTOM** includes all wetlands and deepwater habitats with at least 25% cover of particles smaller than stones (less than 6.7 cm), and a vegetative cover less than 30%.

**H** Water Regime **Permanently Flooded** Water covers the substrate throughout the year in all years.

Other Modifier(s):



4 WETLANDS

NTS



5 500 YEAR FLOOD PLAIN

NTS

Nicholas L. Faustini Architect PC

T 914.329.1518  
nlfarchitect.com

Greenburgh: 6 Burns Street, Hartsdale, NY 10530  
Yonkers: 77 Remsen Road, Yonkers, NY 10710

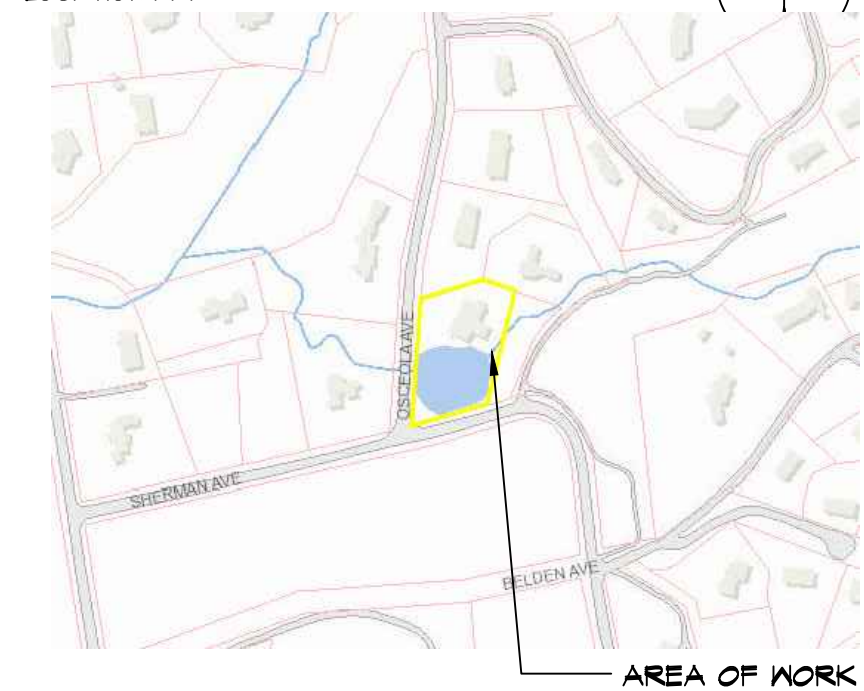
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#### LOCATION MAP



#### NOTE:

Drawings may be printed at reduced scale

TAX MAP ID#: 3.50-14-1 ZONE: RES-OF2

#### LIST OF DRAWINGS

- T-1 PROP PLOT PLAN, ZONING INFO & NOTES
- T-2 ZONING, AERIAL, WETLAND & FLOOD PLANE MAPS
- T-3 STREETSCAPE & EXISTING HOUSE PHOTOS
- A-4 SITE DETAILS & SKY EXPOSURE PLANE
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- A-8 PROPOSED ROOF PLAN
- A-9 PROPOSED PATIO FOUNDATION PLAN & FLR PLAN
- A-10 PROPOSED ELEVATIONS
- A-11 PROPOSED ELEVATIONS
- A-12 PROPOSED CROSS SECTIONS
- A-13 PROPOSED CROSS SECTIONS
- A-14 DETAILS, WINDOW & DOOR SCHEDULE
- A-15 PROPOSED PARTIAL FIRST FLR ELEC PLAN
- A-16 PROPOSED PARTIAL SECOND FLR ELEC PLAN

02	01.19.23	REV PER FB/AHRB COMMENT
01	12.12.22	ISSUED FOR AHRB/FB FILING
--	10.11.22	ISSUED FOR DOB FILING

NO.	DATE	ISSUE/REV.
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#### CLIENT

KENNETH O'CONNOR  
2 OSCEOLA AVE  
DOBBS FERRY NY 10522

#### PROJECT

PROPOSED INTERIOR AND EXTERIOR ALTERATION  
REMODEL, SECOND FLOOR DORMER ADDITION AND  
EXTERIOR WOOD DECK REPLACEMENT DESIGN FOR:

