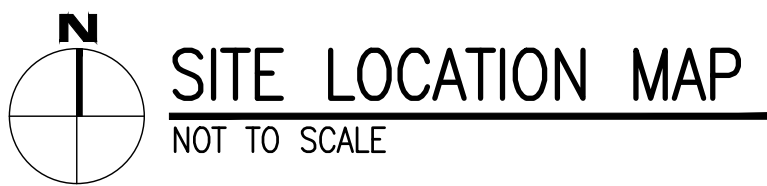
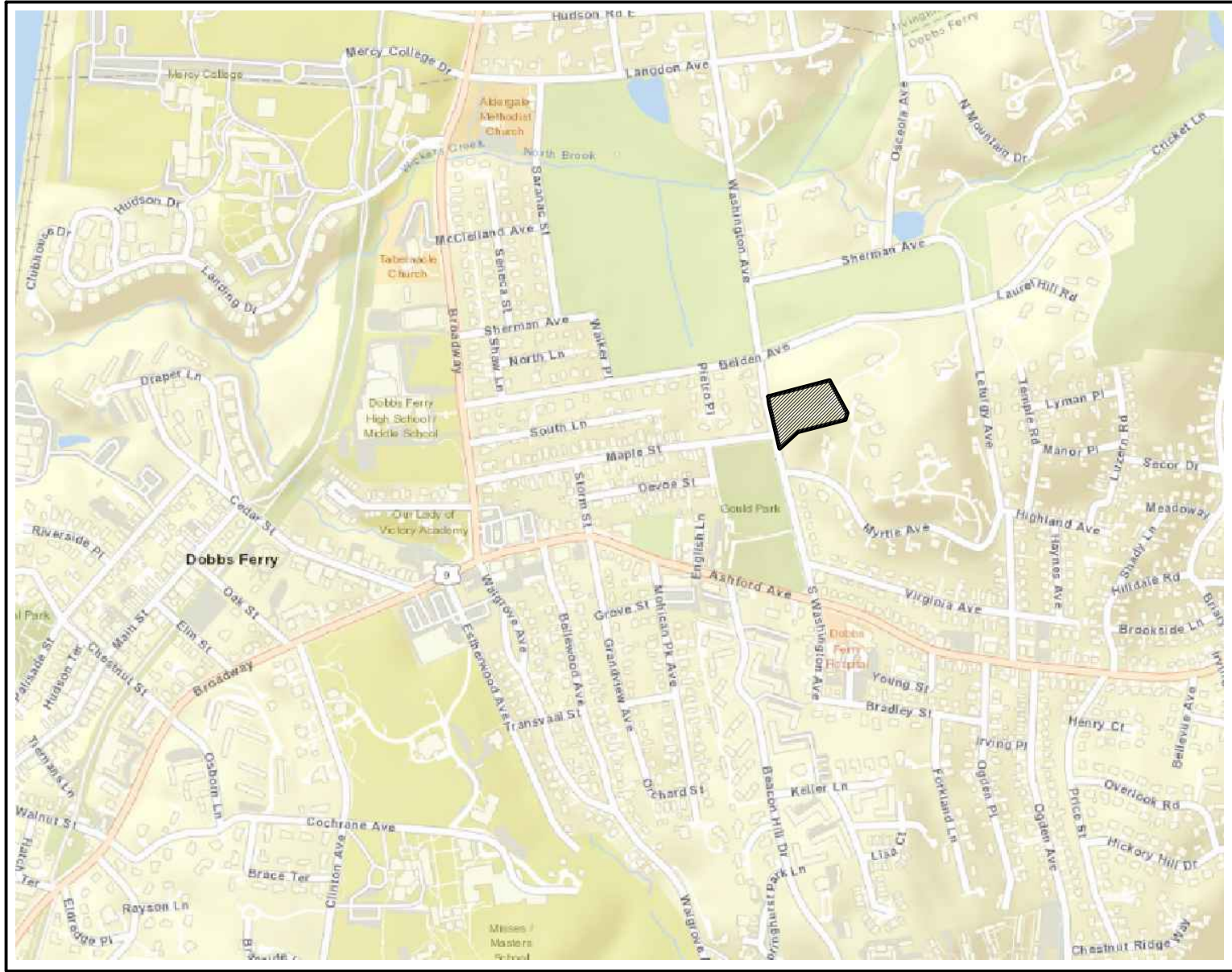
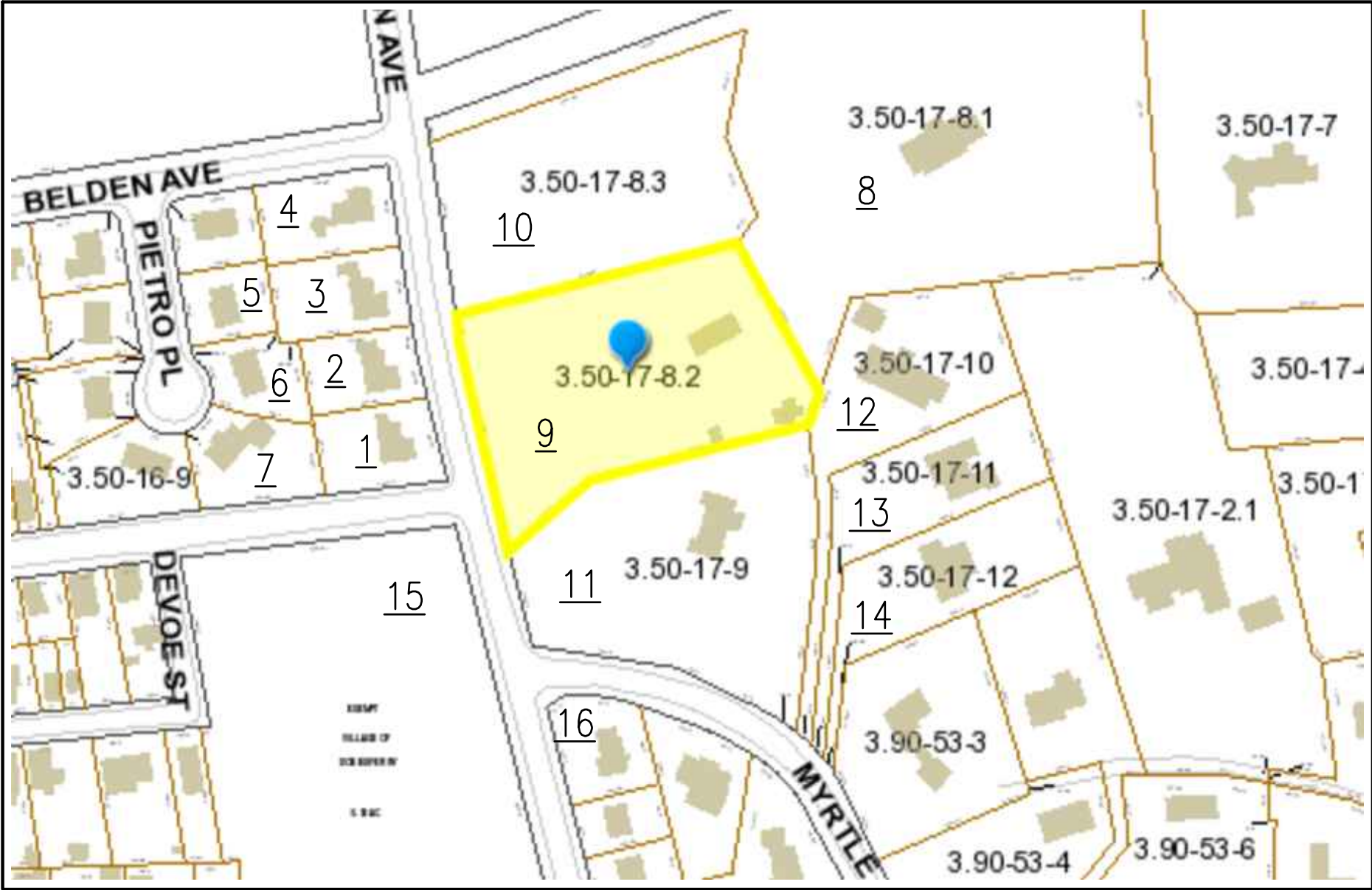


LIST OF PROPERTY OWNERS WITHIN 200 FEET OF SUBJECT PROPERTY						
TAG	ZONING DISTRICT	LOT INFORMATION PARCEL	OWNER	OWNER ADDRESS		PROPERTY ADDRESS
1	OF-5	3.50 - 16 - 1	DAVID ENRICH , KRISTEN OSUR	69 WASHINGTON AVENUE	DOBBS FERRY, NY 10522	
2	OF-5	3.50 - 16 - 2	WILLIAM CIPRIANO (TRUST) , JERI CIPRIANO (TRUST)	77 WASHINGTON AVENUE	DOBBS FERRY, NY 10522	
3	OF-5	3.50 - 16 - 3	MICHAEL Z. FINE , MARY R. FLORES - FINE	83 WASHINGTON AVENUE	DOBBS FERRY, NY 10522	
4	OF-5	3.50 - 16 - 4	IARJ ROSENKRANZ , ROXANA KLEIN ROSENKRAN	120 BELDEN AVENUE	DOBBS FERRY, NY 10522	
5	OF-5	3.50 - 16 - 6	BRIAN E. CROWLEY , LAURA F. CROWLEY	7 PIETRO PLACE	DOBBS FERRY NY 10522	
6	OF-5	3.50 - 16 - 7	GREENBURGH HEBREW CENTER	515 BROADWAY	DOBBS FERRY, NY 10522	11 PIETRO PLACE
7	OF-5	3.50 - 16 - 8	LUIS M. MATURANA , VERONICA MATURANA	15 PIETRO PLACE	DOBBS FERRY, NY 10522	
8	OF-2	3.50 - 17 - 8.1	ALEXANDER B. CHILTON, LAURA H. CHILTON	86 BELDEN AVENUE	DOBBS FERRY, NY 10522	
9	OF-2	3.50 - 17 - 8.2	DWIGHT WELD , CHARLOTTE WELD	60 WASHINGTON AVENUE	DOBBS FERRY, NY 10522	SUBJECT PROPERTY
10	OF-2	3.50 - 17 - 8.3	RACVEL CONSTRUCTION CO. INC	122 EAST SUNNYSIDE LANE	IRVINGTON , NY 10533	70 WASHINGTON AVENUE VACANT LAND
11	OF-2	3.50 - 17 - 9	ADAM OSTROW , KENDALL OSTROW	1 MYRTLE AVENUE	DOBBS FERRY, NY 10522	
12	OF-2	3.50 - 17 - 10	LAURANCE HOLZMAN , LARA HOLZMAN	7 MYRTLE AVENUE	DOBBS FERRY, NY 10522	
13	OF-2	3.50 - 17 - 11	CAROLINE SABAS	11 MYRTLE AVENUE	DOBBS FERRY, NY 10522	
14	OF-2	3.50 - 17 - 12	DENA E. ROSENBERG	15 MYRTLE AVENUE	DOBBS FERRY, NY 10522	
15	OS	3.90 - 52 - 1	VILLAGE OF DOBBS FERRY	112 MAIN STREET	DOBBS FERRY, NY 10522	ASHFORD AND WASHINGTON AVENUE
16	OF-6	3.90 - 54 - 13	KRISTIN KEARNS	40 WASHINGTON AVENUE	DOBBS FERRY, NY 10522	



GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY (RCNY ONLY)	SUBJECT TO DAMAGE FROM			CLIMATE ZONE	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	SPECIAL WIND SPEED (MPH)	TOPO EFFECTS	WIND REGION	WINDBORNE DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITE					
	30 LBS / SQ. FT.	"SPECIAL WIND REGION	NO	YES		NO	C	SEVERE					

* 115 MPH to 120 MPH the special wind region should serve as warning to design professionals in evaluating wind loading conditions. Wind speeds higher than the derived values taken from Section 1609 of the IBC and Figure R301.2 (4) A of the IRC are likely to occur and should be considered in the design.

** State if applicable. For flood hazards the Design Professional shall state if they are applicable. Y/N. Verify with FIRM Maps. Maps are available on the FIMA web site <http://www.floodmap.floodsimple.com/>

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENTS										
CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
TABLE R402.1.1 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT										
4A	0.27	0.50	0.4	49	20 + 5	15 / 20	30	15 / 19	10 , 4 FT	15 / 19
TABLE R402.1.4 EQUIVALENT U - FACTORS										
4A	0.27	0.50	0.4	0.026	0.045	0.056	0.033	0.047	0.050	0.042

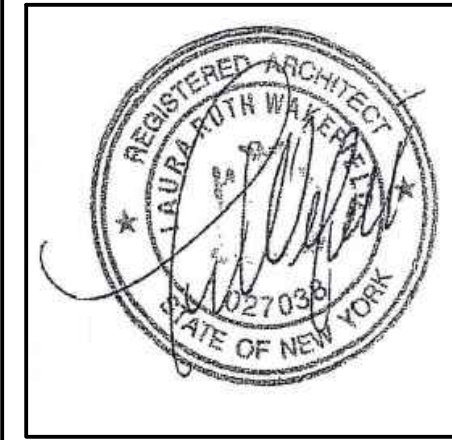
MANUAL J DESIGN CRITERIA							
ELEVATION	LATITUDE	WINTER HEATING	SUMMER COOLING	ALTITUDE CORRECTION FACTOR	INDOOR DESIGN TEMPERATURE	DESIGN TEMPERATURE COOLING	HEATING TEMPERATURE DIFFERENCE
179	41	7	87	1	68	75	61
COOLING TEMPERATURE DIFFERENCE	WIND VELOCITY HEATING	WIND VELOCITY COOLING	COINCIDENT WET BULB	DAILY RANGE	WINTER HUMIDITY	SUMMER HUMIDITY	
12	20.4	7.5	72	M	30	55	

CODE COMPLIANCE NOTES:

- ALL PROPOSED WORK HAS BEEN DESIGNED IN ACCORDANCE WITH AND SHALL BE PERFORMED AND COMPLETED IN FULL COMPLIANCE WITH THE 2020 NEW YORK STATE RESIDENTIAL BUILDING CODE AND NEW YORK STATE STRETCH CODE.
- ALL ELECTRICAL WORK HAS BEEN DESIGNED AND SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE NFPA 70 2017 EDITION.
- ALL PLUMBING WORK HAS BEEN DESIGNED ANDSHALL BE PERFORMED IN ACCORDANCE WITH THE 2020 NEW YORK STATE RESIDENTIAL BUILDING CODE.
- ALL MECHANICAL WORK HAS BEEN DESIGNED ANDSHALL BE PERFORMED IN ACCORDANCE WITH THE 2020 NEW YORK STATE RESIDENTIAL BUILDING CODE.
- THE PROPOSED WORK HAS BEEN DESIGNED IN ACCORDANCE WITH AND SHALL BE PERFORMED AND COMPLETED IN FULL COMPLIANCE WITH THE 2020 NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE – RESIDENTIAL PROVISIONS, LATEST EDITION BY AFFIXING A SEAL AND SIGNING THIS SET OF CONSTRUCTION DOCUMENTS, THE REGISTERED DESIGN PROFESSIONAL HEREBY ATTESTS THAT, TO THE BEST OF HIS OR HER KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE INCOMPLIANCE WITH THE CODE.
- THIS BUILDING IS TYPE 5B CONSTRUCTION.
- THIS BUILDING'S USE IS A ONE FAMILY DWELLING.
- SEPARATE PERMIT REQUIRED FOR FIRE SPRINKLER SYSTEMS AND HVAC UNIT AND DUCTWORK

LIST OF DRAWINGS		PLANNING BOARD AND AHRB SUBMISSION 11-10-2022	FOR PLANNING BOARD MEETING 01-05-2023	FOR PB AND AHRB MEETING 02-02-2023
CS	LIST OF DRAWINGS, CODE COMPLIANCE NOTES , LOCATION MAPS	11-10-2022	12-15-2022	01-19-2023
GN	GENERAL NOTES, NY STRETCH CODE NOTES			
TE - 1	BUILDING THERMAL ENVELOPE, NOTES, AND DETAILS			
EX - 1	EXISTING FLOOR PLANS	11-10-2022	11-10-2022	11-10-2022
EX - 2	EXISTING ELEVATIONS	11-10-2022	11-10-2022	11-10-2022
A - 1.0	SITE PLANS - EXISTING , DEMOLITION AND PROPOSED , ZONING & COVERAGE TABLES	11-10-2022	12-15-2022	12-15-2022
A - 1.1	ENLARGED PROPOSED SITE PLAN, CONSTRUCTION SEQUENCE	11-10-2022	12-15-2022	12-15-2022
A - 1.2	EROSION CONTROL PLAN AND DETAILS			01-19-2023
A - 1.3	STORM DRAINAGE PLAN AND DETAILS			
L - 1	LANDSCAPING PLAN			
D - 1	DEMOLITION FLOOR PLANS	11-10-2022	11-10-2022	11-10-2022
A - 2.0	BASEMENT FLOOR PLAN, PROPOSED GARAGE FOUNDATION PLAN	11-10-2022	11-10-2022	11-10-2022
A - 2.1	FIRST FLOOR PLAN, PROPOSED GARAGE PLAN	11-10-2022	11-10-2022	11-10-2022
A - 2.2	SECOND FLOOR PLAN	11-10-2022	11-10-2022	11-10-2022
A - 2.3	FRAMING PLANS			
A - 2.4	I-JOIST FRAMING DETAILS			
A - 3.1	PROPOSED SOUTH AND WEST ELEVATIONS,	11-10-2022	11-10-2022	11-10-2022
A - 3.2	PROPOSED NORTH AND EAST ELEVATIONS	11-10-2022	11-10-2022	11-10-2022
A - 3.3	PROPOSED GARAGE ELEVATIONS, SECTIONS	11-10-2022	11-10-2022	11-10-2022
A - 4.1	PROPOSED BUILDING SECTIONS	11-10-2022	11-10-2022	11-10-2022
A - 4.2	PROPOSED DETAIL SECTIONS			
E - 2.0	PROPOSED BASEMENT ELECTRICAL PLAN			
E - 2.1	PROPOSED FIRST FLOOR ELECTRICAL PLAN AND NOTES			
E - 2.2	PROPOSED SECOND FLOOR ELECTRICAL PLAN AND NOTES			
P - 2.0	PROPOSED BASEMENT FLOOR PLUMBING PLAN, NOTES			
P - 2.1	PROPOSED FIRST FLR PLUMBING PLAN, RISER AND WATER SUPPLY DIAGRAMS			
M - 2.0	PROPOSED BASEMENT FLOOR MECHANICAL PLAN AND NOTES			
M - 2.1	PROPOSED FIRST FLOOR MECHANICAL PLAN AND NOTES			
M - 2.2	PROPOSED SECOND FLOOR MECHANICAL PLAN			

TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED, THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE CURRENTLY IN EFFECT



LAURA WAKEFIELD
ARCHITECT
329 BROADWAY
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N.Y.S STATE LICENSE
No. 027038

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PROJECT TITLE:
WELD RESIDENCE
60 WASHINGTON AVENUE
DOBBS FERRY, N.Y. 10522
PROJECT NO.: **2208**

GOTHAM DESIGN
PLANNING AND DEVELOPMENT LTD.

