via electronic mail: scollins@dobbsferry.com

January 19, 2023

Sarah Collins Village of Dobbs Ferry 112 Main Street Dobbs Ferry, New York 10522 (914) 231-8511

nicholas I faustini

architect pc

RE: Proposed Interior and Exterior Alteration Remodel Design for: 2 Osceola Ave Dobbs Ferry NY 10522; *Our Project No.: 21.1209*

Dear Ms. Collins:

Please find attached our response below to the Memo Comments received at the last Pre-Submission Conference for PB/AHRB on January 5 2023:

Al Engineers Comments 12.28.2022

Project Description: Interior Alterations with a 120SF addition to building footprint, new deck, 198 sf addition to the existing cobblestone driveway, future pool and pool deck proposed.

NLF: The future pool has been removed from the application

1. Provide an existing conditions survey.

NLF: Survey attached as requested

2. The proposed application and increase in impervious area require a stormwater management plan and design calculations in conformance with the New York State Standards and Specifications for Erosions and Sediment Control, NYSDEC's most current version, or its successor. The plan must include all applicable details for sediment and erosion control.

NLF: Sediment Control Details provided on initial submission plans

3. As proposed the plan includes a future pool and pool deck as part of this application, the stormwater management plan must include adequate capacity for this future development.

NLF: Future Pool will be removed from the application at this time and proposed new impervious surfaces reduced to less than 400sf .

Nelson Pope Voorhis Comments 12.28.2022:

 SEQR. This application is categorized as a Type II action under SEQR because it consists of the "construction or expansion of a single-family, two-family, or a three-family residence on an approved lot." No additional SEQR review is necessary.

NLF: No comment

2. **Site Plan Approval.** This application requires Site Plan approval by the Planning Board per Section 300-52 of the Zoning chapter. A public hearing will be required for Site Plan approval.

NLF: Understood. No comment

3. **Zoning**. The Applicant provided a zoning table for the OF-2 district. The Applicant provided a zoning table. As currently proposed, this application appears to require variances from the Zoning Board of Appeals or waivers by the Planning Board per Section 300-52(E) of the Zoning and Land Use chapter for the following: a. Minimum Lot Coverage by Impervious Surface- The Applicant proposes 25.40% impervious coverage, where 22.4% is allowed based on Table B-3 (for lots 40,000 square feet or greater) in the Zoning and Land Use chapter.

NLF: The future pool has been removed from the scope of work and values adjusted to comply

4. Architectural and Historic Review Board. This application will require Architectural and Historic Review Board approval and falls within the Residential Design Guidelines found in Appendix G of the Zoning & Land Use chapter.

NLF: Understood. No comment

5. Local Waterfront Revitalization Consistency. The Planning Board will need to make a consistency determination with the Village's LWRP per §300-52 (D) as part of its final Site Plan approval. The Applicant has provided a Coastal Consistency Form.

NLF: Understood. No comment

6. Floodplain. This project is located within the 500-year floodplain. This area does not meet the definition of a s special flood hazard area and therefore does not require a floodplain development permit.

NLF: Understood. No comment

7. **Wetlands.** On sheet T-I, the proposed project appears to encroach into the wetlands. Please provide additional information, including the amount of wetland encroachment and proposed mitigation. If no encroachment is proposed, please update the site plan to show no encroachment into the wetland area.

NLF: The future pool has been removed from the application. The proposed exterior wood deck to be replaced is in generally the same footprint, immediately adjacent to the existing pond. No new footinsg will be placed within the wetland boundary. We have contacted NYS DEC for formal jurisdiction screening regarding waterbody's and streams and are awaiting a determination. Classification of waterbodies and streams have been included on the plans

Site Plan Comments

1. **Lighting**. Is lighting proposed for the site? If so, the Applicant should provide a lighting plan, and all proposed lighting must comply with §300-41 of the Zoning chapter.

NLF: All existing lighting shall remain. No new exterior lighting proposed.

2. Trees. Will tree removal be required for the project? The proposed project seems to be located where there are currently trees. The Village of Dobbs Ferry recently adopted new tree removal regulations. Please identify if any tree removal is required and submit a planting plan that meets §300-51(i), Tree Valuation, by providing the total aggregate diam. of trees proposed for removal & the total aggregate diameter of trees proposed to be planted.

NLF: No trees are scheduled for removal as part of the scope of work

3. Landscaping. The Applicant has not provided a landscaping plan per §300-44 of the Zoning chapter, and one will need to be provided.

NLF: Landscaping plan provided with original submission and re-attached here

4. Stormwater Management Plan. The Applicant has not yet provided a Stormwater Management Plan but has provided retails for a silt fence. It is unclear from the submitted plans where this fencing will be located. As per §262-4E of the Village Code, a stormwater management and erosion and sediment control permit must be obtained for any development or land-disturbing activity. Once provided, the Village Engineer will review the plan and comment on this information.

NLF: Silt Fencing indicated on plans as requested.

5. Erosion and Sediment Control. The Applicant has provided soil erosion and sediment control notes. The Village Engineer will review and provide comments on this information.

NLF: No Comment

VERY TRULY YOURS, Nicholas L. Faustini Architect PC

Nicholas L. Faustini AIA, NCARB

ZONING II	NFORMATION SC		
VILLAGE OF DOBBS FERRY CODE , CHAPTER 300	D: ZONING & LAND USE	EX ZONE: OF-2	
ITEM	REQ/ALLOWED	EXISTING	PROPOSED
MIN NET LOT AREA	20,000	51,726	NO CHANGE
MIN LOT WIDTH	125.0	260.74	NO CHANGE
MIN LOT DEPTH	125.0	160.75	NO CHANGE
MAXIMUM LOT COVERAGE BY BUILDINGS	18.0% × 0.56= 10.08%	8.3%	NO CHANGE
MIN LOT COVERAGE BY IMPERVIOUS SURFACES	40.0% × 0.56= 22.4%	20.1%	20.9%
MIN FRONT YARD SETBACK	30.0	62.8	NO CHANGE
MIN REAR YARD SETBACK	25.0	39.4	NO CHANGE
MIN SIDE YARD SETBACK (EACH)	20.0	29.4	NO CHANGE
MIN SIDE YARD SETBACK (BOTH)	50.0	29.1/150.0±	NO CHANGE
MAX STORIES	2.5	2.5	NO CHANGE
MAX HEIGHT (MEDIAN OF ROOF/EAVE HT)	35.0/28.0	27.3/20.8	27.5/20.8

NOTE: (I) DENOTES EXISTING NOT-CONFORMING CONDITION

ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE VILLAGE OF DOBBS FERRY. NY BUILDING CODE AND ZONING ORDINANCES, THE 2020 RESIDENTIAL BUILDING CODE OF NEW YORK STATE AS WELL AS ENGINEERING & FIRE DEPT REGULATIONS AND ALL APPLICABLE LAWS, UTILITY COMPANY REQMNTS, & THE BEST TRADE PRACTICES.

