

GENERAL REQUIREMENTS

1. Related Documents: Drawings, Specifications and General Conditions of the Contract for Construction apply to Work of this Project.
2. Scope of Work: Includes all items described in Drawings & Specifications, verbally & graphically, with more stringent and /or costly items assumed in all cases of discrepancy.
3. All new construction shall adhere to the 2020 Residential Code of New York State and the 2020 Energy Conservation Code of New York State. Notify Architect of any inadvertent noncompliance with Codes regarding information contained in Drawings and Specifications, with no Work to be performed knowingly in noncompliance with Code.
4. The General Contractor (G.C.) shall coordinate all work procedures w / requirements of Local Authorities. Prior to commencement of Construction, the G.C. shall be responsible for the acquisition of a Building Permit and pay all fees required by Governing Agencies. The G.C. shall be responsible for calling for Inspections and Sign-offs of all Work, including Plumbing & Electrical, as required by Governing Agencies.
5. The G.C., Subcontractors, and all others working for Owner shall comply with National, State, and Local Laws and Regulations relating to insurance for work under this Contract. The following insurance policies shall be in force and copies shall be submitted to Architect prior to signing Agreement Between Owner and Contractor: Workman's Compensation & Unemployment Insurance as required by law, Contractor's Liability Coverage in the amount required by applicable Governing Agencies, & Liability Coverage for damages & uninstalled materials. The G.C. shall submit to the Owners, Insurance Certificates naming Owner as Additional Insured. All insurance shall be at Contractor's expense.
6. All Terms & Conditions laid out in the A.I.A. Standard Form Of General Conditions shall apply to the G.C. & to all of his Sub-Contractors.
7. The G.C. & Subcontractors shall attend regular job meetings as required by the Architect.

DIVISION 01: PROJECT REQUIREMENTS

1. The G.C. shall verify all Dimensions & Conditions in the field prior to Construction. Any discrepancies are to be brought to the attention of the Architect prior to work. The G.C. shall be responsible for Field Fit & Quality of all Work, whether by the G.C. or by Subcontractors. No allowances shall be made on behalf of the G.C. for any error or neglect on his part. Under no circumstances are the Drawings to be scaled for location of Work. G.C. shall verify all clearances & locations prior to installation including requirements for appliances, fixtures, or equipment.
2. Retain licensed Surveyor to mark site before beginning construction and to verify location of foundation and slab-on-grade formwork before pouring concrete. Verify that all work conforms to zoning requirements including all setbacks and yard requirements.
3. The G.C. shall be responsible for the protection of all new & existing Work, Owner's Property, Building, and its Premises from damage & dirt or dust.
4. Plumbing & Electrical Work shall be performed by Contractors licensed in their trade. G.C. shall be licensed to perform the Work as required.
5. The G.C. shall maintain at the Site one Record Copy of all Drawings, Clarification Sketches, Approved Shop Drawings, Approved Samples, and Change Orders continuously updated to record all changes during Construction. G.C shall fully correct, at no additional expense, all Work wrongly constructed or materials wrongly ordered from obsolete Drawings.
6. Details not usually shown or specified, but necessary for proper construction on any part of the work shall be included as if they were indicated in the Drawings.
7. Architectural Drawings shall be Followed as closely as actual Field Conditions & the work of other trades permit. Any piping, wiring, or materials not specifically shown or specified but required to complete Work shall be deemed to be part of Work & shall be furnished & installed by the G.C.
8. G.C. shall prepare schedule for completion of Work prior to commencement and submit to Architect for approval. Contractor shall follow approved schedule and immediately notify Architect of any deviations from the approved schedule.
9. The G.C. must submit all Engineering & Shop Drawings (including Millwork) & cut sheets of all equipment, plumbing & electrical fixtures, hardware & accessories to the Architect for approval prior to Fabrication, Ordering and /or Construction. Shop Drawings shall be revised per Architect's instruction if required prior to approval.
10. The G.C. shall supervise & be solely responsible for all aspects of the Work, including Site Safety, maintenance of exit clearances & fire extinguishers as required by Code. The G.C. shall have sole responsibility for any damage or injuries caused by or during the execution of the Work.
11. The G.C. shall be responsible for demolition & safe removal from the Site of all materials that must be removed to enable completion of Work and occupation of the Premises. All removed materials shall be disposed of regularly in a legal manner.
12. All piping & wiring to be demolished shall be removed to a point of concealment & shall be properly capped or plugged.
13. The G.C. shall do all cutting, patching & repairing as required to perform all Work required to complete the Job. All patching where new construction occurs shall match existing adjacent or as indicated on the Drawings.
14. All new construction shall be laid-out in field for Architect's approval prior to starting construction.
15. No changes to approved layouts shall be made without Written Consent Of The Architect.
16. When "Approved Equal", "Equal To", "Similar" or other general qualifying terms are used, it shall be subject to final review by the Architect. There shall be no substitutions unless agreed upon in writing by the Architect.
17. The G.C. shall verify all equipment dimensions, locations & hook-ups with Manufacturer's Specifications whether the G.C. or Others supply the equipment.
18. All items noted "Furnished By Owner" shall be installed by the G.C. under this Contract as per Manufacturers' Specifications & industry standards. Wall reinforcement & all other requirements required to incorporate Owner furnished items shall be provided & coordinated by the G.C.
19. G.C. shall employ experienced workers or professional cleaners for final cleaning prior to request of inspection for Certificate of Substantial Completion.

STRETCH ENERGY CODES

1. This design is in compliance with requirements of 2020 Energy Conservation Code of NYS, the 2020 Residential Code of NYS, and the 2020 NYStretch Code.
2. Contractor shall perform all work in accordance with applicable codes listed above.
3. Updated Table R402.1.4 below showing updated values prevails where applicable.
- WESTCHESTER NY: CLIMATE ZONE 4A

2020 ENERGY CONSERVATION CODE OF NEW YORK STATE

Table R402.1.2 – Envelope (U-factor Table R402.1.4 changed accordingly, Prescriptive, e.g., can be traded.)

| Climate Zone 4 | Fen U-Factor | SkyLt U-Factor | SHGC | Ceiling R-Val | Wood Wall R-Value | Mass Wall R-Value | Floor R-Val | Bsmt Wall R-value | Slab R-Value/ Depth | Crawl Sp Wall R-Value |
|----------------|--------------|----------------|------|---------------|---------------------|-------------------|-------------|-------------------|---------------------|-----------------------|
| Stretch Code | 0.27 | 0.50 | .04 | 49 | 21 or 20+5 or 13+10 | 15/20 | 30* | 15/19 | 10, 4 ft. | 15/19 |

| INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT* | | | | | | | | | | |
|--|------------------------|--------------------|-----------------------------|-----------------|---|-------------------|-----------------|------------------------|-----------------------|---------------------------|
| CLIMATE ZONE | FENESTRATION U-FACTOR* | SKYLIGHT* U-FACTOR | GLAZED FENESTRATION SHGC*,* | CEILING R-VALUE | WOOD FRAME WALL R-VALUE | MASS WALL R-VALUE | FLOOR R-VALUE | BASEMENT* WALL R-VALUE | SLAB* R-VALUE & DEPTH | CRAWL SPACE* WALL R-VALUE |
| 1 | NR | 0.75 | 0.25 | 30 | 13 | 3/4 | 13 | 0 | 0 | 0 |
| 2 | 0.40 | 0.65 | 0.25 | 38 | 13 | 4/6 | 13 | 0 | 0 | 0 |
| 3 | 0.32 | 0.55 | 0.25 | 38 | 20 or 13 + 5 ^b | 8/13 | 19 | 5/13' | 0 | 5/13 |
| 4 except Marine | 0.32 | 0.55 | 0.40 | 49 | 20 or 13 + 5 ^b | 8/13 | 19 | 10 /13 | 10, 2 ft | 10/13 |
| 5 and Marine 4 | 0.30 | 0.55 | NR | 49 | 20 or 13 + 5 ^b | 13/17 | 30 ^c | 15/19 | 10, 2 ft | 15/19 |
| 6 | 0.30 | 0.55 | NR | 49 | 20 + 5 ^b or 13 + 10 ^b | 15/20 | 30 ^c | 15/19 | 10, 4 ft | 15/19 |
| 7 and 8 | 0.30 | 0.55 | NR | 49 | 20 + 5 ^b or 13 + 10 ^b | 19/21 | 38 ^c | 15/19 | 10, 4 ft | 15/19 |

- For SI: 1 foot = 304.8 mm.
- NR = Not Required.
- a. R-values are minimums. U-factors and SHGC are maximums. Where insulation is installed in a cavity that is less than the label or design thickness of the insulation, the installed R-value of the insulation shall be not less than the R-value specified in the table.
- b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.
- c. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation on the interior of the basement wall. "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation on the interior of the basement wall. Alternatively, compliance with "15/19" shall be R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home.
- d. R-5 insulation shall be provided under the full slab area of a heated slab in addition to the required slab edge insulation R-value for slabs, as indicated in the table. The slab edge insulation for heated slabs shall not be required to extend below the slab.
- e. Reserved.
- f. Reserved.
- g. Alternatively, insulation sufficient to fill the framing cavity providing not less than an R-value of R-19.
- h. The first value is cavity insulation, the second value is continuous insulation. Therefore, as an example, "13+5" means R-13 cavity insulation plus R-5 continuous insulation.
- i. Mass walls shall be in accordance with Section N1102.2.5. The second R-value applies where more than half of the insulation is on the interior of the mass wall.

1. This design is in compliance with requirements of 2020 Residential Code of New York State and the 2020 Energy Conservation Code of New York State.
2. Contractor shall perform all work in accordance with applicable codes as listed in the 2020 NYS Code Books.



A CEDAR STREET - Looking down toward Palisade Street
Scale: Not to Scale

GENERAL CONDITIONS

1. APPROVED STAMPED SET OF BUILDING PLANS MUST BE PRESENT ON SITE AT ALL TIMES.
2. LICENSED ELECTRICIAN TO FILE ELECTRICAL PERMIT

HIGH WIND CONNECTIONS

PROVIDE STRAPPING AS REQUIRED TO RESIST HIGH WIND AND UPLIFT FORCES TO BE IN COMPLIANCE WITH TABLE R802.11 OF THE NY STATE RESIDENTIAL CODE. USE TENSION TIES EQUAL TO SIMPSON MODEL # H2 OR AS INDICATED AT ALL POST-PLATE-RAFTER CONNECTIONS.