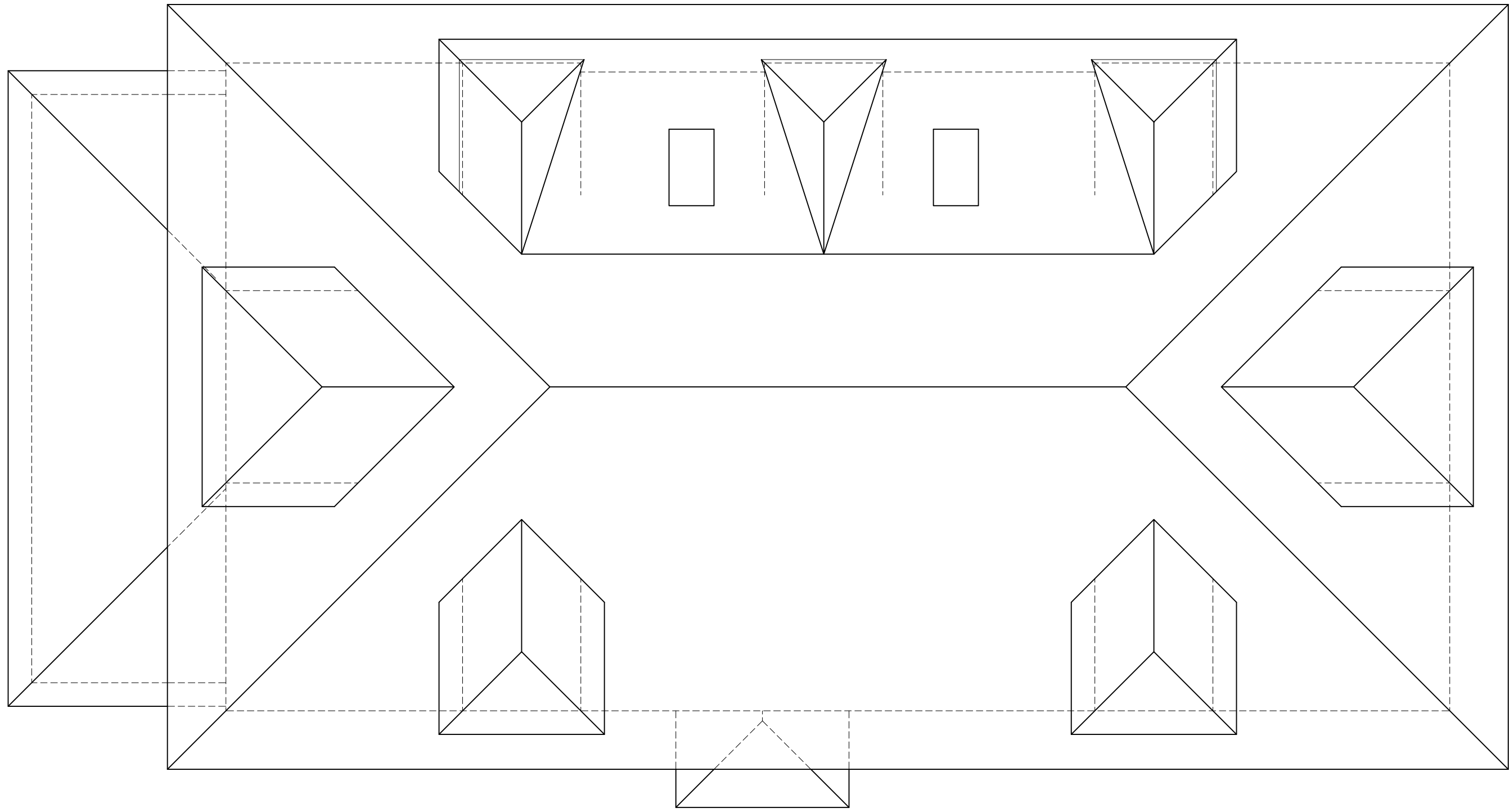
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Dobbs Ferry, N.Y. 10522
Phone: (914) 693-5093
Fax: (914) 693-5390
email: arch329@gmail.com

ISSUED FOR / REVISIONS:
REVISED 12-15-2022
LIST OF DRAWINGS
REVISED 01-19-2023
LIST OF DRAWINGS

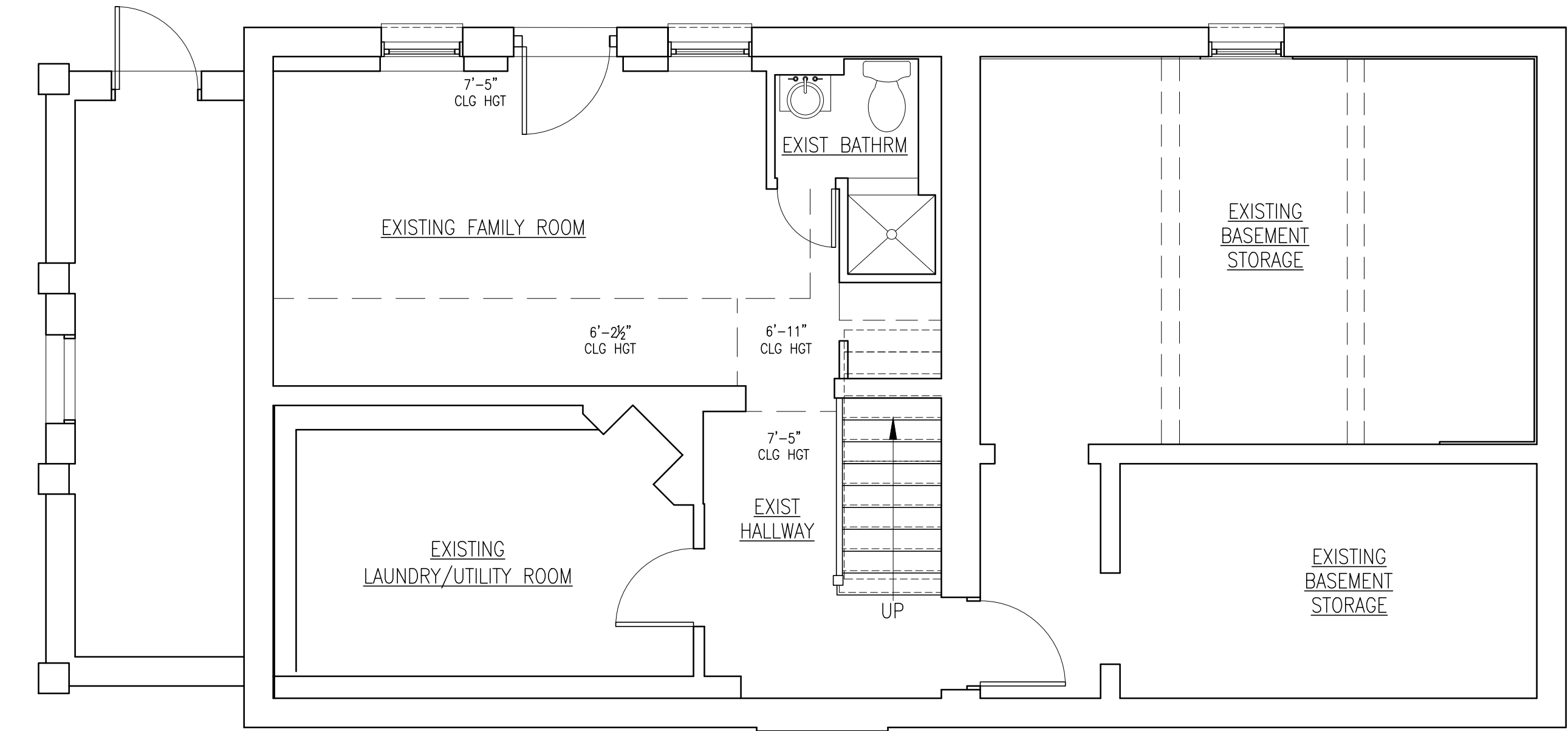
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COVER SHEET

DATE: **11-10-2022**
SCALE: **AS NOTED**
DRAWN BY: **SJ,MB**
CHECKED BY: **PRS**

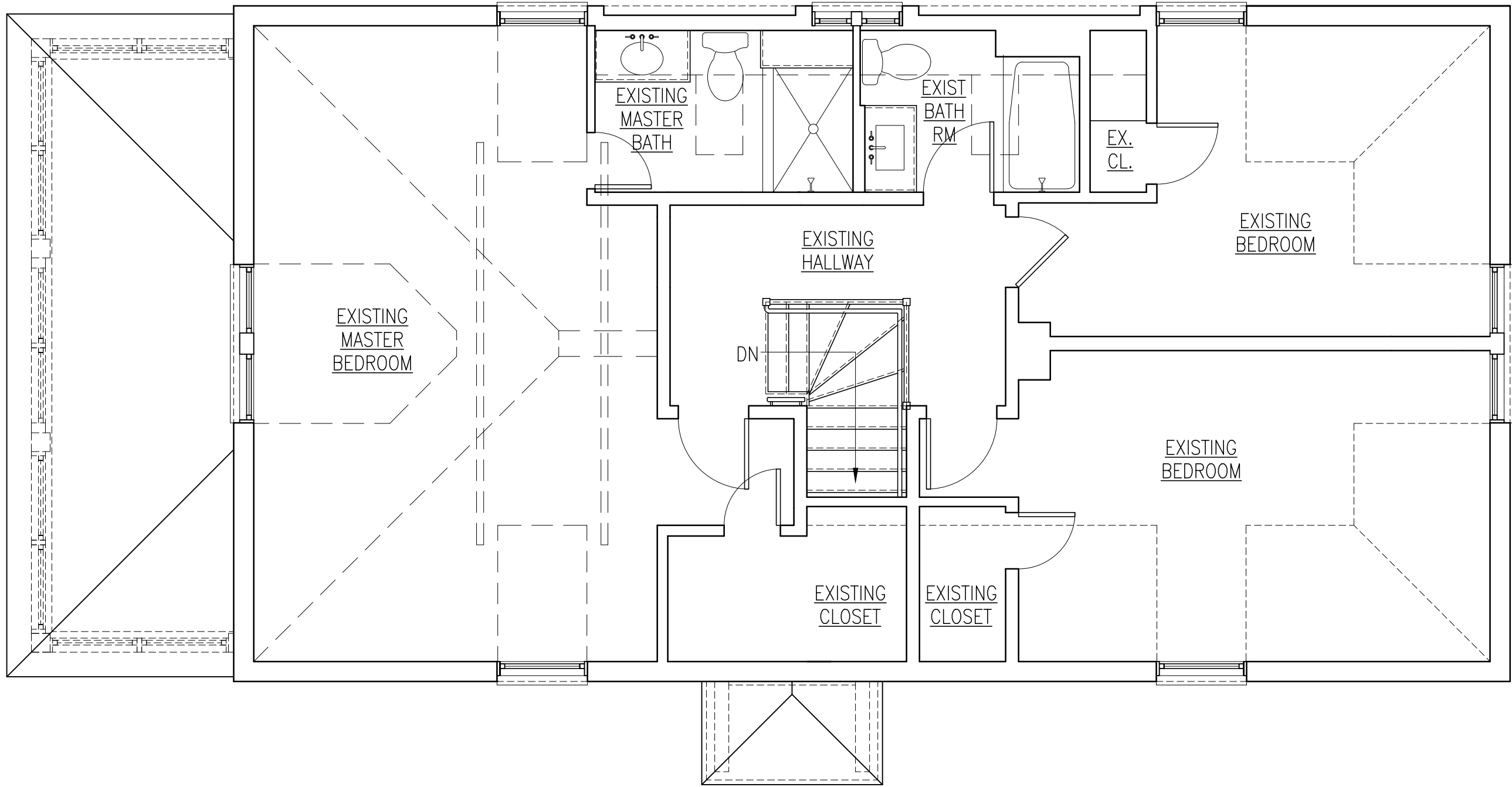
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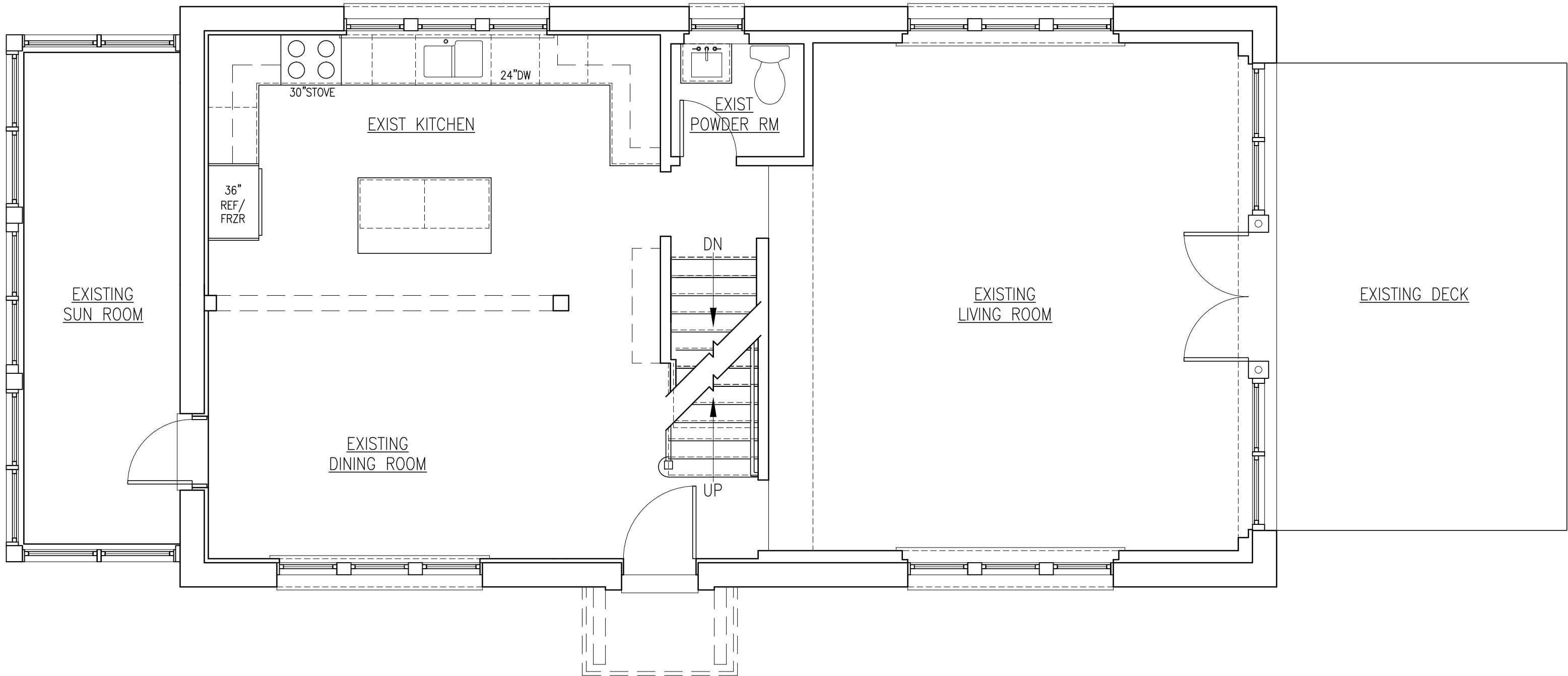
ROOF



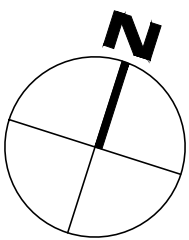
CELLAR FLOOR



SECOND FLOOR



FIRST FLOOR



EXISTING FLOOR PLANS
SCALE : 1/4" = 1'-0" GRAPHIC SCALE IN FEET
0 1 2 4 8

TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED, THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE CURRENTLY IN EFFECT.



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WELD RESIDENCE
60 WASHINGTON AVENUE
DOBBS FERRY, N.Y. 10522
PROJECT NO.: **2208**

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PLANNING AND
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329 Broadway
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Phone: (914) 693-5093
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email: arch329@gmail.com

SHEET TITLE:
**EXISTING
FLOOR PLANS**

DATE: 11-10-2022	DRAWN BY: MB
SCALE: AS NOTED	CHECKED BY: PRS

EX-1



WEST



SOUTH



NORTH

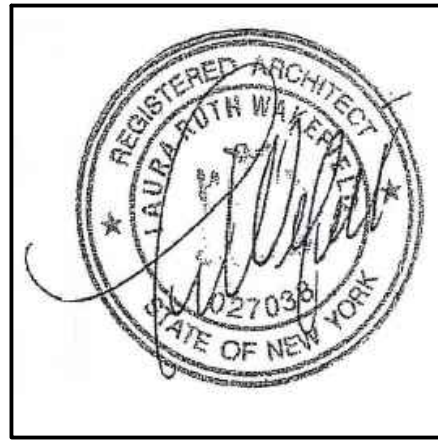


EAST

EXISTING ELEVATIONS

SCALE : 1/4" = 1'-0" GRAPHIC SCALE IN FEET
0 1 2 4 8

TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED, THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE CURRENTLY IN EFFECT.



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60 WASHINGTON AVENUE
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PROJECT NO.: **2208**

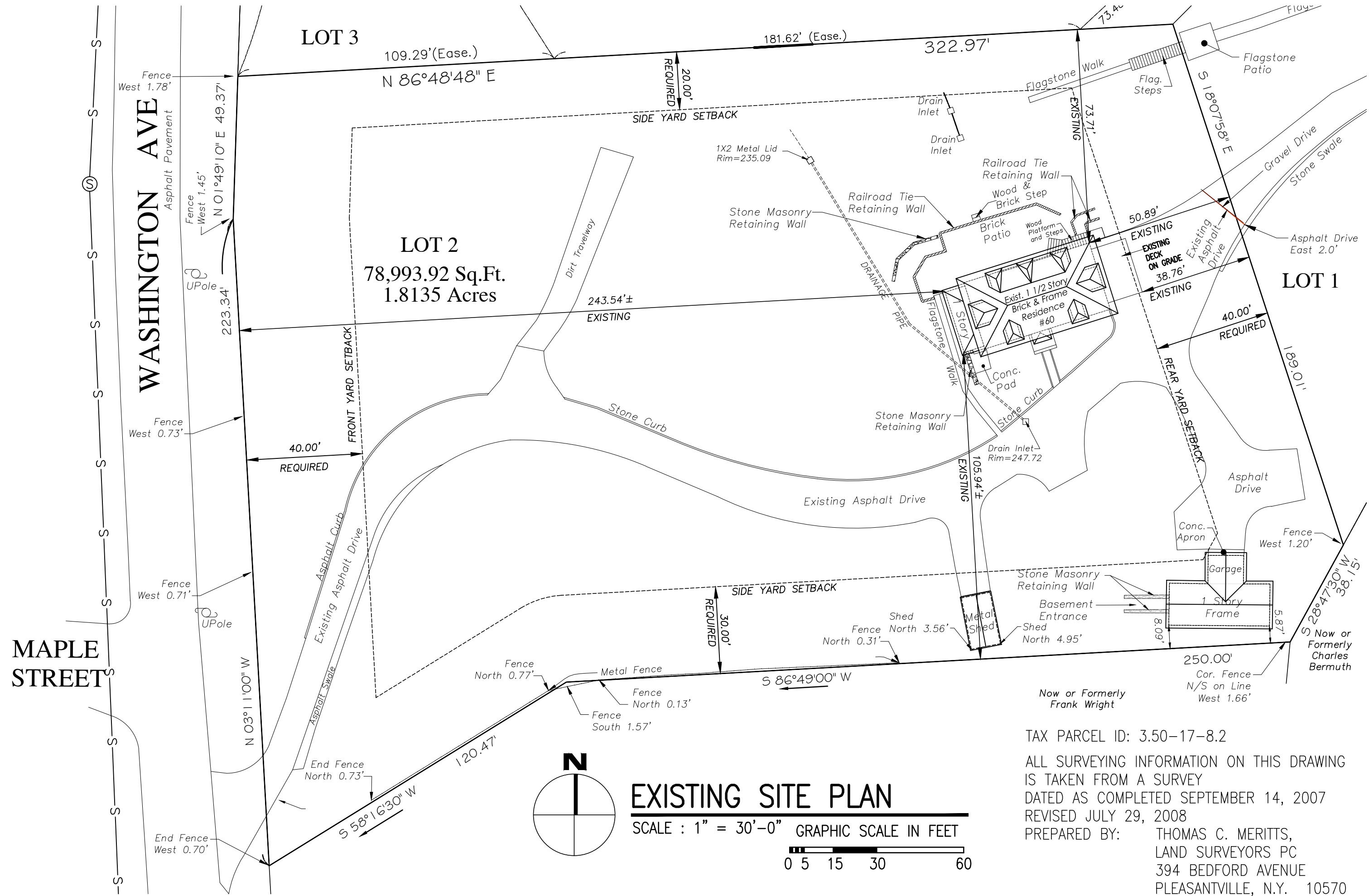
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SHEET TITLE:
**EXISTING
ELEVATIONS**

DATE: 11-10-2022	DRAWN BY: MB
SCALE: AS NOTED	CHECKED BY: PRS

EX-2



TAX PARCEL ID: 3.50-17-8.2
ALL SURVEYING INFORMATION ON THIS DRAWING
IS TAKEN FROM A SURVEY
DATED AS COMPLETED SEPTEMBER 14, 2007
REVISED JULY 29, 2008
PREPARED BY: THOMAS C. MERITTS,
LAND SURVEYORS PC
394 BEDFORD AVENUE
PLEASANTVILLE, N.Y. 10570
TEL. 914 769 - 8003
914 273 - 1663

BUILDING COVERAGE	EXISTING
HOUSE	1250 SQ.FT.
FRAME BUILDING	622 SQ.FT.
METAL SHED	184 SQ.FT.
TOTAL	2056 SQ.FT.
2056 / 78,993.92 = 2.60%	

IMPERVIOUS COVERAGE	EXISTING
HOUSE	1250 SQ.FT.
BLUESTONE STOOP, STEP & WALK	97 SQ.FT.
CONCRETE PAD	34 SQ.FT.
FLAGSTONE WALK AT HOUSE	105 SQ.FT.
DECK ON GRADE	240 SQ.FT.
BRICK PATIO	870 SQ.FT.
BRICK STEPS	6 SQ.FT.
WOOD STEPS & PLATFORM	80 SQ.FT.
STONE AND WOOD RETAINING WALLS	110 SQ.FT.
FLAGSTONE WALK & STEPS	147 SQ.FT.
DECK ON GRADE	240 SQ.FT.
FRAME BUILDING	622 SQ.FT.
RETAINING WALLS	36 SQ.FT.
METAL SHED	184 SQ.FT.
PAVING	10000 SQ.FT.

TOTAL 14021 SQ.FT.
14021 / 78,993.92 = 17.75%

BUILDING COVERAGE	PROPOSED
EX HOUSE	1093 SQ.FT.
1250 MINUS 157 TBR	
EX FRAME BUILDING	622 SQ.FT.
EX METAL SHED	184 SQ.FT.

PROPOSED ADDITIONS	
1 1/2 STORY	444 SQ.FT.
1 STORY WITH ROOF DECK	226 SQ.FT.
1 STORY	210 SQ.FT.
1 STORY FAMILY ENTRY	90 SQ.FT.
1 STORY FAMILY ENTRY PORCH	141 SQ.FT.
1 STORY ENTRY	69 SQ.FT.
1 STORY ENTRY PORCH	63 SQ.FT.
1 STORY TWO CAR GARAGE	596 SQ.FT.
PROPOSED OPEN WOOD DECK	888 SQ.FT.
355 PLUS 173 PLUS 360	

TOTAL 4626 SQ.FT.
4626 / 78,993.92 = 5.86%

TBR - TO BE REMOVED

IMPERVIOUS COVERAGE	PROPOSED
EX HOUSE	1093 SQ.FT.
1250 MINUS 157	
(1 STORY TO BE REMOVED)	
EX FRAME BUILDING	622 SQ.FT.
EX RETAINING WALLS	36 SQ.FT.
EX METAL SHED	184 SQ.FT.

PROPOSED ADDITIONS	
1 1/2 STORY	444 SQ.FT.
1 STORY WITH ROOF DECK	226 SQ.FT.
1 STORY	210 SQ.FT.
1 STORY FAMILY ENTRY	90 SQ.FT.
1 STORY FAMILY ENTRY PORCH	141 SQ.FT.
1 STORY ENTRY	69 SQ.FT.
1 STORY ENTRY PORCH	63 SQ.FT.
1 STORY TWO CAR GARAGE	596 SQ.FT.
PROPOSED OPEN WOOD DECK	888 SQ.FT.
355 PLUS 173 PLUS 360	

PROPOSED STEP AT ENTRY	7 SQ.FT.
PROPOSED RETAINING WALLS	45 SQ.FT.
PROPOSED CURBS	96 SQ.FT.
73 PLUS 15 PLUS 8	
PROPOSED TERRACE	183 SQ.FT.
PROPOSED TERRACE AT BSMNT	562 SQ.FT.