2 OSCEOLA AVE DOBBS FERRY NY 10522

DRAWINGS TITLE  
ZONING, AERIAL, WETLAND & FLOOD PLANE  
MAPS

DRAWN BY JZ/SZ CHECKED BY NF PROJECT NO. 211204

DATE 10.11.22

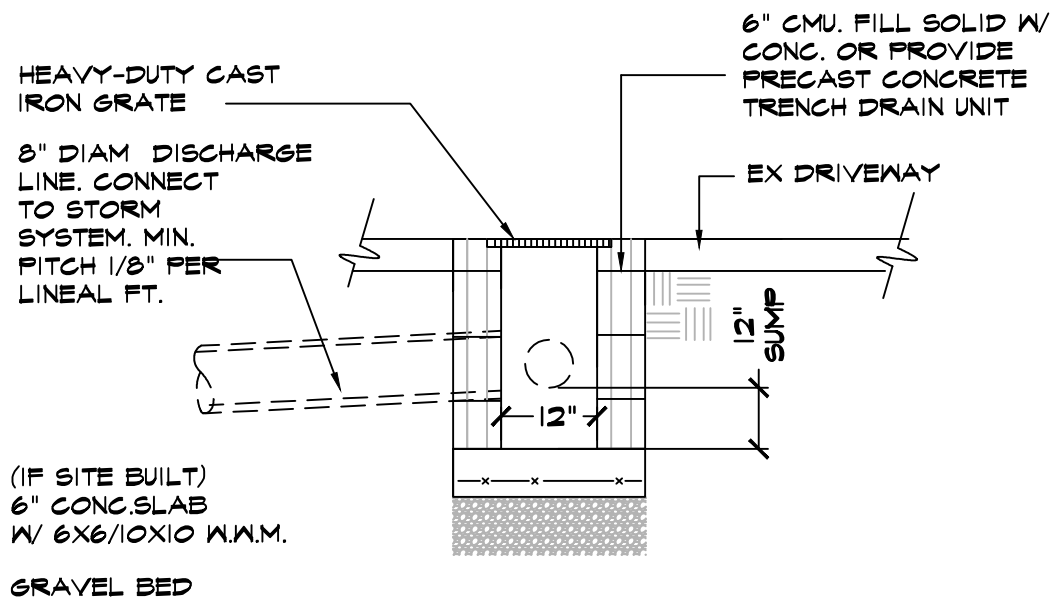
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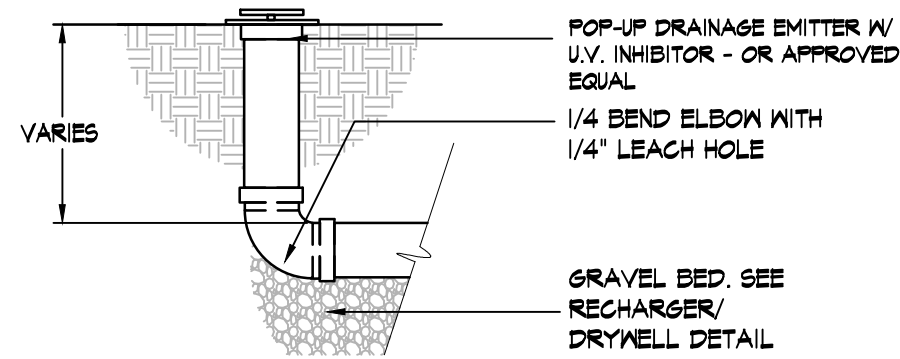
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APPLICATION # A2022-0496