CERTIFICATES OF INSURANCE WITH BUILDING DEPARTMENT, AND SHALL BE ENTIRELY RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FROM ALL AUTHORITIES HAVING JURISDICTION ON THIS MATTER, INCLUDING BUT NOT LIMITED TO, ENVIRONMENTAL & ASBESTOS REMOVAL PERMITS, IF SO REQUIRED BY OWNER. THE OWNER SHALL BE RESPONSIBLE FOR PAYING PERMIT FEES REQUIRED BY THE LOCAL BUILDING DEPARTMENT AND FEES REQUIRED BY ALL OTHER

3. THE CONTRACTOR SHALL CHECK ALL DIMENSIONS ON PLANS AGAINST FIELD CONDITIONS PRIOR TO CONSTRUCTION AND SHALL IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ARCHITECT. ALL WRITTEN MEASUREMENTS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

5. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF

6. THE CONTRACTOR SHALL COMPLY WITH AND KEEP HIMSELF INFORMED OF ALL FEDERAL, STATE, MUNICIPAL AND DEPARTMENTAL LAWS, ORDINANCES, RULES AND

LIMITED TO THE CONTENTS OF WORKING DRAWINGS AND THEIR RELATED SPECIFICATIONS ONLY. ARCHITECT IS NOT RESPONSIBLE FOR ANY CHANGES TO PLANS & SPECIFICATIONS UNLESS SPECIFICALLY AUTHORIZED BY HIM IN WRITING. ARCHITECT HAS NOT BEEN RETAINED FOR ASBESTOS INVESTIGATION. ARCHITECT IS NOT RESPONSIBLE FOR ANY KIND OF DESIGN & SPECIFICATIONS RELATED TO ASBESTOS PRESENCE.

THOSE OF HIS SUB-CONTRACTORS, OR BY OTHERS CONNECTED WITH HIS OPERATION ON THIS PROJECT IN ANY WAY AND SHALL MAKE ALL NECESSARY REPAIRS

PROTECTIVE STRUCTURES TO SAFEGUARD CONSTRUCTION AND PUBLIC SAFETY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL

ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE IO. THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES: ELECTRICAL, PLUMBING, ETC. THE

CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR

CONTRACTOR SHALL DO ALL CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB. PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR & OBTAIN INSPECTIONS AND REQ'D SIGN-OFFS.

. ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED

12. JOB MAINTENANCE: THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE SITE IN A CLEAN AND ORDERLY CONDITION AT ALL TIMES. CONTRACTORS WORKING UNDER SEPARATE CONTRACTS WILL COOPERATE IN THIS REQUIREMENT, BUT THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR THE REQUIRED CLEANING AND MAINTAINING OF THE SITE.

A, WASTE MATERIALS, RUBBISH, DEBRIS, BROKEN CONCRETE, PACKING CASES, ETC., SHALL BE REMOVED. B. PRIOR TO TURNING BUILDING OVER TO OWNER, REMAINING RUBBISH SHALL BE REMOVED. THE GROUND AREAS RAKED CLEAN AND THE ENTIRE

I3. CLEANING: IMMEDIATELY BEFORE TURNING THE PROJECT OR PARTS OF SAME OVER TO THE OWNER, THE GENERAL CONTRACTOR SHALL WASH AND CLEAN

THE FOLLOWING: A REMOVE TEMPORARY PROTECTION

G. CLEAN BOTH SIDES OF GLASS.

B. REMOVE MARKS, STAINS AND OTHER DIRT FROM PAINTED DECORATED AND FINISHED WOODWORK C. REMOVE SPOTS, MORTAR, PLASTER, SOIL AND PAINT FROM CERAMIC TILES AND OTHER FINISH MATERIALS AND WASH OR WIPE CLEAN.

D. CLEAN FIXTURES, CABINET WORK AND EQUIPMENT AND LEAVE IN UNDAMAGED NEW APPEARING CONDITION.

E. CLEAN ALUMINUM AND OTHER FINISH METALS IN ACCORDANCE WITH MFG. RECOMMENDATIONS. F. CLEAN RESILIENT FLOORS THOROUGHLY TO REMOVE ANY SURFACE DIRT AND POLISH TO UNIFORM SHEEN.

GENERAL SPECIFICATIONS

THE WORK UNDER THIS SECTION SHALL INCLUDE FURNISHING ALL LABOR, MATERIALS, TOOLS, APPLIANCES AND EQUIPMENT AND PERFORMING ALL OPERATIONS NECESSARY FOR COMPLETE EXECUTION OF CLEARING, EXCAVATING, BACKFILLING AND GRADING AS INDICATED HERE AND IN WORKING DRAWINGS. A. REMOVE ALL BRUSH WITHIN CONTRACT AREA.

B. REMOVE UNNECESSARY WALLS, FOUNDATIONS, CURBS, AS INDICATED ON PLANS. C. EXCAVATION OF EARTH, ROCK, AND OBSTRUCTIONS BELOW PRESENT GRADES AS NECESSARY FOR NEW FOUNDATIONS, UTILITY TRENCHES

D. MIN. 6" POROUS FILL UNDER INTERIOR CONCRETE GROUND SLAB.

E. FURNISHING AND PLACING SHORING AND BEARING REQUIRED AND REMOVAL OF SAME FROM SITE.

F. BACKFILLING AGAINST FOUNDATION WALLS, PIERS AND FOOTINGS AND UTILITY TRENCHES WHERE INDICATED. UNDER NO CIRCUMSTANCES EXCAVATION CONTRACTOR BACKFILL AGAINST FOUNDATION WALLS. DIAGONAL SHORING AT INSIDE OF FOUNDATION WALLS SHALL BE PROVIDED @ 8'-0" O.C. PRIOR TO BACKFILLING.