PAVING	7957 SQ.FT.
EX 10000 (-)4412 TBR	
(+)2053 (+)316	

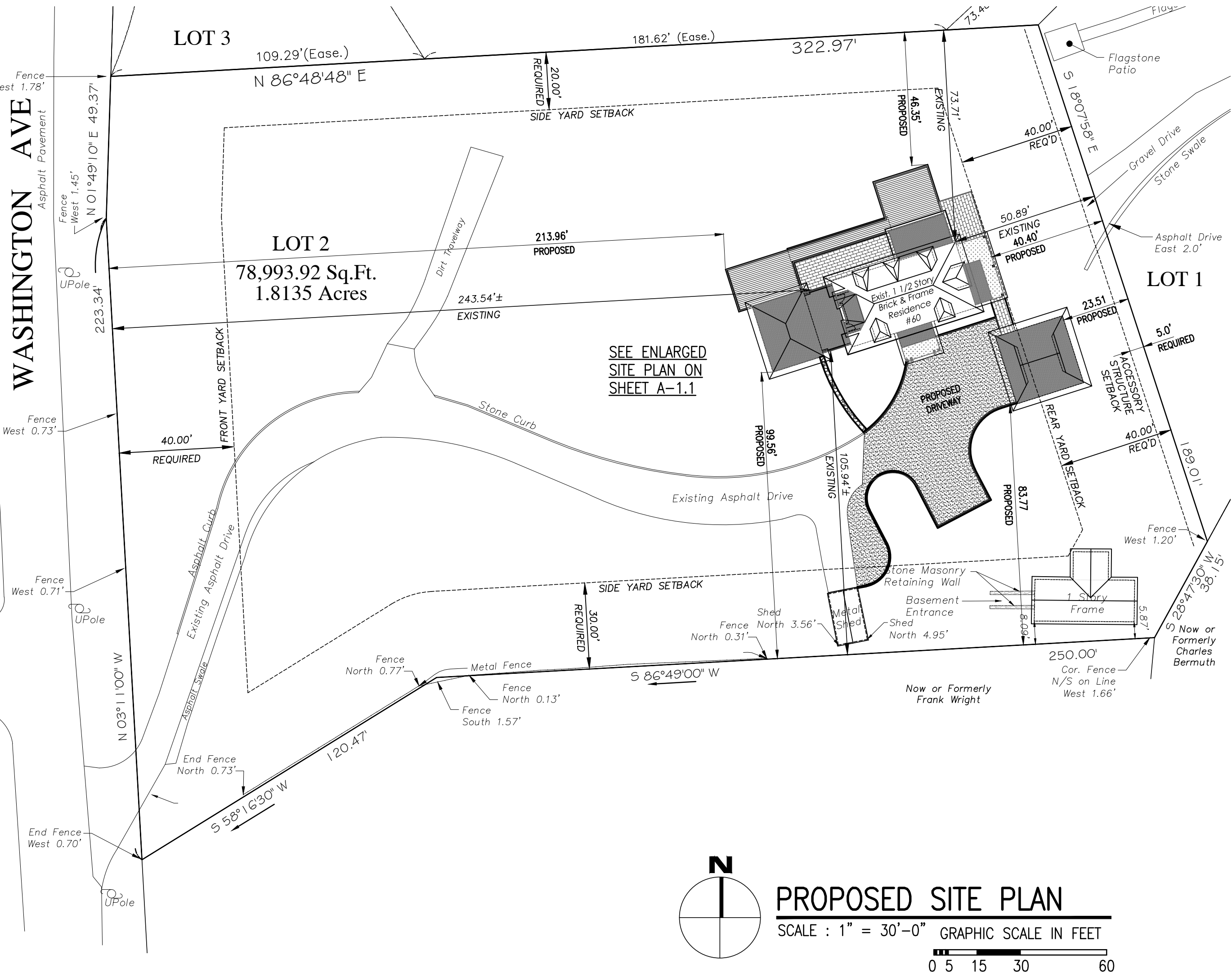
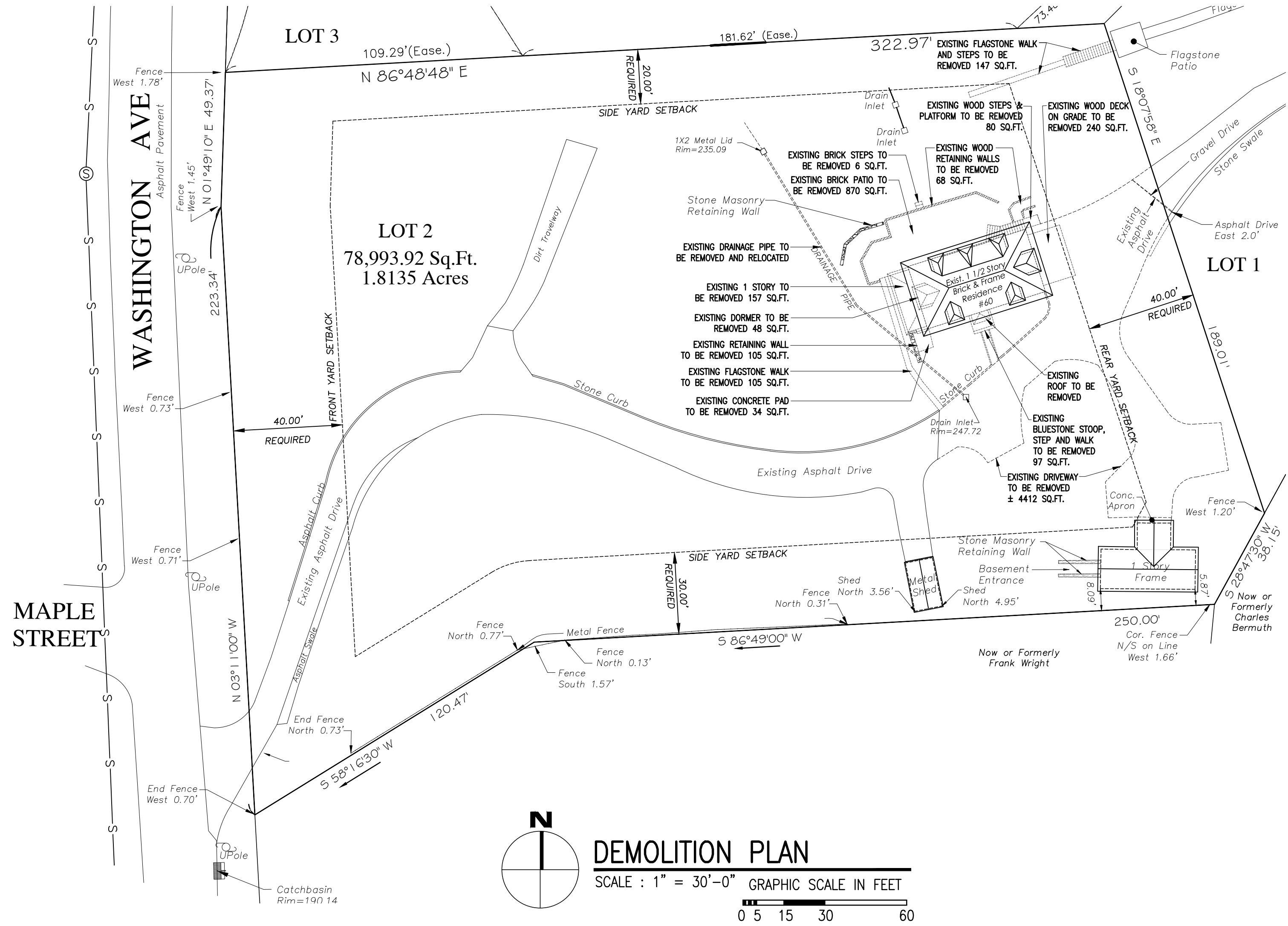
TOTAL 13512 SQ.FT.
13512 / 78,993.92 = 17.11%

SITE PLAN NOTES:

- SHOULD ROCK BLASTING BE REQUIRED, A PERMIT APPLICATION IN ACCORDANCE WITH CHAPTER 125 BLASTING AND EXPLOSIVES OF THE VILLAGE OF DOBBS FERRY CODE MUST BE SUBMITTED TO THE VILLAGE BY THE APPLICANT FOR REVIEW / APPROVAL.
- THE VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.
- BUILT PLANS OF THE PROPOSED DRIVEWAY AND DRAINAGE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- FILL MATERIAL IMPORTED TO THE SITE SHALL BE CERTIFIED IN WRITING BY A NEW YORK LICENSED PROFESSIONAL ENGINEER AS CLEAN, NON CONTAMINATED FILL SUITABLE FOR THE INTENDED USE.
- BEFORE THE SITE PLAN IS SIGNED BY THE CHAIRMAN OF THE PLANNING BOARD, THE APPLICANT SHALL BE REQUIRED TO POST A PERFORMANCE BOND OR OTHER TYPE OF ACCEPTABLE MONETARY GUARANTY WHICH SHALL BE IN AN AMOUNT DETERMINED BY THE PLANNING BOARD AND THE VILLAGE ENGINEER IN A FORM SATISFACTORY TO THE VILLAGE ATTORNEY.

ZONING TABLE				
PROPERTY LOCATION: 60 WASHINGTON AVENUE TAX ID No 3.50-17-8.2 OWNER: DWIGHT WELD, CHARLOTTE WELD 60 WASHINGTON AVENUE DOBBS FERRY, N.Y. 10522				
ZONING DISTRICT	O F - 2			
REQUIREMENT	UNITS	REQUIRED/ ALLOWED	EXISTING	PROPOSED
MINIMUM NET LOT AREA	SQ.FT.	20,000	78,993.92	UNCHANGED
MINIMUM LOT WIDTH	FEET	125	272	UNCHANGED
MINIMUM LOT DEPTH	FEET	125	352	UNCHANGED
MAX. LOT COVERAGE BY BUILDINGS	%	18	2.60	5.86
MAX. LOT COVERAGE BY IMPERVIOUS SURFACES	%	40	17.75	17.11
MINIMUM FRONT YARD SETBACK	FEET	40'	243.54	213.96
MAXIMUM FRONT YARD SETBACK	FEET	PREVAILING	N A	
MINIMUM REAR YARD SETBACK	FEET	40'	50.89	40.40
MINIMUM SIDE YARD SETBACK	FEET	20	73.71	46.35
MINIMUM SIDE YARD SETBACK BOTH	FEET	50	179.65	145.91
STORIES	NUMBER	2.5	1.5	1.5
MAXIMUM HEIGHT (GREATER THAN 0.30)	FEET	35	± 26	± 26
OFF STREET PARKING	NUMBER	2	2	6

* AS PER TABLE B-5 RESIDENTIAL FRONT AND REAR YARD SETBACKS (SLIDING SCALES)



TO THE BEST OF MY KNOWLEDGE, BELIEF,
AND PROFESSIONAL JUDGMENT OF THE
UNDERSIGNED, THE PLANS AND
SPECIFICATIONS DEPICTED ON THESE
DRAWINGS ARE IN COMPLIANCE WITH THE
APPLICABLE PROVISIONS OF THE NEW YORK
STATE UNIFORM FIRE PREVENTION AND
BUILDING CODE AND THE NEW YORK STATE
ENERGY CONSERVATION CONSTRUCTION
CODE CURRENTLY IN EFFECT



LAURA WAKEFIELD
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PROFESSIONAL ARCHITECT, ENGINEER OR
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PROJECT TITLE:
WELD RESIDENCE
60 WASHINGTON AVENUE
DOBBS FERRY, N.Y. 10522
PROJECT NO.: 2208

**GOTHAM
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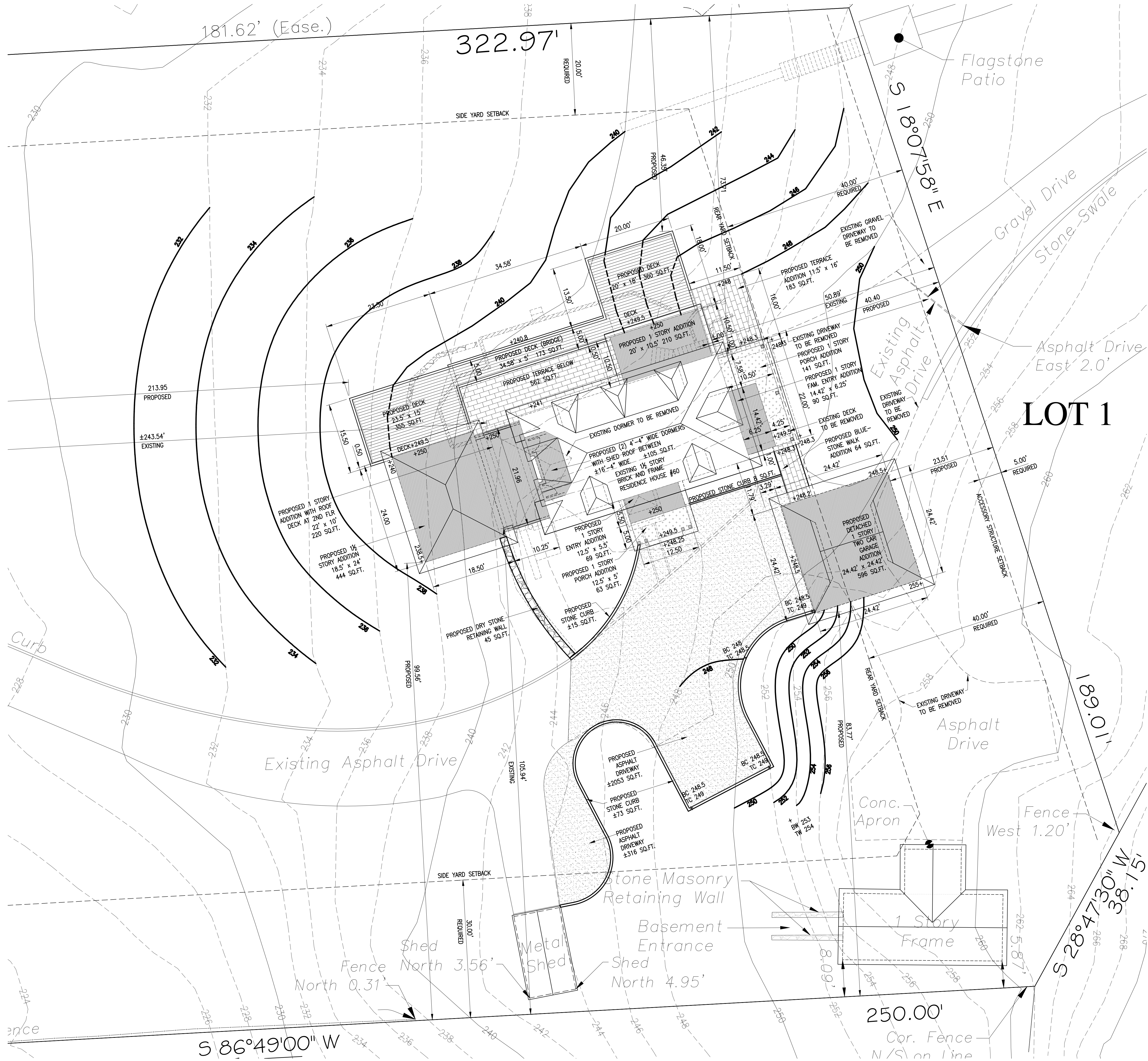
329 Broadway
Dobbs Ferry, N.Y. 10522
Phone: (914) 693-5093
Fax: (914) 693-5390
email: arch329@gmail.com

ISSUED FOR / REVISIONS:
REVISED 12-15-2022
REQUIRED YARDS AND
SETBACKS ON SITE PLANS
ZONING TABLE

SHEET TITLE:
**EXISTING, DEMOLITION &
PROPOSED SITE PLANS
ZONING AND
COVERAGE TABLES**

DATE: 11-10-2022
DRAWN BY: SJ,MB
SCALE: AS NOTED
CHECKED BY: PRS

A-1.0



- CONSTRUCTION SEQUENCE NOTES:
- PRIOR TO INITIATING ANY WORK AT THE SITE, THE GENERAL CONTRACTOR SHALL CONDUCT A SITE MEETING WITH THE CONSTRUCTION MANAGER, PROJECT ENGINEER, AND BUILDING INSPECTOR TO DISCUSS THE SCHEDULE AND CONFIRM SITE CONDITIONS.
 - INSTALL INITIAL EROSION AND SEDIMENT CONTROL MEASURES AS SPECIFIED BY THE CIVIL ENGINEER, INCLUDING THE FOLLOWING:
 - PLACE ORANGE CONSTRUCTION FENCING AROUND ANY AREAS TO BE USED FOR EX-FILTRATION TO AVOID COMPACTION.
 - CREATE A CONSTRUCTION ENTRANCE TO THE DEVELOPMENT AREA.
 - ESTABLISH A CONSTRUCTION STAGING AREA.
 - INSTALL TREE PROTECTION ON TREES AS NOTED ON PLANS AND RIBBON TREES SCHEDULED FOR REMOVAL.
 - REMOVE SELECTIVE VEGETATION FOR INSTALLATION OF SILT FENCE.
 - INSTALL SILT FENCE DOWN SLOPE OF ALL AREAS TO BE DISTURBED AS SHOWN ON THE PLAN.

NOTE: IT IS ANTICIPATED THAT THIS PROJECT WILL BE PHASED TO INCLUDE AT LEAST TWO INDEPENDENT CONSTRUCTION SEQUENCES. THESE MAY OVERLAP, BUT WILL REQUIRE THE MAINTENANCE OF OR REINSTALLATION OF THE EROSION AND SEDIMENT CONTROL MEASURES MORE THAN ONCE.

- THE BUILDING INSPECTOR AND VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES, IF DEEMED NECESSARY TO MITIGATE UNFORESEEN EROSION OF DISTURBED SOILS AND SILTATION.
- MAINTAIN THE SITE FREE OF DEBRIS AT ALL TIMES. REMOVE DUMPSTERS WITHIN 24 HOURS OF BEING FILLED.
- DURING CONSTRUCTION, MAINTAIN ALL EROSION AND SEDIMENTATION MEASURES AT ALL TIMES. INSPECT SILT FENCES AND STRAW BALE BARRIERS WEEKLY, IN ADVANCE OF FORECAST STORMS, AND FOLLOWING STORM EVENTS. MAINTAIN, REPAIR, AND AUGMENT AS NECESSARY.
- SURVEY AND STAKE THE SITE FOR THE REQUIRED EXCAVATIONS FOR THE PROPOSED FOUNDATIONS, AS WELL AS FOR THE LOCATION OF THE STORMWATER DRAINAGE SYSTEM. SET A BENCHMARK ON THE EXTERIOR OF THE HOUSE FOR VERTICAL ELEVATIONS AND DIMENSIONS.
- STRIP TOPSOIL AND STOCKPILE AT THE LOCATIONS SPECIFIED ON THE PLANS. TEMPORARILY STABILIZE TOPSOIL STOCKPILES WITH HYDROSEED DURING MAY 1ST THROUGH OCTOBER 31ST PLANTING SEASON OR BY COVERING WITH TARPULINS NOVEMBER 1ST THROUGH APRIL 30TH. INSTALL A SILT FENCE AROUND THE TOE OF THE SLOPE.
- REMOVE THE ROCK IN THE EAST YARD FOR THE PROPOSED DRIVEWAY AND GARAGE. ROCK REMOVAL SHALL BE VIA ROCK HAMMERS OR DRILL AND CHEMICAL METHODS. NO BLASTING SHALL BE USED.
- EXCAVATE FOR THE FOUNDATION ADDITIONS AND PROCEED WITH CONSTRUCTION IN ACCORDANCE WITH CONSTRUCTION DOCUMENTS.
- WATERPROOF THE NEW FOUNDATION WALLS, INSTALL FOOTING DRAINS, AND BACKFILL TO THE PROPOSED GRADE.
- FOLLOWING COMPLETION OF THE FOUNDATIONS, HAVE AN AS-BUILT SURVEY PREPARED FOR SUBMISSION TO THE BUILDING INSPECTOR'S OFFICE.
- PRIOR TO PERFORMING ANY CONSTRUCTION WORK ON THE EXISTING HOUSE, HAVE A BLOWER TEST PERFORMED ON THE EXISTING HOUSE TO ACT AS A BENCHMARK FOR COMPARISON TO THE COMPLETED HOUSE.
- PROCEED WITH CONSTRUCTION OF THE PROPOSED ADDITIONS.
- DO NOT OPEN THE EXISTING HOUSE TO THE ELEMENTS UNTIL THE ADDITIONS HAVE BEEN SUITABLY SECURED TO PREVENT THE ELEMENTS FROM ENTERING THE EXISTING HOUSE. PRIOR TO REMOVING EXISTING WINDOWS AND WALLS AS SCHEDULED IN THE EXISTING HOUSE, PROVIDE WEATHER AND DUST BARRIERS TO PREVENT UNNECESSARY ADVERSE IMPACTS ON THE RESIDENTS.
- INSTALL SUBSURFACE STORM DRAINAGE SYSTEM IN THE WEST AND NORTH YARDS IN ACCORDANCE WITH CIVIL ENGINEER'S DESIGN, AS WELL AS WITH THE MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS. INSTALL INLET PROTECTION MEASURES TO PREVENT SILT FROM ENTERING THE SYSTEM DURING CONSTRUCTION.
- COMPLETE CONSTRUCTION IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.
- HAVE A BLOWER TEST PERFORMED ON THE COMPLETED HOUSE AND SUBMIT REQUIRED DOCUMENTS IN ACCORDANCE WITH THE NEW YORK STATE ENERGY CODE TO THE BUILDING DEPARTMENT.
- GRADE PROPERTY TO FINISH GRADE.
- RESTORE THE ROADWAY, CURB, AND SHOULDER CONSTRUCTION WITHIN THE VILLAGE RIGHT-OF-WAY ON WASHINGTON AVENUE TO THE SATISFACTION OF THE VILLAGE BUILDING INSPECTOR AND SUPERINTENDENT OF THE DEPARTMENT OF PUBLIC WORKS.
- IN ALL AREAS DISTURBED BY CONSTRUCTION, INSTALL 4" - 6" TOPSOIL, FINE GRADE, SEED THE ENTIRE PROJECT SITE AND INSTALL LANDSCAPING PLANTS IN ACCORDANCE WITH THE LANDSCAPING PLAN.
- SPREAD SALT HAY OVER SEEDED AREAS AND MAINTAIN ALL PLANTED AREAS UNTIL MATERIAL HAS TAKEN ROOT AND BECOME STABLE.
- CLEAN PAVEMENT AND DRAIN LINES. CLEAN EX-FILTRATION SYSTEMS. ENSURE GRASS STAND IS ACHIEVED.
- AFTER CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED WITH VEGETATION, REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES.
- SUBMIT 'AS-BUILT' DRAWINGS OF THE COMPLETED WORK INCLUDING ALL SITE IMPROVEMENTS AND A FINAL SURVEY SHOWING THE IMPROVEMENTS TO THE BUILDING DEPARTMENT.
- OBTAIN THE CERTIFICATE OF OCCUPANCY FOLLOWING FINAL INSPECTION BY THE BUILDING INSPECTOR.

