2. Scope of Work: Includes all items described in Drawings & Specifications, verbally & graphically, with more stringent and/or costly items assumed in all cases of discrepancy.

3. All new construction shall adhere to the 2020 Residential Code of New York State and the 2020 Energy Conservation Code of New York State. Notify Architect of any inadvertent noncompliance with Codes regarding information contained in Drawings and Specifications, with no Work to be performed knowingly in noncompliance with Code.

4. The General Contractor (G.C.) shall coordinate all work procedures w/requirements of Local Authorities. Prior to commencement of Construction, the G.C. shall be responsible for the acquisition of a Building Permit and pay all fees required by Governing Agencies. The G.C. shall be responsible for calling for Inspections and Sign-offs of all Work, including Plumbing & Electrical, as required by Governing Agencies.

5. The G.C., Subcontractors, and all others working for Owner shall comply with National, State, and Local Laws and Regulations relating to insurance for work under this Contract. The following insurance policies shall be in force and copies shall be submitted to Architect prior to signing Agreement Between Owner and Contractor: Workman's Compensation & Unemployment Insurance as required by law, Contractor's Liability Coverage in the amount required by applicable Governing Agencies, & Liability Coverage for damages & uninstalled materials. The G.C. shall submit to the Owners, Insurance Certificates naming Owner as Additional Insured. All insurance shall be at Contractor's expense.

6. All Terms & Conditions laid out in the A.I.A. Standard Form Of General Conditions shall apply to the G.C. & to all of his Sub-Contractors.

7. The G.C. & Subcontractors shall attend regular job meetings as required by the Architect.

DIVISION 01: PROJECT REQUIREMENTS

1. The G.C. shall verify all Dimensions & Conditions in the field prior to Construction. Any discrepancies are to be brought to the attention of the Architect prior to work. The G.C. shall be responsible for Field Fit & Quality of all Work, whether by the G.C. or by Subcontractors. No allowances shall be made on behalf of the G.C. for any error or neglect on his part. Under no circumstances are the Drawings to be scaled for location of Work. G.C. shall verify all clearances & locations prior to installation including requirements for appliances, fixtures, or equipment.

2. Retain licensed Surveyor to mark site before beginning construction and to verify location of foundation and slab-on-grade formwork before pouring concrete. Verify that all work conforms to zoning requirements including all setbacks and yard requirements.

3. The G.C. shall be responsible for the protection of all new & existing Work, Owner's Property, Building, and its Premises from damage & dirt or dust.

4. Plumbing & Electrical Work shall be performed by Contractors licensed in their trade. G.C. shall be licensed to perform the Work as required.

5. The G.C. shall maintain at the Site one Record Copy of all Drawings, Clarification Sketches, Approved Shop Drawings, Approved Samples, and Change Orders continuously updated to record all changes during Construction. G.C. shall fully correct, at no additional expense, all Work wrongly constructed or materials wrongly ordered from obsolete Drawings.

6. Details not usually shown or specified, but necessary for proper construction on any part of the work shall be included as if they were indicated in the Drawings.

7. Architectural Drawings shall be Followed as closely as actual Field Conditions & the work of other trades permit. Any piping, wiring, or materials not specifically shown or specified but required to complete Work shall be deemed to be part of Work & shall be furnished & installed by the G.C.

8. G.C. shall prepare schedule for completion of Work prior to commencement and submit to Architect for approval. Contractor shall follow approved schedule and immediately notify Architect of any deviations from the approved schedule.

9. The G.C. must submit all Engineering & Shop Drawings (including Millwork) & cut sheets of all equipment, plumbing & electrical fixtures, hardware & accessories to the Architect for approval prior to Fabrication, Ordering and/or Construction. Shop Drawings shall be revised per Architect's instruction if required prior to approval.

10. The G.C. shall supervise & be solely responsible for all aspects of the Work, including Site Safety, maintenance of exit clearances & fire extinguishers as required by Code. The G.C. shall have sole responsibility for any damage or injuries caused by or during the execution of the Work.

11. The G.C. shall be responsible for demolition & safe removal from the Site of all materials that must be removed to enable completion of Work and occupation of the Premises. All removed materials shall be disposed of regularly in a legal manner.

12. All piping & wiring to be demolished shall be removed to a point of concealment & shall be properly capped or plugged.

13. The G.C. shall do all cutting, patching & repairing as required to perform all Work required to complete the Job. All patching where new construction occurs shall match existing adjacent or as indicated on the Drawings.

14. All new construction shall be laid-out in field for Architect's approval prior to starting construction.

15. No changes to approved layouts shall be made without Written Consent Of The Architect

16. When "Approved Equal", "Equal To", "Similar" or other general qualifying terms are used, it shall be subject to final review by the Architect. There shall be no substitutions unless agreed upon in writing by the Architect.

17. The G.C. shall verify all equipment dimensions, locations & hook-ups with Manufacturer's Specifications whether the G.C. or Others supply the

18. All items noted "Furnished By Owner" shall be installed by the G.C. under this Contract as per Manufacturers' Specifications & industry standards. Wall reinforcement & all other requirements required to incorporate Owner furnished items shall be provided & coordinated by the G.C.

19. G.C. shall employ experienced workers or professional cleaners for final cleaning prior to request of inspection for Certificate of Substantial Completion.

STRETCH ENERGY CODES

1. This design is in compliance with requirements of 2020 Energy Conservation Code of NYS, the 2020 Residental Code of NYS, and the 2020 NYStretch Code.

2. Contractor shall perform all work in accordance with applicable codes listed above.

3. Updated Table R420.1.4 below showing updated values prevails where applicable.

WESTCHESTER NY: CLIMATE ZONE 4A

2020 ENERGY CONSERVATION CODE OF NEW YORK STATE

Table R402.1.2 – Envelope (U-factor Table R402.1.4 changed accordingly. Prescriptive, e.g., can be traded.)

Climate Zone 4	Fen U-Factor	SkyLt U-Factor	SHGC	Ceiling R-Val	Wood Wall R-Value	Mass Wall R-Value	Floor R-Val	Bsmt Wall R-value	Slab R-Value/ Depth	Crawl Sp Wall R-Value
Stretch Code	0.27	0.50	.04	49	21 or 20+5 or 13+10	15/20	30°	15/19	10, 4 ft.	15/19

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT^a

CLIMATE ZONE	FENESTRATION U-FACTOR ^b	SKYLIGHT ^b <i>U</i> -FACTOR	GLAZED FENESTRATION SHGC ^{b, e}	CEILING R-VALUE	WOOD FRAME WALL <i>R</i> -VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT° WALL <i>R</i> -VALUE	SLAB ^d R-VALUE & DEPTH	CRAWL SPACE° WALL R-VALUE
1	NR	0.75	0.25	30	13	3/4	13	0	0	0
2	0.40	0.65	0.25	38	13	4/6	13	0	0	0
3	0.32	0.55	0.25	38	20 or 13 + 5 ^h	8/13	19	5/13 ^f	0	5/13
4 except Marine	0.32 0.27	0.55	0.40	49	20 or 13 + 5 ^h	8/13	19	10 /13	10, 2 ft	10/13
5 and Marine 4	0.30	0.55	NR	49	20 or 13 + 5 ^h	13/17	30 ^g	15/19	10, 2 ft	15/19
6	0.30	0.55	NR	49	$20 + 5^{\rm h}$ or $13 + 10^{\rm h}$	15/20	30 ^g	15/19	10,4 ft	15/19
7 and 8	0.30	0.55	NR	49	$20 + 5^{\rm h}$ or $13 + 10^{\rm h}$	19/21	38 ^g	15/19	10,4 ft	15/19

For SI: 1 foot = 304.8 mm.

NR = Not Required.

a. R-values are minimums. U-factors and SHGC are maximums. Where insulation is installed in a cavity that is less than the label or design thickness of the insulation, the installed R-value of the insulation shall be not less than the R-value specified in the table.

b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.

c. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation on the interior of the basement wall. "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation on the interior of the basement wall. Alternatively, compliance with "15/19" shall be R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home.

d. R-5 insulation shall be provided under the full slab area of a heated slab in addition to the required slab edge insulation R-value for slabs, as indicated in the table. The slab edge insulation for heated slabs shall not be required to extend below the slab.

e. Reserved.

Reserved

g. Alternatively, insulation sufficient to fill the framing cavity providing not less than an R-value of R-19.

h. The first value is cavity insulation, the second value is continuous insulation. Therefore, as an example, "13+5" means R-13 cavity insulation plus R-5

i. Mass walls shall be in accordance with Section N1102.2.5. The second R-value applies where more than half of the insulation is on the interior of the mass

1. This design is in compliance with requirements of 2020 Residential Code of New York State and the 2020 Energy Conservation Code of New York State.

2. Contractor shall perform all work in accordance with applicable codes as listed in the 2020 NYS Code Books.

Modifications to 164 PALISADE STREET

APPLICATION # A 2022 - 0449

164 PALISADE STREE

CEDAR STREET - Looking down toward Palisade Street

GENERAL CONDITIONS

1. APPROVED STAMPED SET OF BUILDING PLANS MUST BE PRESENT ON SITE AT ALL TIMES.

2. LICENSED ELECTRICIAN TO FILE ELECTRICAL PERMIT

HIGH WIND CONNECTIONS

PROVIDE STRAPPING AS REQUIRED TO RESIST HIGH WIND AND UPLIFT FORCES TO BE IN COMPLIANCE WITH TABLE R802.11 OF THE NY STATE RESIDENTIAL CODE. USE TENSION TIES EQUAL TO SIMPSON MODEL # H2 OR AS INDICATED AT ALL POST-PLATE-RAFTER CONNECTIONS.

PRE-ENGINEERED WOOD PLACARDING

CONTRACTOR SHALL PROVIDE PLACARD AS REQUIRED BY CODE, 6" DIA. CIRCLE WITH RED REFLECTIVE PRINT ON WHITE BACKGROUND, INDICATING THAT PRE-ENGINEERED WOOD HAS BEEN USED IN CONSTRUCTION. PLACARD SHALL BE PLACED AT EXTERIOR ON OR NEAR ELECTRIC METER IN PLAIN VIEW AND INDICATE THAT PRE-ENGINEERED WOOD HAS BEEN USED FOR ROOF AND FLOOR SUPPORT IN THE BUILDING OF TYPE-V CONSTRUCTION.

CLIMATE AND GEOGRAPHIC DESIGN CRITERIA

2020 INTERNATIONAL RESIDENTIAL CODE

CHAPTER 3 - BUILIDING PLANNING SECTION R301 DESIGN CRITERIA

WESTCHESTER, NY: CLIMATE ZONE 4

TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

ROUND	WIND	TOPOGRAPHIC	SPECIAL	WIND-BORNE	SEISMIC	SUBJECT TO DAMAGE FROM		WINTER	ICE BARRIER	FLOOD	AIR	MEAN	
SNOW	SPEED	EFFECTS	WIND	DEBRIS	DESIGN	WEATHERING	FROST	TERMITE	DESIGN	UNDERLAYMENT	HAZARDS	FREEZING	ANNUAL
LOAD	(MPH)		REGION	ZONE	CATEGORY		DEPTH		TEMP	REQUIRED		INDEX	TEMP
30 PSF	115-120	NO	YES	NO	С	SEVERE	3'6"	MODERATE/	15°F	YES	NO	2000	51.6°F
								HEAVY					1

STRUCTURAL & LOADING NOTES

Design bearing capacity of soil shall be 2,000 PSI in accordance with 2020 Residential Code of New York State R401.4.1 for Sand, Silty Sand, Clayey Sand

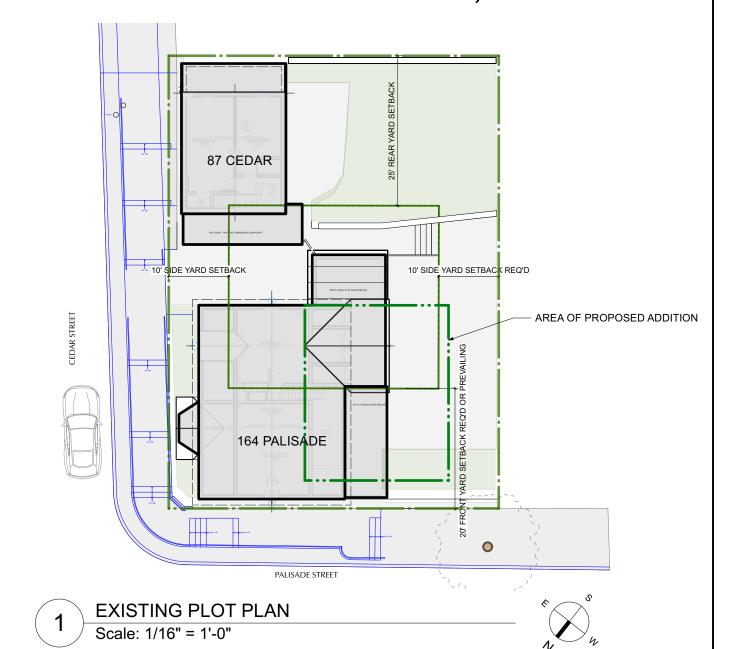
Shall be Min. 3,000 PSI at exposed exterior walls; shall be Min. 2,500 PSI at basement slabs; and shall be Min. 3,500 PSI at horizontal surfaces exposed to the weather including porches, steps, walks, and garage floor slabs, all to be in compliance with the 2020 Residential Code of New York State

Provide exterior placard as required by code indicating that engineered lumber is used for roof support in a Class V structure. Placard is to be permanentlymounted for display as required near electrical meter or as directed in field by

High Wind Connections

Provide strapping as required to resist high wind and uplift forces to be in compliance with table R802.11 of the Code. Use tension tie equal to Simpson model # HTT22 at all footing-post connections and equal to Simpson model #H2 at all post-plate-rafter connections.