G. SITE DRAINAGE SHALL BE EXECUTED ACCORDING TO A SEPARATE DRAINAGE PLAN PREPARED BY A CERTIFIED ENGINEER

2. EXCAVATING: EXCAVATING SHALL INCLUDE REMOVAL OF ALL MATERIALS TO PERMIT PROPER WORKING CLEARANCE AND INSTALLATION OF CONCRETE FOOTINGS, WALLS, PIERS, AREAWAYS, SLABS, POROUS FILL UNDER SLAB AND ANY BRACING, UNDERPINNING AND WATERPROOFING. ALL ROCK REMOVED SHALL BE DONE BY MEANS OF MECHANICAL HAMMER OR HYDRAULIC SPLITTER. ARCHITECT'S COST ESTIMATE FOR REMOVAL OF UNDERGROUND ROCK FORMATIONS \$ ROCK BED FOR COMPLETION OF PROJECT SHALL BE FINAL & BINDING. UNDER NO CIRCUMSTANCES SHALL ROCK-BLASTING BE PERMITTED ON THIS JOB SITE.

3. BACKFILLING & GRADING: CONTRACTOR SHALL BACKFILL AS PROMPTLY AS THE WORK SITE PERMITS, COMPLYING WITH GRADES AND ELEVATIONS INDICATED ON WORKING DRAWINGS. A. EARTH FOR BACKFILL SHALL CONSIST OF CLEAN, EASILY COMPACTED BACKFILL, FREE FROM EXCESS CLAY, DEBRIS OR ORGANIC MATTER. B. BACKFILL SHALL BE PLACED IN UNIFORM HORIZONTAL LAYERS OF NOT MORE THAN 12" DEPTH, PUDDLED AND TAMPED OR ROLLED, SO AS TO PREVENT

C. ENTIRE AREAS UNDER INTERIOR CONCRETE SLAB SHALL BE BACKFILLED WITH 4" TO 6" DURABLE CLEAN BRUSHED TRAP ROCK COMPACTED AND LEVELED TO A REASONABLY EVEN SURFACE OR AS PER SITE PLAN.

4. UTILITY TRENCHES: ALL UTILITY TRENCHES SHALL BE EXCAVATED TO ALLOW UTILITY LINES TO BE PLACED BELOW THE FROST LINE, MIN. 3' - 6".

5. SEEDING: LANDSCAPING IS NOT THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS OTHERWISE NOTED. OWNER SHALL PROVIDE A SEPARATE LANDSCAPING CONTRACTOR AT HIS OWN EXPENSES. COST OF ANY DAMAGES TO BUILT STRUCTURES OR SITE STRUCTURES DUE TO LANDSCAPING CONTRACTOR'S NEGLIGENCE ARE SOLELY THE RESPONSIBILITY OF THE LANDSCAPING CONTRACTOR.

CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR EQUIPMENT AND APPLIANCES REQUIRED FOR THE COMPLETION EXECUTION OF ALL CONCRETE FOUNDATION WORK, CONCRETE SLABS AND PLATFORMS, CONCRETE FOOTINGS AND MASONRY WALLS AS INDICATED IN WORKING DRAWINGS.

2. ALL CONCRETE SHALL HAVE MIN. COMPRESSIVE STRENGTH OF 4000 PSI AFTER 28 DAYS, INCLUDING FOOTINGS, PIERS, SLABS AND PLATFORMS. ALL CONCRETE EXPOSED TO WEATHER MUST BE AIR ENTRAINED.

3. CONCRETE SLAB, PIER AND FOOTINGS SHALL BE OF THE SIZE AND THICKNESS INDICATED ON PLANS. INTERIOR CONCRETE SLAB SHALL BE PROVIDED WITH COMBINATION EXPANSION JOINTS WATER STOP WHERE INDICATED ON PLANS. PERIMETER OF SLAB ADJOINING WALLS SHALL HAVE 1/2" EXPANSION JOINT WITH BITUMINOUS FILLER.

4. CONCRETE SLAB SHALL BE PROVIDED WITH 6X6/IOXIO WELDED WIRE MESH REINFORCING THROUGHOUT. PERIMETER OF SLAB AREA ON BACKFILL SHALL RECEIVE #4 RE-BARS 24"O.C. TIED INTO FOUNDATION WALL OR AS INDICATED ON PLANS.

5. VAPOR BARRIER UNDER INTERIOR SLAB SHALL BE (2) & MILS. THICK, UNLESS OTHERWISE INDICATED ON DRAWINGS.

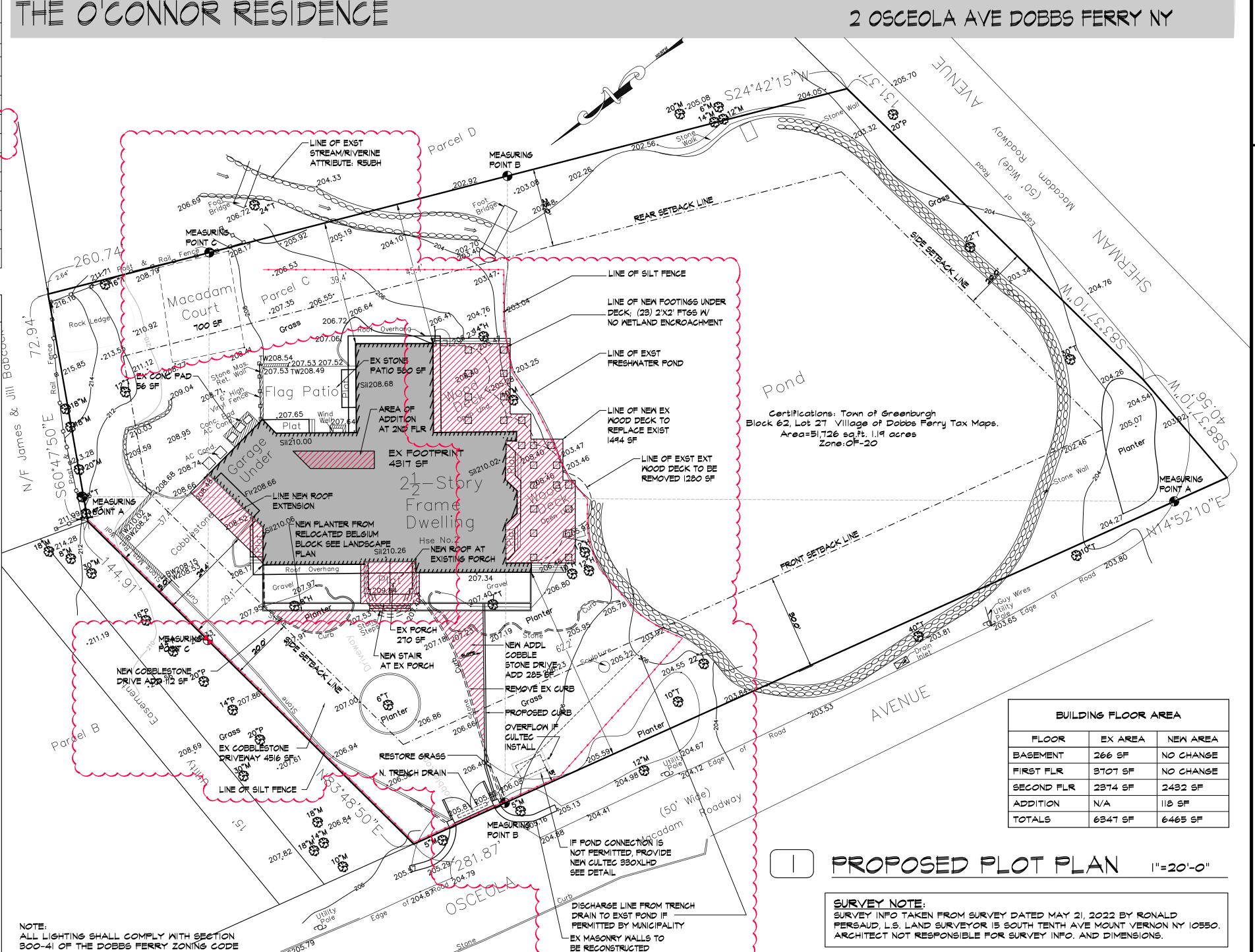
6. TOP OF CONCRETE SLAB TO RECEIVE CERAMIC TILE OR CARPETING AND SHALL BE SCREENED TO AN EVEN, TRUE LEVEL PLANE, FLOATED AND TROWELED TO