PRE-ENGINEERED WOOD PLACARDING

CONTRACTOR SHALL PROVIDE PLACARD AS REQUIRED BY CODE, 6" DIA. CIRCLE WITH RED REFLECTIVE PRINT ON WHITE BACKGROUND, INDICATING THAT PRE-ENGINEERED WOOD HAS BEEN USED IN CONSTRUCTION. PLACARD SHALL BE PLACED AT EXTERIOR ON OR NEAR ELECTRIC METER IN PLAIN VIEW AND INDICATE THAT PRE-ENGINEERED WOOD HAS BEEN USED FOR ROOF AND FLOOR SUPPORT IN THE BUILDING OF TYPE-V CONSTRUCTION.

CLIMATE AND GEOGRAPHIC DESIGN CRITERIA

| 2020 INTERNATIONAL RESIDENTIAL CODE | | | | | | | | | | | | |
|---|------------------|---------------------|---------------------|------------------------|-------------------------|------------------------|-------------|-----------------|--------------------|-----------------------------------|---------------|--------------------|
| CHAPTER 3 - BUILDING PLANNING | | | | | | | | | | | | |
| SECTION R301 DESIGN CRITERIA | | | | | | | | | | | | |
| WESTCHESTER, NY: CLIMATE ZONE 4 | | | | | | | | | | | | |
| TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA | | | | | | | | | | | | |
| GROUND SNOW LOAD | WIND SPEED (MPH) | TOPOGRAPHIC EFFECTS | SPECIAL WIND REGION | WIND-BORNE DEBRIS ZONE | SEISMIC DESIGN CATEGORY | SUBJECT TO DAMAGE FROM | | | WINTER DESIGN TEMP | ICE BARRIER UNDERLAYMENT REQUIRED | FLOOD HAZARDS | AIR FREEZING INDEX |
| 30 PSF | 115-120 | NO | YES | NO | C | WEATHERING | FROST DEPTH | TERMITE | 19°F | YES | NO | 2000 |
| | | | | | | | 36" | MODERATE/ HEAVY | | | | 51.6°F |

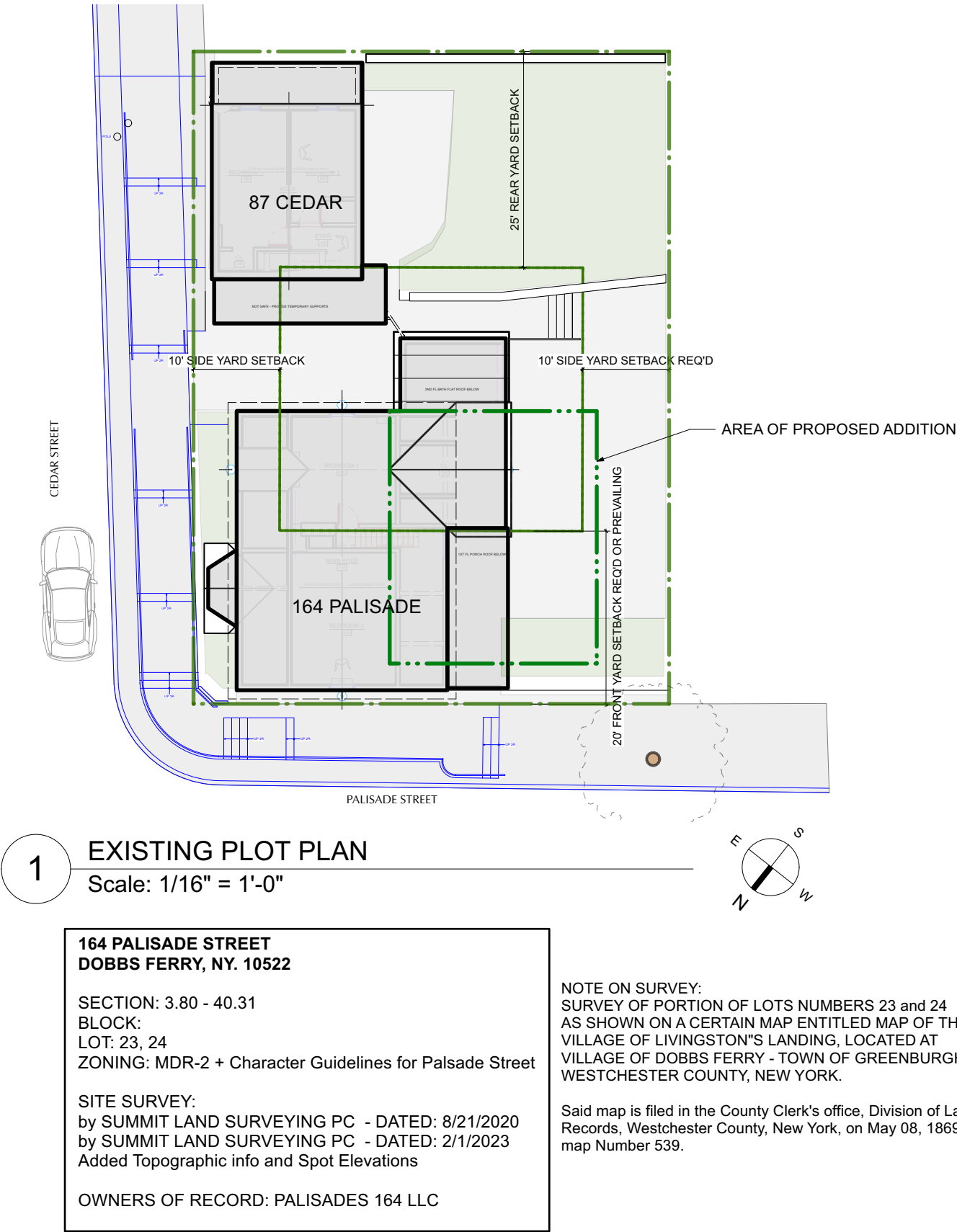
STRUCTURAL & LOADING NOTES

- Soil Bearing Capacity:**
Design bearing capacity of soil shall be 2,000 PSI in accordance with 2020 Residential Code of New York State R401.4.1 for Sand, Silty Sand, Clayey Sand
- Concrete Compressive Strength**
Shall be Min. 3,000 PSI at exposed exterior walls; shall be Min. 2,500 PSI at basement slabs; and shall be Min. 3,500 PSI at horizontal surfaces exposed to the weather including porches, steps, walks, and garage floor slabs, all to be in compliance with the 2020 Residential Code of New York State
- Required Placard**
Provide exterior placard as required by code indicating that engineered lumber is used for roof support in a Class V structure. Placard is to be permanently mounted for display as required near electrical meter or as directed in field by Architect.
- High Wind Connections**
Provide strapping as required to resist high wind and uplift forces to be in compliance with table R802.11 of the Code. Use tension tie equal to Simpson model # HTT22 at all footing-post connections and equal to Simpson model #H2 at all post-plate-rafter connections.

Modifications to 164 PALISADE STREET

APPLICATION # A 2022 - 0449

164 Palisade Street - 87 Cedar Street
DOBBS FERRY, NY 10522



LOCATION MAP



DRAWING INDEX

| NO. | SHEET | ISSUE DATE | REV. DATE |
|----------|---|------------|-----------|
| T-000.00 | TITLE SHEET, SITE PLANS, ZONING | 2/7/23 | |
| T-000.01 | Title Sheet, Plot Plan, General Notes | 2/7/23 | |
| T-000.01 | Streetscape - Site Photos | 2/7/23 | |
| S-001.00 | Site Plans - Existing + Proposed, Zoning | 2/7/23 | |
| S-002.00 | Proposed Site Landscape + Lighting Plan | 2/7/23 | |
| | | | |
| | FLOOR PLANS | | |
| A-101.00 | Sub Cellar Floor Plans - Existing and Proposed | 2/7/23 | |
| A-102.00 | Basement Floor Plans - Existing and Proposed | 2/7/23 | |
| A-103.00 | 1st Floor Plans - Existing and Proposed | 2/7/23 | |
| A-104.00 | 2nd Floor Plans - Existing and Proposed | 2/7/23 | |
| A-105.00 | 3rd Floor Plans - Existing and Proposed | 2/7/23 | |
| A-106.00 | Roof Plans - Existing and Proposed | 2/7/23 | |
| | | | |
| | ELEVATIONS | | |
| A-500.00 | North Elevations (Cedar St) - Existing and Proposed | 2/7/23 | |
| A-501.00 | West Elevations (Palisade St) Existing and Proposed | 2/7/23 | |
| A-502.00 | South Elevations - Existing and Proposed | 2/7/23 | |
| A-503.00 | East Elevations - Existing and Proposed | 2/7/23 | |
| A-504.00 | AHRB Materials, Cedar + Palisade St Elevations | 2/7/23 | |
| | | | |
| | STORMWATER | | |
| SW-1 | Stormwater Management Design Plans | 1/23/23 | |
| | by: Community Designs Engineering D.P.C. | | |

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NO. REVISIONS DATE



NO. ISSUE DATE

| | | |
|----|---------------------------------|----------|
| 1A | INITIAL PERMIT FILING | 9/22/22 |
| 1B | INITIAL PERMIT FILING - REVISED | 11/3/22 |
| 1C | INITIAL PERMIT FILING - REVISED | 11/10/22 |
| 2A | ZONING BOARD OF APPEALS | 12/6/22 |
| 2B | ZBA PRESENTATION - APPROVED | 1/10/23 |
| 3A | PB-AHRB PRE-SUBMISSION | 2/7/23 |

APPLICATION # A 2022 - 0449

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PROJECT:

164 PALISADE STREET
DOBBS FERRY, NY 10522

DRAWING TITLE:

TITLE SHEET & NOTES

FILE NAME:

DRAWN BY: PG

DRAWING NUMBER

SCALE: As Noted

DATE: 2/7/23

PROJECT ID: 2213A

T-000.00

Modifications to 164 PALISADE STREET

APPLICATION # A 2022 - 0449 164 Palisade Street - 87 Cedar Street
DOBBS FERRY, NY 10522