TAX PARCEL ID: 3.50-17-8.2

ALL SURVEYING INFORMATION ON THIS DRAWING IS TAKEN FROM A SURVEY DATED AS COMPLETED SEPTEMBER 14, 2007
REVISED JULY 29, 2008
PREPARED BY: THOMAS C. MERITTS,
LAND SURVEYORS PC
394 BEDFORD AVENUE
PLEASANTVILLE, N.Y. 10570

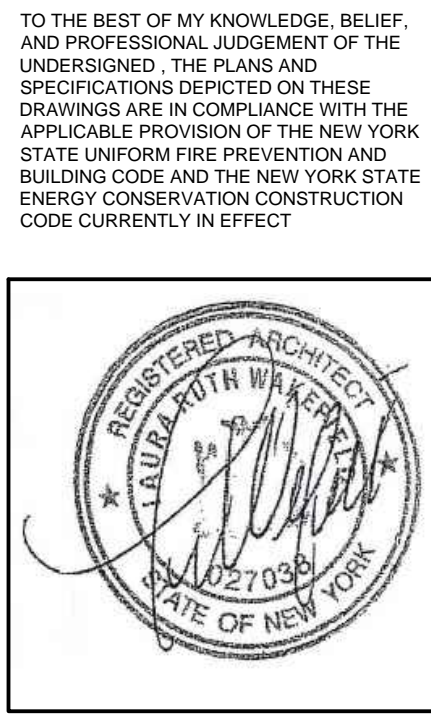
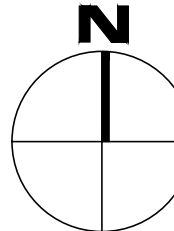
TEL. 914 769 - 8003
914 273 - 1663

NOTE:
ALL LIGHTING SHALL COMPLY WITH SECTION 300-41
ALL TOPOGRAPHIC INFORMATION ON THIS DRAWING IS TAKEN FROM THE TOWN OF GREENBURGH GIS MAPS

PROPOSED SITE PLAN

SCALE : 1" = 10'-0" GRAPHIC SCALE IN FEET

0 5 10 20



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No. 027038

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PROJECT TITLE:
WELD RESIDENCE
60 WASHINGTON AVENUE
DOBBS FERRY, N.Y. 10522
PROJECT NO.: 2208

GOTHAM DESIGN
PLANNING AND DEVELOPMENT LTD.

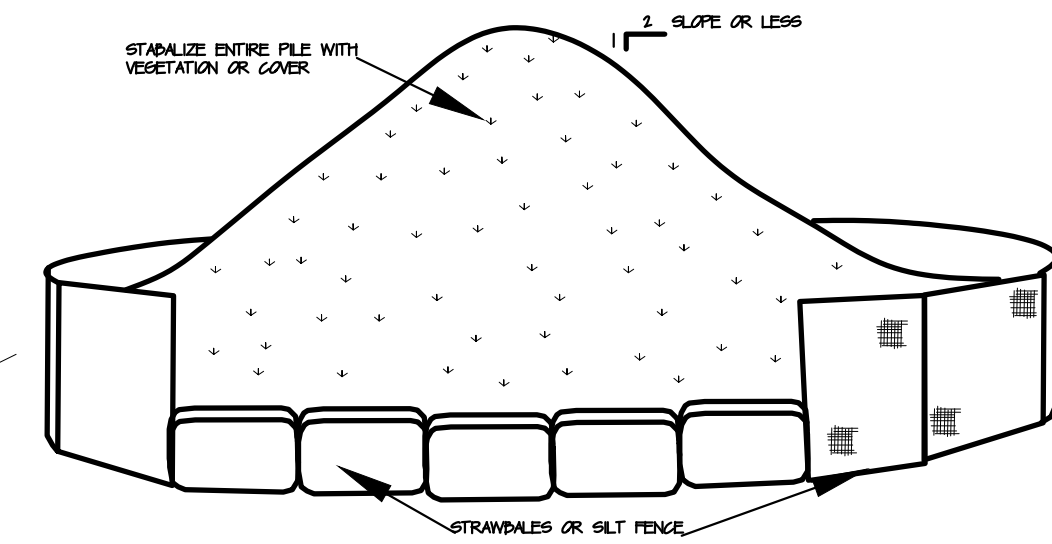
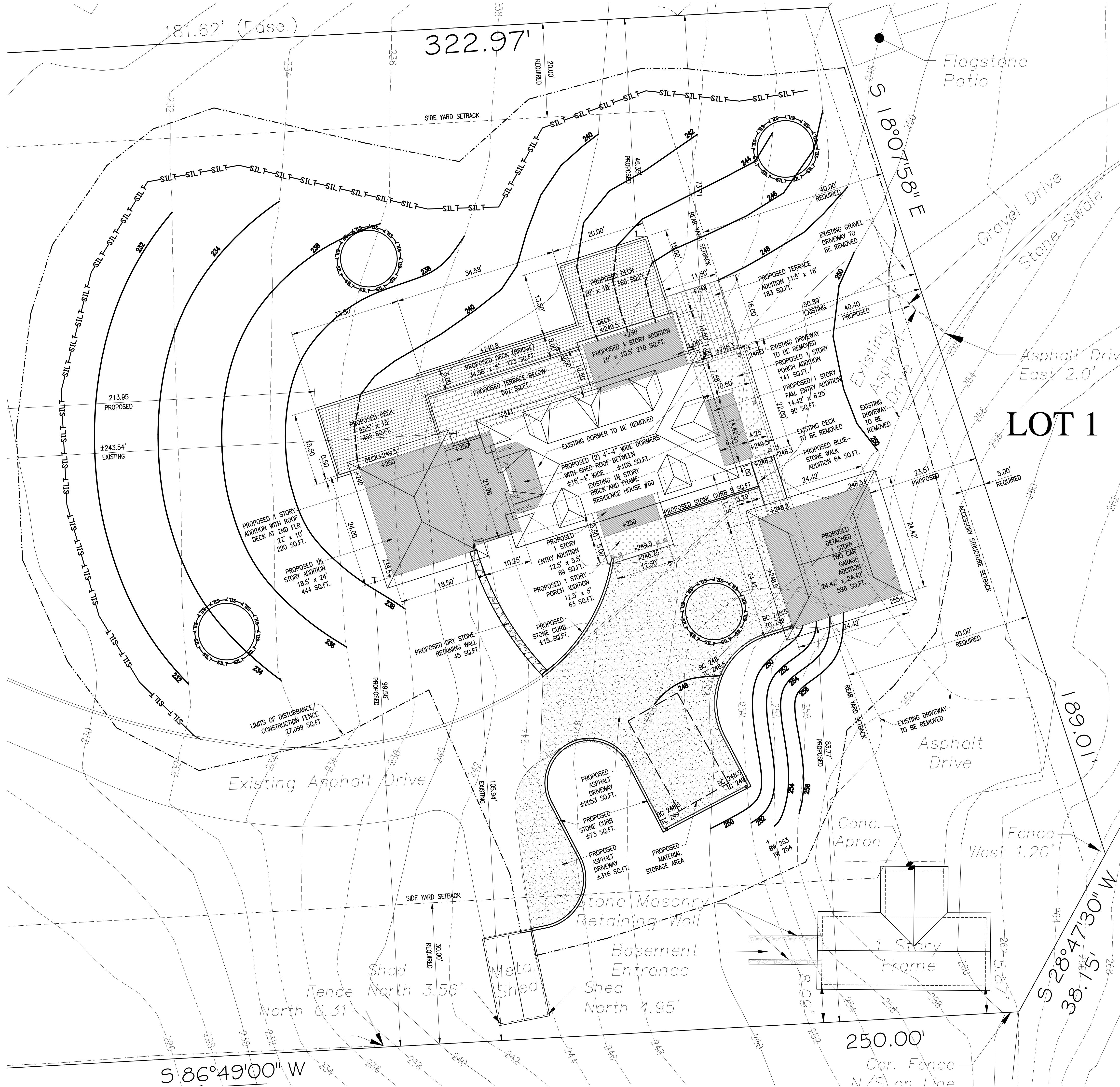
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email: arch329@gmail.com

ISSUED FOR / REVISIONS:
REVISED 12-15-2022
REQUIRED YARDS AND SETBACKS ON SITE PLAN

SHEET TITLE:
ENLARGED SITE PLAN

DATE: 11-10-2022	DRAWN BY: SJ,MB
SCALE: AS NOTED	CHECKED BY: PRS

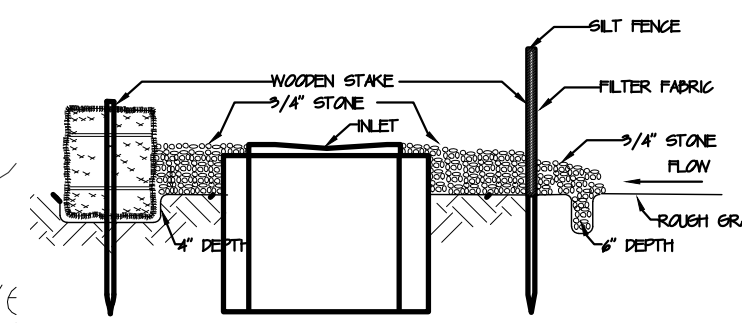
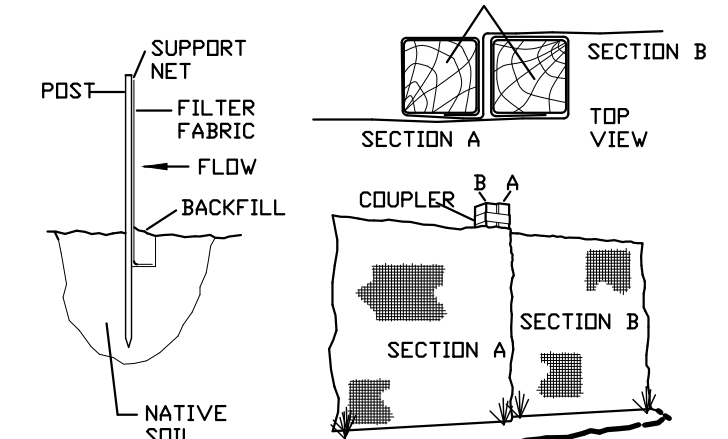
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TOPSOIL STOCKPILE

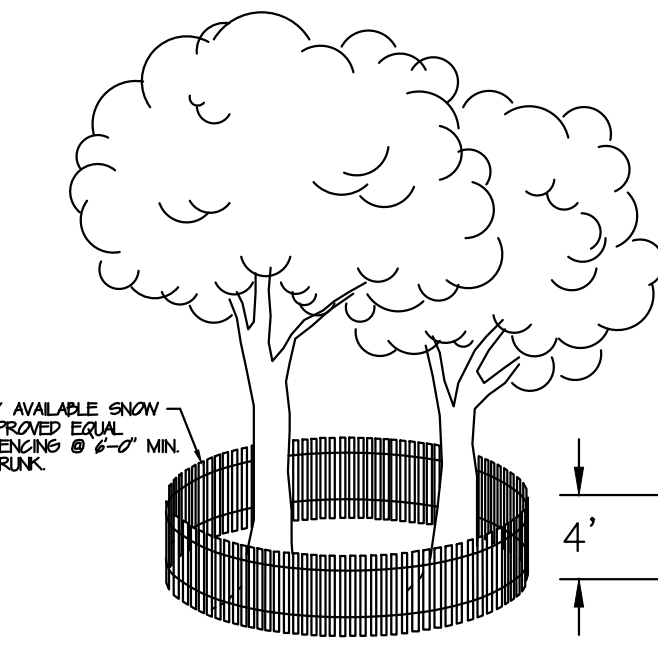
- SCALE: N.T.S.
- INSTALLATION NOTES:
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
 2. MINIMUM SLOPE OF STOCKPILE SHALL BE 2:1.
 3. TOP LAYER OF STOCKPILE SHALL BE COVERED WITH EITHER SILT FENCE OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
 4. SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILT FENCE.

Silt Fence Detail

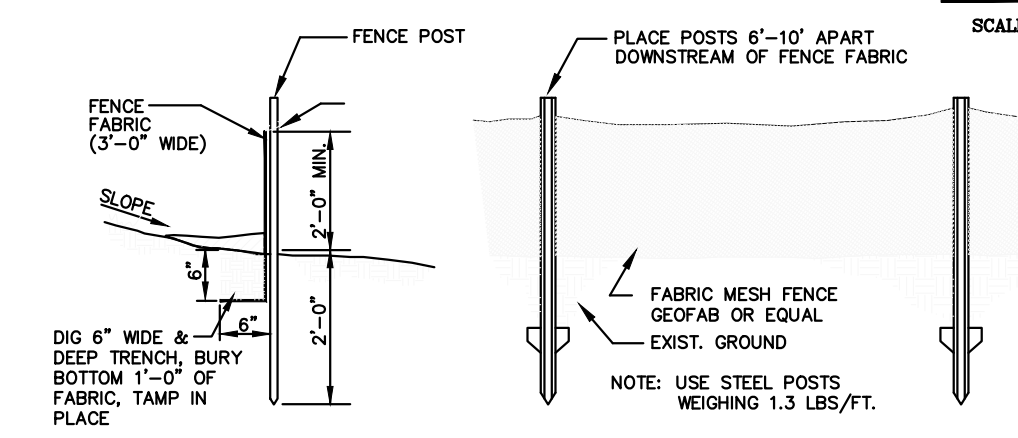


INLET PROJECTION

- SCALE: N.T.S.
- INSTALLATION NOTES:
- STRAWBALES
1. PLACE BALES OF STRAW WITH ENDS TIGHTLY ADJUTING THE ADJACENT BALES TO SURROUND THE INLET WHERE SLOPE AND SPACE PERMIT. ESTABLISH THE LINE OF BALES 2 TO 3 FEET AWAY FROM THE INLET. ANCHOR BALES IN PLACE BY DRIVING REBAR OR 2x4 STUDS THROUGH THE BALES. SUPPLEMENT WITH GRAVEL FILLED AGAINST THE BALES.
 2. REBAR SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE REBAR HAS ACCUMULATED TO 1/2 THE DEPTH OF THE TRAP. REMOVED REBAR SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 3. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
 4. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION SHALL BE MINIMIZED.
 5. THE REBAR TRAP SHALL BE REMOVED AND THE AREA STABILIZED WITH THE REMAINING STRAWBALES AREA HAS BEEN PROPERLY STABILIZED.
- SILT FENCE
1. EXCAVATE A 6 INCH x 6 INCH TRENCH, OFFSET APPROXIMATELY 1 FEET FROM THE INLET PROJECTION.
 2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK DOWNSTREAM WALL OF THE TRENCH (NET AWAY FROM DIRECTION OF FLOW).
 3. DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS APPROXIMATELY 3 INCHES FROM THE TRENCH BOTTOM.
 4. LAY THE TIE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. STEEPER SLOPES REQUIRE AN INTERCEPT TRENCH.
 5. JOIN SECTIONS AS SHOWN ABOVE. SUPPLEMENT WITH GRAVEL FILLED AGAINST THE FENCE.



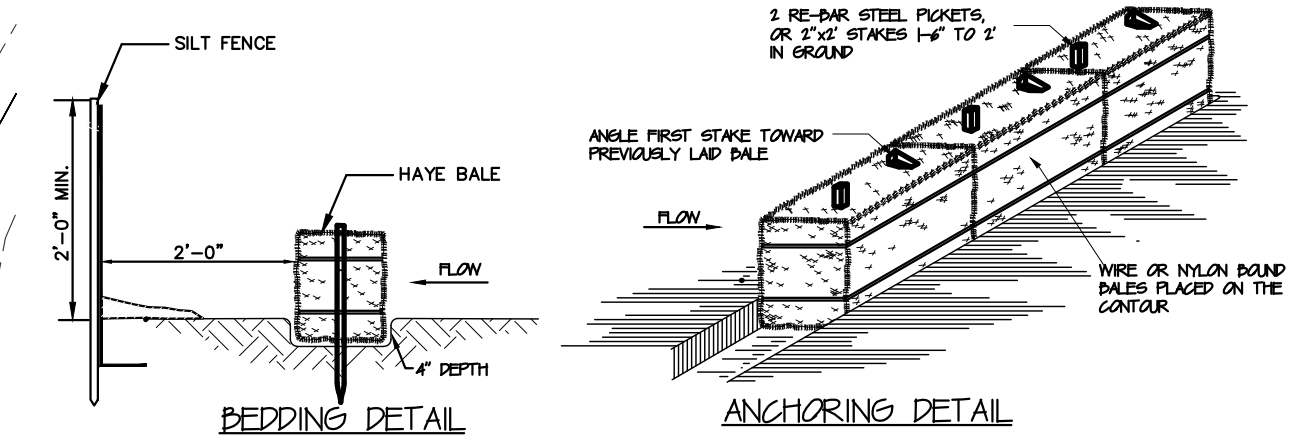
TREE PROTECTION FENCING DETAIL



- NOTE:
- AT THE COMPLETION OF THE PROJECT AND AFTER SOIL STABILIZATION AND VEGETATIVE GROWTH HAVE BEEN ASSURED, THE SILT FENCE MUST BE COMPLETELY REMOVED AND THE EMBEDEDMENT TRENCH RESTORED TO A NATURAL CONDITION.

SILT FENCE DETAIL

SCALE: N.T.S.



HAYBALE DETAIL (TYPICAL)

- SCALE: N.T.S.
- INSTALLATION NOTES:
1. BALES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ADJUTING THE ADJACENT BALES.
 2. EACH BALE SHALL BE EMBEDED IN THE SOIL A MINIMUM OF 4 FEET.
 3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY STAKES OR REBAR DRIVEN THROUGH THE BALES. THE FIRST STAKE IN EACH BALE SHALL BE ANKLED TOWARD PREVIOUSLY LAD DALE TO FORCE DALES TOGETHER.
 4. BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR PURPOSE SO AS NOT TO BLOCK OR IMPERE STORM FLOW OR DRAINAGE.