7. ALL MASONRY UNITS SHALL BE OF THE SIZE INDICATED ON THE PLANS, NON-CORROSIVE DURO-WALL TIES TO BE PROVIDED EVERY OTHER COURSE BETWEEN MASONRY JOINTS \$ #4 VERTICAL REBARS @ 32" O.C OR AS INDICATED ON PLANS. SEE SPECIFICATIONS ON DRAWINGS FOR POURED CONCRETE WALLS

8. CEMENT FOR MASONRY SHALL BE PORTLAND CEMENT CONFORMING TO ASTM DESIGNATION C144 PASSING NO.

8 SIEVE, HYDRATED LIME SHALL CONFORM TO ASTM DESIGNATION C-6.

9. MORTAR FOR THE ENTIRE MORK EXCEPT OTHERWISE SPECIFIED SHALL BE PROPORTIONED BY VOLUME, I PART PORTLAND CEMENT, 1/4 PART HYDRATE LIME, AND 3 PARTS SAND. WATER / CEMENT RATIO SHALL BE 0.35 - 0.40 MAXIMUM



I. STRUCTURAL STEEL - ALL STRUCTURAL STEEL SHALL CONFORM TO REQUIREMENTS OF ASTM - A - 36 LATEST EDITION. SIZE AND LOCATION OF ALL STRUCTURAL STEEL IS INDICATED ON WORKING DRAWINGS. THIS INCLUDES STEEL BEAMS, STEEL PIPE COLUMNS, STEEL ANGLES, AND STEEL BEAMS USED AS HEADERS OVER DOORS AND WINDOWS.

WOOD & PLASTICS

. ALL FRAMING LUMBER SHALL BE DOUGLAS FIR NO. I AND 2 COMMON HAVING A MIN. ALLOMABLE BENDING STRESS OF 900PSI.

2. LUMBER SIZE AND SPACING AS INDICATED ON WORKING DRAWINGS 3. ALL PLYWOOD SHALL BE MIN. 1/2" "CDX" EXTERIOR GRADE FOR SIDING AND MIN. 5/8" "CDX" FOR ROOF DECKING, OR AS INDICATED ON PLANS. 4. ALL FRAMING LUMBER SHALL BE KILN DRIED. 5. ROOF TRUSSES WIDER THAN 24" O.C. SHALL HAVE 2" X 4" WOOD BLOCKING UNDER ALL PLYWOOD JOINTS (IF APPLICABLE).

6. PROVIDE DOUBLE JOISTS UNDER ALL PARTITIONS RUNNING PARALLEL WITH FLOOR SPANS AND AROUND ALL FLOOR OPENINGS. DOUBLE RAFTERS & CEILING JOISTS AROUND ALL SKYLIGHT OPENINGS (IF APPLICABLE).

THERMAL & MOISTURE PROTECTION

. INSULATION - ALL EXTERIOR WALLS, CEILING, AND ROOFS, AS INDICATED ON WORKING DRAWINGS AND PER NY STATE ENERGY & BUIDING CODE - LATEST 2. EXTERIOR DOOR FRAMES, SADDLES AND WINDOW FRAMES AND WINDOW WALLS SHALL BE CAULKED WITH NON- BITUMINOUS, NON-STAINING "MONO" MANUFACTURED BY TREMCO OR EQUAL AND PACKED WITH INSULATION AT EDGES TO PREVENT DIRECT AIR INFILTRATION.

I. ALL DOORS AND WINDOWS SHALL BE SIZE, TYPE AND FIRE RATING INDICATED ON PLANS AND SCHEDULES. ALL GLAZING SHALL BE REGULAR DOUBLE PANE INSULATED GLASS BY ANDERSEN WINDOWS & DOORS MFG. OR APPROVED EQUIVALENT. SEE PLANS FOR ADDL INFO. 2. EXTERIOR DOORS SHALL HAVE INSULATING CORES WITH AN ALUMINUM SADDLE OR EQUIVALENT INDICATED ON PLANS. ALL DOORS TO GARAGES AND MECHANICAL ROOMS SHALL BE EQUIPPED WITH SELF-CLOSING HINGES. ALL DOOR FIRE RATING SHALL BE AS INDICATED ON PLANS.

<u>FINISHES</u>

. CONCRETE SLAB - CONCRETE FLOOR SLABS SHALL BE CLEANED AND TREATED WITH SEALER TO HELP SLAB RESIST ABRASION, WEAR, IMPACT AND CRACKING AND CONCRETE DUST. SEALER TO PREVENT PENETRATION OF WATER, OILS, GREASES AND SOLVENTS. 2. MASONRY WALLS - SPLIT-RIB BLOCK TO BE TREATED WITH WATERPROOFING AGENT UPON COMPLETION.