STREETSCAPE PHOTOS - CEDAR STREET



LOOKING UP CEDAR ST - toward Main St



81 CEDAR ST



83 CEDAR ST



83 CEDAR ST

87 CEDAR ST

164 PALISADE ST



87 CEDAR ST

164 PALISADE ST

164 PALISADE ST - CEDAR ST SIDE

STREETSCAPE PHOTOS - CEDAR to PALISADE STREET



LOOKING UP CEDAR at 164 PALISADE ST



CORNER OF CEDAR ST and PALISADE ST



164 PALISADE STREET - FRONT

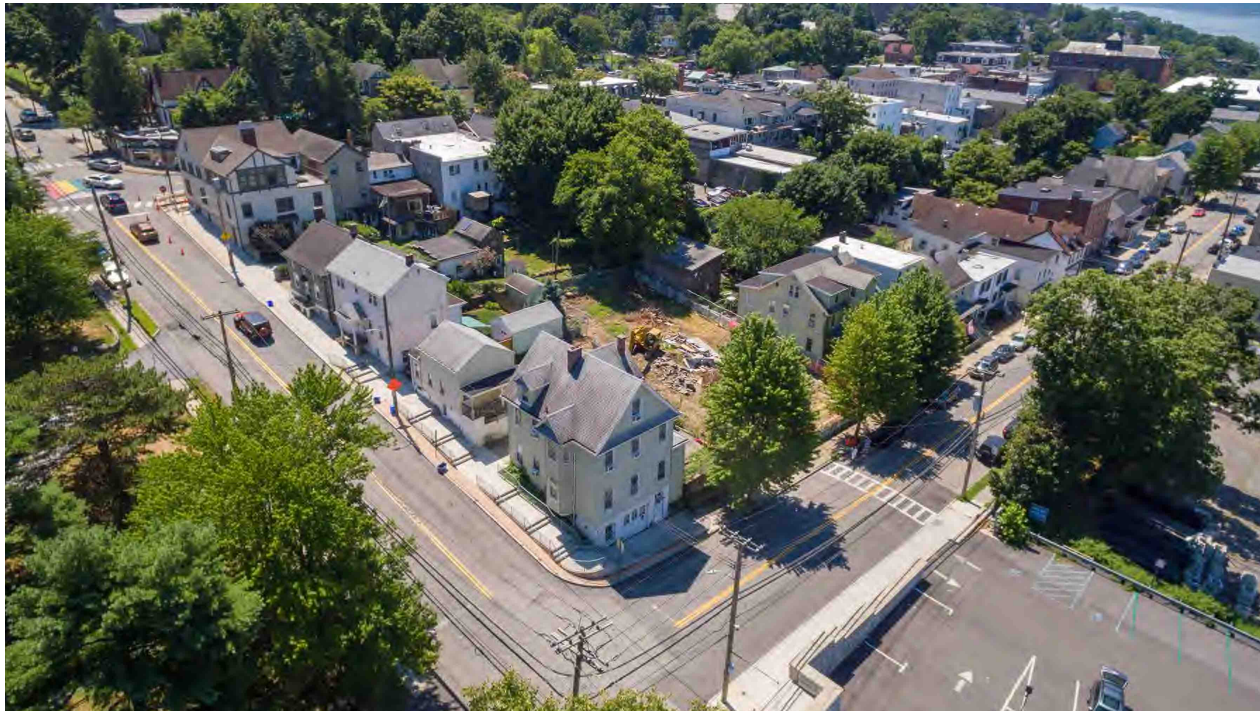


164 PALISADE STREET - in front of 156 Palisade St



164 PALISADE STREET - in front of 154 Palisade St

SITE + BUILDING PHOTOS



CORNER OF CEDAR ST and PALISADE ST - above



SIDEYARD - Looking toward Cedar St from above 156 Palisade St



CEDAR ST - Looking down Cedar St - 99 Cedar Lot below



REAR YARD - Looking down toward Palisade St



REAR YARD - Looking at 164 Palisade St and 87 Cedar St

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| NO. | REVISIONS | DATE |
|-----|-----------|------|
|-----|-----------|------|



| NO. | ISSUE | DATE |
|-----|-------|------|
|-----|-------|------|

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APPLICATION # A 2022 - 0449

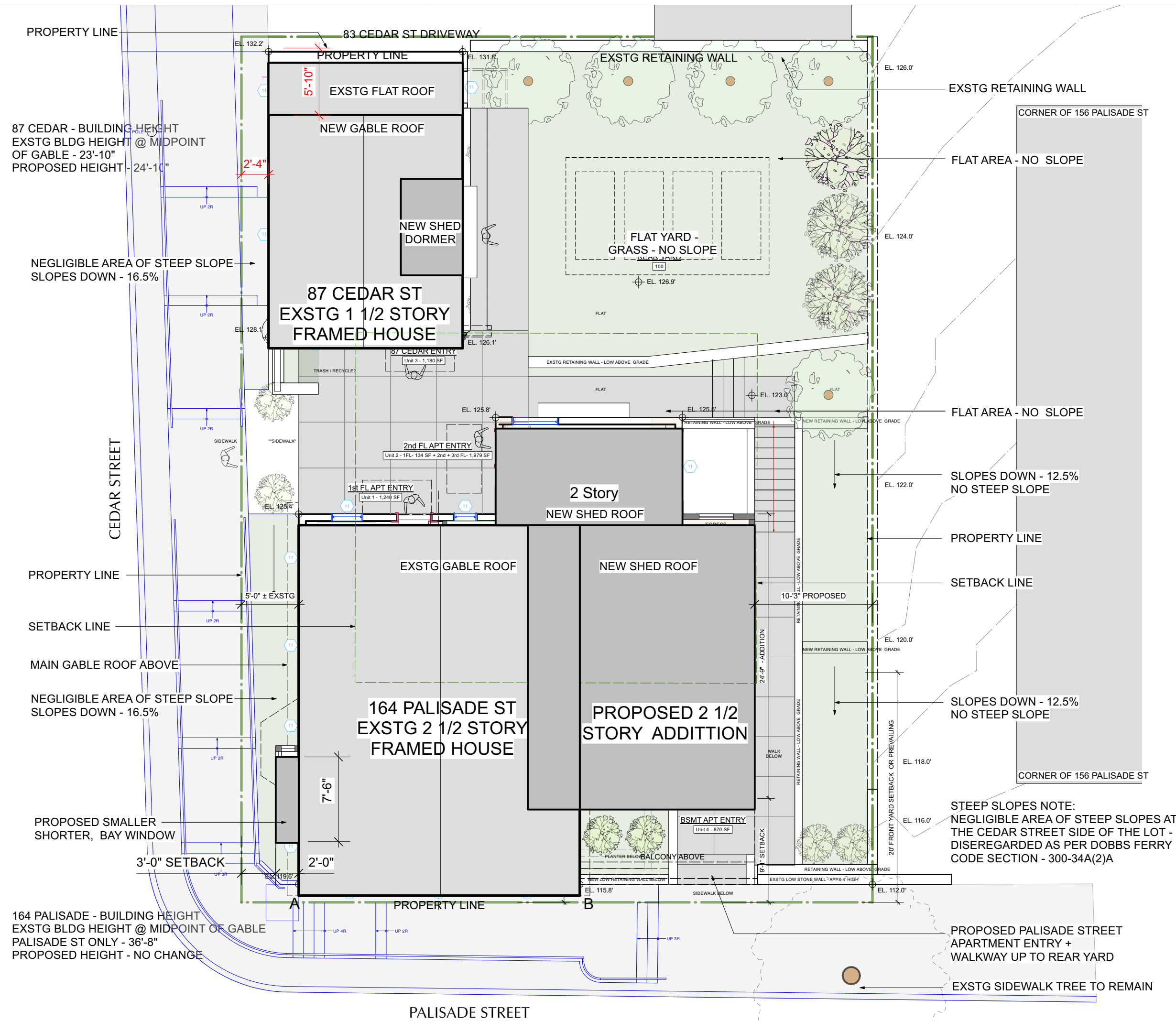
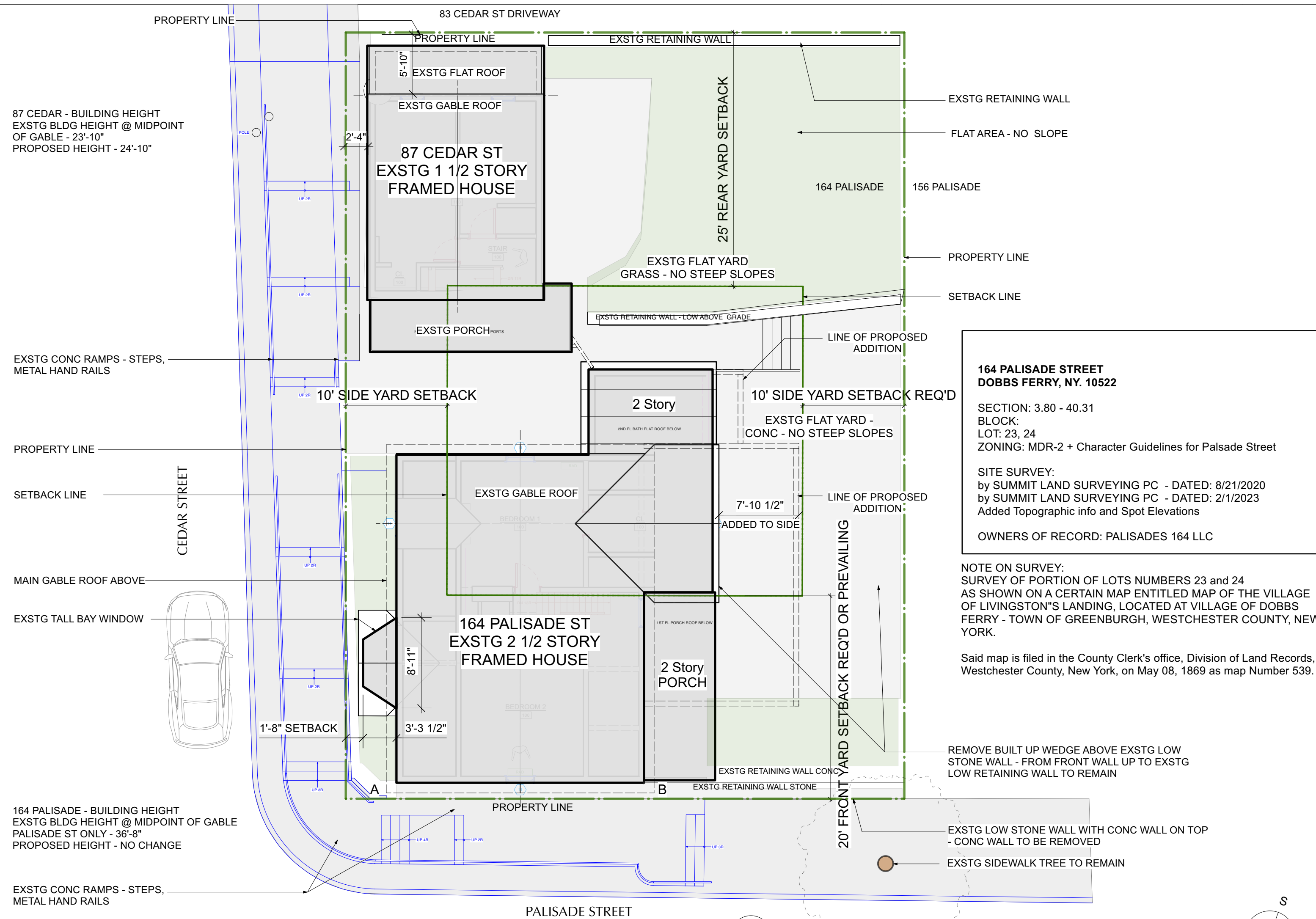
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PROJECT:
164 PALISADE STREET
DOBBS FERRY, NY 10522