164 Palisade Street - 87 Cedar Street DOBBS FERRY, NY 10522



164 PALISADE STREET DOBBS FERRY, NY. 10522

SECTION: 3.80 - 40.31 BLOCK: LOT: 23, 24

SURVEY OF PORTION OF LOTS NUMBERS 23 and 24 AS SHOWN ON A CERTAIN MAP ENTITLED MAP OF TH VILLAGE OF LIVINGSTON"S LANDING, LOCATED AT VILLAGE OF DOBBS FERRY - TOWN OF GREENBURGH ZONING: MDR-2 + Character Guidelines for Palsade Street VESTCHESTER COUNTY, NEW YORK. Said map is filed in the County Clerk's office, Division of Land

NOTE ON SURVEY:

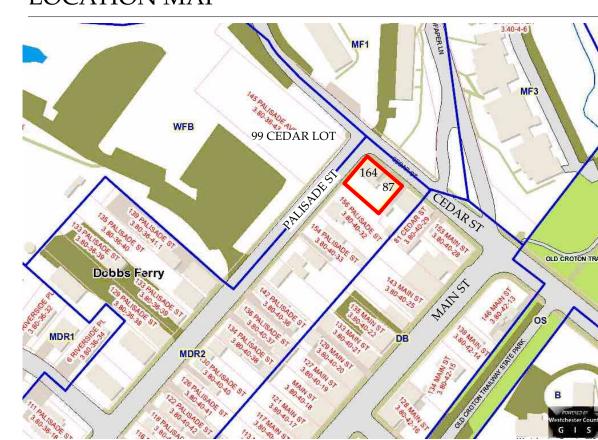
map Number 539.

Records, Westchester County, New York, on May 08, 1869 as

SITE SURVEY: by SUMMIT LAND SURVEYING PC - DATED: 8/21/2020 by SUMMIT LAND SURVEYING PC - DATED: 2/1/2023 Added Topographic info and Spot Elevations

OWNERS OF RECORD: PALISADES 164 LLC

LOCATION MAP

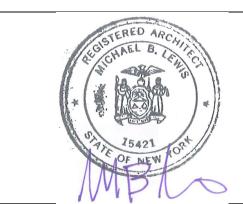


DRAWING INDEX

NO.	SHEET	ISSUE DATE	REV. DATE
	TITLE SHEET, SITE PLANS, ZONING	2/7/23	
T-000.00	Title Sheet, Plot Plan, General Notes	2/7/23	
T-000.01	Streetscape - Site Photos	2/7/23	
S-001.00	Site Plans - Existing + Proposed, Zoning	2/7/23	
S-002.00	Proposed Site Landscape + Lighting Plan	2/7/23	
	FLOOR PLANS		
A-101.00	Sub Cellar Floor Plans - Existing and Proposed	2/7/23	
A-102.00	Basement Floor Plans - Existing and Proposed	2/7/23	
A-103.00	1st Floor Plans - Existing and Proposed	2/7/23	
A-104.00	2nd Floor Plans - Existing and Proposed	2/7/23	
A-105.00	3rd Floor Plans - Existing and Proposed	2/7/23	
A-106.00	Roof Plans - Existing and Proposed	2/7/23	
	ELEVATIONS		
A-500.00	North Elevations (Cedar St) - Existing and Proposed	2/7/23	
A-501.00	West Elevations - (Palisade St) Existing and Proposed	2/7/23	
A-502.00	South Elevations - Existing and Proposed	2/7/23	
A-503.00	East Elevations - Existing and Proposed	2/7/23	
A-504.00	AHRB Materials, Cedar + Palisade St Elevations	2/7/23	
	STORMWATER		
SW-1	Stormwater Management Design Plans	1/23/23	
	by: Community Designs Engineering D.P.C.		

NO. REVISIONS

2022 Michael Lewis Architects P.C.



	/V-1F-1C	
NO.	ISSUE	DATE
1A	INITIAL PERMIT FILING	9/22/22
1B	INITIAL PERMIT FILING - REVISED	11/3/22
1C	INITIAL PERMIT FILING - REVISED	11/10/22
2A	ZONING BOARD OF APPEALS	12/6/22
2B	ZBA PRESENTATION - APPROVED	1/10/23
3A	PB-AHRB PRE-SUBMISSION	2/7/23

APPLICATION # A 2022 - 0449

Michael Lewis Architects PC 145 Palisade St. Suite #307 Dobbs Ferry, NY 10522 tel 914-231-7700, fax 914-231-7701

www.mlarchitect.com PROJECT:

info@mlarchitect.com

164 PALISADE STREET DOBBS FERRY, NY 10522

DRAWING TITLE: TITLE SHEET & NOTES

FILE NAME:

DRAWN BY:	PG
SCALE:	As Noted
DATE:	2/7/23
PROJECT ID:	2213A

Modifications to 164 PALISADE STREET

APPLICATION # A 2022 - 0449

164 Palisade Street - 87 Cedar Street DOBBS FERRY, NY 10522

STREETSCAPE PHOTOS - CEDAR STREET











164 PALISADE ST - CEDAR ST SIDE

LOOKING UP CEDAR ST - toward Main St

83 CEDAR ST

83 CEDAR ST 87 CEDAR ST 164 PALISADE ST

87 CEDAR ST

164 PALISADE ST

STREETSCAPE PHOTOS - CEDAR to PALISADE STREET





81 CEDAR ST







164 PALISADE STREET - in front of 154 Palisade St

LOOKING UP CEDAR at 164 PALISADE ST

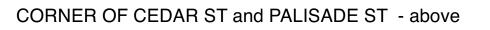
CORNER OF CEDAR ST and PALISADE ST

164 PALISADE STREET - FRONT

164 PALISADE STREET - in front of 156 Palisade St

SITE + BUILDING PHOTOS







SIDEYARD - Looking toward Cedar St from above 156 Palisade St



CEDAR ST - Looking down Cedar St - 99 Cedar Lot below



REAR YARD - Looking down toward Palisade St



REAR YARD - Looking at 164 Palisade St and 87 Cedar St

153	NO.	REVISIO	ONS	DATE
			GSTERED ARCHITECT	
	NO	ICCLIE		DATE

NO.	ISSUE	DATE
1A	INITIAL PERMIT FILING	9/22/22
1B	INITIAL PERMIT FILING - REVISED	11/3/22
1C	INITIAL PERMIT FILING - REVISED	11/10/22
2A	ZONING BOARD OF APPEALS	12/6/22
2B	ZBA PRESENTATION	1/10/23
3A	PB-AHRB PRE-SUBMISSION	2/7/23

APPLICATION # A 2022 - 0449

Michael Lewis Architects PC

145 Palisade St. Suite #307 Dobbs Ferry, NY 10522 tel 914-231-7700, fax 914-231-7701 info@mlarchitect.com www.mlarchitect.com

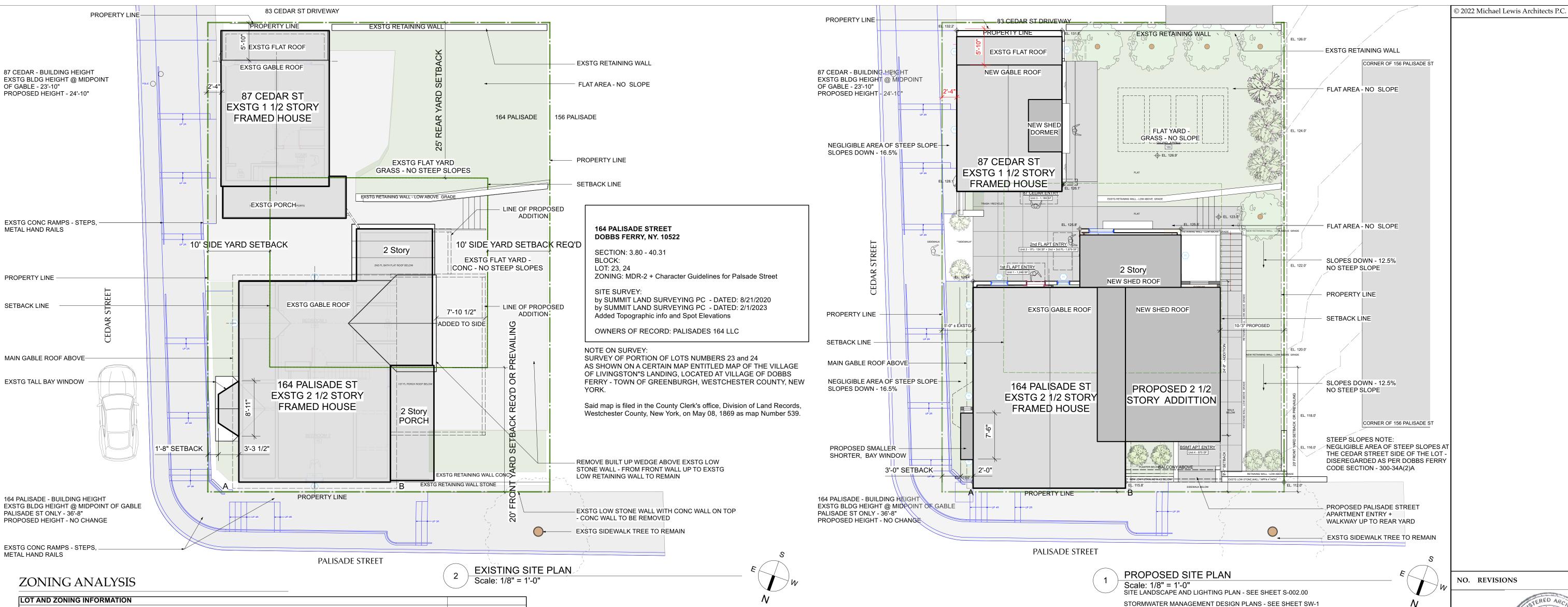
164 PALISADE STREET DOBBS FERRY, NY 10522

DRAWING TITLE:

STREETSCAPE - SITE PHOTOS

FILE NAME:		
DRAWN BY:	PG	
SCALE:	As Noted	
DATE:	2/7/23	
PROJECT ID:	2213A	

DRAWING NUMBER T-000.01



64 PALISADE STREET - 87 CEDA	AIX STREET			
DOBBS FERYY, NY 10522	DI GOL	107.00.04		
SECTION - 3.80-40-31	BLOCK -	LOT - 23 + 24		
ZONING DISTRICT: MRD-2 (Mixe	ed Density Residential - 2)			
GENERAL LOT DIMENSIONS				
SEIVE IVICE EST DIMENSIONS	REQUIRED/ALLOWED	EXISTING	PROPOSED	COMPLIANT
LOT AREA	5,000 SF MIN	4,150 SF	NO CHANGE	NO
LOT WIDTH	50'0"	55'0"	NO CHANGE	YES
LOT DEPTH	100'0"	75'4"	NO CHANGE	NO
YARD SETBACKS (PRINCIPAL STRUCTU	IDE 21/2 Stary framed house)			
ARD SET BACKS (PRINCIPAL STRUCTO	REQUIRED/ALLOWED	EXISTING	PROPOSED	COMPLIANT
RONT	20'0" (Or Prevailing - 6'-6" ±)	1'5"	1'5"	NO
REAR	25'0"	33'5"	33'5"	YES
SIDE ONE (NORTH)	10'0"	5'2"	5'2"	NO
SIDE TWO (SOUTH)	10'0"	19'3"	-	YES
TOTAL OF TWO SIDES	20'0"	24'5"	-	NO
				-
BUILDING HEIGHT	REQUIRED/ALLOWED	EXISTING	PROPOSED	COMPLIANT
MAIN HOUSE 164 Palisade St				
STORIES (above grade plane)	3 - (3rd fl must be setback 5' at front)	2 1/2	NO CHANGE	YES
FEET (above grade plane) to roof midpoin		36'8"	NO CHANGE	YES
		30'1"	NO CHANGE	YES
EAVE	NA	30 I	INO OFFININGE	163
'GARAGE" - 87 Cedar St				
STORIES (above grade plane)	(3rd fl must be setback 5' at front)	1 1/2	NO CHANGE	YES
FEET (above grade plane) to roof midpoin	t 42'0"	23'10"	24'10"	YES
EAVE	NA	21'4"	NO CHANGE	YES
LOT COVERAGE	,			
LOT GOVERNAL	REQUIRED/ALLOWED	EXISTING	PROPOSED	COMPLIANT
_OT AREA	5,000 SF MIN	4,150 SF	NO CHANGE	NO
BUILDING COVERAGE (164+87)	MAX 40 % of 4,150 = 1,660 SF	1,628 SF (39%)	1,738 SF (41.8%)	NO
COVERAGE, IMPERVIOUS SURFACES		1,628 SF + 1,519 SF = 3,147 SF (76%)	1,738 SF + 657 SF = 2,395 SF (58%)	YES
(Buildings + Impervious Hardscapes)	2,100 01 (0070)	See Note 1 - re: Steep Slopes	1,700 01 - 007 01 - 2,000 01 (0070)	120
	DECLUDED (ALL OWED	EXISTING	PROPOSED	COMPLIANT
OCCUPANCY AND USE	REQUIRED/ALLOWED			
OCCUPANCY AND USE CURRENT USE	REQUIRED/ALLOWED MULTIPLE FAMILY		NO CHANGE	
CURRENT USE	MULTIPLE FAMILY	MULTIPLE FAMILY	NO CHANGE	NO CHANGE
CURRENT USE Existing - Current Property is 3 Family with	MULTIPLE FAMILY 1 2 units in 164 Plalisade St and 1 unit i	MULTIPLE FAMILY	NO CHANGE	
CURRENT USE Existing - Current Property is 3 Family with Proposed - 4 Family with 3 units in 164 Pl	MULTIPLE FAMILY 1 2 units in 164 Plalisade St and 1 unit i	MULTIPLE FAMILY n 87 Cedar St		NO CHANGE
CURRENT USE Existing - Current Property is 3 Family with Proposed - 4 Family with 3 units in 164 Pl MAIN HOUSE 164 Palisade St	MULTIPLE FAMILY 1 2 units in 164 Plalisade St and 1 unit i	MULTIPLE FAMILY n 87 Cedar St 2 D.U.'s + former Garage- See Note 2	3 D.U.s	
CURRENT USE Existing - Current Property is 3 Family with Proposed - 4 Family with 3 units in 164 PI MAIN HOUSE 164 Palisade St CELLAR FLOOR AREA	MULTIPLE FAMILY of 2 units in 164 Plalisade St and 1 unit is aisade St and 1 unit in 87 Cedar St	MULTIPLE FAMILY n 87 Cedar St 2 D.U.'s + former Garage- See Note 2 560 SF	3 D.U.s 560 SF	NO CHANGE
CURRENT USE Existing - Current Property is 3 Family with Proposed - 4 Family with 3 units in 164 Pl MAIN HOUSE 164 Palisade St CELLAR FLOOR AREA BASMENT FLOOR AREA	MULTIPLE FAMILY n 2 units in 164 Plalisade St and 1 unit i aisade St and 1 unit in 87 Cedar St Former Garage - Proposed UNIT 4	MULTIPLE FAMILY n 87 Cedar St 2 D.U.'s + former Garage- See Note 2 560 SF 977 SF	3 D.U.s 560 SF 1,170 SF	NO CHANGE
CURRENT USE Existing - Current Property is 3 Family with Proposed - 4 Family with 3 units in 164 Pl MAIN HOUSE 164 Palisade St CELLAR FLOOR AREA BASMENT FLOOR AREA 1ST FLOOR AREA	MULTIPLE FAMILY of 2 units in 164 Plalisade St and 1 unit is aisade St and 1 unit in 87 Cedar St Former Garage - Proposed UNIT 4 UNIT 1	MULTIPLE FAMILY n 87 Cedar St 2 D.U.'s + former Garage- See Note 2 560 SF 977 SF 1,109 SF	3 D.U.s 560 SF 1,170 SF 1,307 SF	NO CHANGE
CURRENT USE Existing - Current Property is 3 Family with Proposed - 4 Family with 3 units in 164 Pl MAIN HOUSE 164 Palisade St CELLAR FLOOR AREA BASMENT FLOOR AREA 1ST FLOOR AREA 2ND FLOOR AREA	MULTIPLE FAMILY n 2 units in 164 Plalisade St and 1 unit i aisade St and 1 unit in 87 Cedar St Former Garage - Proposed UNIT 4 UNIT 1 UNIT 2	MULTIPLE FAMILY n 87 Cedar St 2 D.U.'s + former Garage- See Note 2 560 SF 977 SF 1,109 SF 995 SF	3 D.U.s 560 SF 1,170 SF 1,307 SF 1,307 SF	NO CHANGE
CURRENT USE Existing - Current Property is 3 Family with Proposed - 4 Family with 3 units in 164 Pl MAIN HOUSE 164 Palisade St CELLAR FLOOR AREA BASMENT FLOOR AREA IST FLOOR AREA 2ND FLOOR AREA ATTIC FLOOR AREA	MULTIPLE FAMILY of 2 units in 164 Plalisade St and 1 unit is aisade St and 1 unit in 87 Cedar St Former Garage - Proposed UNIT 4 UNIT 1	MULTIPLE FAMILY n 87 Cedar St 2 D.U.'s + former Garage- See Note 2 560 SF 977 SF 1,109 SF 995 SF 515 SF	3 D.U.s 560 SF 1,170 SF 1,307 SF 1,307 SF 609 SF	NO CHANGE
CURRENT USE Existing - Current Property is 3 Family with Proposed - 4 Family with 3 units in 164 Pl MAIN HOUSE 164 Palisade St CELLAR FLOOR AREA BASMENT FLOOR AREA IST FLOOR AREA 2ND FLOOR AREA ATTIC FLOOR AREA	MULTIPLE FAMILY n 2 units in 164 Plalisade St and 1 unit i aisade St and 1 unit in 87 Cedar St Former Garage - Proposed UNIT 4 UNIT 1 UNIT 2	MULTIPLE FAMILY n 87 Cedar St 2 D.U.'s + former Garage- See Note 2 560 SF 977 SF 1,109 SF 995 SF	3 D.U.s 560 SF 1,170 SF 1,307 SF 1,307 SF	NO CHANGE
CURRENT USE Existing - Current Property is 3 Family with Proposed - 4 Family with 3 units in 164 Pl MAIN HOUSE 164 Palisade St CELLAR FLOOR AREA BASMENT FLOOR AREA 1ST FLOOR AREA 2ND FLOOR AREA ATTIC FLOOR AREA MAIN HOUSE TOTAL	MULTIPLE FAMILY n 2 units in 164 Plalisade St and 1 unit i aisade St and 1 unit in 87 Cedar St Former Garage - Proposed UNIT 4 UNIT 1 UNIT 2	MULTIPLE FAMILY n 87 Cedar St 2 D.U.'s + former Garage- See Note 2 560 SF 977 SF 1,109 SF 995 SF 515 SF	3 D.U.s 560 SF 1,170 SF 1,307 SF 1,307 SF 609 SF	NO CHANGE
CURRENT USE Existing - Current Property is 3 Family with Proposed - 4 Family with 3 units in 164 Pl MAIN HOUSE 164 Palisade St CELLAR FLOOR AREA BASMENT FLOOR AREA 1ST FLOOR AREA 2ND FLOOR AREA ATTIC FLOOR AREA MAIN HOUSE TOTAL 'GARAGE" - 87 Cedar St	MULTIPLE FAMILY n 2 units in 164 Plalisade St and 1 unit is aisade St and 1 unit in 87 Cedar St Former Garage - Proposed UNIT 4 UNIT 1 UNIT 2 UNIT 2	MULTIPLE FAMILY n 87 Cedar St 2 D.U.'s + former Garage- See Note 2 560 SF 977 SF 1,109 SF 995 SF 515 SF 4,156 SF	3 D.U.s 560 SF 1,170 SF 1,307 SF 1,307 SF 609 SF 4,953 SF	NO CHANGE
CURRENT USE Existing - Current Property is 3 Family with Proposed - 4 Family with 3 units in 164 Pl MAIN HOUSE 164 Palisade St CELLAR FLOOR AREA BASMENT FLOOR AREA 1ST FLOOR AREA 2ND FLOOR AREA ATTIC FLOOR AREA MAIN HOUSE TOTAL 'GARAGE" - 87 Cedar St BASEMENT FLOOR AREA	MULTIPLE FAMILY n 2 units in 164 Plalisade St and 1 unit is aisade St and 1 unit in 87 Cedar St Former Garage - Proposed UNIT 4 UNIT 1 UNIT 2 UNIT 2 UNIT 3	MULTIPLE FAMILY n 87 Cedar St 2 D.U.'s + former Garage- See Note 2 560 SF 977 SF 1,109 SF 995 SF 515 SF 4,156 SF 1 D.U. 421 SF	3 D.U.s 560 SF 1,170 SF 1,307 SF 1,307 SF 609 SF 4,953 SF	NO CHANGE
CURRENT USE Existing - Current Property is 3 Family with Proposed - 4 Family with 3 units in 164 Pl MAIN HOUSE 164 Palisade St CELLAR FLOOR AREA BASMENT FLOOR AREA 1ST FLOOR AREA ATTIC FLOOR AREA MAIN HOUSE TOTAL 'GARAGE" - 87 Cedar St BASEMENT FLOOR AREA 1ST FLOOR AREA	MULTIPLE FAMILY 1 2 units in 164 Plalisade St and 1 unit is aisade St and 1 unit in 87 Cedar St Former Garage - Proposed UNIT 4 UNIT 1 UNIT 2 UNIT 2 UNIT 2 UNIT 3 UNIT 3	MULTIPLE FAMILY n 87 Cedar St 2 D.U.'s + former Garage- See Note 2 560 SF 977 SF 1,109 SF 995 SF 515 SF 4,156 SF 1 D.U. 421 SF 421 SF	3 D.U.s 560 SF 1,170 SF 1,307 SF 1,307 SF 609 SF 4,953 SF 1 D.U. NO CHANGE NO CHANGE	NO CHANGE
CURRENT USE Existing - Current Property is 3 Family with Proposed - 4 Family with 3 units in 164 Pl MAIN HOUSE 164 Palisade St CELLAR FLOOR AREA BASMENT FLOOR AREA 1ST FLOOR AREA ATTIC FLOOR AREA MAIN HOUSE TOTAL 'GARAGE" - 87 Cedar St BASEMENT FLOOR AREA 1ST FLOOR AREA 2ND FLOOR AREA MAIN HOUSE TOTAL	MULTIPLE FAMILY n 2 units in 164 Plalisade St and 1 unit is aisade St and 1 unit in 87 Cedar St Former Garage - Proposed UNIT 4 UNIT 1 UNIT 2 UNIT 2 UNIT 3	MULTIPLE FAMILY n 87 Cedar St 2 D.U.'s + former Garage- See Note 2 560 SF 977 SF 1,109 SF 995 SF 515 SF 4,156 SF 1 D.U. 421 SF	3 D.U.s 560 SF 1,170 SF 1,307 SF 1,307 SF 609 SF 4,953 SF	NO CHANGE
CURRENT USE Existing - Current Property is 3 Family with Proposed - 4 Family with 3 units in 164 Pl MAIN HOUSE 164 Palisade St CELLAR FLOOR AREA BASMENT FLOOR AREA 1ST FLOOR AREA 2ND FLOOR AREA ATTIC FLOOR AREA MAIN HOUSE TOTAL "GARAGE" - 87 Cedar St BASEMENT FLOOR AREA 1ST FLOOR AREA 2ND FLOOR AREA (1 1/2 FL) GARAGE TOTAL	MULTIPLE FAMILY n 2 units in 164 Plalisade St and 1 unit i aisade St and 1 unit in 87 Cedar St Former Garage - Proposed UNIT 4 UNIT 1 UNIT 2 UNIT 2 UNIT 3 UNIT 3 UNIT 3	MULTIPLE FAMILY n 87 Cedar St 2 D.U.'s + former Garage- See Note 2 560 SF 977 SF 1,109 SF 995 SF 515 SF 4,156 SF 1 D.U. 421 SF 421 SF 421 SF 338 SF 1,180 SF	3 D.U.s 560 SF 1,170 SF 1,307 SF 1,307 SF 609 SF 4,953 SF 1 D.U. NO CHANGE NO CHANGE NO CHANGE 1,180 SF - NO CHANGE	NO CHANGE
CURRENT USE Existing - Current Property is 3 Family with Proposed - 4 Family with 3 units in 164 Pl MAIN HOUSE 164 Palisade St CELLAR FLOOR AREA BASMENT FLOOR AREA 1ST FLOOR AREA 2ND FLOOR AREA MAIN HOUSE TOTAL "GARAGE" - 87 Cedar St BASEMENT FLOOR AREA 1ST FLOOR AREA MAIN HOUSE TOTAL "GARAGE" - 87 Cedar St BASEMENT FLOOR AREA 1ST FLOOR AREA 2ND FLOOR AREA 1ST FLOOR AREA CONTROL OF THE PROPERTY	MULTIPLE FAMILY n 2 units in 164 Plalisade St and 1 unit i aisade St and 1 unit in 87 Cedar St Former Garage - Proposed UNIT 4 UNIT 1 UNIT 2 UNIT 2 UNIT 3 UNIT 3 UNIT 3	MULTIPLE FAMILY n 87 Cedar St 2 D.U.'s + former Garage- See Note 2 560 SF 977 SF 1,109 SF 995 SF 515 SF 4,156 SF 1 D.U. 421 SF 421 SF 338 SF	3 D.U.s 560 SF 1,170 SF 1,307 SF 1,307 SF 609 SF 4,953 SF 1 D.U. NO CHANGE NO CHANGE NO CHANGE	NO CHANGE