3. FRAME WALLS - FRAME WALLS SHALL RECEIVE GYPSUM BOARD PANELS (THICKNESS - INDICATED ON PLANS) WHICH SHALL RECEIVE 2 COATS OF PAINT PROVIDING A MASHABLE FINISHED SURFACE. BATHROOMS SHALL RECEIVE STANDARD GRADE CRYSTALLINE CERAMIC TILE, OR PER OWNER'S INSTRUCTIONS OVER CEMENT BOARD AS REQUIRED. ALL BATH GYPSUM BOARD SHALL BE MOISTURE RESISTANT TYPE.

. ALL ELECTRICAL WORK SHALL SHALL BE PERFORMED BY A NY STATE WESTCHESTER COUNTY LICENSED ELECTRICAL CONTRACTOR AND SHALL CONFORM WITH ALL PROVISIONS OF THE NYS BUILDING CODE, NATIONAL ELECTRIC CODE AND ALL APPLICABLE LOCAL CODES.

HEAVY CAST IRON WITH LEAD AND OAKUM JOINTS.

<u>ELECTRICAL</u>

I. ALL PLUMBING WORK SHALL BE APPROVED BY THE LOCAL BOARD OF HEALTH OR BLDG. DEPARTMENT, AND SHALL BE PERFORMED BY A NY STATE WESTCHESTER COUNTY LICENSED PLUMBING CONTRACTOR. 2. HOUSE DRAIN AND SEWER LINE WILL BE CAST IRON PIPE OR AS REQUIRED BY LOCAL PLUMBING CODES. ALL BELOW GRADE WASTE PIPING TO BE EXTRA

3. ALL HOT AND COLD WATER LINES TO BE TYPE L COPPER, W/95/5 SOLDERED JOINTS, COPPER FITTINGS AND BRASS VALVES AND OF PROPER SIZE.

PROVIDE (I) 3/4" HOSE BIB AS INDICATED ON PLANS. PROVIDE CHROME PLATED SHUT-OFF VALVES UNDER ALL FIXTURES. HOSE CONNECTIONS TO BE 4. PROVIDE HOT AND COLD WATER LINES TO DISHWASHER, CLOTHES WASHER AND TO ALL OTHER FIXTURES. ALL PLUMBING FIXTURES ARE TO BE MFG. BY AMERICAN STANDARD, KOHLER OR EQUIVALENT, MODEL # TO BE SELECTED BY OWNER.

HEATING CONTRACTOR SHALL GUARANTEE THAT THE HEATING SYSTEM SHALL BE PROPERLY DESIGNED, INSTALLED AND ADJUSTED TO MAINTAIN A CONSTANT 70° F INDOOR TEMPERATURE WHEN OUTDOOR TEMPERATURE IS 0° F WITH A 15 MPH WIND. HEATING SYSTEM SHALL BE GAS FIRED (OIL IF GAS NOT AVAILABLE). HEATING SYSTEM SHALL HAVE A MIN. COMBUSTION EFFICIENCY OF 75% AT MAX. RATED OUTPUT. ALL HOT WATER PIPING SHALL RECEIVE MIN. I" OF PIPE INSULATION WHEN IN UNHEATED SPACES, IN ADDITION TO REGULAR BUILDING INSULATION.

3. EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, UTILITY SERVICES AND OTHER SUCH OPENINGS IN BLDG. ENVELOPE SHALL BE CAULKED, GASKETED, WEATHER STRIPPED OR OTHERWISE SEALED. 4. HVAC CONTRACTOR SHALL SIZE SYSTEMS, DETERMINE MAKE & MODEL #'S OF HEATING AND COOLING SYSTEMS, AND SHALL

PROVIDE THIS INFORMATION TO LOCAL BUILDING DEPARTMENT IN CONFORMANCE WITH THE ENERGY CODES.

STRUCTURAL STEEL: W SHAPES ASTM A992 GR 50 TUBE COLUMNS ASTM - A500, GRADE B HIGH STRENGTH BOLTS: ASTM - A325

ASTM - A36 SHAPES & PLATES WELDING ELECTRODES - SERIES: EIO ANCHOR BOLTS: F1554 (FY=36KS)

CONCRETE DESIGN DATA

STEEL DESIGN DATA

. ALL CONCRETE WORK (BOTH MATERIALS AND CONSTRUCTION PROCEDURES) SHALL BE IN ACCORDANCE WITH ACISIS-2005. 2. CONCRETE SHALL BE CAPABLE OF DEVELOPING A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS.

. REINFORCING BARS SHALL BE DEFORMED BILLET STEEL BARS IN $\mbox{Accordance } \mbox{W}/\mbox{W}$ ASTM A615, GRADE 60, ALL DETAILING OF REINFORCING SHALL BE IN ACCORDANCE WITH ACI STANDARD 315.

4. CALCIUM CHLORIDE OR SOLUTIONS CONTAINING CHLORIDE WILL NOT BE PERMITTED AS ADMIXTURES IN ANY CONCRETE. 5. CONCRETE PROTECTION FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

BEAMS AND COLUMN TIES: 1 1/2" FOR #5 OR SMALLER,

2" FOR #6 OR LARGER SLABS: 3/4".

FOOTINGS AND PADS POURED ON GROUND: 3". 6. DETAILING AND FABRICATION OF REINFORCING UNLESS OTHERWISE NOTED, SHALL BE I ACCORDANCE WITH ACI 315, LATEST EDITION. 7. PLACING AND SUPPORTS OF REINFORCING BARS SHALL BE IN ACCORDANCE WITH CRSI.

NYS ENERGY CODE COMPLIANCE STATEMENT

"RECOMMENDED PRACTICE FOR PLACING REINFORCING BARS AND ACI-313.