DRAWING TITLE:
STREETSCAPE - SITE PHOTOS

| FILE NAME: | |
|-------------|----------|
| DRAWN BY: | PG |
| SCALE: | As Noted |
| DATE: | 2/7/23 |
| PROJECT ID: | 2213A |

| DRAWING NUMBER |
|----------------|
| T-000.01 |



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ZONING ANALYSIS

| LOT AND ZONING INFORMATION | | | | |
|---|--|---|------------------------------------|-----------|
| 164 PALISADE STREET - 87 CEDAR STREET DOBBS FERRY, NY 10522 BLOCK - SECTION - 3.80-40-31 ZONING DISTRICT: MRD-2 (Mixed Density Residential - 2) | | | | |
| GENERAL LOT DIMENSIONS | | | | |
| LOT AREA | REQUIRED/ALLOWED | EXISTING | PROPOSED | COMPLIANT |
| | 5,000 SF MIN | 4,150 SF | NO CHANGE | NO |
| LOT WIDTH | 50'0" | 55'0" | NO CHANGE | YES |
| LOT DEPTH | 100'0" | 75'4" | NO CHANGE | NO |
| YARD SETBACKS/PRINCIPAL STRUCTURE - 2 1/2 Story framed house | | | | |
| | REQUIRED/ALLOWED | EXISTING | PROPOSED | COMPLIANT |
| FRONT | 20'0" (Or Prevailing - 6'-6" ±) | 15" | 15" | NO |
| REAR | 25'0" | 33'5" | 33'5" | YES |
| SIDE ONE (NORTH) | 10'0" | 5'2" | 5'2" | NO |
| SIDE TWO (SOUTH) | 10'0" | 19'3" | - | YES |
| TOTAL OF TWO SIDES | 20'0" | 24'5" | - | NO |
| BUILDING HEIGHT | | | | |
| | REQUIRED/ALLOWED | EXISTING | PROPOSED | COMPLIANT |
| MAIN HOUSE 164 Palisade St | | | | |
| STORIES (above grade plane) | 3 - (3rd fl must be setback 5' at front) | 2 1/2 | NO CHANGE | YES |
| FEET (above grade plane) to roof midpoint | 42'0" | 36'8" | NO CHANGE | YES |
| EAVE | NA | 30'1" | NO CHANGE | YES |
| "GARAGE" - 87 Cedar St | | | | |
| STORIES (above grade plane) | (3rd fl must be setback 5' at front) | 1 1/2 | NO CHANGE | YES |
| FEET (above grade plane) to roof midpoint | 42'0" | 23'10" | 24'10" | YES |
| EAVE | NA | 21'4" | NO CHANGE | YES |
| LOT COVERAGE | | | | |
| | REQUIRED/ALLOWED | EXISTING | PROPOSED | COMPLIANT |
| LOT AREA | 5,000 SF MIN | 4,150 SF | NO CHANGE | NO |
| BUILDING COVERAGE (164+87) | MAX 40 % of 4,150 = 1,660 SF | 1,628 SF (39%) | 1,738 SF (41.8%) | NO |
| COVERAGE, IMPERVIOUS SURFACES (Buildings + Impervious Hardscapes) | MAX 60% of 4,150 = 2,490 SF (60%) | 1,628 SF + 1,519 SF = 3,147 SF (76%) See Note 1 - re: Steep Slopes | 1,738 SF + 657 SF = 2,395 SF (58%) | YES |
| OCCUPANCY AND USE | | | | |
| | REQUIRED/ALLOWED | EXISTING | PROPOSED | COMPLIANT |
| CURRENT USE | MULTIPLE FAMILY | MULTIPLE FAMILY | NO CHANGE | NO CHANGE |
| Existing - Current Property is 3 Family with 2 units in 164 Palisade St and 1 unit in 87 Cedar St | | | | |
| Proposed - 4 Family with 3 units in 164 Palisade St and 1 unit in 87 Cedar St | | | | |
| MAIN HOUSE 164 Palisade St | | 2 D.U.'s + former Garage- See Note 2 | 3 D.U.'s | YES |
| CELLAR FLOOR AREA | | 560 SF | 560 SF | |
| BASMENT FLOOR AREA | Former Garage - Proposed UNIT 4 | 977 SF | 1,170 SF | |
| 1ST FLOOR AREA | UNIT 1 | 1,109 SF | 1,307 SF | |
| 2ND FLOOR AREA | UNIT 2 | 995 SF | 1,307 SF | |
| ATTIC FLOOR AREA | UNIT 2 | 515 SF | 609 SF | |
| MAIN HOUSE TOTAL | | 4,156 SF | 4,953 SF | |
| "GARAGE" - 87 Cedar St | | 1 D.U. | 1 D.U. | |
| BASEMENT FLOOR AREA | UNIT 3 | 421 SF | NO CHANGE | |
| 1ST FLOOR AREA | UNIT 3 | 421 SF | NO CHANGE | |
| 2ND FLOOR AREA (1 1/2 FL) | UNIT 3 | 338 SF | NO CHANGE | |
| GARAGE TOTAL | | 1,180 SF | 1,180 SF - NO CHANGE | |
| GROSS FLOOR AREA -164 Pal + 87 Ced | | 5,336 SF | 6,133 SF | |
| TOTALS | | 3 D.U.'s + former garage at Basement - See N | 4 D.U.'s | YES |
| NOTES | | | | |
| 1 - Steep Slopes - Negligible area of steep slopes at the Cedar Street side of the lot - disregarded as per Dobbs Ferry Code Section - 300-34A(2)a | | | | |
| 2 - Former Garage at Palisade St - Basement - and 87 Cedar St driveway - both blocked off (unsuitable) after the town put sidewalk ramps, steps and railings in front of them | | | | |

PARKING ANALYSIS

| DOBBS FERRY MULTI-FAMILY PARKING REQUIREMENTS | | EXISTING | PROPOSED | SPOTS |
|---|------------------|------------------------|-------------------------|-------|
| DWELLING UNIT 1 - 164 Palisade | 1 PARKING SPOT | 1.5 SPOTS REQ'D | 1.5 SPOTS REQ'D | 0 |
| 1 + 25 Parking Spots for Each Bedroom (2) = 1.5 SPOTS | .50 PARKING SPOT | | | |
| DWELLING UNIT 2 - 164 Palisade | 1 PARKING SPOT | 1.5 SPOTS REQ'D | 1.5 SPOTS REQ'D | 0 |
| 1 + 25 Parking Spots for Each Bedroom (2) = 1.5 SPOTS | .50 PARKING SPOT | | | |
| DWELLING UNIT 3 - 87 Cedar | 1 PARKING SPOT | 1.5 SPOTS REQ'D | 1.5 SPOTS REQ'D | 0 |
| 1 + 25 Parking Spots for Each Bedroom (2) = 1.5 SPOTS | .50 PARKING SPOT | | | |
| FOR PROPOSED DWELLING UNIT 4 - 164 Palisade | 1 PARKING SPOT | UNIT DOES NOT EXIST | 1.25 SPOTS REQ'D | 0 |
| 1 + 25 Parking Spots for Each Bedroom (1) = 1.25 SPOTS | .25 PARKING SPOT | | | |
| TOTALS | | 4.5 SPOTS - See Note 1 | 5.75 SPOTS - See Note 1 | 0 |
| | | | | |
| NOTES | | | | |
| 1 - Due to existing physical limitations of the site and town sidewalk ramps and railings, it is not possible to create any parking - we are across the street from the 99 Cedar St Parking Lot | | | | |

NOTES:

SITE PLAN NOTES:

1. SURVEY INFORMATION TAKEN FROM SURVEY DATED 8/29/201, BY SUMMIT LAND SURVEYING.
2. THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.