2 - Former Garage at Palisade St - Basement - and 87 Cedar St driveway - both blocked off (unusable) after the town put sidewalk ramps, steps and railings in front of them

PARKING ANALYSIS

DOBBS FERRY MULTI-FAMILY PARKING REQUIREMENTS		EXISTING	PROPOSED	SPOTS
DWELLING UNIT 1 - 164 Palisade	1 PARKING SPOT	1.5 SPOTS REQ'D	1.5 SPOTS REQ'D	0
1 + .25 Parking Spots for Each Bedroom (2) = 1.5 SPOTS	.50 PARKING SPOT			
DWELLING UNIT 2 - 164 Palisade	1 PARKING SPOT	1.5 SPOTS REQ'D	1.5 SPOTS REQ'D	0
1 + .25 Parking Spots for Each Bedroom (2) = 1.5 SPOTS	.50 PARKING SPOT			
DWELLING UNIT 3 - 87 Cedar	1 PARKING SPOT	1.5 SPOTS REQ'D	1.5 SPOTS REQ'D	0
1 + .25 Parking Spots for Each Bedroom (2) = 1.5 SPOTS	.50 PARKING SPOT			
FOR PROPOSED DWELLING UNIT 4 - 164 Palisade	1 PARKING SPOT	UNIT DOES NOT EXIST	1.25 SPOTS REQ'D	0
1 + .25 Parking Spots for Each Bedroom (1) = 1.25 SPOTS	.25 PARKING SPOT			
TOTALS		4.5 SPOTS - See Note 1	5.75 SPOTS - See Note 1	0
NOTES				

1 - Due to existing physical limitations of the site and town sidewalk ramps and railings, it is not possible to create any parking - we are across the street from the 99 Cedar St Parking Lot

NOTES:

SITE PLAN NOTES:

1. SURVEY INFORMATION TAKEN FROM SURVEY DATED 8/29/201, BY SUMMIT LAND SURVEYING.

2. THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO

MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.

VILLAGE NOTES: 1. ALL WORK TO CONFORM TO THE SATISFACTION OF THE BUILDING INSPECTOR

2. PROVIDE RETAINING WALLS ON ALL SLOPES EXCEEDING (1) FOOT VERTICAL ON (1 1/2) FEET HORIZONTAL.

3. THE BUILDER SHALL FURNISH 6" PERFORATED CMP ENCASED IN STONE WHEREVER DIRECTED BY THE BUILDING INSPECTOR. 4. SWALES TO BE INSTALLED AS DIRECTED BY THE BUILDING INSPECTOR.

5. ALL GRADING TO BE PERFORMED TO CREATE POSITIVE DRAINAGE.

6. ALL DRIVEWAYS SLOPING DOWN TO GARAGES SHALL HAVE A DRAIN INLET WITH A PIPE EXTENDING BEYOND THE REAR OF THE HOUSE TO

7. ALL DRIVEWAYS SLOPING DOWN SHALL RISE 6" THE FIRST 5' AND THEN SLOPE DOWN.

8. "AS-BUILT" DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO OBTAING CERTIFICATE OF OCCUPANCY.

9. OWNER OR CONTRACTOR SHALL NOTIFY BUILDING INSPECTOR PRIOR TO CHANGES OR MODIFICATIONS TO THE APPROVED PLANS. 10. ROCK REMOVAL BY BLASTING SHALL BE IN ACCORDANCE WITH CHAPTER 125 OF THE VILLAGE CODE.

11. FILL MATERIAL IMPORTED TO THE SITE SHALL BE CERTIFIED IN WRITING BY A NY LICENSED PROFESSIONAL ENGINEER AS CLEAN,

NON-CONTAMINATED FILL SUITABLE FOR THE INTENDED USE. 12. BEFORE THE SITE PLAN IS SIGNED BY THE CHAIRMAN OF THE PLANNING BOARD, THE APPLICANT SHALL BE REQUIRED TO POST A PERFORMANCE BOND OR OTHER TYPE OF ACCEPTABLE MONETARY WARRANTY WHICH SHALL BE IN AN AMOUNT DETERMINED BY THE PLANNING BOARD AND VILLAGE ENGINEER AND IN A FORM SATISFACTORY TO THE VILLAGE ATTORNEY.

NOTES:

CONSTRUCTION SEQUENCE:

1. INSTALL SILT FENCE & OTHER PROTECTIVE MEASURES AS REQUIRED AT LIMITS OF CONSTRUCTION.

2. AREAS OF PROPOSED STORMWATER MANAGEMENT SYSTEM SHALL BE PROTECTED FROM OVER-COMPACTION DURING CONSTRUCTION. AREAS SHALL BE FENCED OFF DURING CONSTRUCTION OR THE AREA SHOULD BE DE-COMPACTED PRIOR TO

INSTALLATION OF THE INFILTRATION UNITS.

3. EXCAVATE FOR FOOTINGS AND SWRS, PREPARE GRADE FOR SLAB.

4. INSTALL SWRS, REINFORCING & FORMWORK FOR FOOTINGS.

5. INSTALL C.I.P. CONCRETE FOOTINGS.

6. CONSTRUCT PROPOSED PORTE-COCHERE, GARAGE, AND BUILDING ADDITIONS. 7. COMPLETE ALL FINISHES, DOORS, WINDOWS, FIXTURES, HARDWARE & EQMT.

8. PROPOSED GUTTER LEADERS SHALL BE CONNECTED TO SWRS.

NOTE: THE SYSTEM MUST NOT BE CONNECTED UNTIL CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.

1. CONTRACTOR TO VERIFY LOCATION OF PUBLIC UTILITIES AND PROVIDE PROTECTION IF /AS REQ'D. 2. CONTRACTOR TO COORDINATE SHUT OFF AND/OR DISCONNECTION OF UTILITIES IF / AS REQUIRED.

3. NO EXTG UTILITIES TO BE IMPACTED. NO EXTG UTILITIES RUN THROUGH AREA OF NEW WORK.

4. A CODE 53 WILL BE CALLED IN PRIOR TO CONSTRUCTION FOR SURVEY OF EXTG UNDERGROUND UTILITIES.

LANDSCAPING NOTES

1. ALL LANDSCAPING OUTSIDE OF WORK AREA IS EXISTING TO REMAIN. ALL PLANTINGS INDICATED ON SITE PLAN ARE EXISTING TO Dobbs Ferry, NY 10522 REMAIN UNLESS NOTED.

2. REMOVE TOPSOIL AT DISTURBED WORK AREA AND STORE ON SITE. REPLACE REFURBISH TOPSOIL AT COMPLETION AND RE-SOD www.mlarchitect.com

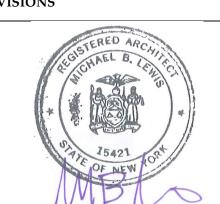
LAWN AS NEEDED. 3. NO TREES ARE PROPOSED TO BE REMOVED UNDER THIS APPLICATION EXCEPT AS INDICATED. EXCAVATE BY HAND WHERE REQUIRED TO PROTECT ROOT SYSTEMS OF EXISTING TREES.

4. UNLESS OTHERWISE DIRECTED, REMOVE EXISTING PLANTINGS AND SHRUBS BY HAND AND PROPERLY STORE ON SITE FOR REPLANTING UNDER SEPARATE APPLICATION

GENERAL SITE PLAN NOTE:

1. PREPARATION OF STORMWATER MANAGEMENT PLAN, EROSION CONTROL, LOCATION OF CONSTRUCTION LIMITS, SILT FENCE, SOIL STOCKILE, ANTI-TRACKING PAD, AND OTHER SITE PROTECTION DETAILS CURRENTLY UNDERWAY BY HUDSON ENGINEERING & CONSULTING PC. TO BE SUBMITTED AS PART OF PUBLIC HEARING PLANNING BOARD DRAWING SET AND SUBMITTAL. 2. ALL EXISTING TREES AND LANDSCAPING TO REMAIN UNLESS OTHERWISE NOTED

NO. REVISIONS



NO.	ISSUE	DATE
1A	INITIAL PERMIT FILING	9/22/22
1B	INITIAL PERMIT FILING - REVISED	11/3/22
1C	INITIAL PERMIT FILING - REVISED	11/10/22
2A	ZONING BOARD OF APPEALS	12/6/22
2B	ZBA PRESENTATION	1/10/23
3A	PB-AHRB PRE-SUBMISSION	2/7/23

APPLICATION # A 2022 - 0449

Michael Lewis Architects PC

145 Palisade St. Suite #307 tel 914-231-7700, fax 914-231-7701 info@mlarchitect.com

PROJECT:

164 PALISADE STREET DOBBS FERRY, NY 10522

DRAWING TITLE:

SITE PLANS - ZONING

FILE NAME:

DRAWN BY:	PG
SCALE:	1/8" = 1'-0"
DATE:	2/7/23
PROJECT ID:	2213 Δ

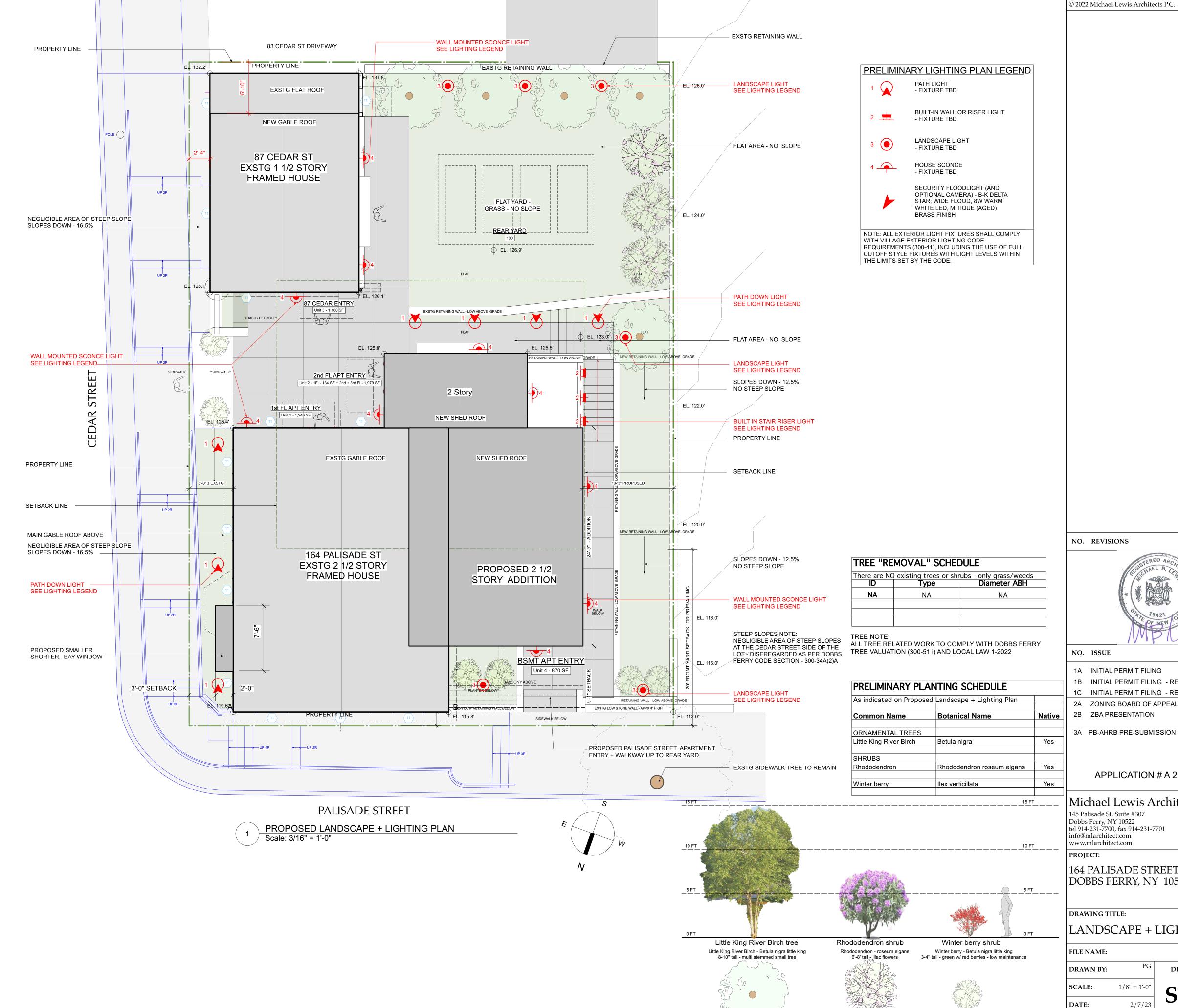












NO. REVISIONS



NO. ISSUE DATE 1A INITIAL PERMIT FILING 9/22/22 1B INITIAL PERMIT FILING - REVISED 11/3/22 1C INITIAL PERMIT FILING - REVISED 11/10/22 2A ZONING BOARD OF APPEALS 12/6/22 1/10/23 2B ZBA PRESENTATION 3A PB-AHRB PRE-SUBMISSION 2/7/23