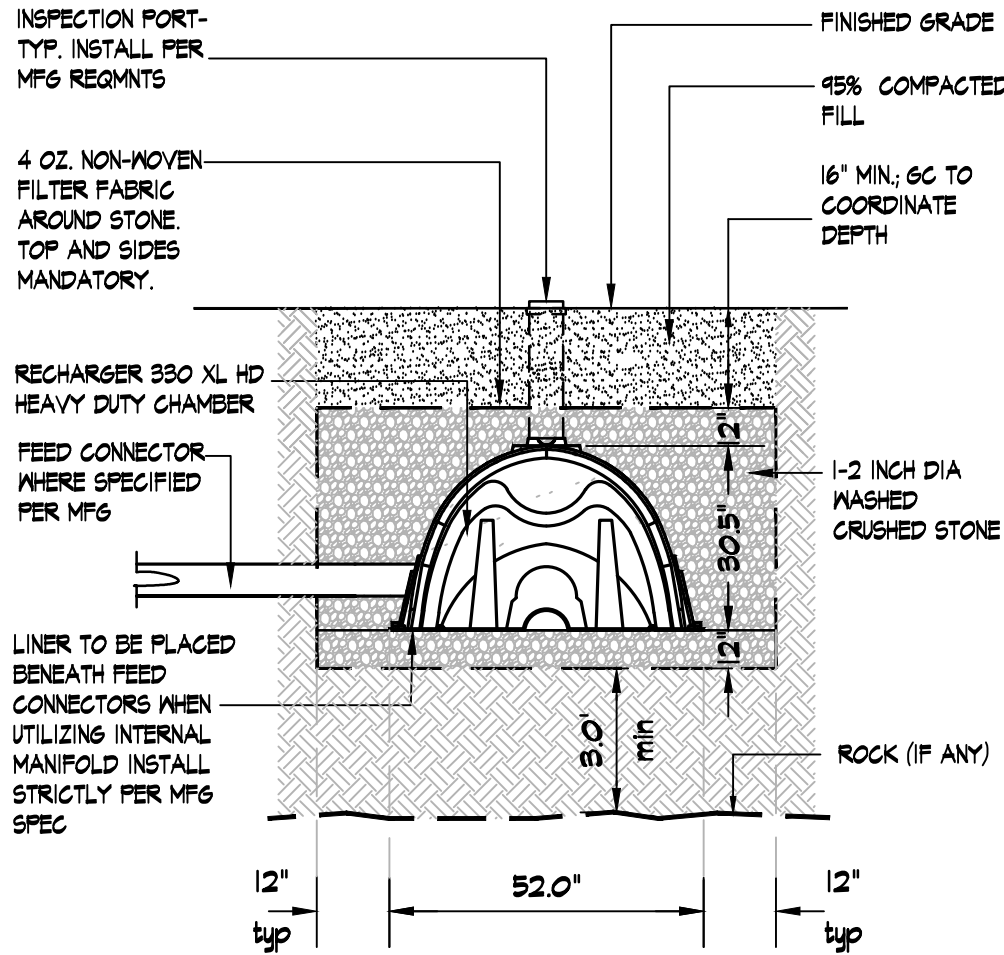




TD TRENCH DRAIN DETAIL NTS



SWI OVERFLOW DETAIL NTS



CULTEC RECHARGER GENERAL NOTES:  
REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES. USE RECHARGER 330XL HD HEAVY DUTY FOR TRAFFIC AND/OR H-25 APPLICATIONS. ALL RECHARGER 330XL HD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER. ALL RECHARGER 330XL HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

STORM DRAINAGE CALCULATIONS:

NET INCREASE IN IMPERVIOUS SURFACE AREA = 347 SF

RETENTION SYSTEM REQUIREMENTS FOR SMALL ADDITIONS  
VILLAGE OF DOBBS FERRY

- RUNOFF DEPTH, D= 0.358 (4.3 INCHES)  
AREA, A = ENTIRE AREA THAT DRAINS TO RETENTION SYSTEM (CU FT)  
REQUIRED STORAGE VOLUME, V = A X D  
  
REQUIRED STORAGE VOLUME: 347 SF X 0.358 = 142.1 CU FT  
  
DIRECT RUNOFF PIPE TO EXIST POND ON SITE OR IF NOT PERMITTED BY LOCAL MUNICIPALITY, PROVIDE CULTEC STORMWATER RECHARGER 330XLHD. INSTALLED CHAMBER VOLUME ASSEMBLY SHALL THEREFORE BE 142.1 CU.FT.
- AN EMERGENCY OVERFLOW TO BE PROVIDED
- THE FOLLOWING TYPICAL DETAILS SHOULD BE PROVIDED:  
  
A. SECTION(S) OF THE RETENTION SYSTEM, WHICH INCLUDES THE UNITS MATERIAL 3/4" STONE, GEOTEXTILE FABRIC, AND EMERGENCY OVERFLOW. THE EMERGENCY OVERFLOW MAY BE AN OVERFLOW OUTLET, SURGE PIPE WITH SPLASH BLOCK ETC.  
B. ACCESS MANHOLE(S) WITH AN OPENING A MINIMUM OF 24"  
C. PRETREATMENT SYSTEM  
D. CLEANOUT PORTS