VILLAGE NOTES:

1. ALL WORK TO CONFORM TO THE SATISFACTION OF THE BUILDING INSPECTOR
2. PROVIDE RETAINING WALLS ON ALL SLOPES EXCEEDING (1) FOOT VERTICAL ON (1 1/2) FEET HORIZONTAL.
3. THE BUILDER SHALL FURNISH 6" PERFORATED CMP ENCASED IN STONE WHEREVER DIRECTED BY THE BUILDING INSPECTOR.
4. SWALES TO BE INSTALLED AS DIRECTED BY THE BUILDING INSPECTOR.
5. ALL GRADING TO BE PERFORMED TO CREATE POSITIVE DRAINAGE.
6. ALL DRIVEWAYS SLOPING DOWN TO GARAGES SHALL HAVE A DRAIN INLET WITH A PIPE EXTENDING BEYOND THE REAR OF THE HOUSE TO CARRY RAIN RUN-OFF.
7. ALL DRIVEWAYS SLOPING DOWN SHALL RISE 6" THE FIRST 5' AND THEN SLOPE DOWN.
8. "AS-BUILT" DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY.
9. OWNER OR CONTRACTOR SHALL NOTIFY BUILDING INSPECTOR PRIOR TO CHANGES OR MODIFICATIONS TO THE APPROVED PLANS.
10. ROCK REMOVAL BY BLASTING SHALL BE IN ACCORDANCE WITH CHAPTER 125 OF THE VILLAGE CODE.
11. FILL MATERIAL IMPORTED TO THE SITE SHALL BE CERTIFIED IN WRITING BY A NY LICENSED PROFESSIONAL ENGINEER AS CLEAN, NON-CONTAMINATED FILL SUITABLE FOR THE INTENDED USE.
12. BEFORE THE SITE PLAN IS SIGNED BY THE CHAIRMAN OF THE PLANNING BOARD, THE APPLICANT SHALL BE REQUIRED TO POST A PERFORMANCE BOND OR OTHER TYPE OF ACCEPTABLE MONETARY WARRANTY WHICH SHALL BE IN AN AMOUNT DETERMINED BY THE PLANNING BOARD AND VILLAGE ENGINEER AND IN A FORM SATISFACTORY TO THE VILLAGE ATTORNEY.

NOTES:

CONSTRUCTION SEQUENCE:

1. INSTALL SILT FENCE & OTHER PROTECTIVE MEASURES AS REQUIRED AT LIMITS OF CONSTRUCTION.
 2. AREAS OF PROPOSED STORMWATER MANAGEMENT SYSTEM SHALL BE PROTECTED FROM OVER-COMPACTION DURING CONSTRUCTION. AREAS SHALL BE FENCED OFF DURING CONSTRUCTION OR THE AREA SHOULD BE DE-COMPACTED PRIOR TO INSTALLATION OF THE INFILTRATION UNITS.
 3. EXCAVATE FOR FOOTINGS AND SWRS, PREPARE GRADE FOR SLAB.
 4. INSTALL SWRS, REINFORCING & FORMWORK FOR FOOTINGS.
 5. INSTALL C.I.P. CONCRETE FOOTINGS.
 6. CONSTRUCT PROPOSED PORTE-COCHERE, GARAGE, AND BUILDING ADDITIONS.
 7. COMPLETE ALL FINISHES, DOORS, WINDOWS, FIXTURES, HARDWARE & EQMT.
 8. PROPOSED GUTTER LEADERS SHALL BE CONNECTED TO SWRS.
- NOTE: THE SYSTEM MUST NOT BE CONNECTED UNTIL CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.

UTILITIES:

1. CONTRACTOR TO VERIFY LOCATION OF PUBLIC UTILITIES AND PROVIDE PROTECTION IF /AS REQ'D.
2. CONTRACTOR TO COORDINATE SHUT OFF AND/OR DISCONNECTION OF UTILITIES IF /AS REQUIRED.
3. NO EXTG UTILITIES TO BE IMPACTED. NO EXTG UTILITIES RUN THROUGH AREA OF NEW WORK.
4. A CODE 53 WILL BE CALLED IN PRIOR TO CONSTRUCTION FOR SURVEY OF EXTG UNDERGROUND UTILITIES.

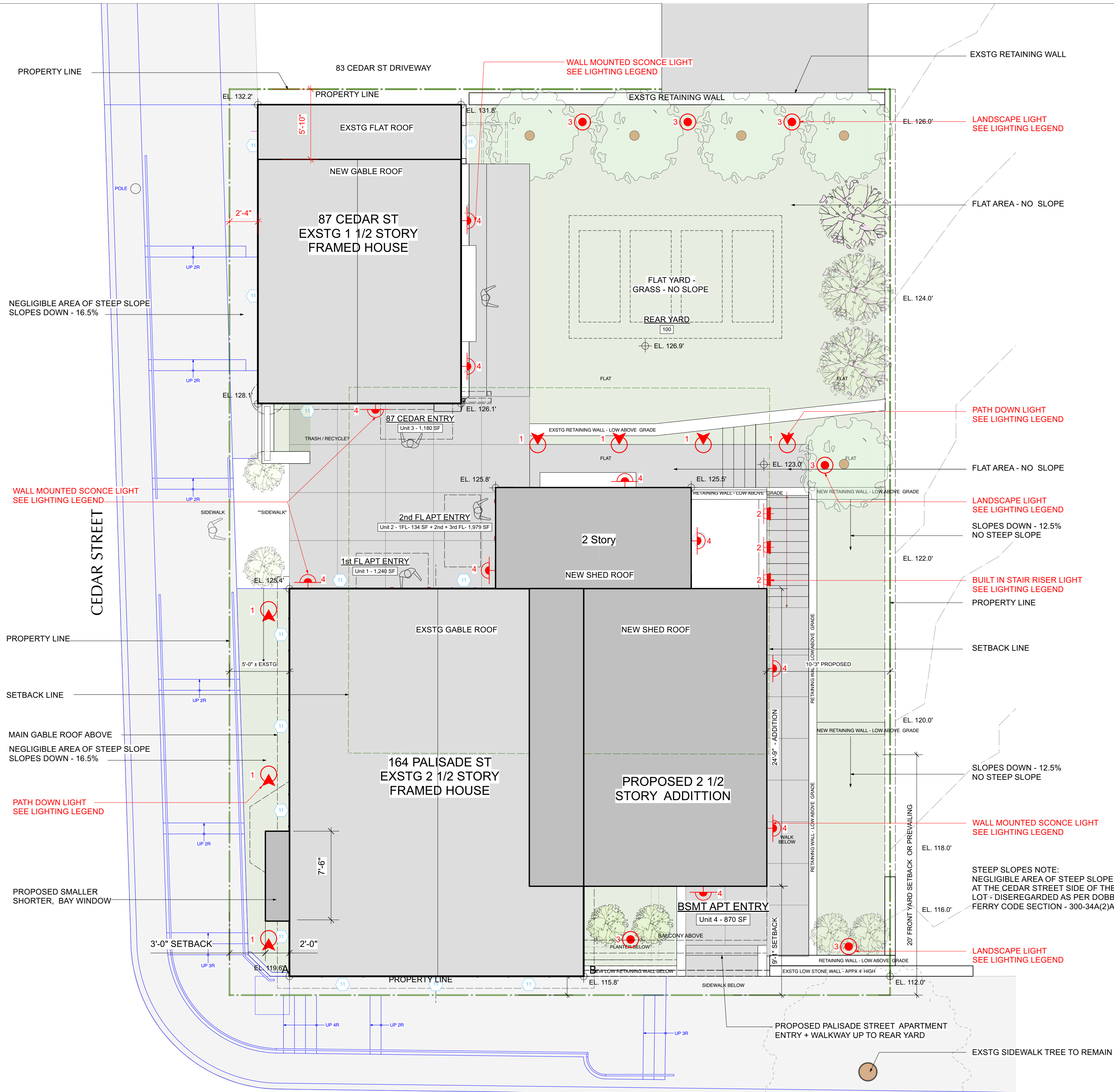
LANDSCAPING NOTES

1. ALL LANDSCAPING OUTSIDE OF WORK AREA IS EXISTING TO REMAIN. ALL PLANTINGS INDICATED ON SITE PLAN ARE EXISTING TO REMAIN UNLESS NOTED.
2. REMOVE TOPSOIL AT DISTURBED WORK AREA AND STORE ON SITE. REPLACE REFURBISH TOPSOIL AT COMPLETION AND RE-SOD LAWN AS NEEDED.
3. NO TREES ARE PROPOSED TO BE REMOVED UNDER THIS APPLICATION EXCEPT AS INDICATED. EXCAVATE BY HAND WHERE REQUIRED TO PROTECT ROOT SYSTEMS OF EXISTING TREES.
4. UNLESS OTHERWISE DIRECTED, REMOVE EXISTING PLANTINGS AND SHRUBS BY HAND AND PROPERLY STORE ON SITE FOR REPLANTING UNDER SEPARATE APPLICATION

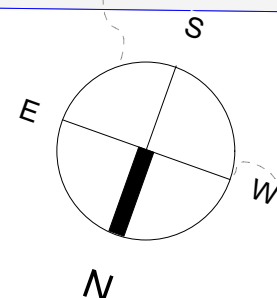
GENERAL SITE PLAN NOTE:

1. PREPARATION OF STORMWATER MANAGEMENT PLAN, EROSION CONTROL, LOCATION OF CONSTRUCTION LIMITS, SILT FENCE, SOIL STOCKPILE, ANTI-TRACKING PAD, AND OTHER SITE PROTECTION DETAILS CURRENTLY UNDERWAY BY HUDSON ENGINEERING CONSULTING PC, TO BE SUBMITTED AS PART OF PUBLIC HEARING PLANNING BOARD DRAWING SET AND SUBMITTAL.
2. ALL EXISTING TREES AND LANDSCAPING TO REMAIN UNLESS OTHERWISE NOTED

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|---|---------------------------------|-----------------------|
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| NO. | ISSUE | DATE |
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| 1B | INITIAL PERMIT FILING - REVISED | 11/3/22 |
| 1C | INITIAL PERMIT FILING - REVISED | 11/10/22 |
| 2A | ZONING BOARD OF APPEALS | 12/6/22 |
| 2B | ZBA PRESENTATION | 1/10/23 |
| 3A | PB-AHRB PRE-SUBMISSION | 2/7/23 |
| APPLICATION # A 2022 - 0449 | | |
| Michael Lewis Architects PC 145 Palisade St. Suite #307 Dobbs Ferry, NY 10522 tel 914-231-7700, fax 914-231-7701 info@mlarchitect.com www.mlarchitect.com | | |
| PROJECT: 164 PALISADE STREET DOBBS FERRY, NY 10522 | | |
| DRAWING TITLE: SITE PLANS - ZONING | | |
| FILE NAME: | | |
| DRAWN BY: | PG | DRAWING NUMBER |
| SCALE: | 1/8" = 1'-0" | S-001.00 |
| DATE: | 2/7/23 | |
| PROJECT ID: | 2213A | |



1 PROPOSED LANDSCAPE + LIGHTING PLAN
Scale: 3/16" = 1'-0"



PRELIMINARY LIGHTING PLAN LEGEND

- 1 PATH LIGHT
- FIXTURE TBD
 - 2 BUILT-IN WALL OR RISER LIGHT
- FIXTURE TBD
 - 3 LANDSCAPE LIGHT
- FIXTURE TBD
 - 4 HOUSE SCONCE
- FIXTURE TBD
- SECURITY FLOODLIGHT (AND
OPTIONAL CAMERA) - 8-K DELTA
STAR, WIDE FLOOD, 8W WARM
WHITE LED, MITIQUE (AGED)
BRASS FINISH

NOTE: ALL EXTERIOR LIGHT FIXTURES SHALL COMPLY
WITH VILLAGE EXTERIOR LIGHTING CODE
REQUIREMENTS (300-41), INCLUDING THE USE OF FULL
CUTOFF STYLE FIXTURES WITH LIGHT LEVELS WITHIN
THE LIMITS SET BY THE CODE.