THIS IS TO CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THE PROPOSED WORK WHICH IS SHOWN IN THE PLANS OR SPECIFICATIONS IS IN COMPLIANCE WITH THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NY STATE

Г 914.329.1518

Nicholas L. Faustini Architect PC

nlfarchitect.com

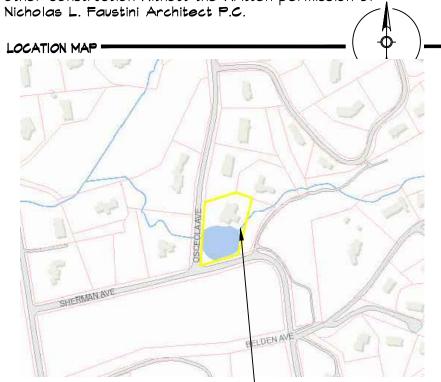


- AREA OF WORK

General Notes

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Drawings may be printed at reduced scale

TAX MAP |D#: 3.50-|4-| ZONE: RES-OF2

LIST OF DRAWINGS

T-I PROP PLOT PLAN, ZONING INFO & NOTES

T-2 ZONING, AERIAL, WETLAND & FLOOD PLANE MAPS T-3 STREETSCAPE & EXISTING HOUSE PHOTOS

A-4 SITE DETAILS & SKY EXPOSURE PLANE A-I EXIST BASEMENT PLAN

A-2 EXIST IST FLOOR PLAN

A-3 EXIST 2ND FLOOR PLAN & ROOF PLAN A-4 EXIST ELEVATIONS & SECTIONS

A-5 PROPOSED BASEMENT PLAN A-6 PROPOSED IST FLOOR PLAN

PROPOSED 2ND FLOOR PLAN

A-8 PROPOSED ROOF PLAN

A-9 PROPOSED PATIO FOUNDATION PLAN & FLR PLAN A-10 PROPOSED ELEVATIONS

A-II PROPOSED ELEVATIONS A-12 PROPOSED CROSS SECTIONS

A-13 PROPOSED CROSS SECTIONS

A-14 DETAILS, WINDOW & DOOR SCHEDULE

A-15 PROPOSED PARTIAL FIRST FLR ELEC PLAN

A-16 PROPOSED PARTIAL SECOND FLR ELEC PLAN

REV PER PB/AHRB COMMENT 01.19.23 ISSUED FOR AHRB/PB FILING

ISSUED FOR DOB FILING

ISSUE/REV. DATE

CLIENT

IMP SURFACE CALCULATIONS

EXISTING IMPERVIOUS SURFACES

EX FRONT PORCH & STEPS

EX DRIVENAY TO REMAIN

EX CONC PAD TO REMAIN

EX STONE PATIO TO REMAIN

EX MACADAM COURT TO REMAIN

NET CHANGE IN IMP SURFACES

EX DRIVEWAY

EX CONC PAD

EX STONE PATIO

EX MACADAM COURT

EX PRINCIPAL BUILDING FOOTPRINT

TOTAL EX IMPERVIOUS SURFACES

PROPOSED IMPERVIOUS SURFACES

EX PRINCIPAL BUILDING FOOTPRINT

EX FRONT PORCH TO BE REPLACED

NEW COBBLESTONE DRIVEWAY ADD

PROPOSED IMPERVIOUS SURFACES

KENNETH O'CONNOR 2 OSCEOLA AVE DOBBS FERRY NY 10522

10.11.22

4317 SF

4516 SF

270 SF

56 SF

580 SF

700 SF

10,439

4317 SF

270 SF

56 SF

580 SF

700 SF

4516 SF

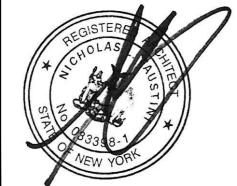
PROPOSED INTERIOR AND EXTERIOR ALTERATION REMODEL, SECOND FLOOR DORMER ADDITION AND EXTERIOR WOOD DECK REPLACEMENT DESIGN FOR:

2 OSCEOLA AVE DOBBS FERRY NY 10522

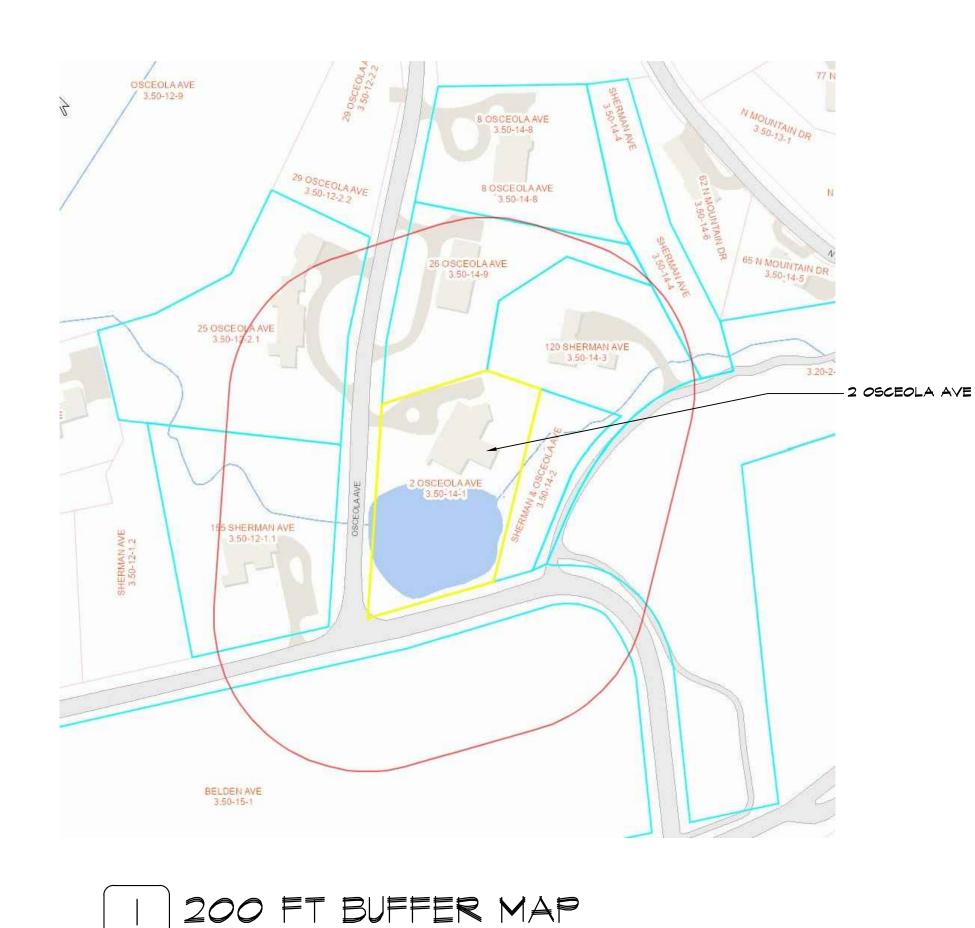
DRAWINGS TITLE

PROP PLOT PLAN, ZONING INFO & NOTES

PROJECT NO. DRAWN BY CHECKED BY 21.1209 DATE DRAWING NO.