APPLICATION # A 2022 - 0449

Michael Lewis Architects PC 145 Palisade St. Suite #307

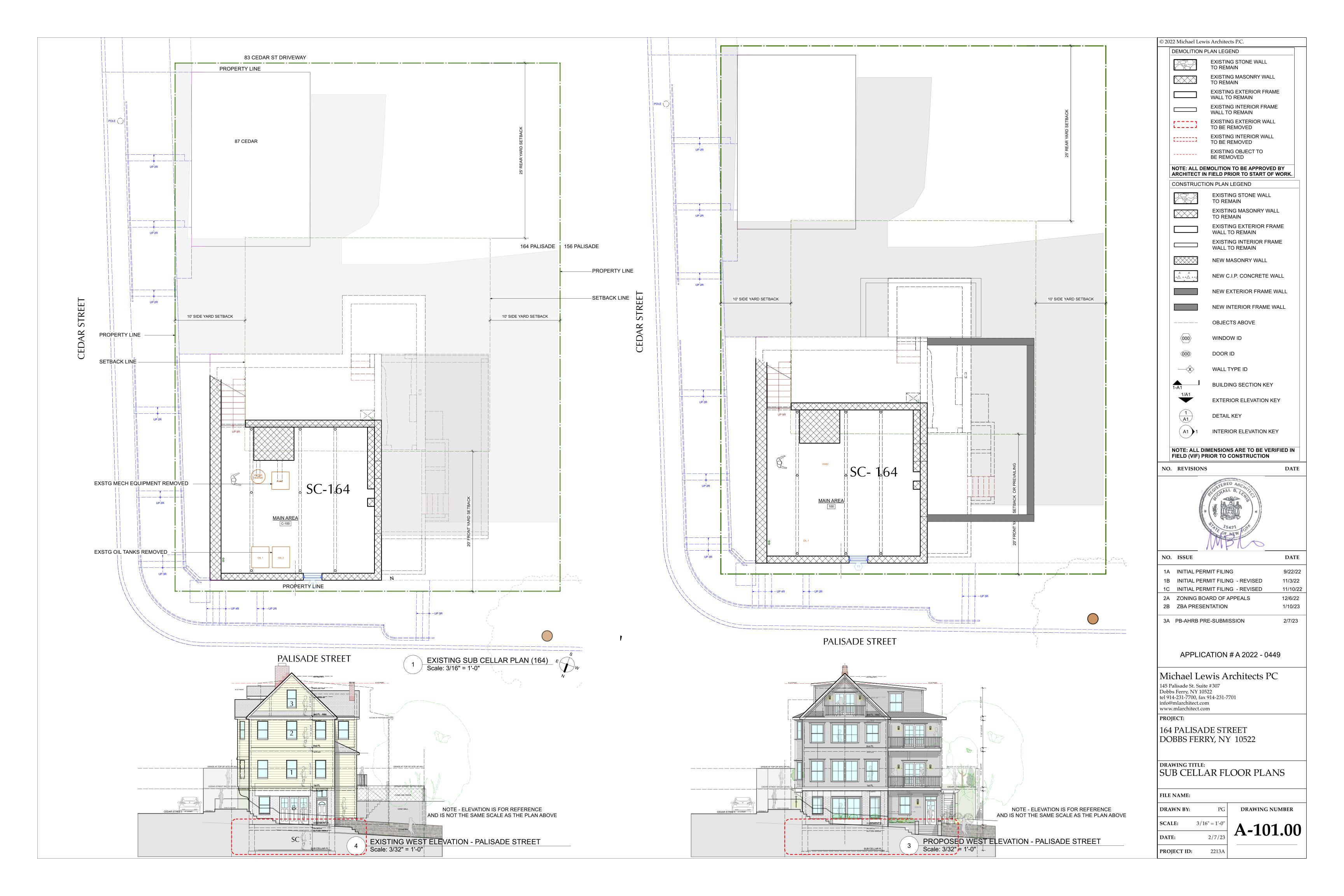
Dobbs Ferry, NY 10522 tel 914-231-7700, fax 914-231-7701 info@mlarchitect.com www.mlarchitect.com

PROJECT: 164 PALISADE STREET DOBBS FERRY, NY 10522

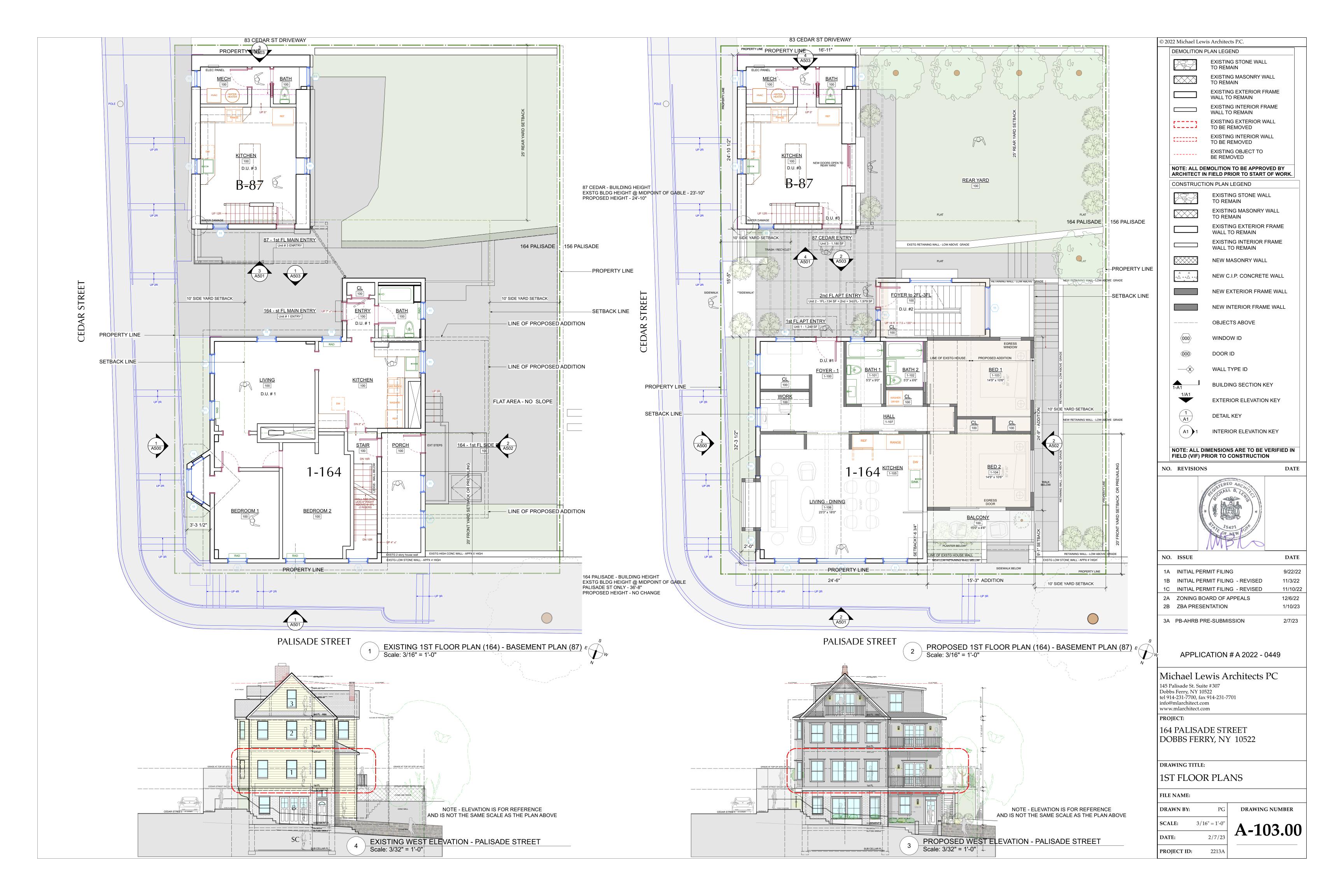
DRAWING TITLE:

LANDSCAPE + LIGHTING PLAN

FILE NAME: DRAWN BY: **SCALE:** 1/8'' = 1'-0'2/7/23 DATE: 2213A PROJECT ID:

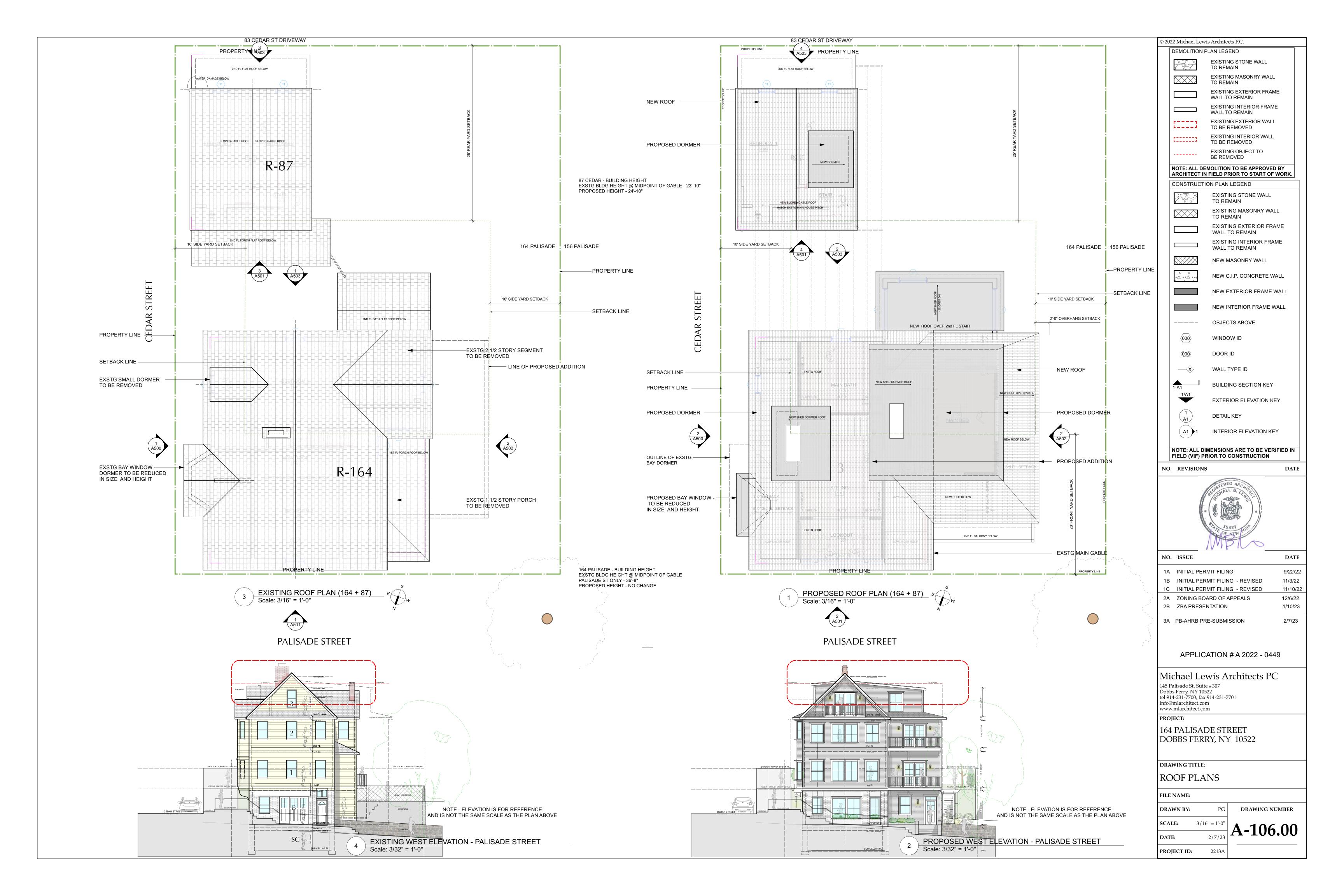






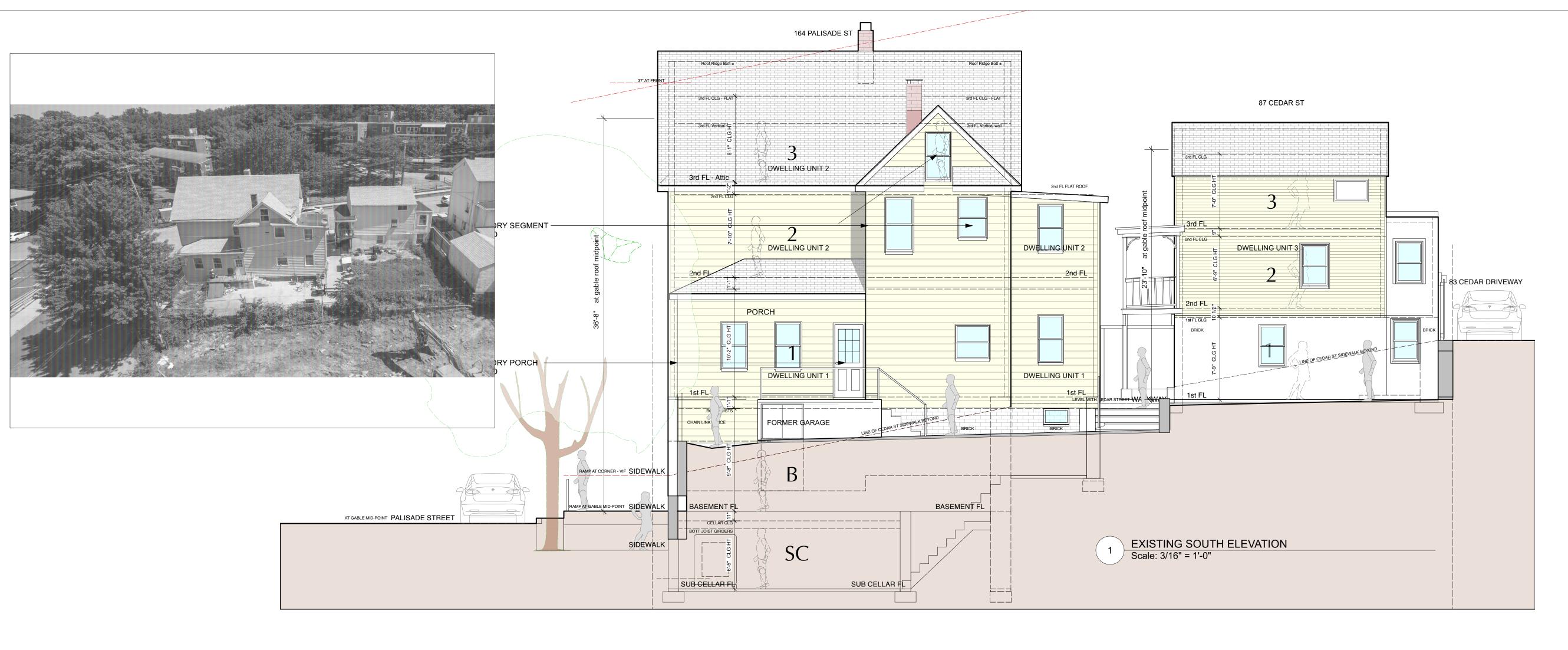


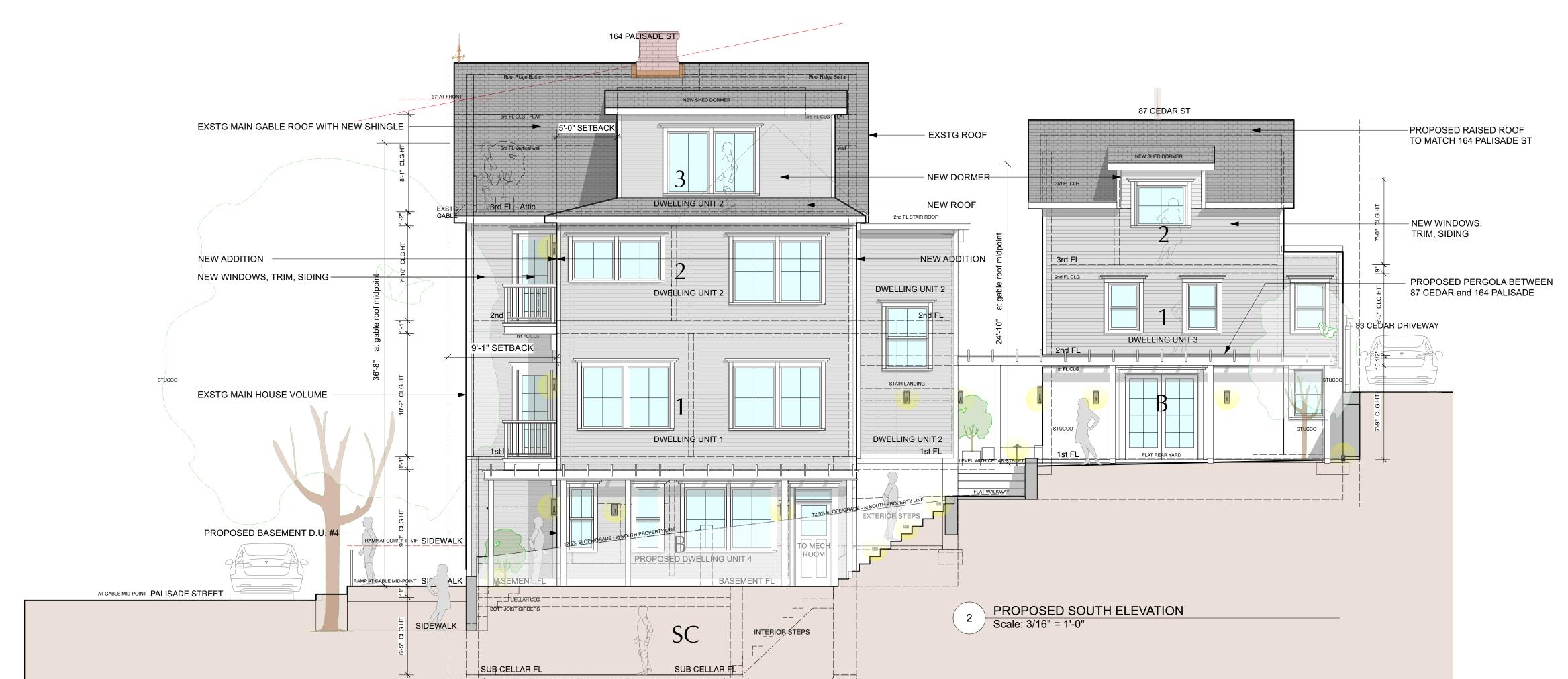


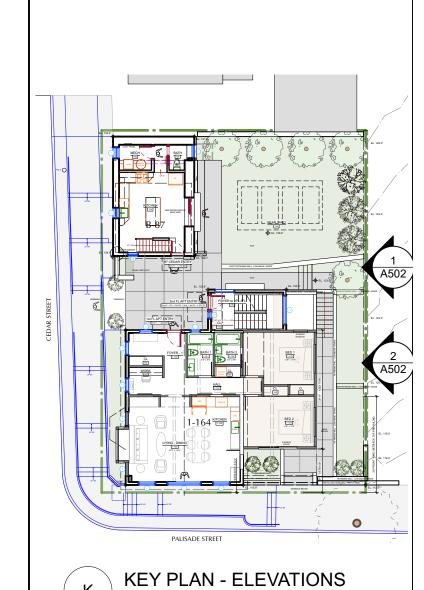












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Scale: Not to Scale

LEGSTERED ARCHITECT	DATE
OF NEW CORM	

NO.	ISSUE	DATE
1A	INITIAL PERMIT FILING	9/22/22
1B	INITIAL PERMIT FILING - REVISED	11/3/22
1C	INITIAL PERMIT FILING - REVISED	11/10/22
2A	ZONING BOARD OF APPEALS	12/6/22
2B	ZBA PRESENTATION	1/10/23
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APPLICATION # A 2022 - 0449

Michael Lewis Architects PC

145 Palisade St. Suite #307 Dobbs Ferry, NY 10522 tel 914-231-7700, fax 914-231-7701 info@mlarchitect.com www.mlarchitect.com

PROJECT:

164 PALISADE STREET DOBBS FERRY, NY 10522

DRAWING TITLE:

SOUTH ELEVATIONS

2213A

FILE NAM	Е:
DRAWN B	Y:
SCALE:	3/16
DATE:	

PROJECT ID:

A-502.0









FIELDSTONE

PALISADE ST RETAINING WALL



BRICK AT BUILDINGS BASE BRICK IS PAINTED WHITE





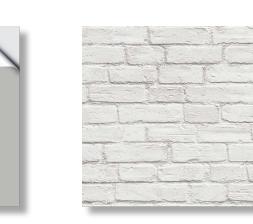
STUCCO - 87 CEDAR ST SIDE-REAR STUCCO WAS OFF WHITE - NOW STAINED



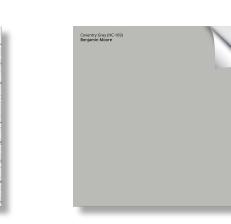




PROPOSED RETAINING WALL BENJAMIN MOORE HISTORICAL COLORS COLOR - HC-169 COVENTRY GRAY



BRICK AT BUILDING BASE CMU BLOCK AND STUCCO - PRE-CAST CONC CAP BRICK RE-POINTED AND WHITEWASHED



STUCCO - 87 CEDAR ST BENJAMIN MOORE HISTORICAL COLORS COLOR - HC-169 COVENTRY GRAY



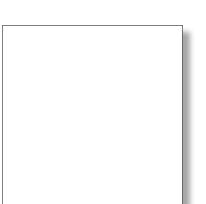
ROOF SHINGLE BY GAF - TIMBERLINE HDZ COLOR - CHARCOAL (Darker color to match future solar panels/shingles)



SIDING HARDIE - FIBER CEMENT SIDING LAP SIDING - SMOOTH - COLOR - PEARL GRAY



WINDOW - EXTERIOR FRAME MARVIN - ELEVATE SERIES



AZEK TRIM - - WHITE WINDOW SURROUNDS, CORNER BOARDS, ETC COLOR - PEBBLE GRAY



TRELLIS' WOOD - WESTERN RED CEDAR COLOR NEW and WEATHERED



APPLICATION # A 2022 - 0449

1/10/23

2/7/23



164 PALISADE STREET DOBBS FERRY, NY 10522

2B ZBA PRESENTATION

3A PB-AHRB PRE-SUBMISSION

DRAWING	TITLE

MATERIALS + STREETSCAPES

FILE NAME:		
DRAWN BY:	PG	DRAWING NUMBER
SCALE:	As Noted	A-504.00
DATE:	2/7/23	A-304.00
PROJECT ID:	2213A	

81 CEDAR ST 83 CEDAR ST 99 CEDAR ST PARKING LOT PARKING LOT 164 PALISADE ST 164 PALISADE ST	156 PALISADE ST	154
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STREETSCAPE - CEDAR STREET

STREETSCAPE - PALISADE STREET

GENERAL NOTES

CONTRACTOR SHALL VISIT SITE AND SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS, CONDITIONS, WHICH PERTAIN TO THE FABRICATION PROCESSES, OR TO TECHNIQUES FOR CONSTRUCTION AND COORDINATION OF THE WORK OF ALL TRADES, PRIOR TO START OF CONSTRUCTION.

ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF ARCHITECT/ENGINEER BEFORE PROCEEDING. THE ELEVATIONS AND AVAILABILITY OF UTILITITIES, SEWER, WATER HAVING RECEIVED NYSDEC 4-HOUR EROSION AND SEDIMENT AND ELECTRIC LINES SHALL BE VERIFIED BY OR DETERMINED BY INTERESTED CONTRACTORS PRIOR TO SUBMISSION OF BID.