TREE "REMOVAL" SCHEDULE

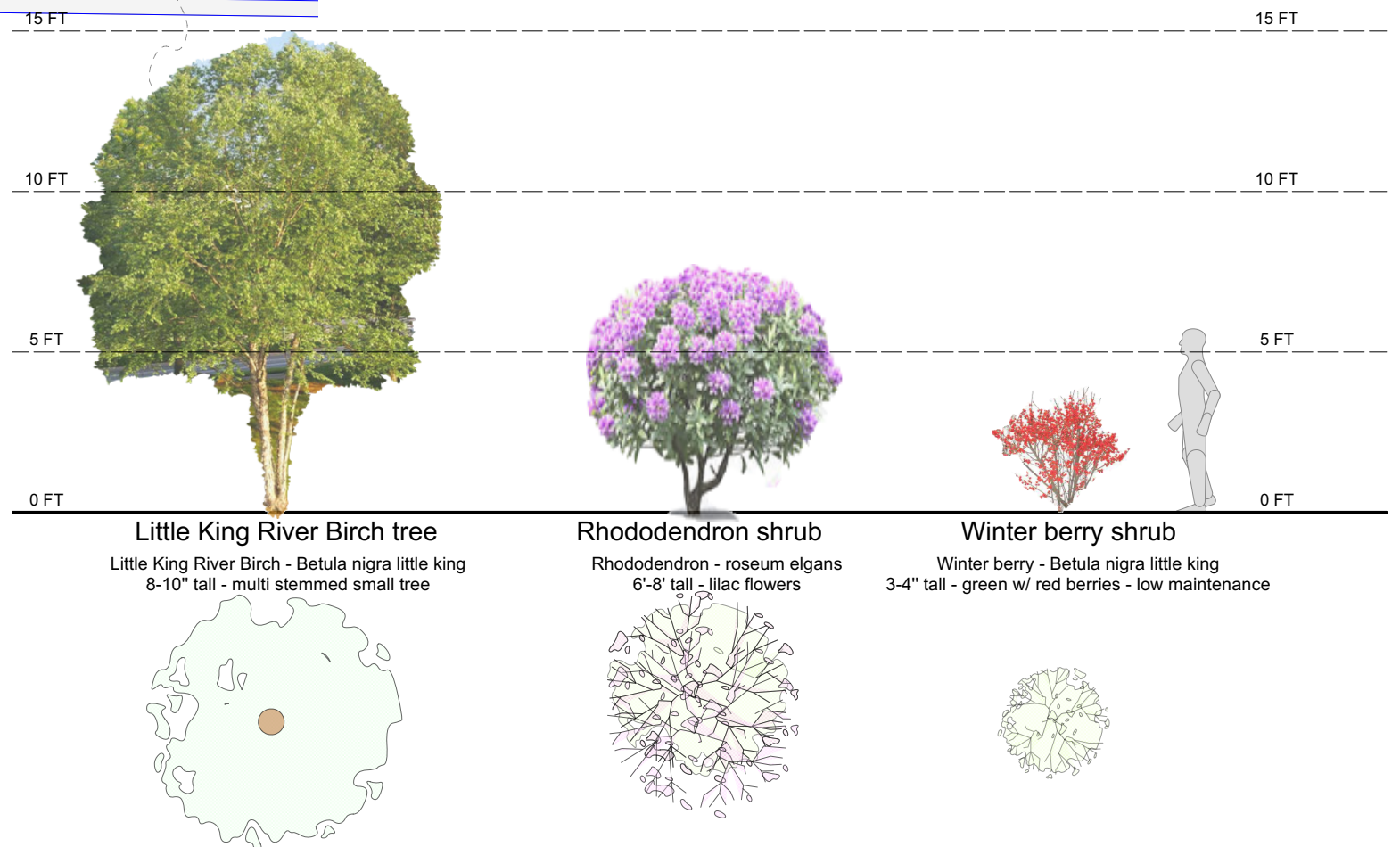
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|----|------|--------------|
| NA | NA | NA |
| | | |
| | | |
| | | |

TREE NOTE:
ALL TREE RELATED WORK TO COMPLY WITH DOBBS FERRY
TREE VALUATION (300-51 i) AND LOCAL LAW 1-2022

PRELIMINARY PLANTING SCHEDULE

As indicated on Proposed Landscape + Lighting Plan

| Common Name | Botanical Name | Native |
|-------------------------|-----------------------------|--------|
| ORNAMENTAL TREES | | |
| Little King River Birch | Betula nigra | Yes |
| SHRUBS | | |
| Rhododendron | Rhododendron roseum elegans | Yes |
| Winter berry | Ilex verticillata | Yes |



| | | |
|----|---------------------------------|----------|
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www.mlarchitect.com

PROJECT:
164 PALISADE STREET
DOBBS FERRY, NY 10522

DRAWING TITLE:
LANDSCAPE + LIGHTING PLAN

FILE NAME:

DRAWN BY: PG

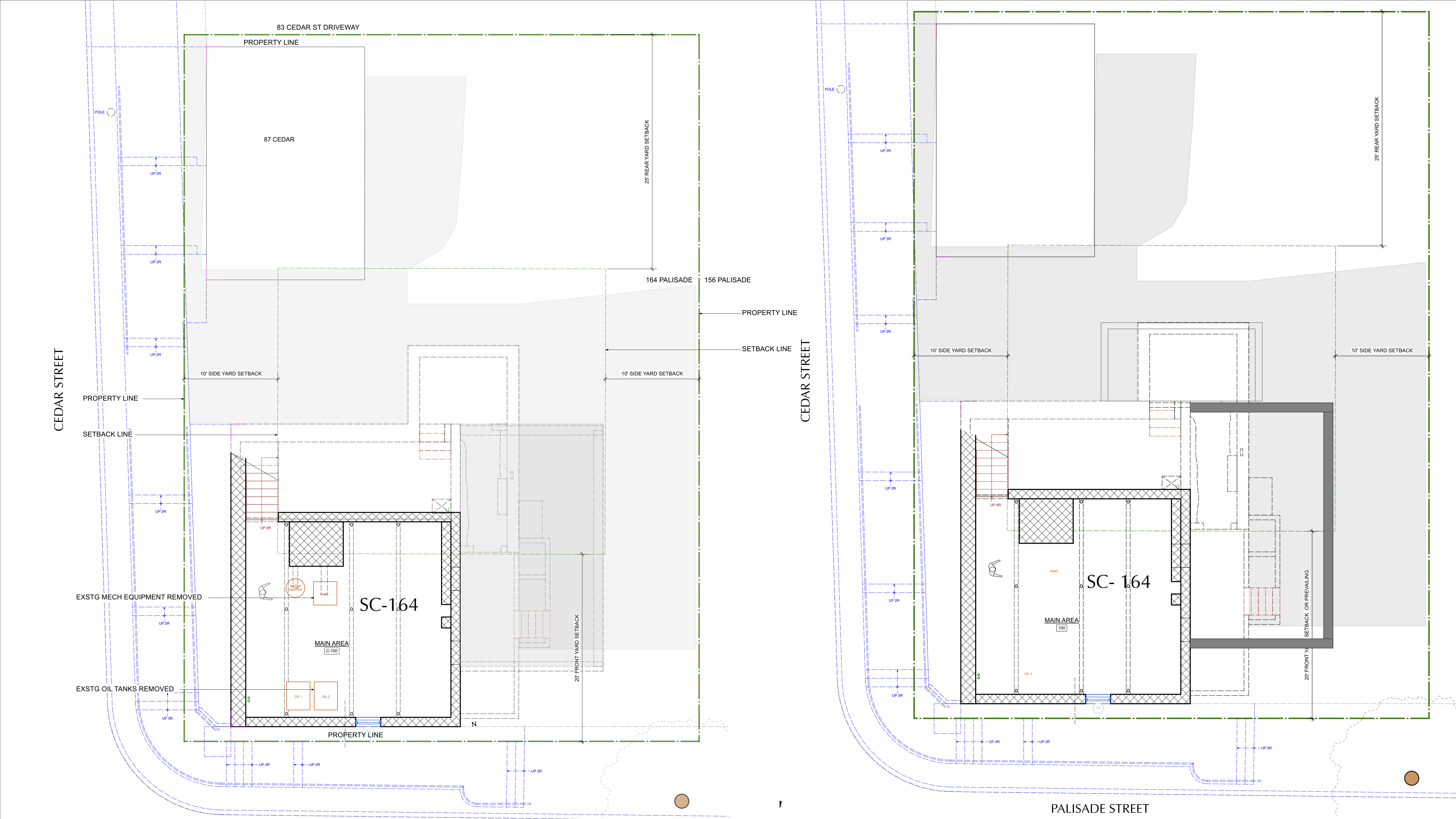
DRAWING NUMBER

SCALE: 1/8" = 1'-0"

S-002.00

DATE: 2/7/23

PROJECT ID: 2213A



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DEMOLITION PLAN LEGEND

- EXISTING STONE WALL TO REMAIN
- EXISTING MASONRY WALL TO REMAIN
- EXISTING EXTERIOR FRAME WALL TO REMAIN
- EXISTING INTERIOR FRAME WALL TO REMAIN
- EXISTING EXTERIOR WALL TO BE REMOVED
- EXISTING INTERIOR WALL TO BE REMOVED
- EXISTING OBJECT TO BE REMOVED

NOTE: ALL DEMOLITION TO BE APPROVED BY ARCHITECT IN FIELD PRIOR TO START OF WORK.