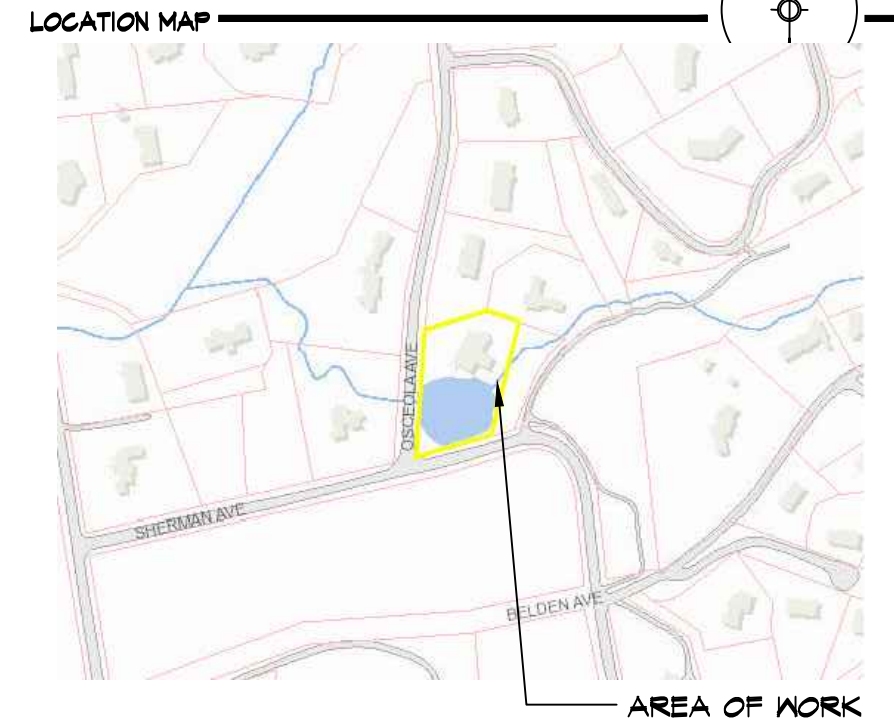
IF DURING THE INSTALLATION OF THE RETENTION SYSTEM, GROUNDWATER OR ROCK IS ENCOUNTERED, THE VILLAGE MUST BE CONTACTED IMMEDIATELY.