CONTRACTORS SHALL ADJUST PITCH OF NEW LINES TO INSURE PROPER AND LEGAL INTERSECTIONS. CONTRACTOR SHALL COORDINATE LOCATIONS FOR STRUCTURAL, MECHANICAL AND ELECTRICAL WORK FOR ALL PITS, SLAB DEPRESSIONS, SLEEVES IN FOUNDATION WALLS, SLABS, AND ROOF OPENINGS, ETC.

CONTRACTOR SHALL VERIFY CONDITIONS OF ADJOINING STRUCTURES WHICH MAY BE AFFECTED, PROVIDE ADEQUATE PROTECTION AND RESTORE TO ORIGINAL CONDITIONS, WHENCE DAMAGE SHOULD RESULT FROM SUCH WORK. THE CONTRACTOR SHALL PROVIDE AND USE. ALL NECESSARY SHORING AND BRACING FOR ALL BUILDING COMPONENTS IN ORDER TO ADEQUATELY PROTECT AGAINST ANY FAILURES.

CONTRACTOR/OWNER SHALL SECURE AND PAY FOR ANY AND ALL PERMITS, LICENCES, CERTIFICATES, FEES, ETC., REQUIRED BY THE DOBBS FERRY DEPARTMENT OF BUILDINGS OR (80% UNIFORM DENSITY OF PERMANENT VEGETATION OR ANY AND ALL JURISDICTION AUTHORITIES. CONTRACTOR SHALL OBTAIN A FINAL CERTIFICATE OF OCCUPANCY UPON COMPLETION.

ALL WORK MUST CONFORM TO THE DOBBS FERRY DEPARTMENT OF BUILDINGS, FIRE DEPARTMENT LAWS, RULES AND TO ALL REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION WHETHER SPECIFICALLY SHOWN OR NOT. [O.S.H.A. REGULATIONS MUST ALSO BE ADHERED TO]. ALL ELECTRIC WORK MUST CONFORM TO NATIONAL ELECTRIC

ANY ITEM SHOWN ON ONE SHEET SHALL BE AS IF CALLED FOR BY ALL SHEETS. FINAL COORDIANTION IS THE RESPONSIBILITY OF THE CONTRACTOR. CONTACTOR SHALL NOT SCALE DRAWINGS AND SHALL USE FIGURED DIMENSIONS ONLY. THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION OF BUILDINGS, [STANDARD FORM OF A.I.A. LATEST (OR APPROVED EQUAL.) EDITION A201], ARE PART OF THE CONTRACT DOCUMENTS.

THE ARCHITECT/ENGINEER HAS NOT BEEN RETAINED FOR SUPERVISION OR PERIODIC FIELD OBSERVATIONS AND ASSUMES NO RESPONSIBILITY FOR SAFETY METHODS ON SITE. THE OWNER AND CONTRACTOR SHALL HOLD HARMLESS THE ARCHITECT/ENGINEER FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK BY THE CONTRACTOR.

INSPECTION SCHEDULE:

TO SCHEDULE INSPECTIONS (AS-REQUIRED), THE APPLICANT SHALL CONTACT THE BUILDING DEPARTMENT AT LEAST 48 HOURS FOR REQUIRED INSPECTIONS

TYPICALLY FOR THE FOLLOWING:

- 1. START OF CONSTRUCTION 2. INSTALLATION OF EROSION AND SEDIMENT CONTROL DEVICES
- 3. INSTALLATION OF STORM WATER MANAGMENT PRACTICES. 4. COMPLETION OF SITE CLEARING
- 5. COMPLETION OF ROUGH GRADING COMPLETION OF FINAL GRADING
- 7. CLOSE OF THE CONSTRUCTION SEASON. 8. COMPLETION OF FINAL LANDSCAPING.

APPLICATION MUST BE FILED

CODE OF NYS, LOCAL BUILDING AND ZONING CODES.

VILLAGE OF DOBBS FERRY SITE PLAN NOTES:

APPLICANT FOR REVIEW/APPROVAL

ACCEPTABLE

ATTORNEY.

MEANS, METHODS TECHNIQUES, SEQUENCES AND PROCEDURES.

8. CONTRACTOR SHALL PROTECT EXISTING TREES DURING CONSTRUCTION

-AS BUILT SURVEY OF THE SITE IMPROVEMENTS AND DRAINAGE

BEFORE THE SITE PLAN IS SIGNED BY THE CHAIRMAN OF THE

IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE

MONETARY GUARANTY WHICH SHALL BE IN AN AMOUNT

DETERMINED BY THE PLANNING BOARD AND THE VILLAGE

ENGINEER AND IN A FORM SATISFACTORY TO THE VILLAGE

9. FINAL GRADING AROUND THE BUILDING SHALL SLOPE AWAY FROM THE STRUCTURE.

ENGINEER FOR REVIEW PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.

THE SATISFACTION OF THE VILLAGE ENGINEER AND DEPARTMENT OF PUBLIC WORKS.

9. ESTABLISHMENT OF LANDSCAPING IN PUBLIC AREA.

SITE WORK

-ALL EXISTING SITE CONDITIONS DAMAGED BY ANY EQUIPMENT, MACHINERY OR CONSTRUCTION, ARE TO BE REPAIRED OR REPLACED TO THEIR EXISTING CONDITIONS OR PROPOSED.

-ALL FILL MATERIAL SHALL BE SOIL, OR SOIL-ROCK MIXTURE FREE FROM ORGANIC MATTER AND OTHER OBJECTABLE MATERIAL. IT SHALL CONTAIN NO ROCK OR LUMP OVER 6" IN GREATEST DIMENSION AND NOT MORE THAN 15% OF THEROCKS OR LUMPS SHALL BE LARGER THAN 2.5" IN GREATEST DIMENSION.

-CONTRACTOR/OWNER IS RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES AND VERIFYING LOCATION OF SAME UTILITY COMPANY LINES. SERVICES AND OTHER POSSIBLE EQUIPMENT OF UTILITY COMPANY. -CONTRACTOR/OWNER SHALL VERIFY ALL INVERT ELEVATIONS AND SEWER CONDITIONS INDICATED PRIOR TO CONTRUCTION ARCHITECT/ENGINEER ASSUMES NO RESPONSIBILITY FOR INFORMATION CONTAINED IN SURVEYS OR SEWER DEPARTMENT RECORDS. -VERIFY DEPTH OF EXISTING ADJACENT STRUCTURES PRIOR TO CONSTRUCTION, IF UNDERPRINNING IS NECESSARY A SEPARATE

2. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE SUPERVICION OF THE CONSTRUCTION

7. WRITTEN DIMENSIONS ON THE DRAWINGS SHALL TAKE PROCEDENCE OVER SCALED DIMENSIONS.

OF ANY DISCREPANCIES. NO CHANGES SHALL BE MADE TO THESE PLANS EXCEPT AS PER NYS LAW CH. 987.

1 .PLANS DO NOT SHOW ALL UNDERGROUND UTILITIES, OIL TANKS OR OTHER SUBSURFACE INFORMATION. IT IS THE CONTRACTORS

3. ALL CONDITIONS, LOCATIONS, AND DIMENSIONS SHALL BE FIELD VERIFIED AND THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED

4. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL APPLICABLE CODES, INCLUDING BUT NOTLIMITED TO RESIDENTIAL

6. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLEY RESPONSIBLE FOR ALL CONSTRUCTION

CONTRACTOR IS RESPONSIBLE FOR A SAFE WORKPLACE IN ACCORDANCE WITH ALL APPLICABLE LAWS AND CODES.

-SHOULD ROCK BLASTING BE REQUIRED, A PERMIT APPLICATION IN ACCORDANCE WITH CHAPTER 125 -

AND EXPLOSIVES OF THE VILLAGE OF DOBBS FERRY CODE MUST BE SUBMITTED TO THE VILLAGE BY THE

IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.

-FILL MATERIAL IMPORTED TO THE SITE SHALL BE CERTIFIED IN WRITING BY A NEW YORK LICENSED

PROFESSIONAL ENGINEER AS CLEAN, NON-CONTAMINATED FILL SUITABLE FOR THE INTENDED USE.

-THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES

-THE RESTORATION WORK FOR THE ROADWAY WITH IN THE VILLAGE RIGHT-OF-WAY SHALL BE PERFORMED TO

PLANNING BOARD, THE APPLICANT SHALL BE REQUIRED TO POST A PERFORMANCE BOND OR OTHER TYPE OF

RESPONSIBILTY TO ARRANGE FOR A UTILITY MARK OUT PRIOR TO CONSTRUCTION CALL 800-962-7962 WWW.DIGSAFELYNEWYORK.COM

ALL INSTALLED E&SC DEVICES SHALL CONFORM WITH THE CURRENT NYSDEC NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL

CONSTRUCTION E&SC DEVICES SHALL BE INSPECTED BY THE CONTROL TRAINING AT A MINIMUM OF WEEKLY AND

TEMPORARY STABILIZATION WITHIN 14 DAYS.

ANY IMPORTED SOIL SHALL COMPLY WITH ALL

TEMPORARY SEDIMENT TRAPPING E&SC MEASURES ARE NOT TO BE REMOVED UNTIL PERMANENT STABILIZATION. PERMANENT MULCH/STONE) IS ESTABLISHED IN ALL CONTRIBUTORY DRAINAGE AREAS PER THE NOVEMBER 2016 NYS STANDARDS AND SPECIFICATION FOR EROSION AND SEDIMENT CONTROL.

NOTE: IN ORDER TO ESTABLISH TURF CONTRACTOR SHALL TEMPORARY SEEDING.(OR APPROVED EQUAL) FOR PERMANANT SEEDING CONTRACTOR SHALL UTILIZE JONATHAN GREEN KENTUCKY BLUEGRASS SEED.

SOIL RESTORATION AT THE COMPLETION OF WITH SOIL RESTORATION STANDARDS SPECIFIED IN CHAPTER 5 OF THE NYSDEC STORMWATER MANAGMENT

INFILTRATION PRACTICE SHALL BE CONSTRUCTED IN

INSTALLED SUBSURFACE STORMWATER INFRASTRUCTURE SHALL REQUIRE INSPECTIONS BY THE VILLAGE OR ITS

NOTE: PROTECTION REQUIRED

PROTECTED FROM DAMAGE DURING CONSTRUCTION, REMODELING AND DEMOLITION WORK, PROTECTION MUST BE PROVIDED FOR FOOTINGS, FOUNDATIONS, PARTY WALLS CHIMNEYS, SKYLIGHTS AND ROOFS. PROVISIONS SHALL BE MADE TO CONTROL WATER RUNOFF AND EROSION DURING CONSTRUCTION OR DEMOLITION ACTIVITES. THE PERSON MAKING OR Causing an excavation to be made shali PROVIDE WRITTEN NOTICE TO THE OWNERS OF ADJOINING BUILDINGS ADVISING THEM THAT THE EXCAVATION IS TO BE MADE AND THAT THE ADJOINING BUILDINGS SHOULD BE PROTECTED. SAID NOTIFICATION SHALL BE DELIVERED NOT LESS THAN 10 DAYS PRIOR TO THE SCHEDULED STARTING DATE OF THE EXCAVATION

TRAINED CONTRACTOR OR OTHER COMPONENT INDIVIDUAL FOLLOWING ALL RAIN EVENTS GREATER THAN 0.5 INCHES.

ALL INACTIVE DISTURBED SITE AREAS SHALL RECIEVE

FEDERAL, STATE, AND LOCAL REQIREMENTS FOR QUALITY

UTILIZE JONATHAN GREEN CONTRACTOR MIXTURE FOR

CONSTRUCTION SHALL BE IMPLEMENTED IN ACCORDANCE DESIGN MANUAL FOR THE RESTORATION OF SURFACES.

ACCORDANCE WITH THE MANUFACTURER SPECIFICATIONS.

DELEGATED CONSULTANTS PRIOR TO BACKFILL.

ADJOINING PUBLIC AND PRIVATE PROPERTY SHALL BE

CALCULATED IN NEW JONATHAN GREEN KENTUCKY BLUEGRASS SEED. STROM WATER MANAGEMENT SEEDING RATES - NEW LAWNS PROPOSED ROOF LEADER

TO BE CONNECTED TO NEW

CULTEC UNITS

—INSPECTION PORT

AREA OF ALTERED ROOF/

=164 S.F.

EXISTING/PROPOSED

2 1/2 STORY DWELLING

(164 PALISADE ST)

PALISADE STREET

DEPTH OF WATER

SITE PLAN BASED ON ARCHITECTURAL SITE

SITE PLAN DATUM BASED ON SURVEY MAP

PERCOLATION TESTS- RUN DATE: 1-28-23 (AFTERNOON)

BY SUMMIT LAND SURVEYING P.C. LAST

BY: MICHAEL LEWIS ARCHITECTS P.C.