APPLICATION # A2022-0486

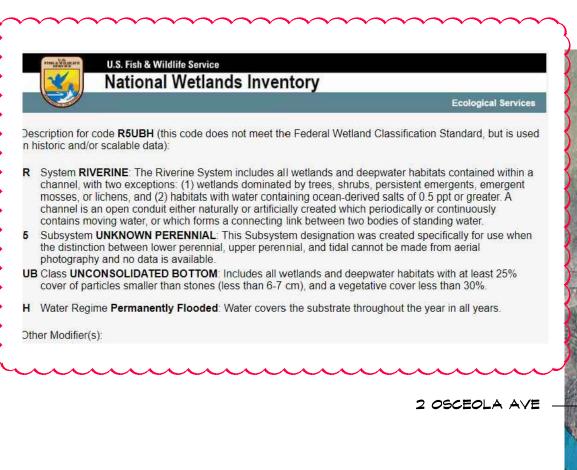


2 OSCEOLA AVE ZONING DISTRICTS

2 OSCEOLA AVE

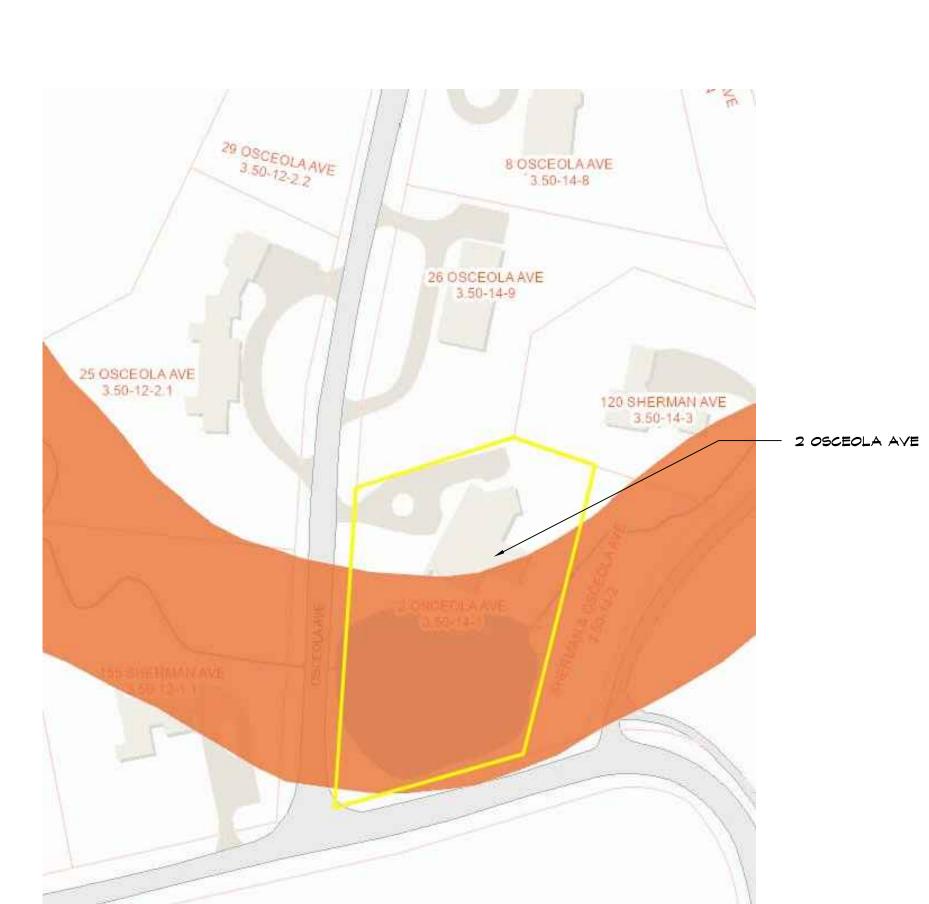
AERIAL SITE PLAN

NTS



Estuarine and Marine Estuarine and Marine Wetland Freshwater Emergent Wetland Freshwater Forested/Shrub Freshwater Pond

4 | WETLANDS



5 500 YEAR FLOOD PLAIN

Nicholas L. Faustini Architect PC

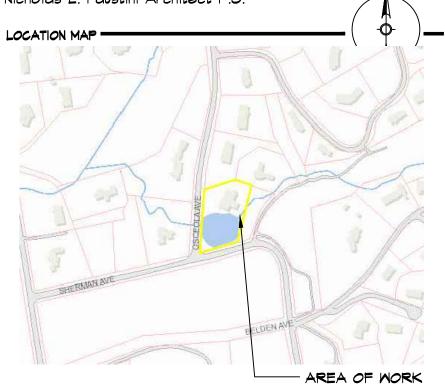
T 914.329.1518 nlfarchitect.com

6 Burns Street, Hartsdale, NY 10530 77 Remsen Road, Yonkers, NY 10710

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- NOTE: Drawings may be printed at reduced scale

TAX MAP ID#: 3.50-14-1 ZONE: RES-OF2

LIST OF DRAWINGS

- T-I PROP PLOT PLAN, ZONING INFO & NOTES T-2 ZONING, AERIAL, WETLAND \$ FLOOD PLANE MAPS
- T-3 STREETSCAPE & EXISTING HOUSE PHOTOS
- A-4 SITE DETAILS & SKY EXPOSURE PLANE A-I EXIST BASEMENT PLAN
- A-2 EXIST IST FLOOR PLAN
- A-3 EXIST 2ND FLOOR PLAN & ROOF PLAN
- A-4 EXIST ELEVATIONS & SECTIONS A-5 PROPOSED BASEMENT PLAN
- A-6 PROPOSED IST FLOOR PLAN

A-8 PROPOSED ROOF PLAN

- A-7 PROPOSED 2ND FLOOR PLAN
- A-9 PROPOSED PATIO FOUNDATION PLAN & FLR PLAN
- A-IO PROPOSED ELEVATIONS A-II PROPOSED ELEVATIONS
- A-12 PROPOSED CROSS SECTIONS
- A-13 PROPOSED CROSS SECTIONS A-14 DETAILS, WINDOW & DOOR SCHEDULE
- A-15 PROPOSED PARTIAL FIRST FLR ELEC PLAN
- A-16 PROPOSED PARTIAL SECOND FLR ELEC PLAN

02 01.19.23 REV PER PB/AHRB COMMENT

ISSUED FOR AHRB/PB FILING

issued for dob filing

NO. DATE ISSUE/REV.