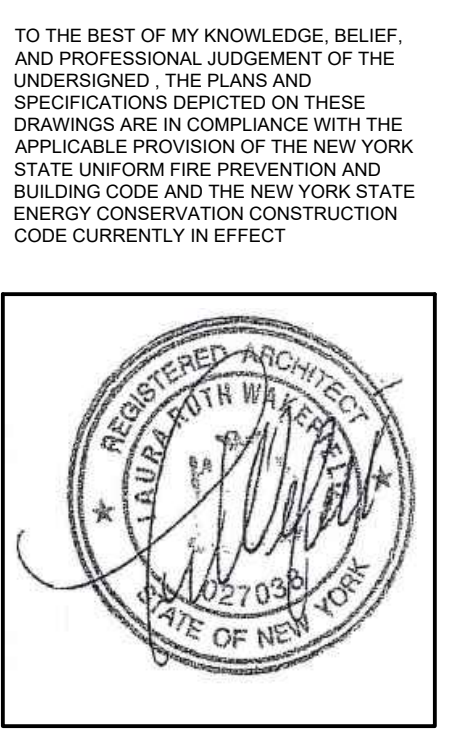
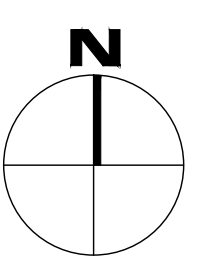
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SEDIMENT EROSION CONTROL PLAN

SCALE: 1" = 10'-0"

GRAPHIC SCALE IN FEET

TAX PARCEL ID: 350-17-8.2



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WELD RESIDENCE
60 WASHINGTON AVENUE
DOBBS FERRY, N.Y. 10522
PROJECT NO.: 2208

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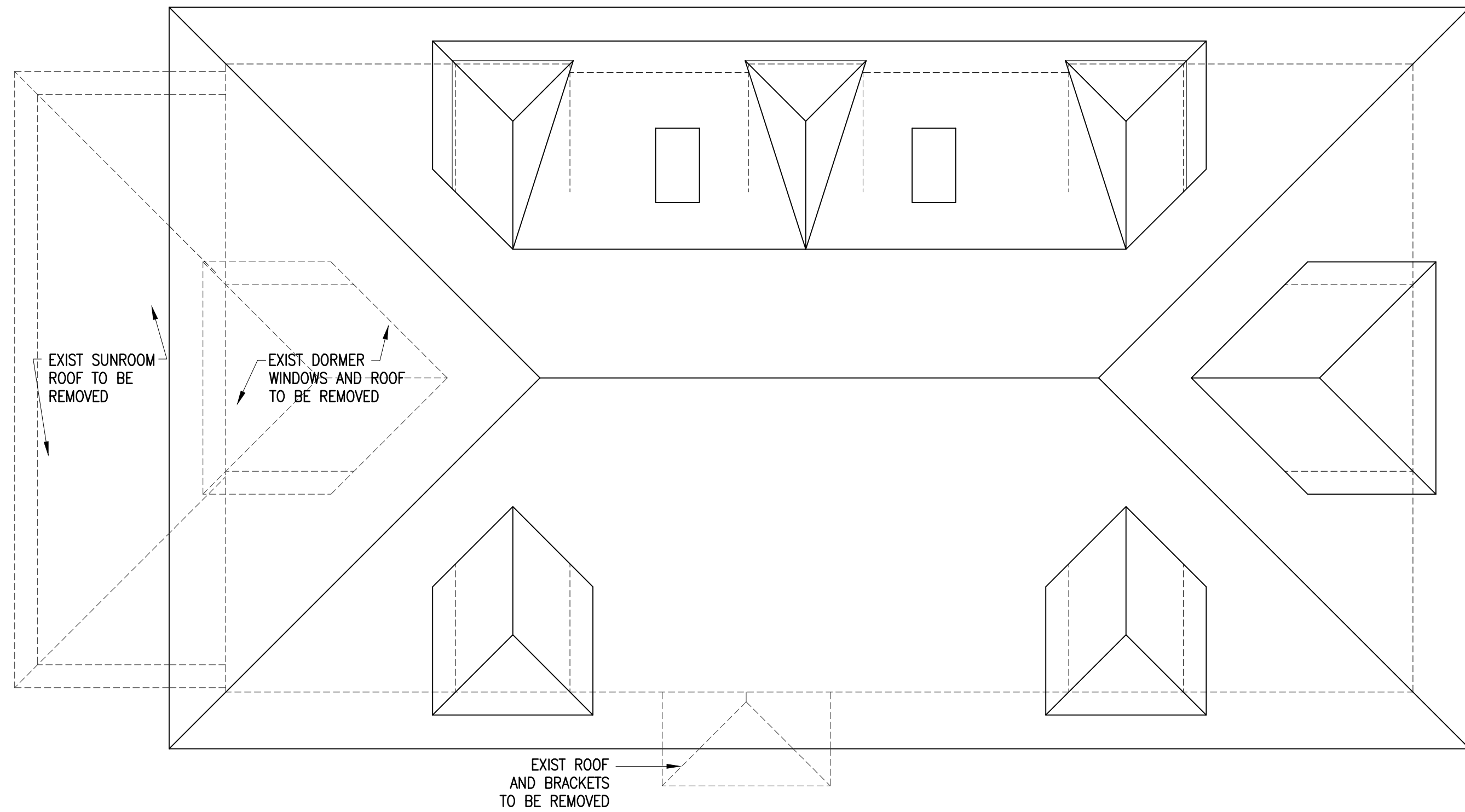
ISSUED FOR / REVISIONS:

SHEET TITLE:
SEDIMENT EROSION CONTROL PLAN

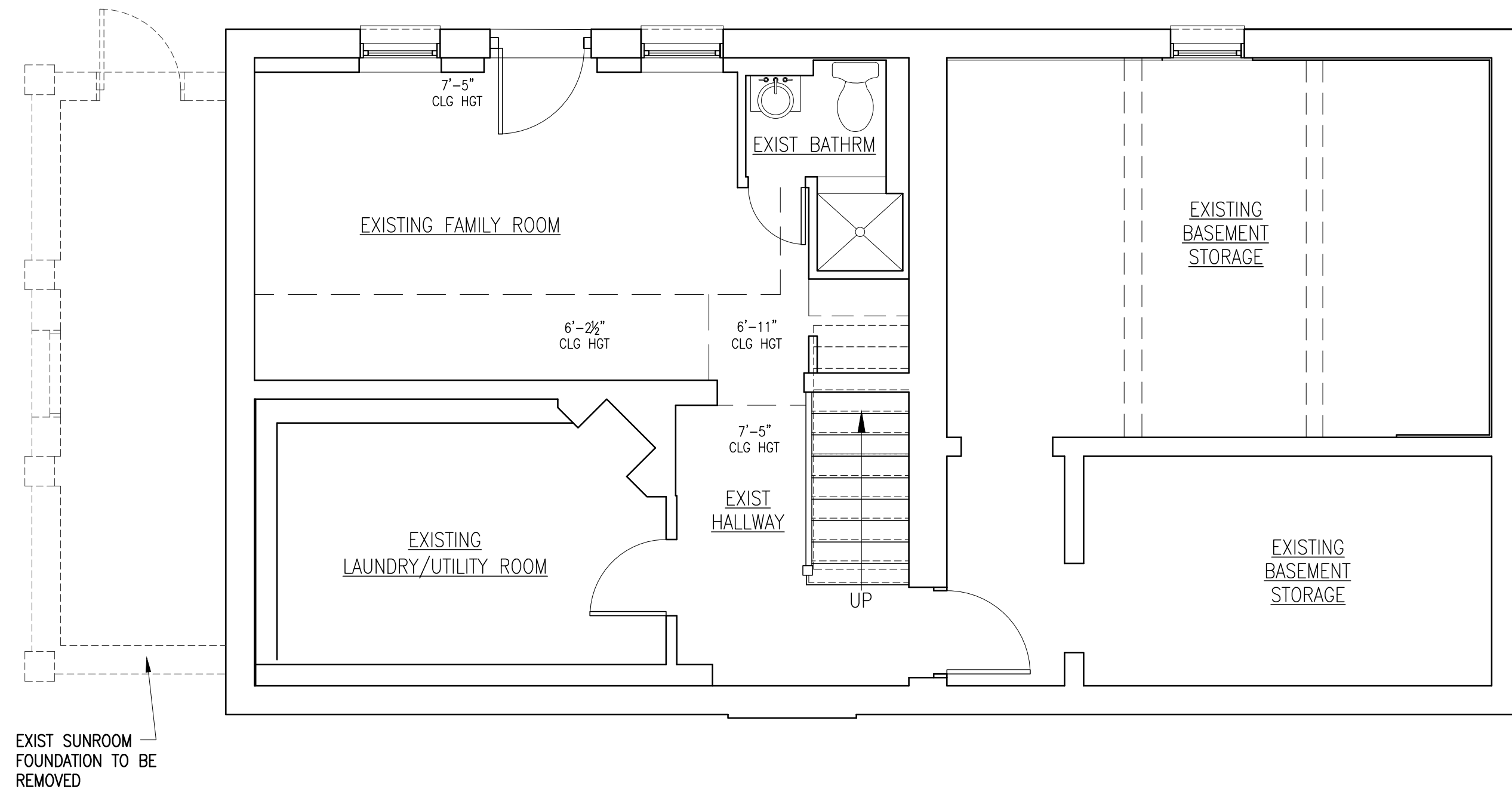
DATE: 01-19-2023
DRAWN BY: SJ,MB

SCALE: AS NOTED
CHECKED BY: PRS

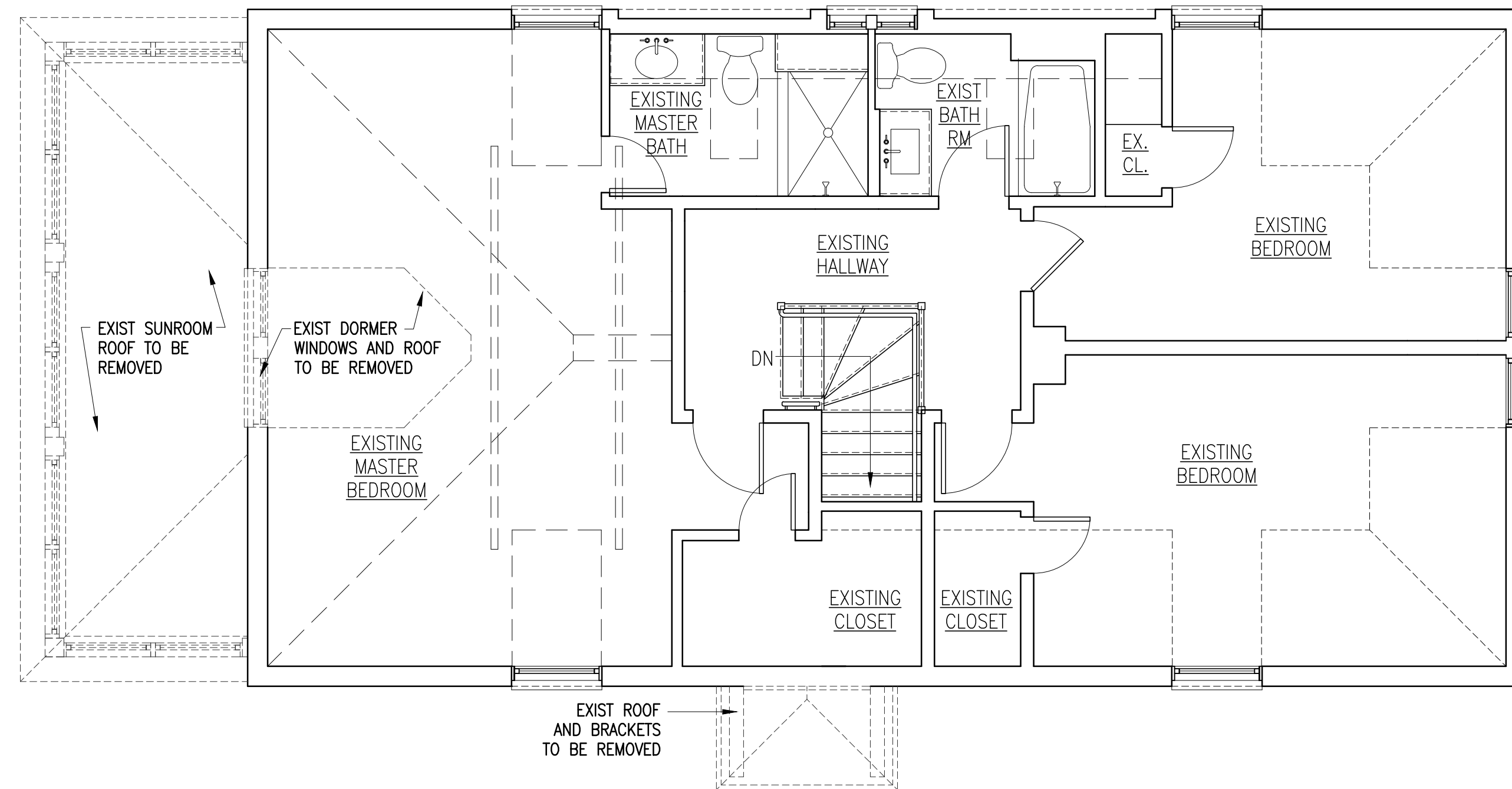
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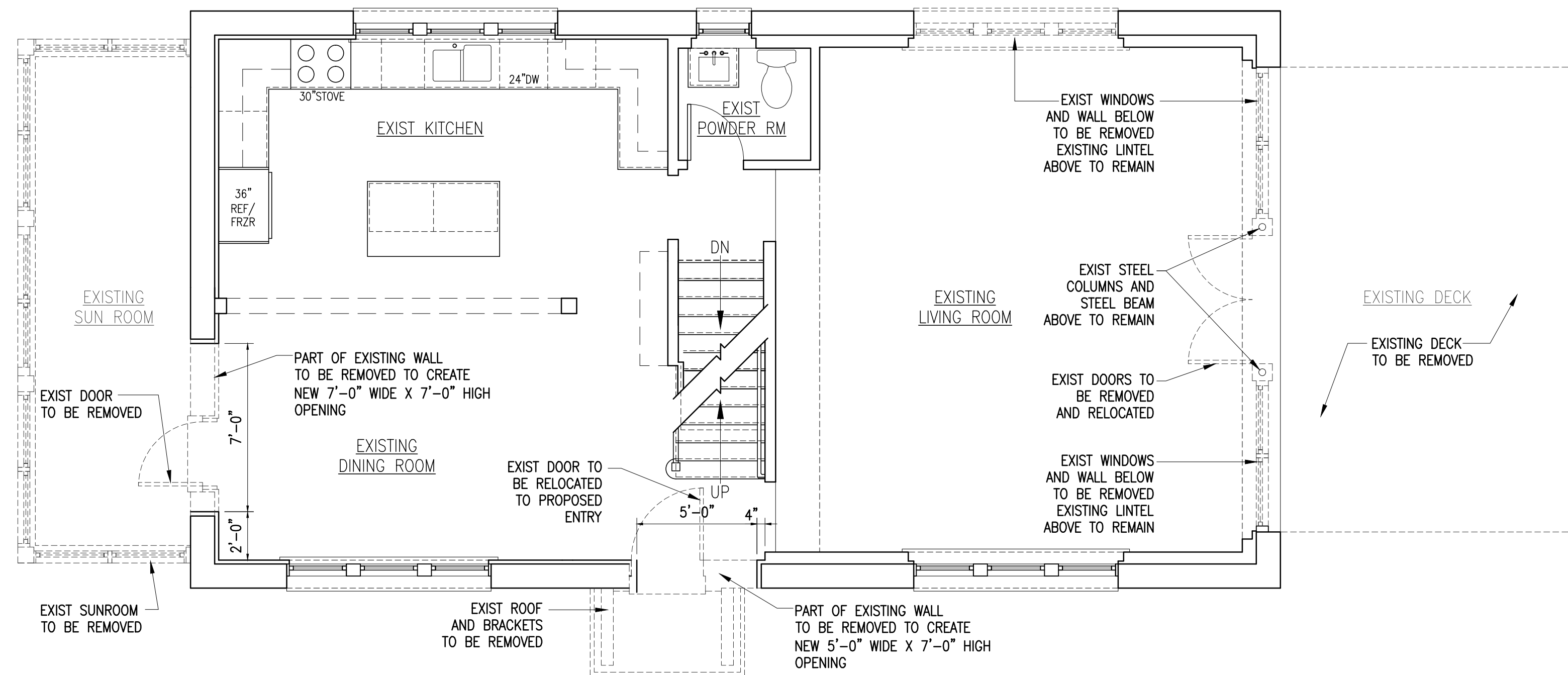
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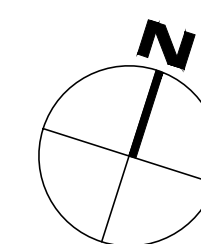
CELLAR FLOOR



SECOND FLOOR



FIRST FLOOR



DEMOLITION PLANS

SCALE : 1/4" = 1'-0"

GRAPHIC SCALE IN FEET

0 1 2 4 8

TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED, THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE CURRENTLY IN EFFECT.



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PROJECT TITLE:
WELD RESIDENCE

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DOBBS FERRY, N.Y. 10522

PROJECT NO.: **2208**

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SHEET TITLE:

DEMOLITION PLANS

DATE:
11-10-2022

DRAWN BY:
SJ,MB

SCALE:
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CHECKED BY:
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D-1

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DOBBS FERRY, N.Y. 10522
PROJECT NO.: **2208**

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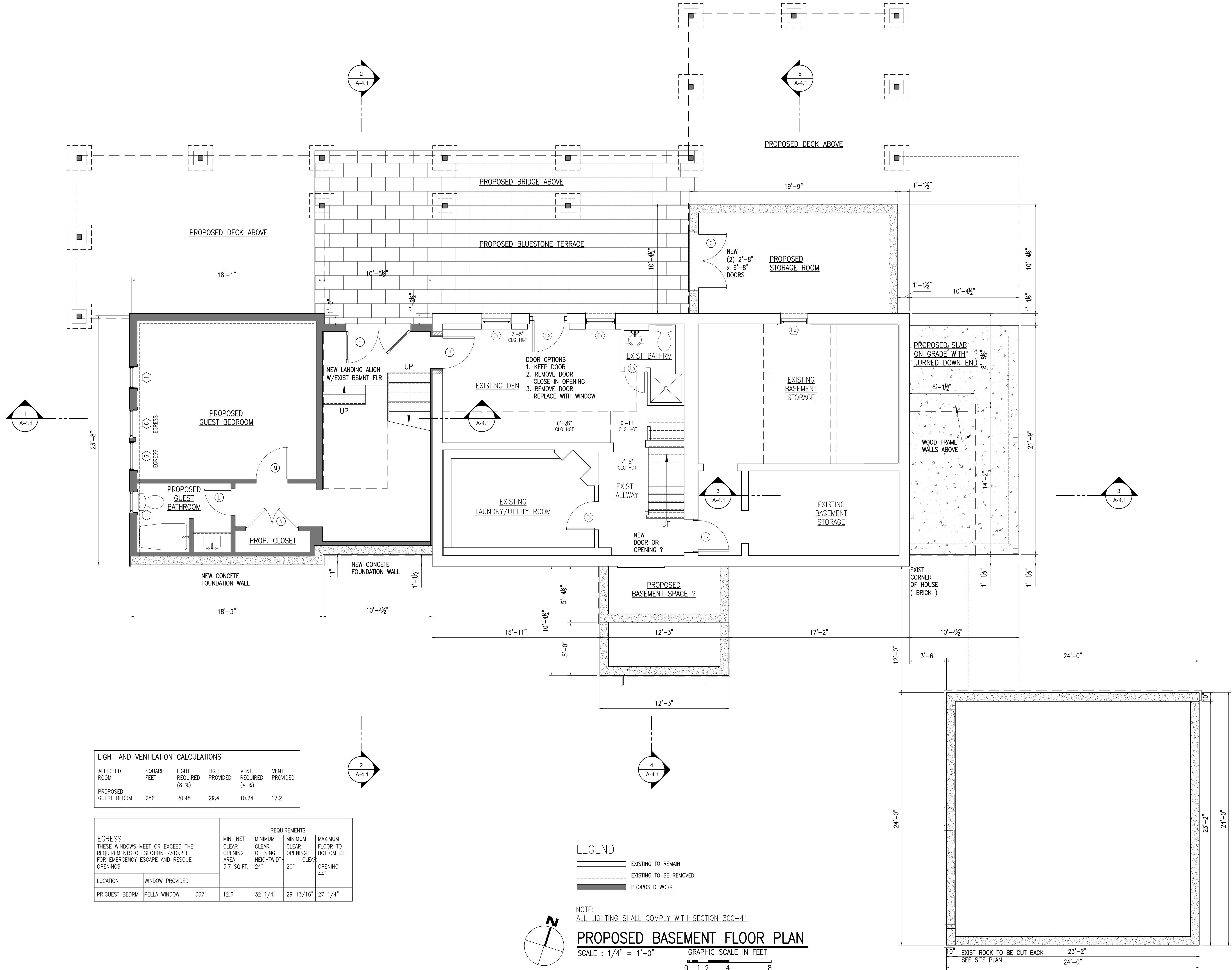
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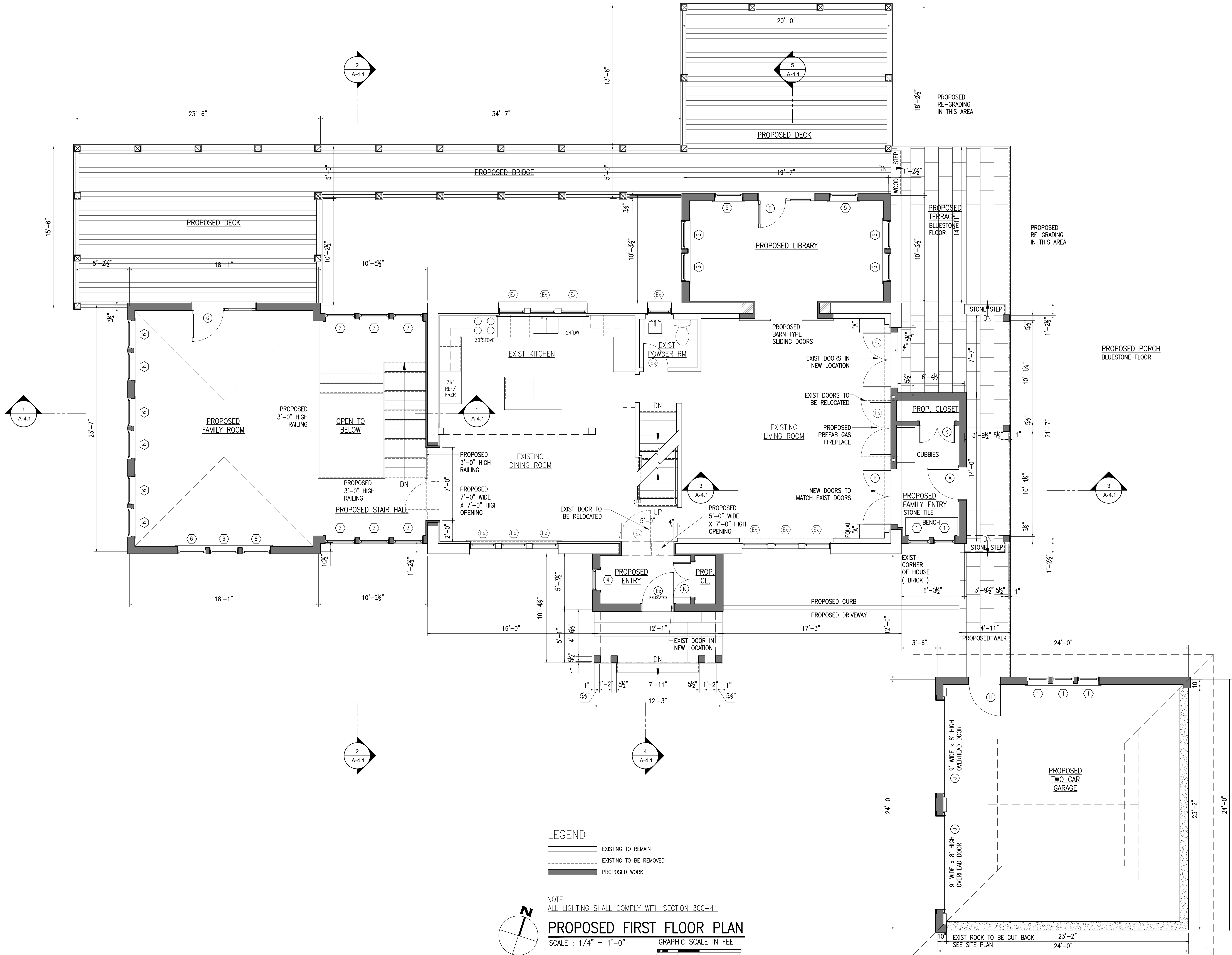
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SHEET TITLE:
**PROPOSED
BASEMENT FLOOR PLAN**