CONSTRUCTION PLAN LEGEND

- EXISTING STONE WALL TO REMAIN
- EXISTING MASONRY WALL TO REMAIN
- EXISTING EXTERIOR FRAME WALL TO REMAIN
- EXISTING INTERIOR FRAME WALL TO REMAIN
- NEW MASONRY WALL
- NEW C.I.P. CONCRETE WALL
- NEW EXTERIOR FRAME WALL
- NEW INTERIOR FRAME WALL
- OBJECTS ABOVE
- WINDOW ID
- DOOR ID
- WALL TYPE ID
- BUILDING SECTION KEY
- EXTERIOR ELEVATION KEY
- DETAIL KEY
- INTERIOR ELEVATION KEY

NOTE: ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD (VIF) PRIOR TO CONSTRUCTION

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|-----|-----------|------|



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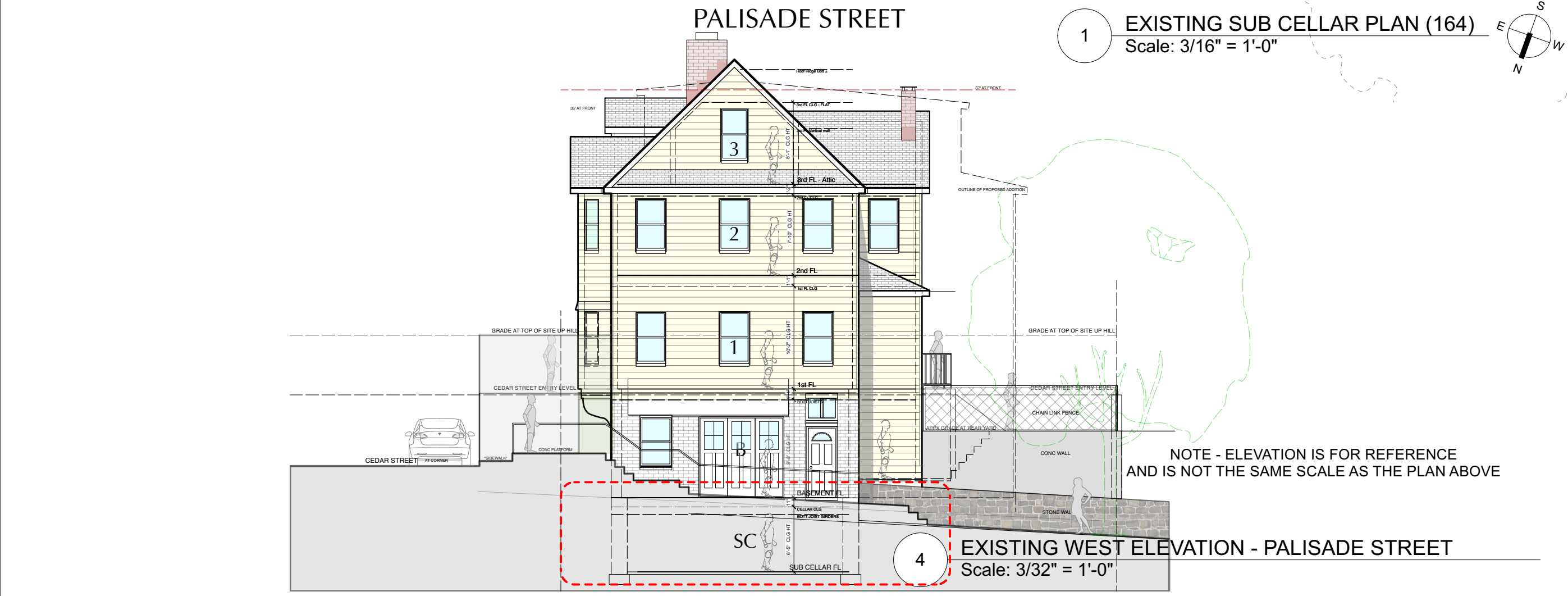
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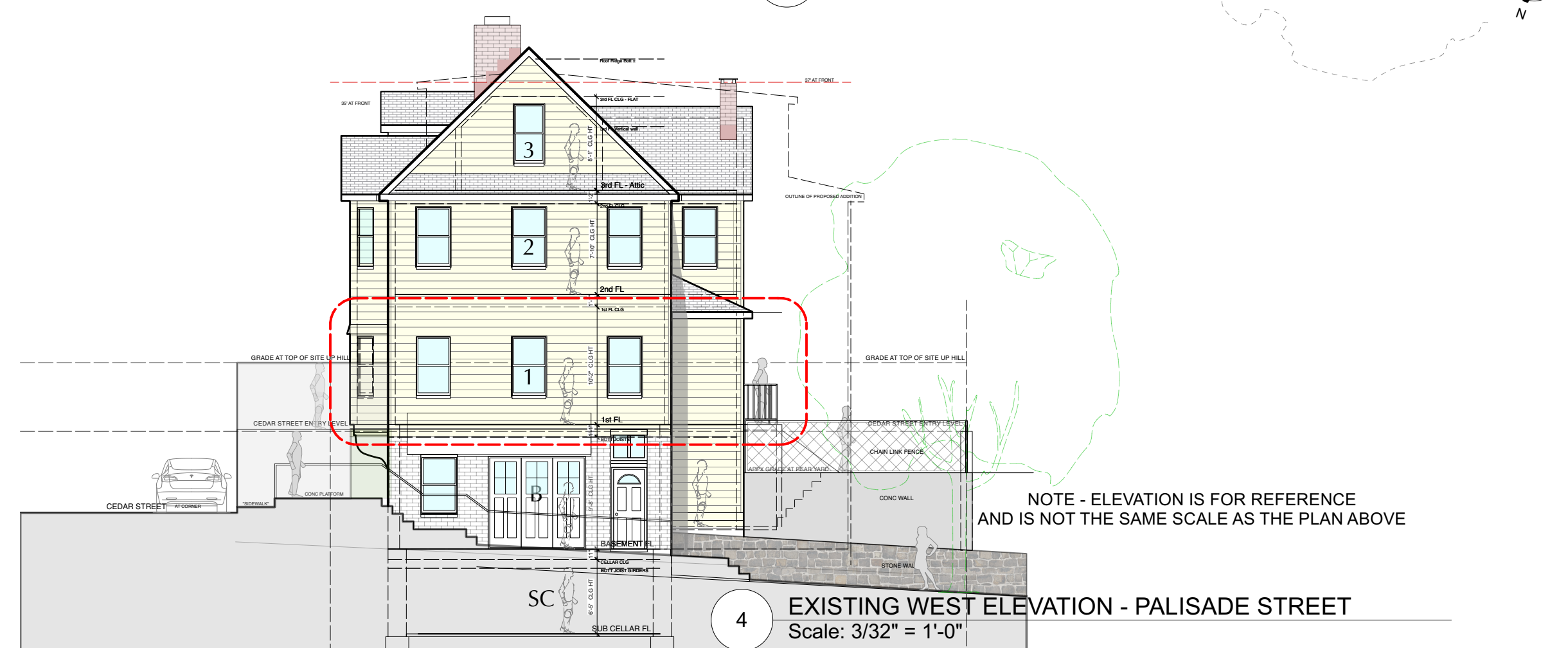
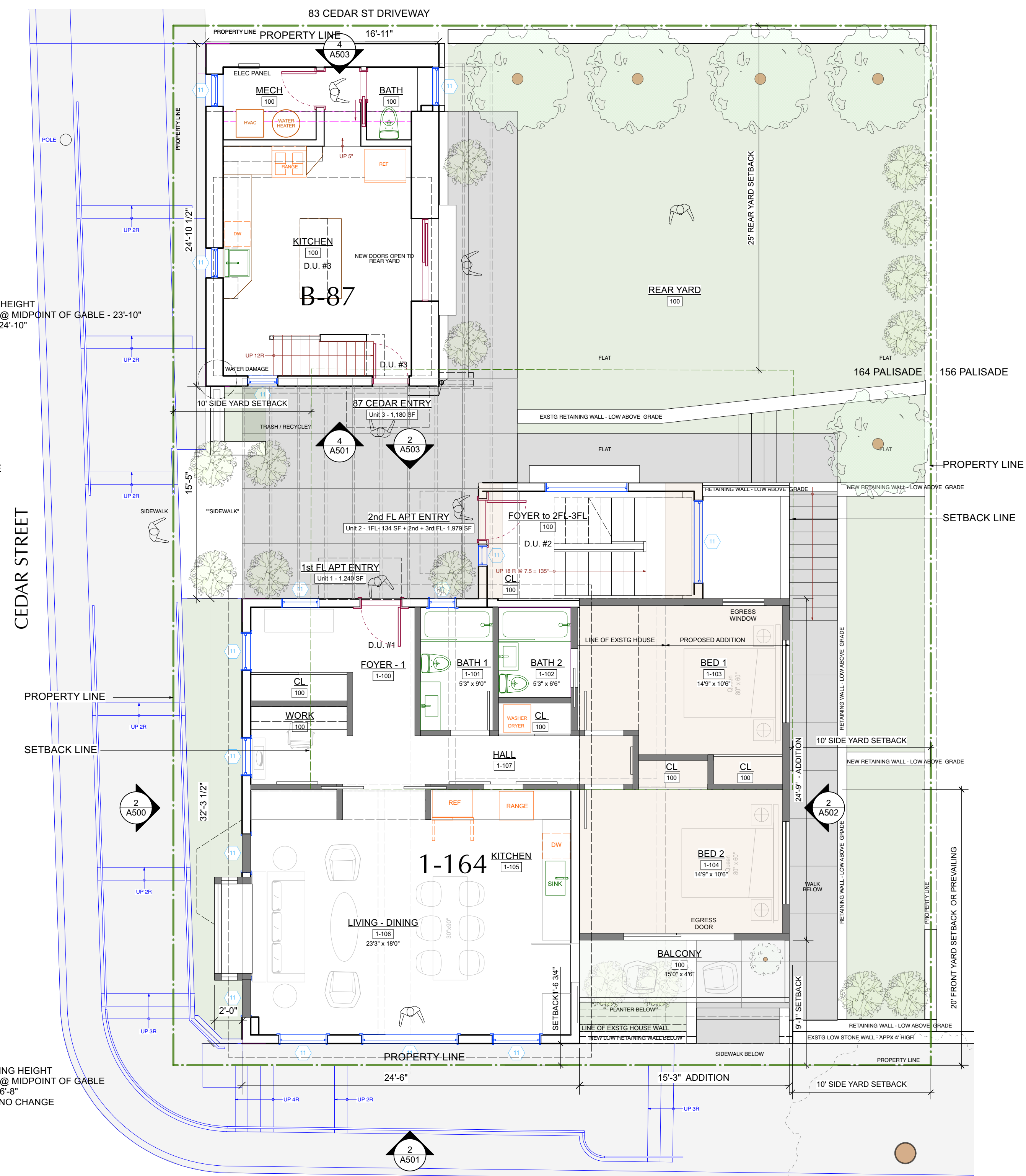
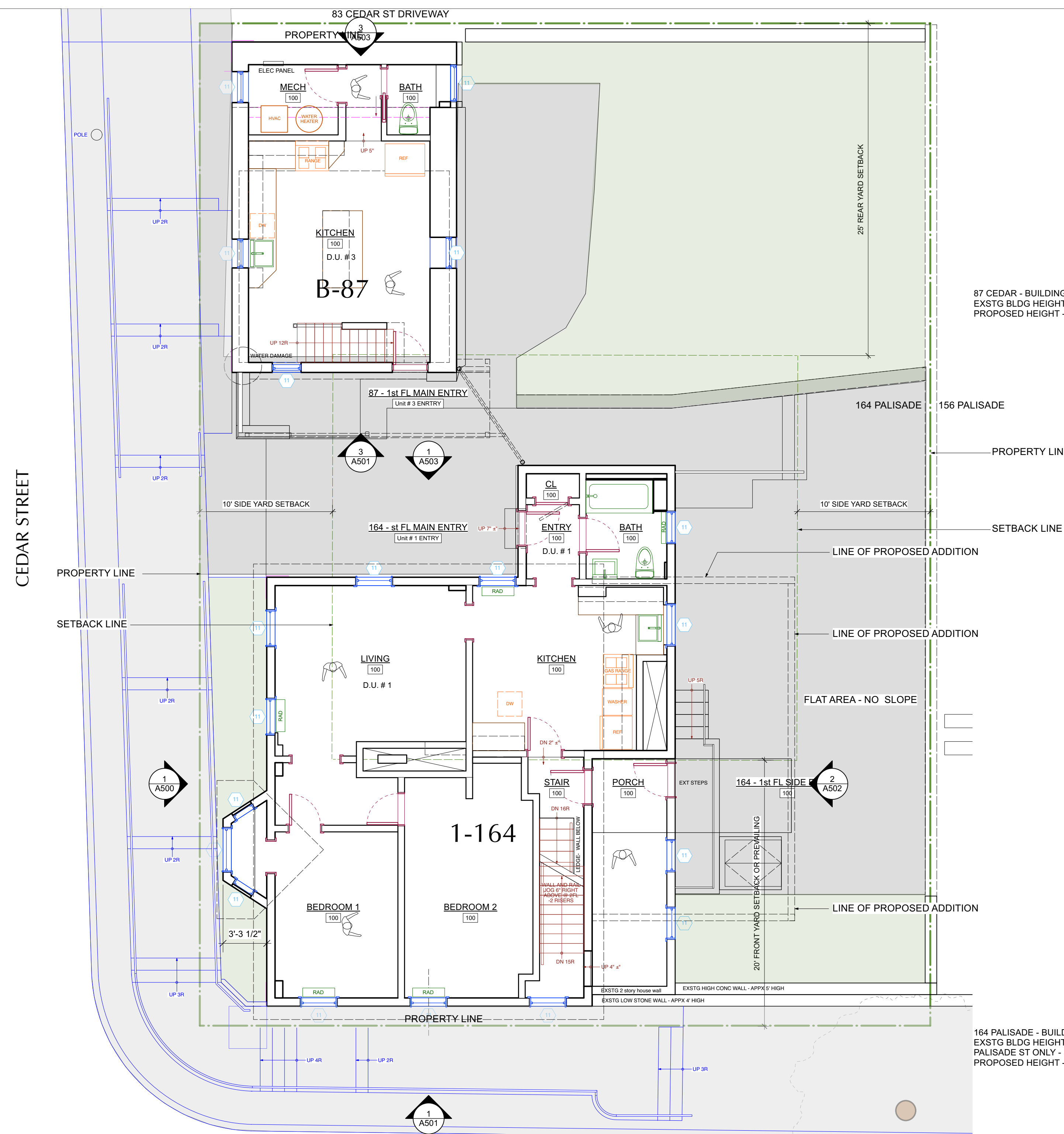
PROJECT:
164 PALISADE STREET
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DRAWING TITLE:
SUB CELLAR FLOOR PLANS
