CLIENT

KENNETH O'CONNOR 2 OSCEOLA AVE DOBBS FERRY NY 10522

10.11.22

PROJECT

JZ/SZ

PROPOSED INTERIOR AND EXTERIOR ALTERATION REMODEL, SECOND FLOOR DORMER ADDITION AND EXTERIOR WOOD DECK REPLACEMENT DESIGN FOR:

2 OSCEOLA AVE DOBBS FERRY NY 10522

DRAWINGS TITLE ZONING, AERIAL, WETLAND & FLOOD PLANE

DRAWN BY CHECKED BY PROJECT NO.

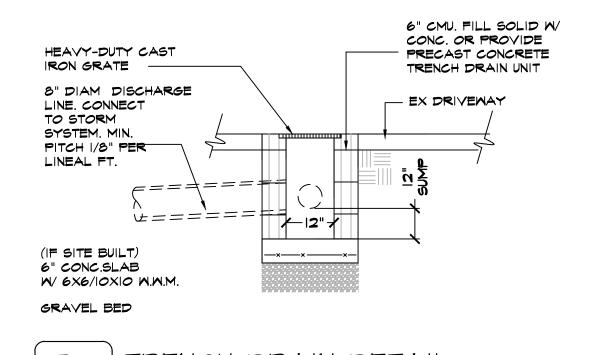
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DRAWING NO.

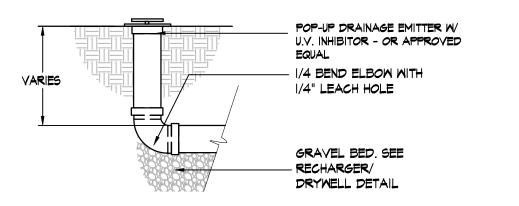


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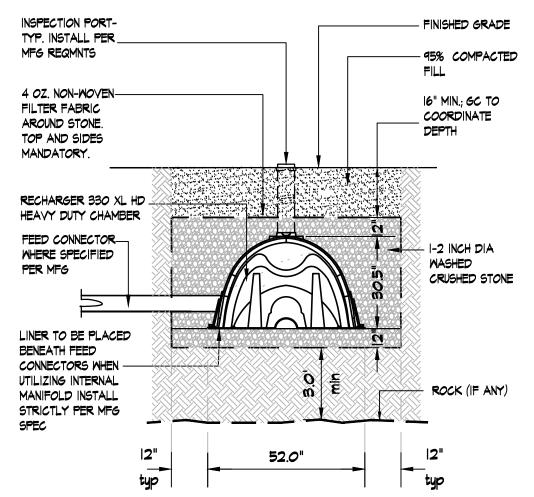
21.1209



TRENCH DRAIN DETAIL



SMI) OVERFLOW DETAIL NTS



<u>CULTEC RECHARGER GENERAL NOTES</u>: REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES. USE RECHARGER 330XL HD HEAVY DUTY FOR TRAFFIC AND/OR H-25 APPLICATIONS. ALL RECHARGER 330XL HD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER. ALL RECHARGER 330XL HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

STORM DRAINAGE CALCULATIONS:

NET INCREASE IN IMPERVIOUS SURFACE AREA + 397 SF

RETENTION SYSTEM REQUIREMENTS FOR SMALL ADDITIONS VILLAGE OF DOBBS FERRY

RUNOFF DEPTH, D= 0.358 (4.3 INCHES) AREA, A = ENTIRE AREA THAT DRAINS TO RETENTION SYSTEM (CU FT) REQUIRED STORAGE VOLUME, V = A X D

REQUIRED STORAGE VOLUME: 397 SF X 0.358 = 142.1 CU FT

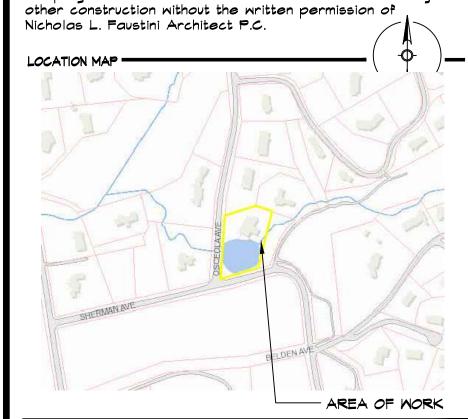
DIRECT RUNOFF PIPE TO EXST POND ON SITE OR IF NOT PERMITTED BY LOCAL MUNICIPALITY, PROVIDE CULTEC STORMATER RECHARGER 330XLHD. INSTALLED CHAMBER VOLUME ASSEMBLY SHALL THEREFORE BE 142.1 CU.FT.

- 2. AN EMERGENCY OVERFLOW TO BE PROVIDED
- 3. THE FOLLOWING TYPICAL DETAILS SHOULD BE PROVIDED:

A. SECTION(S) OF TEH RETENTION SYSTEM, WHICH INCLUDES TEH UNITS MATERAIL 3/4" STONE, GEOTEXTILE FABRIC, AND EMERGENCY OVERFLOW. THE EMERGENCY OVERFLOW MAY BE AN OVERFLOW OUTLET, SURGE PIPE WITH SPLASH BLOCK ETC

- B. ACCESS MANHOLE(S) WITH AN OPENING A MINUMUM OF 24" C. PRETREATMENT SYSTEM
- D. CLEANOUT PORTS

IF DURING THE INSTALLATION OF THE RETENTION SYSTEM, GROUNDWATER OR ROCK IS ENCOUNTERED, THE VILLAGE MUST BE CONTACTED IMMEDIATELY.



Nicholas L. Faustini Architect PC

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*0*2 *0*1.19.23 REV PER PB/AHRB COMMENT 12.12.22 ISSUED FOR AHRB/PB FILING ISSUED FOR DOB FILING IO.II.22

ISSUE/REV. NO. DATE

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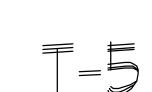
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DRAWINGS TITLE

SITE DETAILS & SKY EXPOSURE PLANE

CHECKED BY PROJECT NO. DRAWN BY JZ/SZ 21.1209 DATE 10.11.22 DRAWING NO.



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