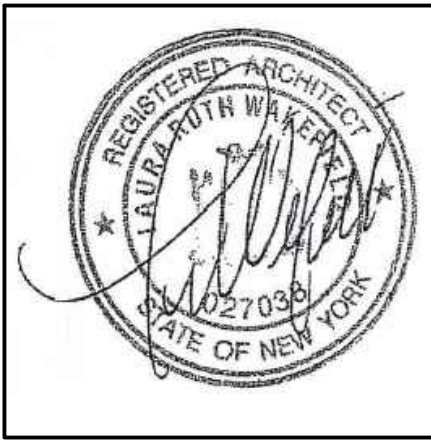
DATE: 11-10-2022	DRAWN BY: SJ,MB
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SHEET TITLE:
PROPOSED FIRST FLOOR PLAN

DATE: 11-10-2022	DRAWN BY: SJ,MB
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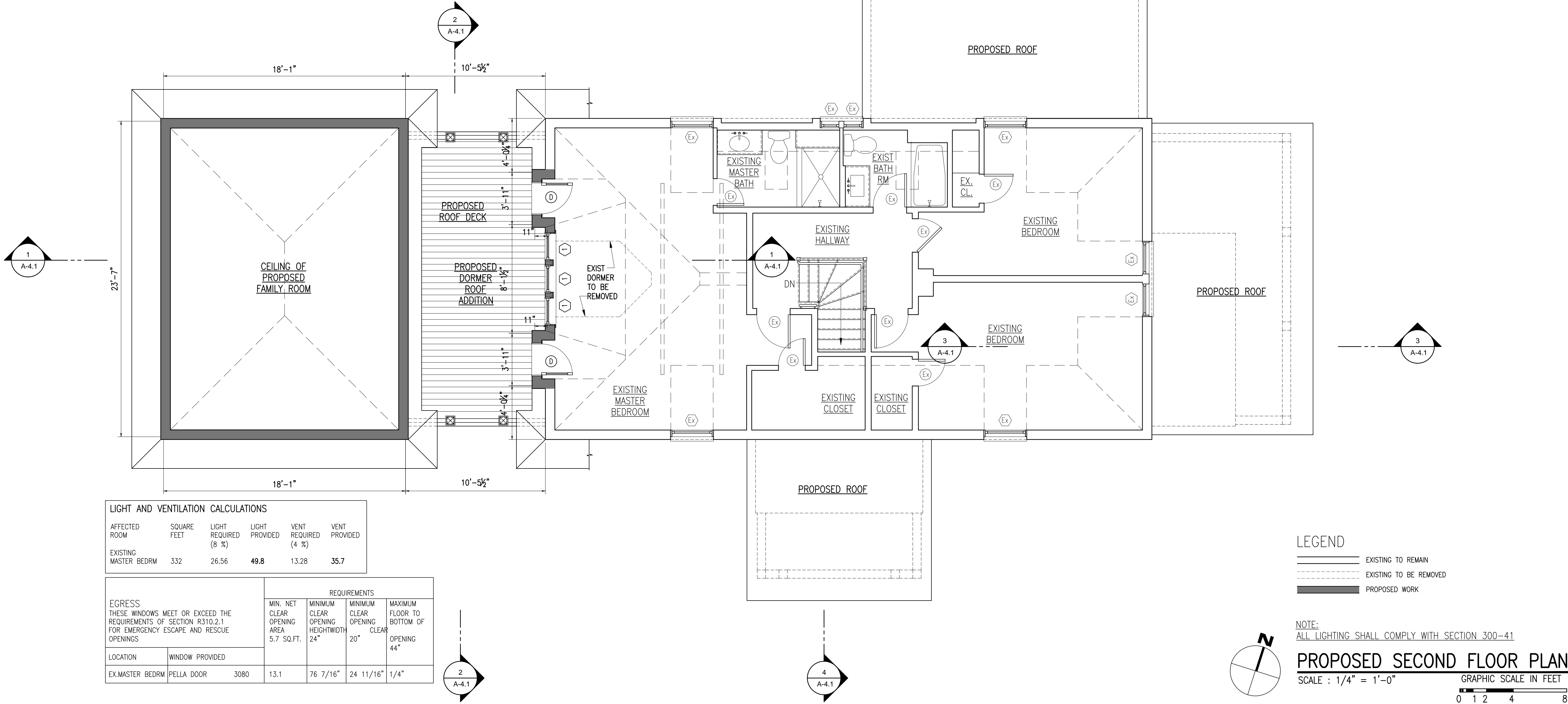
DOOR SCHEDULE WELD 60 WASHINGTON AVENUE DOBBS FERRY, N.Y. 10522										
EXTERIOR										
SYM	MANUF	TYPE	NUMBER	ROUGH OPENING	QUANTITY	GLAZING	U-FACTOR	SHGC	GRILLES	NOTES
A		SWINGING DOOR	3'-0" x 7'-0"	3'-3" x 7'-2 1/2"	1	DOUBLE PANE LOW E INSUL GLASS			NONE	
B		CLAD INSWING FRENCH DOORS		5'-5" x 6'-7"	1	DOUBLE PANE LOW E INSUL GLASS			NONE	MATCH EXISTING DOOR
C		SWINGING DOORS	(2) 2'-8" x 6'-8"	5'-6 1/2" x 6'-10 1/2"	1	NONE				
D	PELLA LIFESTYLE	CLAD PATIO HINGED DR	1 PANEL CPHD 3080	2'-6 3/4" x 6'-8"	2 1 L, 1 R	DOUBLE PANE ADVANCED COMFORT LOW E INSUL. GLASS	0.26	0.23	NONE	
E	PELLA LIFESTYLE	CLAD PATIO HINGED DR	2 PANEL CPHD 6782	5'-7" x 6'-10"	1	DOUBLE PANE ADVANCED COMFORT LOW E INSUL. GLASS	0.26	0.23	NONE	
F	PELLA LIFESTYLE	CLAD PATIO HINGED DR	2 PANEL CPHD 7582	6'-3 3/4" x 6'-10"	1	DOUBLE PANE ADVANCED COMFORT LOW E INSUL. GLASS	0.26	0.23	NONE	
G	PELLA LIFESTYLE	CLAD PATIO HINGED DR	2 PANEL CPHD 7596	6'-3 3/4" x 8'-0"	1	DOUBLE PANE ADVANCED COMFORT LOW E INSUL. GLASS	0.26	0.23	NONE	
H		SWINGING DOOR	3'-0" x 7'-0"	3'-3" x 7'-2 1/2"	1	DOUBLE PANE LOW E INSUL GLASS			NONE	
J		OVERHEAD DOOR	9'-0" x 8'-0"	9'-0" x 8'-0"	2	DOUBLE PANE LOW E INSUL GLASS			(3) 3W 1H	SEE SHEET A-3.3
INTERIOR										
SYM	MANUF	TYPE		SIZE	ROUGH OPENING	QUANTITY	NOTES			
J	TRUSTILE	SWINGING DOOR		3'-0" x 6'-8" x 1 3/4"	3'-2" x 6'-10 1/2"	1 L				
K	TRUSTILE	SWINGING DOOR		(2) 1'-8" x 7'-0" x 1 3/8"	3'-6" x 7'-2 1/2"	2				
L	TRUSTILE	SWINGING DOOR		2'-6" x 8'-0" x 1 3/4"	2'-8" x 8'-2 1/2"	1 R				
M	TRUSTILE	SWINGING DOOR		3'-0" x 8'-0" x 1 3/4"	3'-2" x 8'-2 1/2"	1 R				
N	TRUSTILE	SWINGING DOOR		(2) 2'-6" x 8'-0" x 1 3/8"	5'-2" x 8'-2 1/2"	1				
P	TRUSTILE	BARN TYPE DOOR		(2) 3'-0" x 7'-0" x 1 3/8"	6'-2" x 7'-2 1/2"	1				
TRUSTILE DOORS TS SOLID CORE XXXX XXXX			INTERIOR DOOR HARDWARE "EMTEK" - XXXXXXXX PRIVACY SET - BATHROOMS AND BEDROOMS PASSAGE SET - SINGLE DOOR CLOSETS DUMMY PAIR - DOUBLE DOOR CLOSETS HINGES TO MATCH HARDWARE FINISH							

- GLAZING NOTES:
1. PROVIDE SAFETY GLASS AND REQUIRED IDENTIFICATION LABEL ON ALL GLAZING WITHIN 18 INCHES OF ANY FLOOR.
 2. PROVIDE SAFETY GLASS AND REQUIRED IDENTIFICATION LABEL ON ALL GLAZING WITHIN 24 INCHES OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR IN A CLOSED POSITION AND WHERE THE GLAZING IS ON A WALL LESS THAN 180 DEGREES FROM THE PLANE OF THE DOOR IN A CLOSED POSITION AND WITHIN 24 INCHES OF THE HINGE SIDE OF AN IN-SWINGING DOOR.
EXCEPTION: 1. DECORATIVE GLAZING 2. THERE IS AN INTERVENING WALL OR OTHER PERMANENT BARRIER BETWEEN THE DOOR AND GLAZING. 3.WHERE ACCESS THROUGH THE DOOR IS TO A CLOSET OR STORAGE AREA 3 FEET OR LESS IN DEPTH.
 3. PROVIDE SAFETY GLASS AND REQUIRED IDENTIFICATION LABEL ON ALL GLAZING IN ALL HAZARDOUS LOCATIONS. GLAZING IN WALLS, ENCLOSURES OR FENCES CONTAINING OR FACING HOT TUBS, SPAS, WHIRLPOLLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS, AND INDOOR OR OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION. THIS SHALL APPLY TO SINGLE GLAZING AND EACH PANE IN MULTIPLE GLAZING.
EXCEPTION: GLAZING THAT IS MORE THAN 60 INCHES MEASURED HORIZONTALLY, AND IN A STRAIGHT LINE, FROM THE WATER'S EDGE OF A BATHTUB, HOT TUB, SPA, WHIRLPOOL OR SWIMMING POOL OR FROM THE EDGE OF A SHOWER, SAUNA OR STEAM ROOM.
 4. PROVIDE SAFETY GLASS AND REQUIRED IDENTIFICATION LABEL ON ALL GLAZING THAT IS WITHIN 60 INCHES FROM THE BOTTOM OF ANY STAIR AND LESS THAN 36 INCHES ABOVE THE FINISHED FLOOR OR LANDING. FOR MORE INFORMATION REFER TO SECTION 308 OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.

WINDOW SCHEDULE WELD 60 WASHINGTON AVENUE DOBBS FERRY, N.Y. 10522										
SYM	MANUF	TYPE	NUMBER	ROUGH OPENING	QUANTITY	GLAZING	U-FACTOR	SHGC	GRILLES	NOTES
1	PELLA	CLAD	C 2535	2'-1 3/4" x 2'-11 3/4"	9	DOUBLE PANE ADVANCED COMFORT LOW E INSUL. GL.	0.26	0.25	NONE	
2	PELLA	CLAD CASEMENT	CC 3559	2'-11 3/4" x 4'-11 3/4"	6	DOUBLE PANE ADVANCED COMFORT LOW E INSUL. GL.	0.26	0.26	NONE	
4	PELLA	CLAD DOUBLE HUNG	CDH 2547	2'-1 3/4" x 3'-11 3/4"	1	DOUBLE PANE ADVANCED COMFORT LOW E INSUL. GL.	0.26	0.26	NONE	
5	PELLA	CLAD DOUBLE HUNG	CDH 3347	2'-9 3/4" x 3'-11 3/4"	6	DOUBLE PANE ADVANCED COMFORT LOW E INSUL. GL.	0.26	0.26	NONE	
6	PELLA	CLAD DOUBLE HUNG	CDH 3371	2'-9 3/4" x 5'-11 3/4"	11	DOUBLE PANE ADVANCED COMFORT LOW E INSUL. GL.	0.26	0.26	NONE	EGRESS
PELLA LIFESTYLE SERIES CLAD COLOR-XXXX										

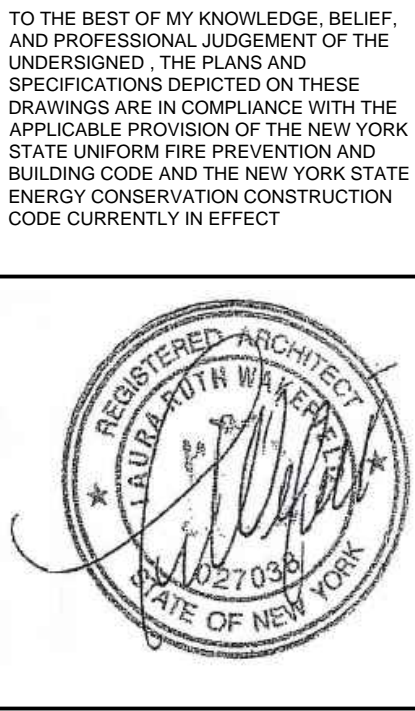
EGRESS WINDOW:
REQUIREMENTS OF SECTION R310.2.1
FOR EMERGENCY ESCAPE AND RESCUE OPENINGS.
OPENINGS TO HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET.
THE NET CLEAR HEIGHT OPENING SHALL NOT BE LESS THAN 24 INCHES.
THE NET CLEAR WIDTH OPENING SHALL NOT BE LESS THAN 20 INCHES.
GRADE FLOOR OPENINGS OR BELOW GRADE OPENINGS SHALL HAVE A
CLEAR OPENING AREA OF NOT LESS THAN 5 SQUARE FEET.

R310.2.2- WHERE A WINDOW IS PROVIDED AS THE EMERGENCY
ESCAPE AND RESCUE OPENING, IT SHALL HAVE A SILL
HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.



LIGHT AND VENTILATION CALCULATIONS					
AFFECTED ROOM	SQUARE FEET	LIGHT REQUIRED (8 %)	LIGHT PROVIDED	VENT REQUIRED (4 %)	VENT PROVIDED
EXISTING MASTER BEDRM	332	26.56	49.8	13.28	35.7

EGRESS		REQUIREMENTS			
THESE WINDOWS MEET OR EXCEED THE REQUIREMENTS OF SECTION R310.2.1 FOR EMERGENCY ESCAPE AND RESCUE OPENINGS		MIN. NET CLEAR OPENING AREA 5.7 Sq.Ft.	MINIMUM CLEAR OPENING HEIGHT 24"	MINIMUM CLEAR OPENING WIDTH 20"	MAXIMUM FLOOR TO BOTTOM OF CLEAR OPENING 44"
LOCATION	WINDOW PROVIDED				
EX.MASTER BEDRM	PELLA DOOR 3080	13.1	76 7/16"	24 11/16"	1/4"



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WELD RESIDENCE
60 WASHINGTON AVENUE
DOBBS FERRY, N.Y. 10522
PROJECT NO.: **2208**

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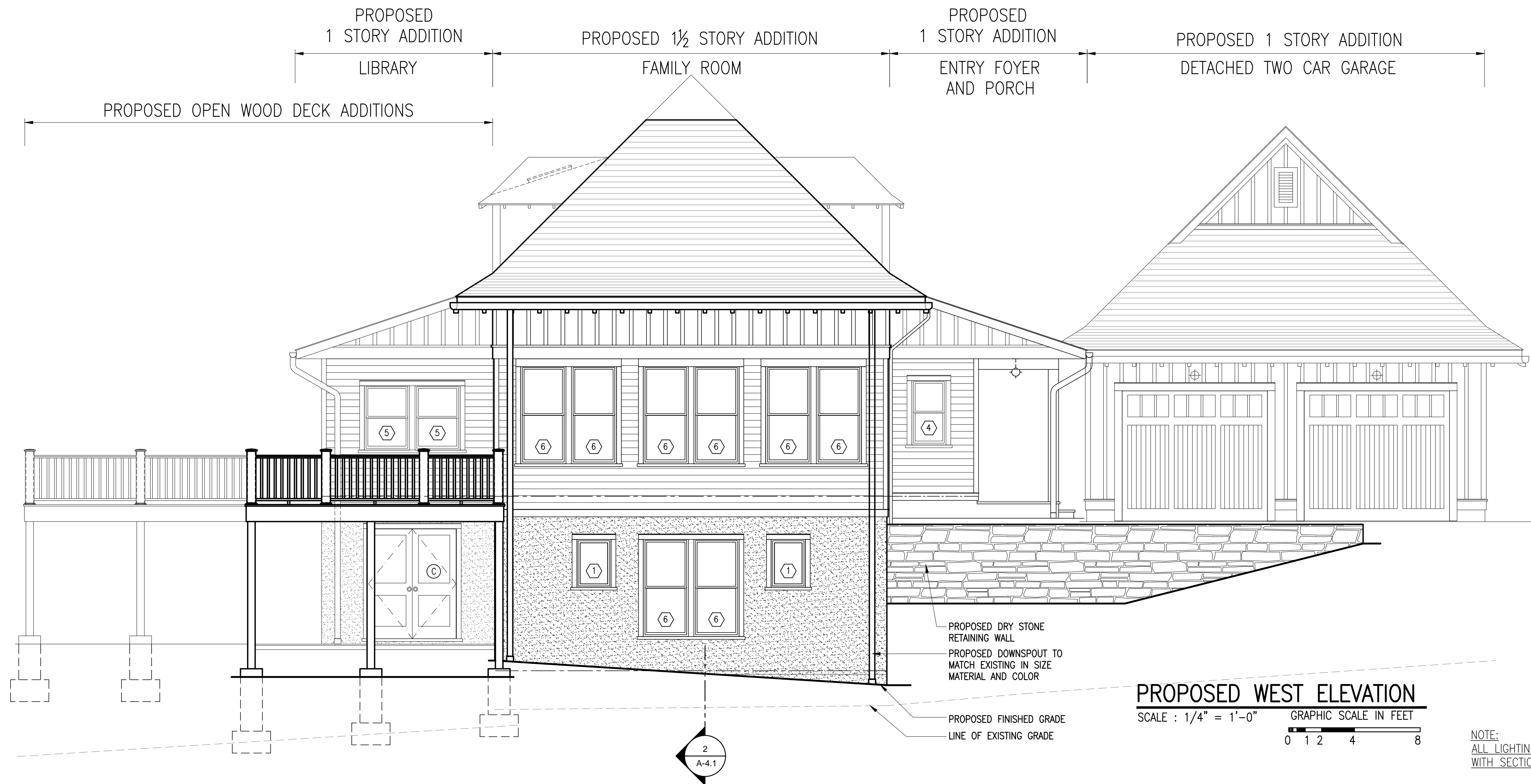
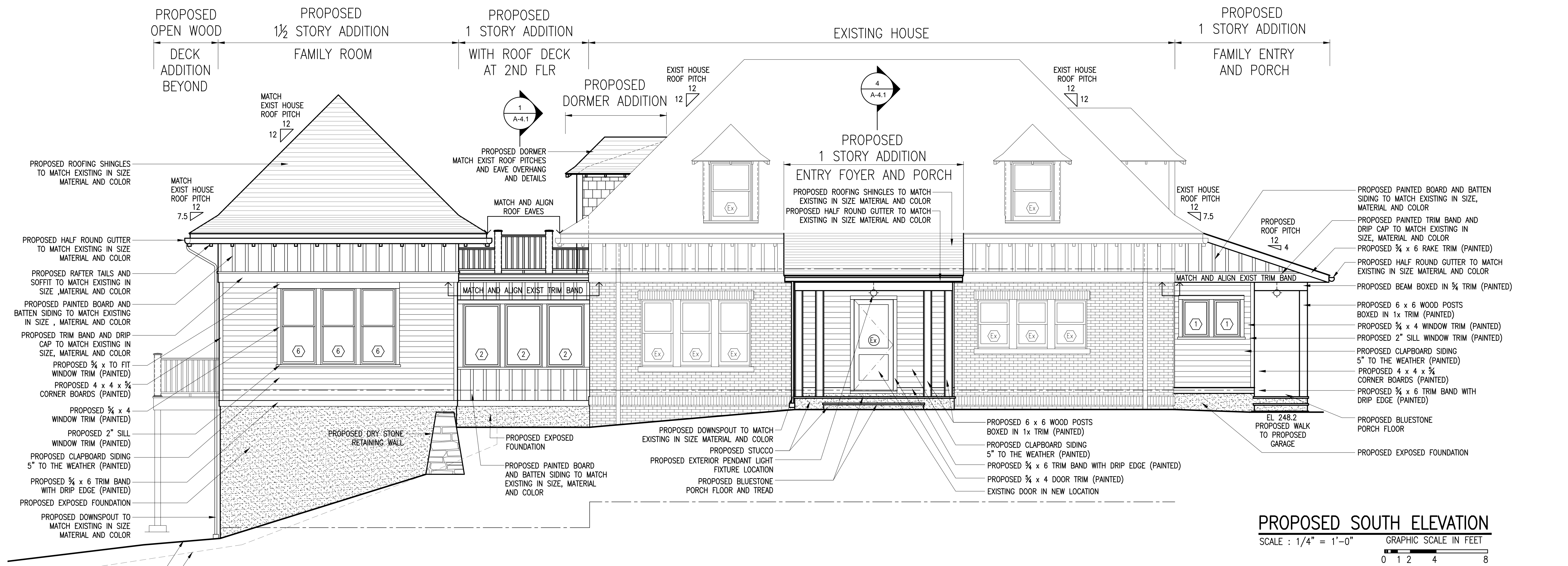
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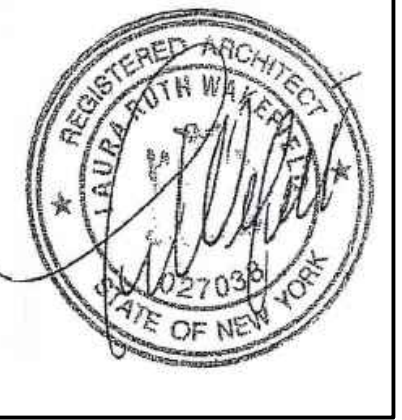
SHEET TITLE:
PROPOSED SECOND FLOOR PLAN

DATE: 11-10-2022	DRAWN BY: SJ,MB
SCALE: AS NOTED	CHECKED BY: PRS

A-2.2



TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED, THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE CURRENTLY IN EFFECT.