SW TYP. 330XL HD STORMWATER RECHARGER DETAIL NTS

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DRAWINGS TITLE  
SITE DETAILS & SKY EXPOSURE PLANE

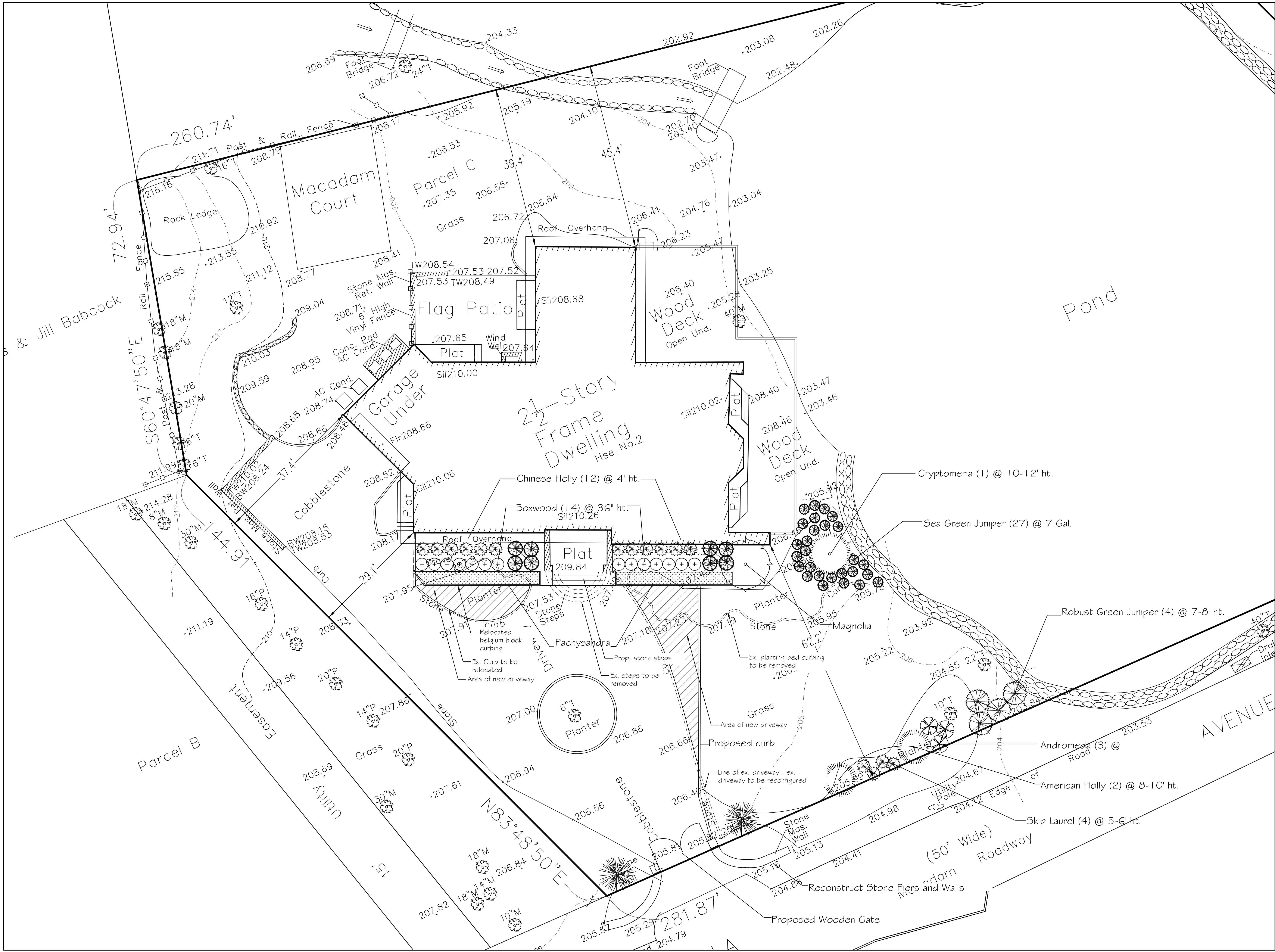
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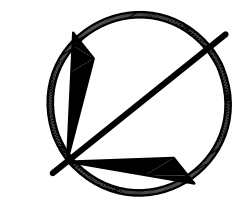


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REVISION	DATE

O'CONNOR  
RESIDENCE

2 OSCEOLA AVE  
DOBBS FERRY, NY 10522

LANDSCAPE  
PLAN

DANIEL SHERMAN  
LANDSCAPE ARCHITECT

4 BROADWAY - SUITE 9  
VALHALLA, NY 10595

PHONE: (914) 824 - 0999  
FAX: (914) 824-0251

dan.danshermanlandscape@gmail.com  
www.danshermanlandscape.com



DATE:	SCALE:
AUG. 13, 2022	1" = 10' - 0"

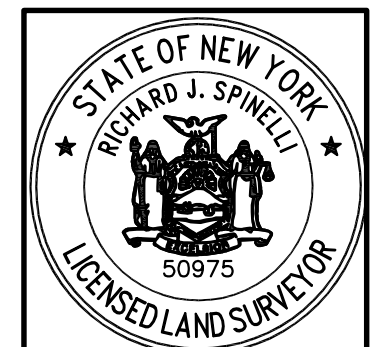
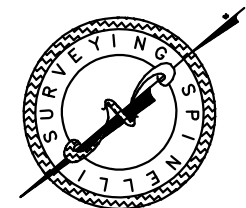
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SCALE 1"=30'      'OSCEOLA'

Surveyed : 12.3.2021  
Map Drawn: 12.8.2021

Certify To:  
Record and Return Title Agency, Inc.  
Old Republic Title Insurance Company  
Mary O'Connor and Kenneth O'Connor  
Citizens Bank, N.A. ISAOA/ATIMA



Richard J. Spinelli, L.S. NYS Lic. 50975

—Unauthorized additions to or alterations of this plan is a violation of Section 7209 of the N.Y.S. Education Law.