PLAN LAST DATED 01/10/23

DATED 2/1/23

55.00

EXISTING LEADER

STORMWATER SITE PLAN

Scale: 1/8" = 1'-0"

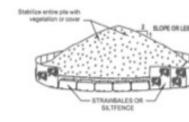
TO EXISTING STORM

EXISTING

1 1/2 STORY

DWELLING

(84 CEDAR ST)



STOCKPILING AREA SURROUNDED W/SILT FENCE

LAWN AREAS TO BE RESTORED WITH NEW TOP SOIL AND LAWN SEEDING. FOR PERMANANT SEEDING CONTRACTOR SHALL UTILIZE JONATHAN GREEN KENTUCKY BLUEGRASS SEED. (OR APPROVED EQUAL.)

DRYWELL NOTE: PROPOSED CULTEC RECHARGER 330 XLHD GRAVEL FILL AROUND BENEATH. MIN.10 FT FROM STRUCTURE AND 10 FT FROM PROP. LINE

INV. IN 124.0' BASE OF UNITS 4" (SDR. 35) PVC ELEV: 122.0' DRAIN PIPE (TYP.) BASE OF GRAVEL @ 2% PITCH ELEV: 120.5' PROPOSED POP-UP EMITTER

PROPOSED ROOF LEADER TO BE CONNECTED TO NEW CULTEC UNITS

AREA OF ALTERED ROOF/ ADDITION CALCULATED IN **NEW STROM WATER MANAGEMENT** =788 S.F.

EXTENT OF SOIL EROSION CONTROL STRIPC(SEE DETAIL 2 & 3 ON SW.1)



VIEW OF PERCOLATION TEST HOLE #1

AS PER ARCHITECTURAL PLANS LAST DATED 01/10/23 FOR ZBA PRESENTATION BY: MICHAEL LEWIS ARCHITECTS P.C. OVERALL DECREASE IN IMPERVIOUS SURFACES BY +/- 752 S.F.

PLANS FOR STORMWATER DRAINAGE ONLY.

STORM WATER CALCULATIONS

AREA VOL. SLOWEST SOIL RATE PERC. VOL # OF UNITS LOCATION TO BE RETAINED SIDE/REAR PORTION OF ADDITION TO EXISTING 2 1/2 STY. DWELLING 952 S.F. 599.76 C.F. 9.9"/HR 433.37 C.F. & SIDE PORTION OF EXISTING 1/2 STY.

DESIGN BASED ON MIN. 50 YEAR 7.5 INCHES STORM, 24HR, RAINFALL EVENT (7.56 INCHES) TOTAL RAINWATER RETENTION 952 X 7.56/12 = 599 C.F. (W/O PERCOLATION) (952 SQ. FT.)

CONTAINMENT: RECHARGER 330 XLHD DRYWELLS CAPACITY= 92.79 FT^3 (WITH 18" STONE BASE)

3 DRYWELLS ARE PROPOSED

LEGEND PROPERTY LINE CULTEC RECHARGER 330- XLHD ---- DRAIN PIPE (SDR 35) PVC SOIL EROSION CONTROL STRIP ROOF LEADER

- STOCKPILES SHALL BE COVERED WITH TARPS OR TEMPORARY SEEDING AND BE SURROUNDED BY PROPERLY INSTALLED HAYBALE/STRAWBALE SEDIMENT BARRIERS AND/OR SILT FENCING.
 WHEN UNABLE TO PLACE STOCKPILE ON UNPAYED SURFACES, CONTRACTOR SHALL, AT THE SOLE DISCRETION OF THE engineer, PLACE STOCKPILE ON UNPAYED SURFACES. KPILE OVER TARP AND COVER AND/OR CONTAIN AS DESCRI
- NO STOCKPILE OF SURPLUS MATERIAL WILL BE PERMITTED

ADMINISTRATON RELATED TO THE WORK THEREOF.

SOIL STOCKPILING DETAIL

SOIL EROSION NOTES:

. PRIOR TO STARTING ANY CONSTRUCTION, TEMPORARY SILT TRAPS, SEDIMENTATION ENCES AND OTHER APPROVED SOIL CONTROL MEASURES SHALL BE PLACED AS REQUIRED.ADDITIONAL SEDIMENT CONTROL MEASURES SHALL BE INSTALLED WHERE DEEMED NECESSARY, TO SUPPLEMENT THE EROSION CONTROL DETAILS AS SHOWN ON

. CONTRACTOR SHALL TAKE EXTRA CARE WITH RESPECT TO LAND EXPOSED DURING DEVELOPMENT. THE EXPOSED LAND AREA SHALL BE KEPT TO A MIN. TIME PERIOD. PERMANENT SITE IMPROVEMENT METHODS AND STRUCTURES SHALL TAKE PLACE

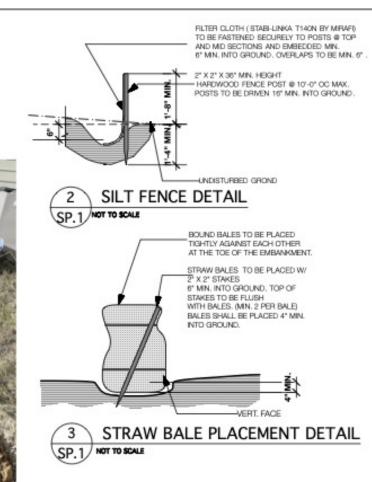
. CONTRACTOR SHALL ENSURE THE MAINTENANCE OF SOIL EROSION FENCES AS PER REQUIREMENTS OF MUNICIPAL AUTHORITIES HAVING JURISDICTION THEREOF.

. CONTRACTOR SHALL KEEP ALL PUBLIC AND PRIVATE ADJOINING AREAS CLEAR OF SEDIMENTATION DEBRIS. HE SHALL BRUSH CLEAN ALL DEBRIS FROM SIDEWALKS AND STREETS AT THE END OF EACH WORK DAY.

. METHODS FOR OPEN EXCAVATION EMBANKMENTS NOT REQUIRING SILT FENCES OR STRAW BALES CAN BE EMPLOYED SUBJECT TO SOIL CONDITIONS AND WHERE SLOPES DO NOT EXCEED A PITCH OF 8" IN 12".LOOSE STONE AND ROCK SHALL REMOVED FROM SITE. COMPACTED AND SEEDED TOP SOIL SHALL BE INSTALLED FOR SOIL PROTECTION.

6. THIS ARCHITECT AND OR ENGINEER HAS NOT BEEN RETAINED FOR CONSTRUCTION

7- ALL WORK SHALL MEET THE WESTCHESTER COUNTY REQUIREMENTS

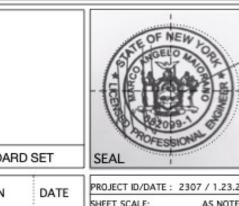


CONTRACTOR SHALL VERIFY DEPTH UPON EXCAVATION FOR SUITABLE SOILS IN FRONT AND REAR. TO CONSULT ENGINEER PRIOR TO PLACING CULTEC UNIT(S) FOR VERIFICATION. ANY MODIFICATION TO BE SUBMITTED TO THE BUILDING DEPARTMENT FOR REVIEW/APPROVAL BEFORE ANY WORK CAN PROCEED.



STORMWATER MANAGEMENT DESIGN PLANS

164 PALISADES STREET DOBBS FERRY, NY 10522 SECTION: 3.80 BLOCK: 40 LOT(S): 31 ZONE: MDR2



164 PALISADE STREET PLANNING BOARD SET DOBBS FERRY, NY 10522 PROJECT ID/DATE: 2307 / 1.23.23 REVISION AS NOTED SHEET SCALE: **SW-1**

PLOT DATE: 2/2/23

DRAWN BY: AM CHECKED BY: MM

DRAWING TITLE:

NO. REVISIONS

NO. ISSUE

1A INITIAL PERMIT FILING

2B ZBA PRESENTATION

145 Palisade St. Suite #307

tel 914-231-7700, fax 914-231-7701

Dobbs Ferry, NY 10522

info@mlarchitect.com

www.mlarchitect.com

PROJECT:

1B INITIAL PERMIT FILING - REVISED

1C INITIAL PERMIT FILING - REVISED

2A ZONING BOARD OF APPEALS

3A PB-AHRB PRE-SUBMISSION

DATE

DATE

9/22/22

11/3/22

12/6/22

1/10/23

2/7/23

11/10/22

STORMWATER MANAGEMENT BY COMMUNITY DESIGNS ENGINEERING D.P.C. **FILE NAME:**

APPLICATION # A 2022 - 0449

Michael Lewis Architects PC

DRAWN BY: 3/16'' = 1'-0'**SCALE:** 2/7/23 DATE: PROJECT ID: 2213A

DRAWING NUMBER

FROM GROUND SURFACE WATER LEVEL SOIL RATE HOLE NO. STOP DROP IN INCHES MIN/IN DROP HANGER CLIP @ 24" O.C. (MINUTES) INCHES INCHES BASKET STRAINER @ DOWNPOUT 38 36 5.375 5" ALUMINUM 12:05 GUTTER 3" ALUMINUM NOTE: HOLE THOROUGHLY PRE-SOAKED DOWNPOUT W/ 6.0" [152 mm] DIA. -INSPECTION PORT HANGER AT TOP AND BOTTOM FIELD TEST RESULTS PLUS ONE AT EVERY INTERMEDIATE PERCOLATION TEST HOLE PVC DOWNSPOUT ADAPTER TO P HOLE # 1 SOIL TYPE SDR-35 DRAIN PIPE 52.0° [1321 mm] TOP SOIL TYPICAL ROOF LEADER DETAIL MIX SAND W/ SOME ROCKS SANDY/CLAY MIX UTILIZE 6" Ø MIN. (SDR-35) PIPING FOR STACK TO GRADE FOR INSPECTION DRYWELL PLAN VIEW SOLID 'PVC' COVER CAP TO MATCH FINISH GRADE ELEVATION WITHIN GRASS AREAS (TYP.) "CULTEC" RECHARGER 330XLHD SOLID 'CAST-IRON' COVER CAP TO MATCH FINISH GRADE ELEVATION WITHIN PAVED SURFACES (TYP.) TO UTILIZE 6" XHCI SOLID COVER CAP (SDR-35) STACK PIPE-FOR INSPECTION PORT. IN FOR INSPECTION PORT COMPLIANCE WITH H-20 VEHICLE FINISHED GRADE RECHARGER 330 XLHD SPECIFICATIONS

SW.1 "CULTEC" RECHARGER 330XLHD

INSTALLED ON THE EXTERIOR AND TOP OF THE GRAVEL FILL 4 DRYWELL DETAIL

EXISTING LEADER-

EXTENT OF SOIL

& 3 ON SW.1)

EROSION CONTROL

NEWLY INSTALLED

THE FOLLOWING NOTES SHALL BE PROVIDED ON PLANS THAT INVOLVE SWPPP'S:

ENGINEER IN WRITING AT

_ START OF CONSTRUCTION

INSTALLATION OF SMP'S.

COMPLETION OF SITE CLEARING

CLOSURE OF CONSTRUCTION.

KEPT ON SITE AND AVAILABLE FOR REVIEW".

COMPLETION OF ROUGH GRADING

COMPLETION OF FINAL LANDSCAPING; AND

PERFORMED.

- THE APPLICANT SHALL NOTIFY THE BUILDING DEPARTMENT VILLAGE'S CONSULTING

LEAST 48 HOURS BEFORE ANY OF THE FOLLOWING SO THAT ANY INSPECTION MAY BE

COMPLETION OF FINAL GRADING AND STABILIZATION OF DISTURBED AREAS.

DOCUMENT THE EFFECTIVENESS OF ALL EROSION AND SEDIMENTATION CONTROL PRACTICES

-12" GRAVEL STONE SURROUND (TYP.)

-18" GRAVEL STONE BASE (TYP.

AND PREPARE INSPECTION REPORTS AT LEAST ONCE A MONTH. THESE REPORTS MUST BE

INSTALLATION OF SEDIMENT AND EROSION CONTROL MEASURES.

SUCCESSFUL ESTABLISHMENT OF LANDSCAPING IN PUBLIC AREAS.

- "THE OWNER OR OPERATOR SHALL HAVE A QUALIFIED INSPECTOR INSPECT AND

EXPOSED 3" PVC DRAIN

PIPE TO EXISTING STORM

EXISTING LEADER -

TO EXISTING STORM

STRIPC(SEE DETAIL 2

TO EXISTING STORM

30.5" CHAMBER STORAGE 79.26 FT⁴ MIN. STORAGE WITH 18' STONE BASE 92.79 FT'3

EMERGENCY OVERFLOW

ALL UNDERGROUND STORM WATER PIPING TO BE PVC SDR-35

PROPOSED POP-UP EMITTER FOR PERCOLATION TEST LOCATION