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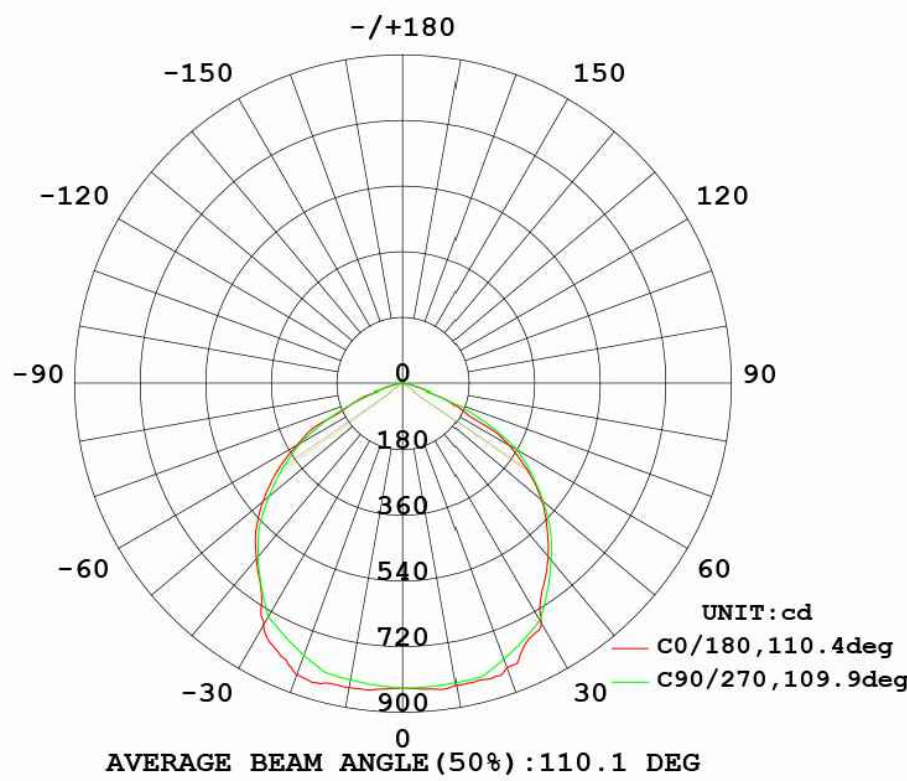
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SHEET TITLE:
PROPOSED SOUTH AND WEST ELEVATIONS
DATE: **11-10-2022** DRAWN BY: **SJ,MB**
SCALE: **AS NOTED** CHECKED BY: **PRS**

A-3.1

NOTE: ALL LIGHTING SHALL COMPLY WITH SECTION 300-41



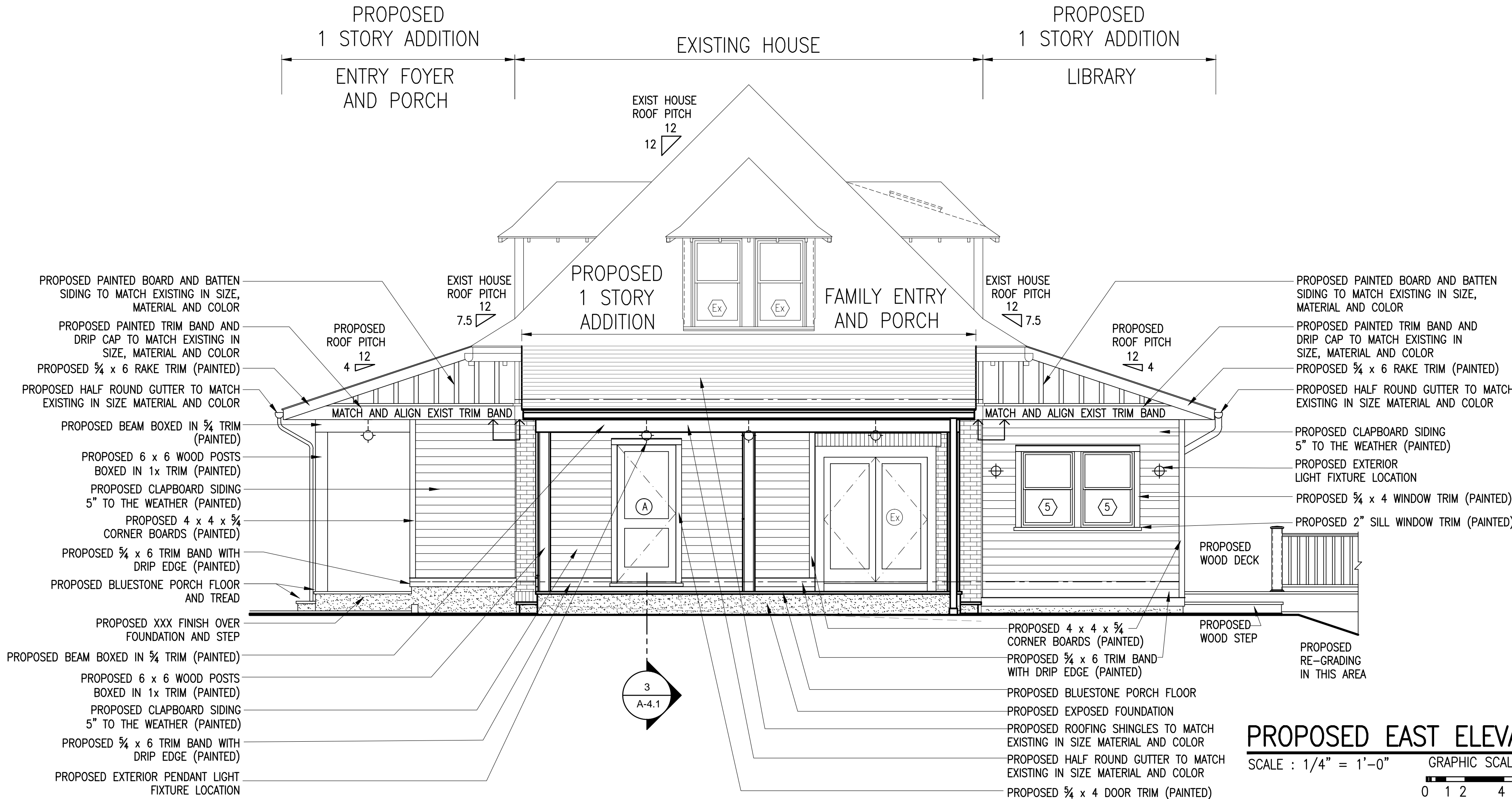
JORDAN VALLEY MISSION PENDANT AND SCONCE IN OIL RUBBED BRONZE FINISH MANUFACTURED BY "REJUVENATION" WITH OPAL 6 ACORN SHADE AND LED 8 WATT DIMMABLE BULB (1100 LUMENS)

LIGHT PHOTOMETRICS

EXTERIOR LIGHT FIXTURES

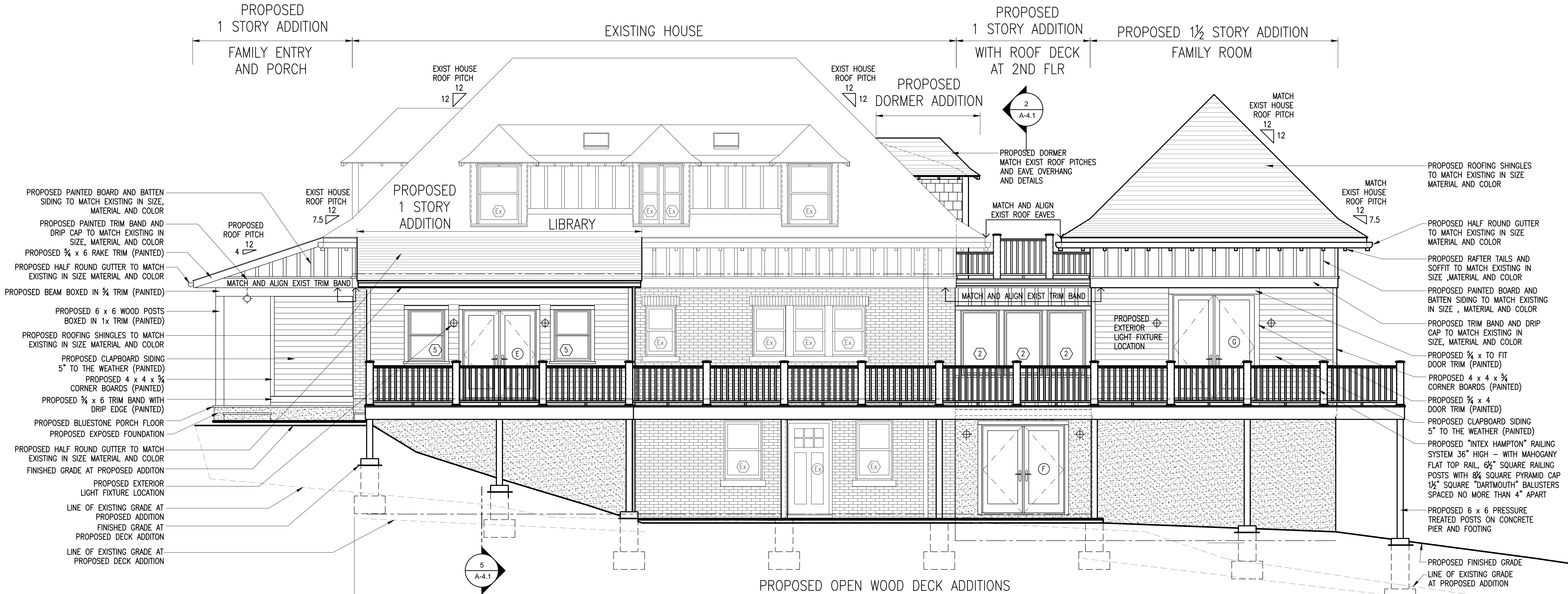
NOTES:

1. THE PROPOSED LIGHT FIXTURE HAS A METAL CAP ON THE TOP PROVIDING FULL CUT OFF TO BE DARK SKY COMPLIANT. EACH FIXTURE ALSO HAS AN OPAL FROSTED GLASS GLOBE TO DIFFUSE AND SOFTEN THE ILLUMINATION AND REDUCE GLARE.
2. THESE FIXTURES ARE PROPOSED TO BE USED FOR BOTH THE FOUR PENDANTS SUSPENDED FROM THE FIRST-FLOOR PORCH CEILINGS, THE EIGHT SCONCES HANGING ON THE WALLS ADJACENT TO THE BASEMENT, FIRST AND SECOND FLOOR DOORS AND WINDOWS, AND THE THREE SCONCES HANGING ON THE WALLS ADJACENT TO THE DOOR AND OVERHEAD DOORS ON THE GARAGE.
3. THE INTENT OF THESE FIXTURES IS TO CREATE A MAXIMUM LIGHT LEVEL OF FIVE FOOT-CANDLES ON THE DECK NEAR THE EXTERIOR WALLS.
4. AT AND BEYOND THE PROPERTY LINES ABUTTING RESIDENTIAL PARCELS, AS WELL AS PUBLIC RIGHT-OF-WAYS, THESE FIXTURES WILL NOT PRODUCE A LUMEN LEVEL EXCEEDING 0.1 FOOT-CANDLES.
5. THE CONTROLS ON THE LIGHT FIXTURES WILL EITHER BE MOTION ACTIVATED WITH AN AUTOMATIC SHUTOFF ON A TIMER OR ACTIVATED BY DARKNESS AND THEN A TIMED SHUTOFF. EACH FIXTURE OR GROUPING OF FIXTURES WILL ALSO HAVE A SWITCH OVERRIDE THAT CAN BE ACTIVATED FROM INSIDE THE HOUSE.
6. ALL EXTERIOR LIGHTING SHALL COMPLY WITH SECTION 300-41 OF THE DOBBS FERRY VILLAGE CODE.



PROPOSED EAST ELEVATION

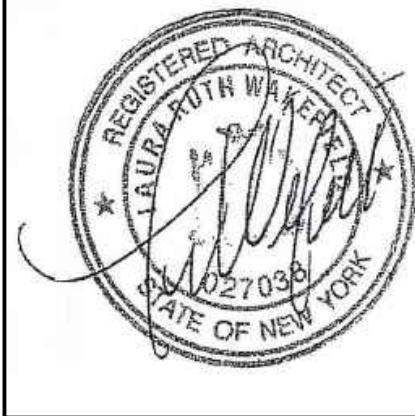
SCALE : 1/4" = 1'-0" GRAPHIC SCALE IN FEET



PROPOSED NORTH ELEVATION

SCALE : 1/4" = 1'-0" GRAPHIC SCALE IN FEET

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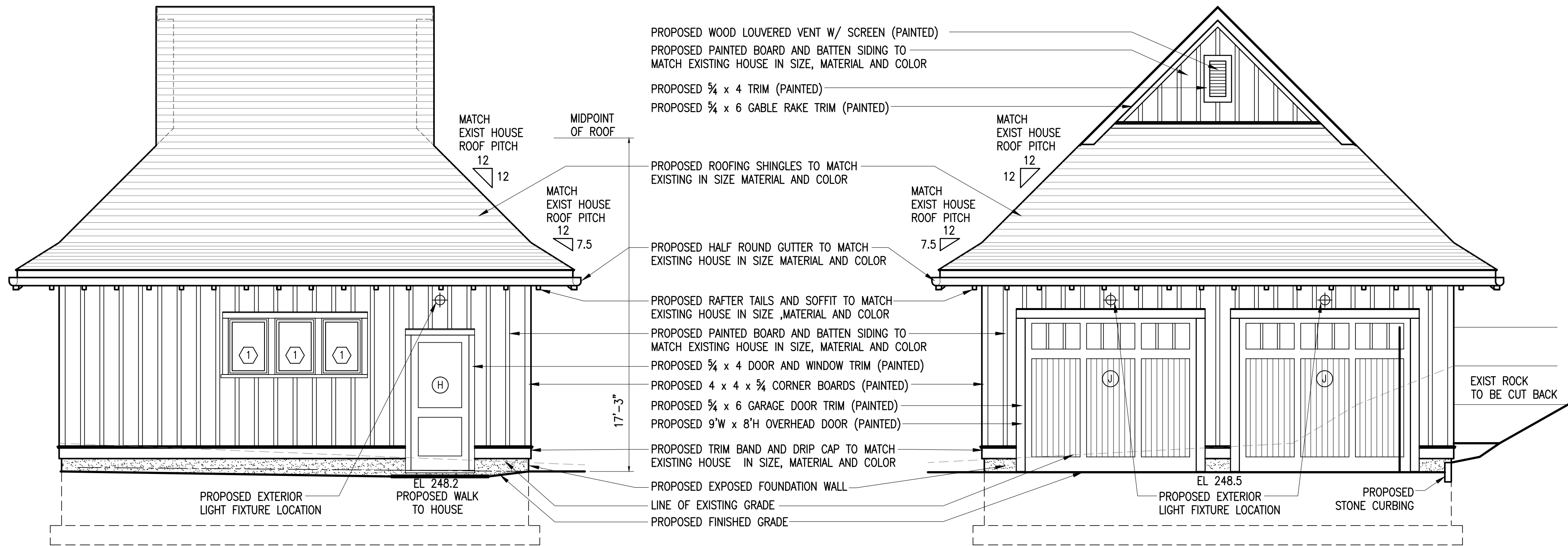
ISSUED / REVISIONS

SHEET TITLE:
PROPOSED NORTH AND EAST ELEVATIONS EXT'R LIGHT NOTES

DATE: 11-10-2022	DRAWN BY: SJ,MB
SCALE: AS NOTED	CHECKED BY: PRS

A-3.2

NOTE:
ALL LIGHTING SHALL COMPLY WITH SECTION 300-41

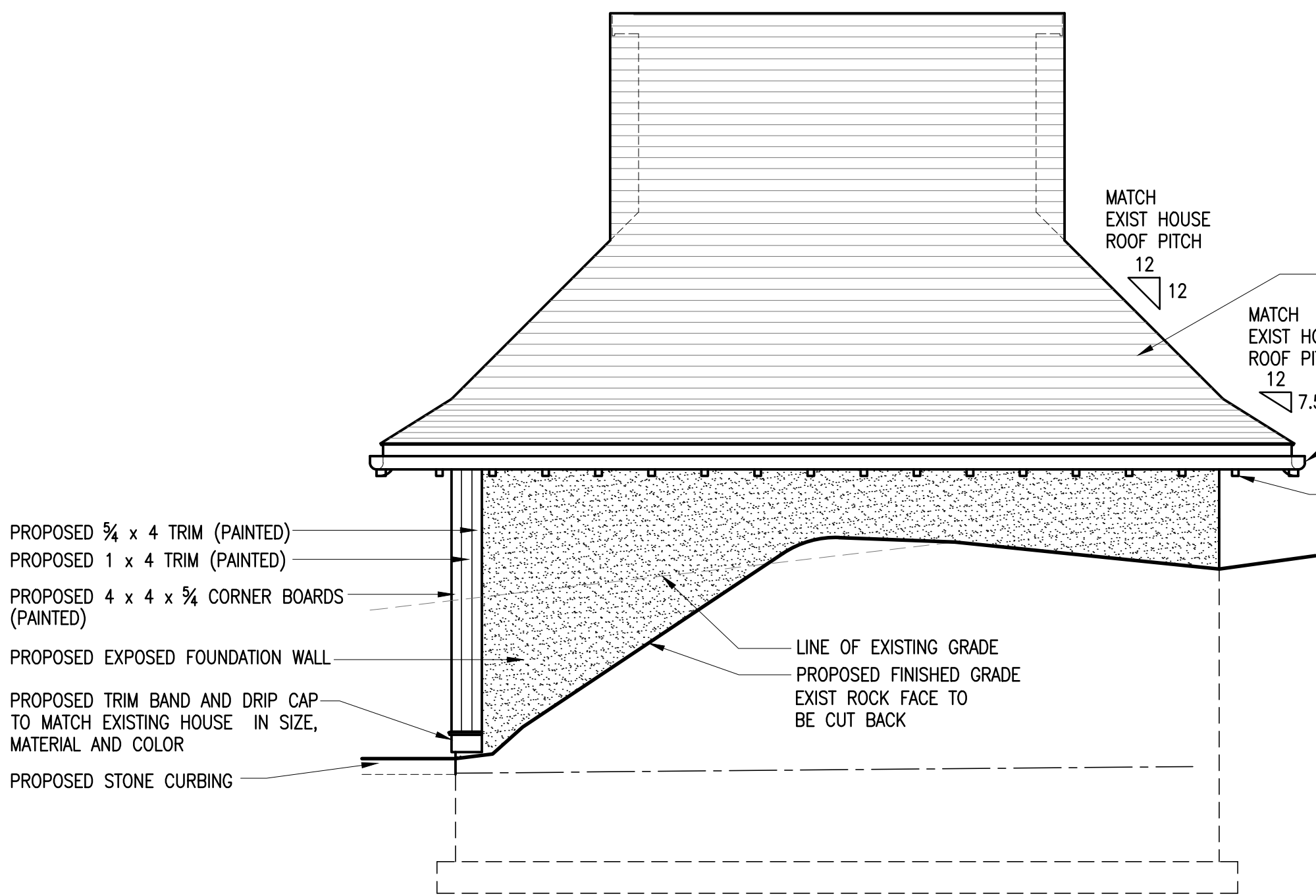


PROPOSED GARAGE NORTH ELEVATION

SCALE : 1/4" = 1'-0" GRAPHIC SCALE IN FEET

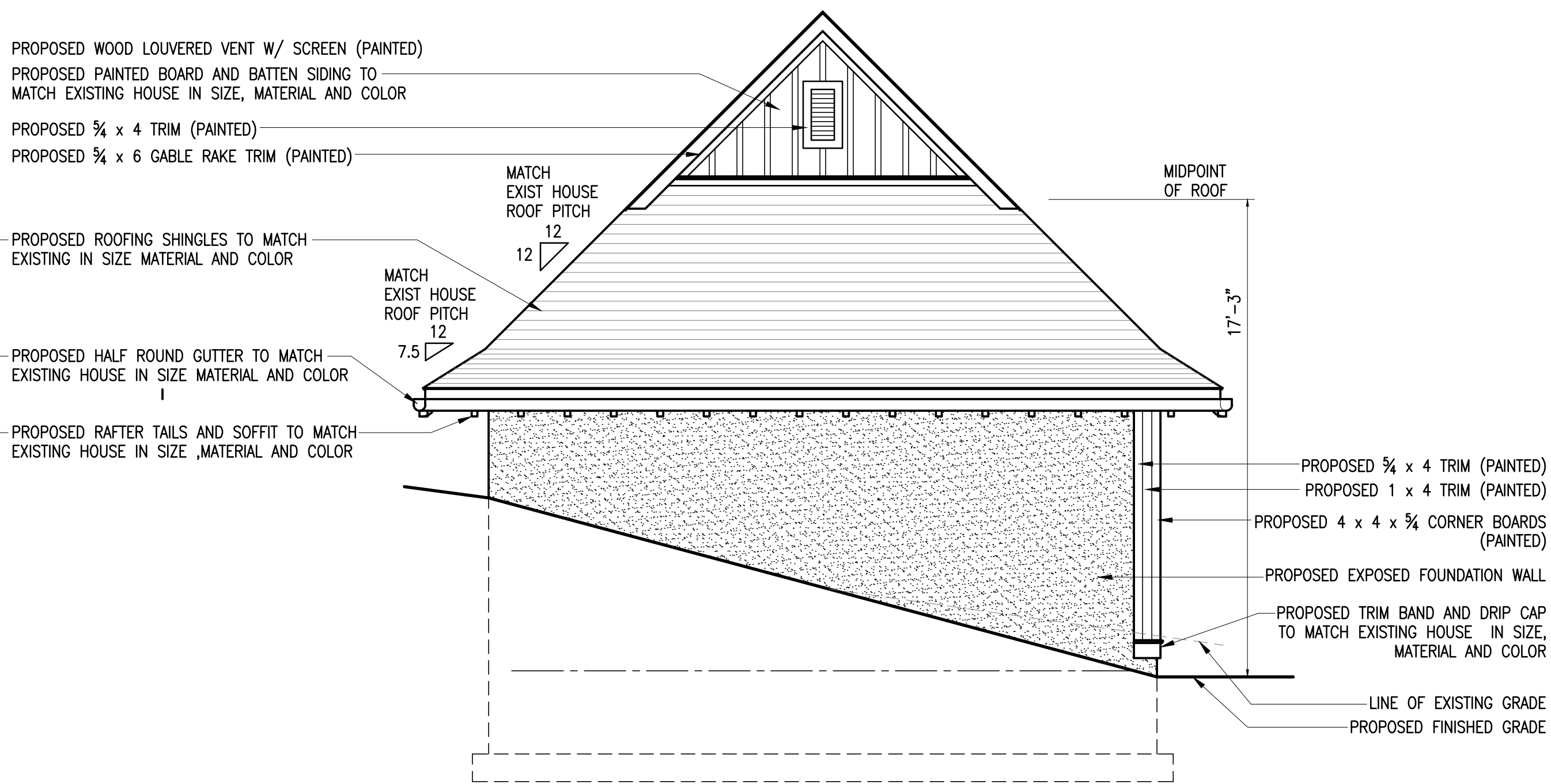
PROPOSED GARAGE WEST ELEVATION

SCALE : 1/4" = 1'-0" GRAPHIC SCALE IN FEET



PROPOSED GARAGE SOUTH ELEVATION

SCALE : 1/4" = 1'-0" GRAPHIC SCALE IN FEET

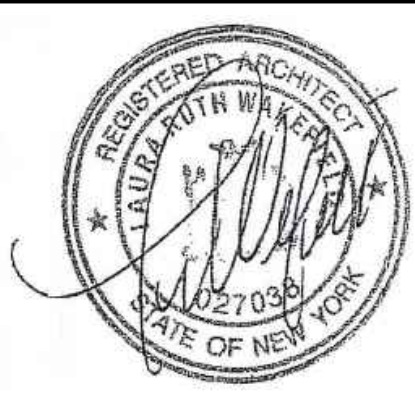


PROPOSED GARAGE EAST ELEVATION

SCALE : 1/4" = 1'-0" GRAPHIC SCALE IN FEET

NOTE:
ALL LIGHTING SHALL COMPLY
WITH SECTION 300-41

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APPLICABLE PROVISIONS OF THE NEW YORK
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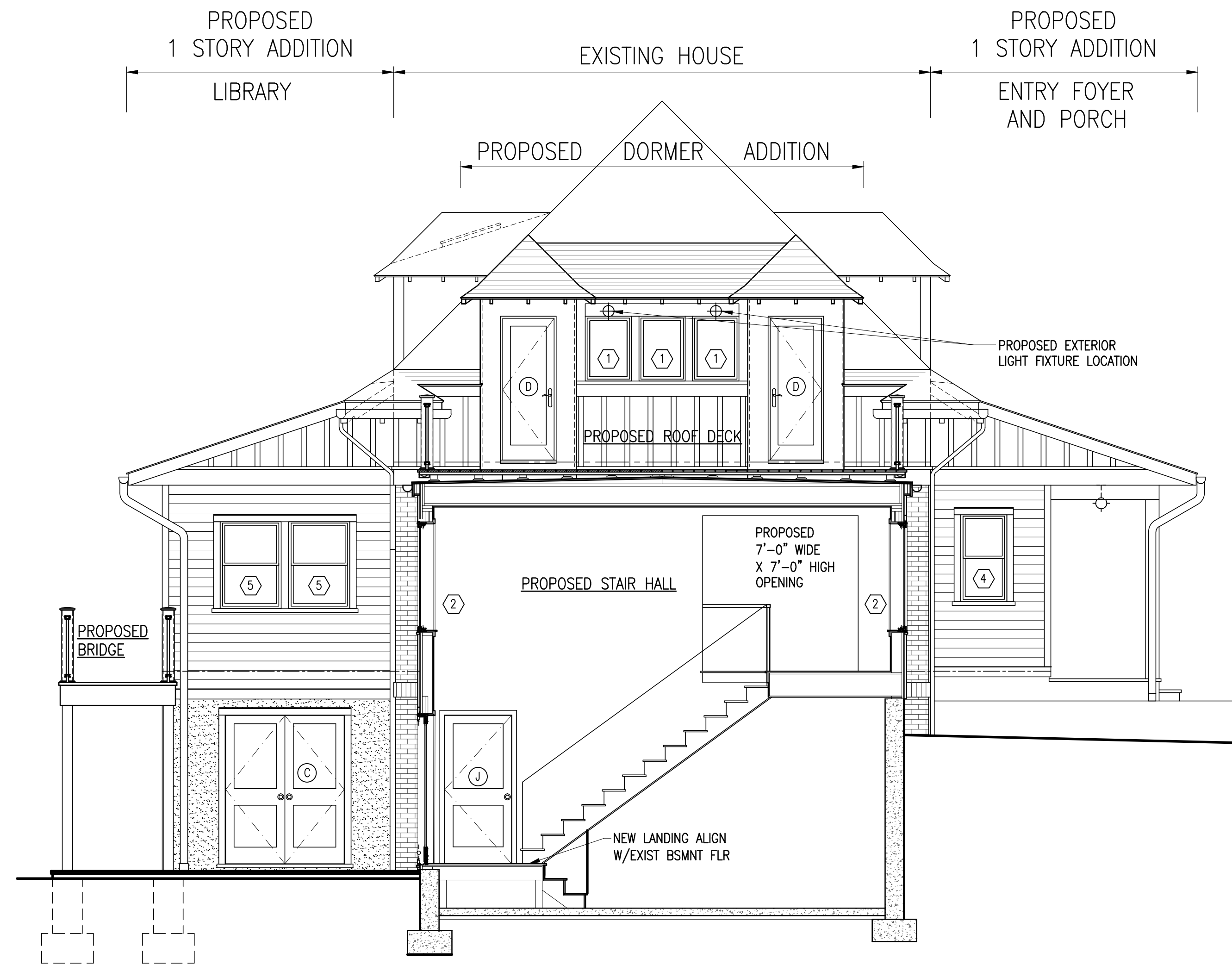
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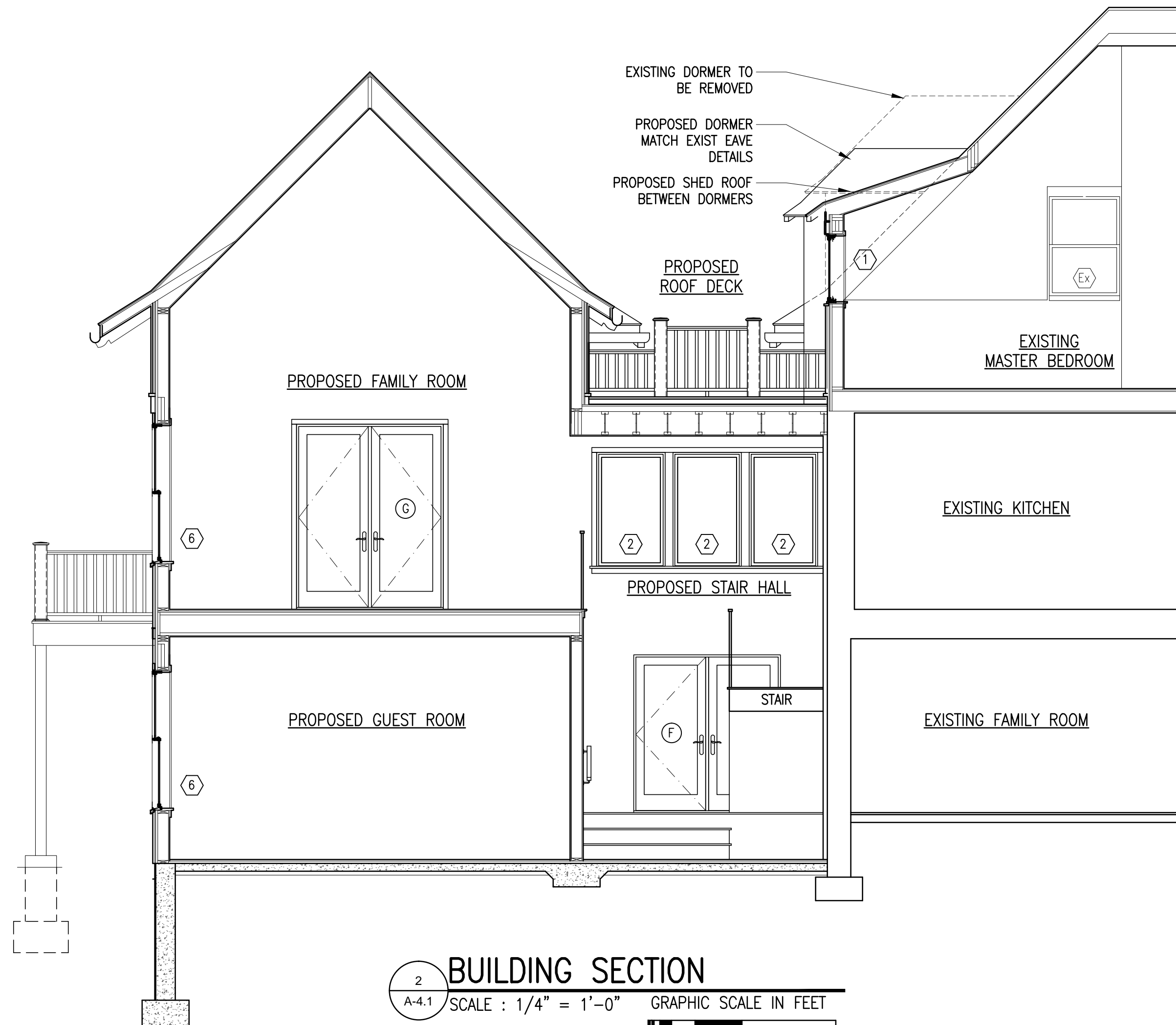
**PROPOSED
GARAGE
ELEVATIONS**

DATE: 11-10-2022	DRAWN BY: SJ,MB
SCALE: AS NOTED	CHECKED BY: PRS

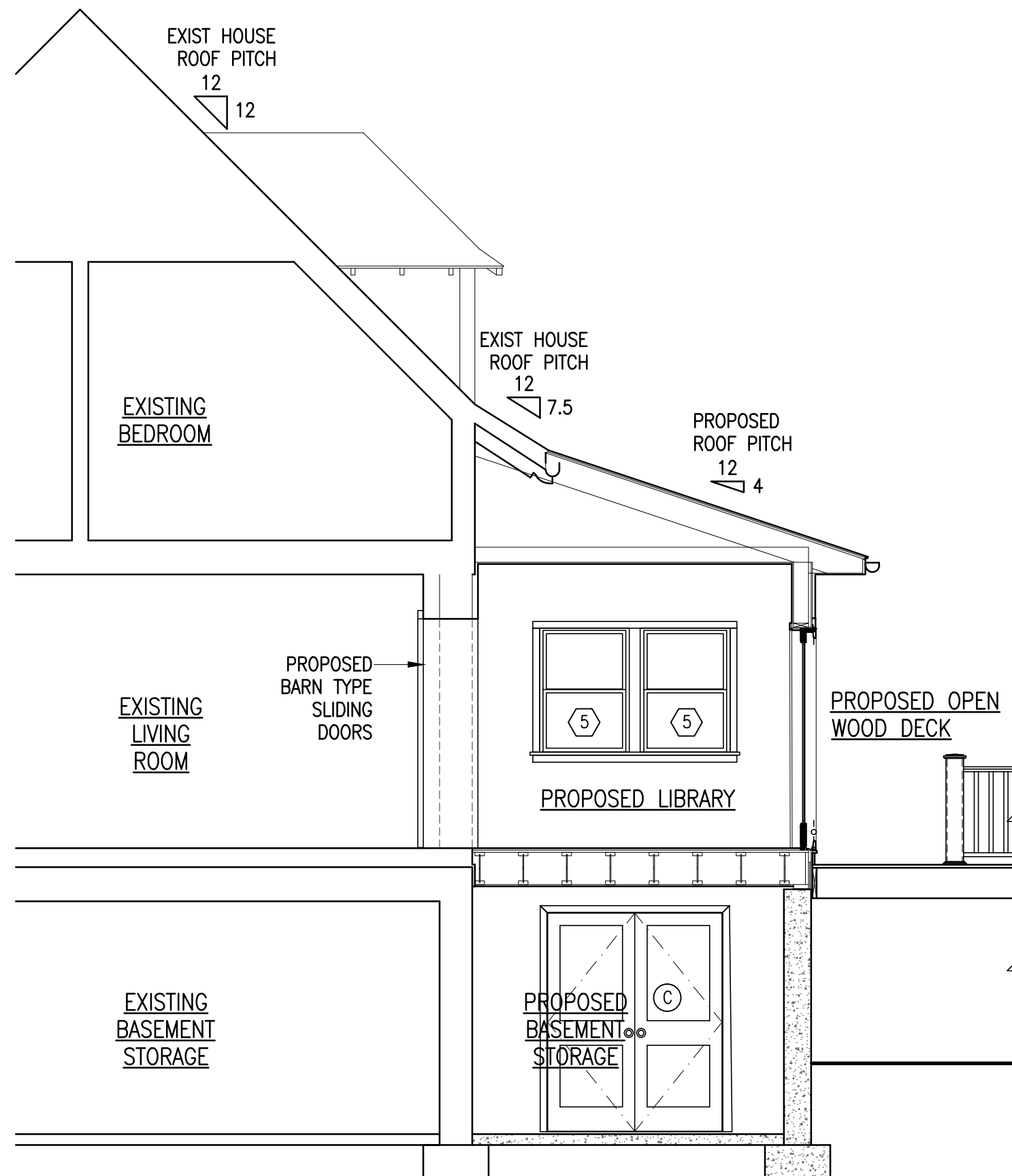
A-3.3



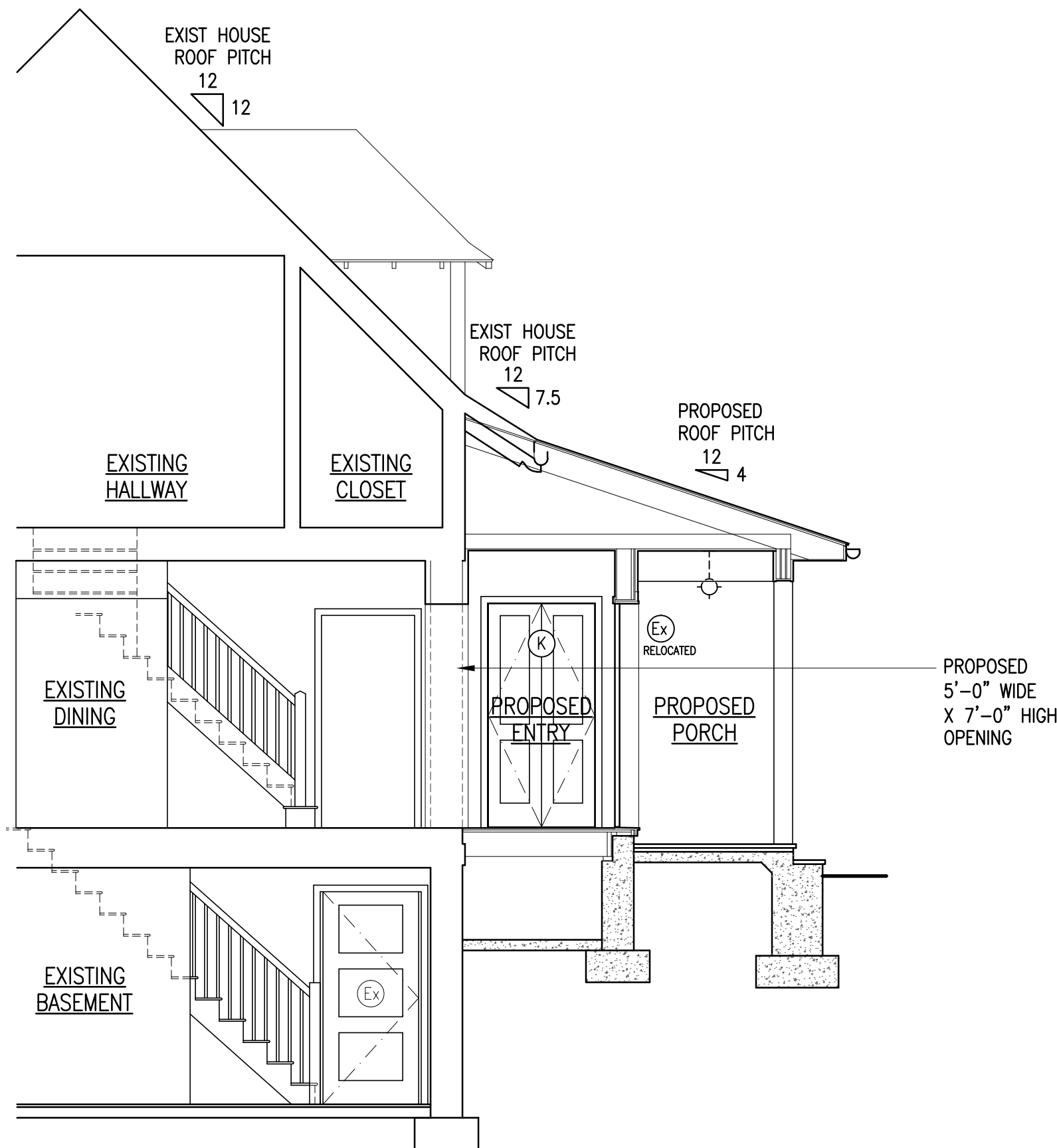
1
A-4.1
BUILDING SECTION THRU STAIR HALL
SCALE : 1/4" = 1'-0"
GRAPHIC SCALE IN FEET
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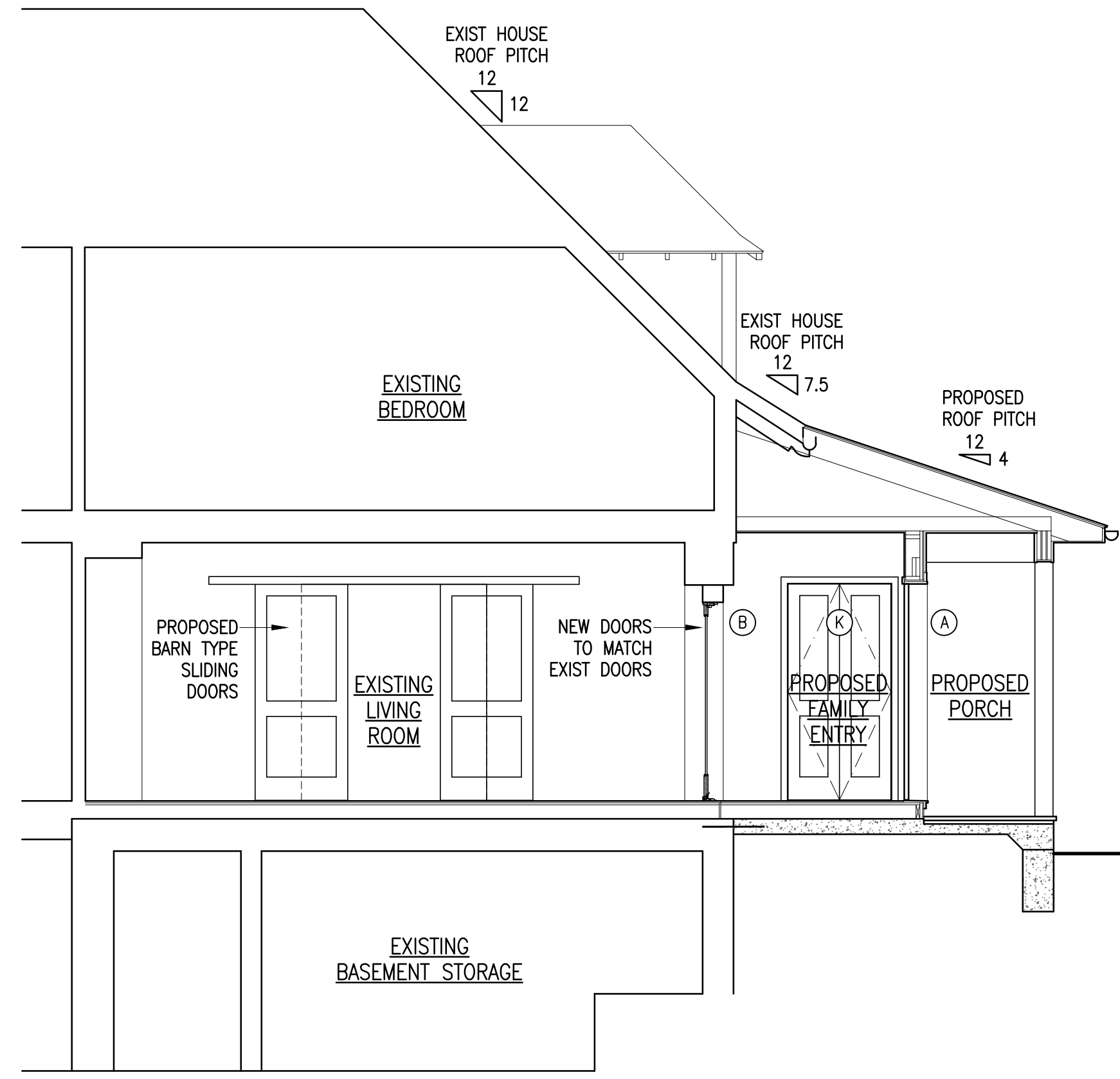
2
A-4.1
BUILDING SECTION
SCALE : 1/4" = 1'-0"
GRAPHIC SCALE IN FEET
0 1 2 4 8



3
A-4.1
BUILDING SECTION
SCALE : 1/4" = 1'-0"
GRAPHIC SCALE IN FEET
0 1 2 4 8



4
A-4.1
BUILDING SECTION
SCALE : 1/4" = 1'-0"
GRAPHIC SCALE IN FEET
0 1 2 4 8



5
A-4.1
BUILDING SECTION
SCALE : 1/4" = 1'-0"
GRAPHIC SCALE IN FEET
0 1 2 4 8

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SHEET TITLE:
PROPOSED BUILDING SECTIONS

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A-4.1