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| SCALE: | 3/16" = 1'-0" |
| DATE: | 2/7/23 |
| PROJECT ID: | 2213A |
| DRAWING NUMBER | |
| A-101.00 | |








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| DEMOLITION PLAN LEGEND | |
|--|--|
|  | EXISTING STONE WALL TO REMAIN |
|  | EXISTING MASONRY WALL TO REMAIN |
|  | EXISTING EXTERIOR FRAME WALL TO REMAIN |
|  | EXISTING INTERIOR FRAME WALL TO REMAIN |
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|  | EXISTING INTERIOR WALL TO BE REMOVED |
|  | EXISTING OBJECT TO BE REMOVED |
| NOTE: ALL DEMOLITION TO BE APPROVED BY ARCHITECT IN FIELD PRIOR TO START OF WORK. | |
| CONSTRUCTION PLAN LEGEND | |
|  | EXISTING STONE WALL TO REMAIN |
|  | EXISTING MASONRY WALL TO REMAIN |
|  | EXISTING EXTERIOR FRAME WALL TO REMAIN |
|  | EXISTING INTERIOR FRAME WALL TO REMAIN |
|  | NEW MASONRY WALL |
|  | NEW C.I.P. CONCRETE WALL |
|  | NEW EXTERIOR FRAME WALL |
|  | NEW INTERIOR FRAME WALL |
|  | OBJECTS ABOVE |
|  | WINDOW ID |
|  | DOOR ID |
|  | WALL TYPE ID |
|  | BUILDING SECTION KEY |
|  | EXTERIOR ELEVATION KEY |
|  | DETAIL KEY |
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| NOTE: ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD (VIF) PRIOR TO CONSTRUCTION | |

| NO. REVISIONS | DATE |
|---|----------|
|  <i>[Signature]</i> | |
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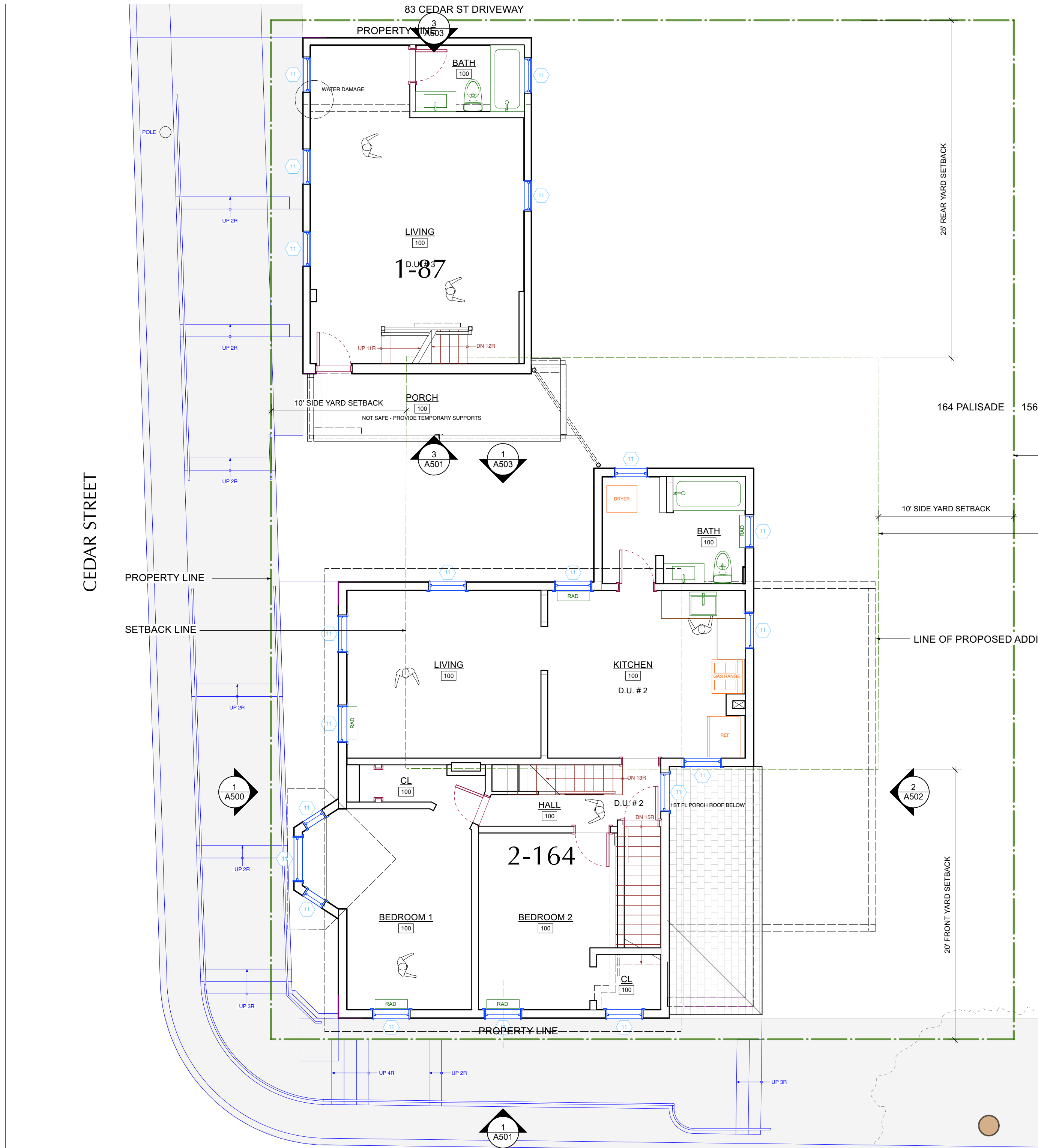
**164 PALISADE STREET
DOBBS FERRY, NY 10522**

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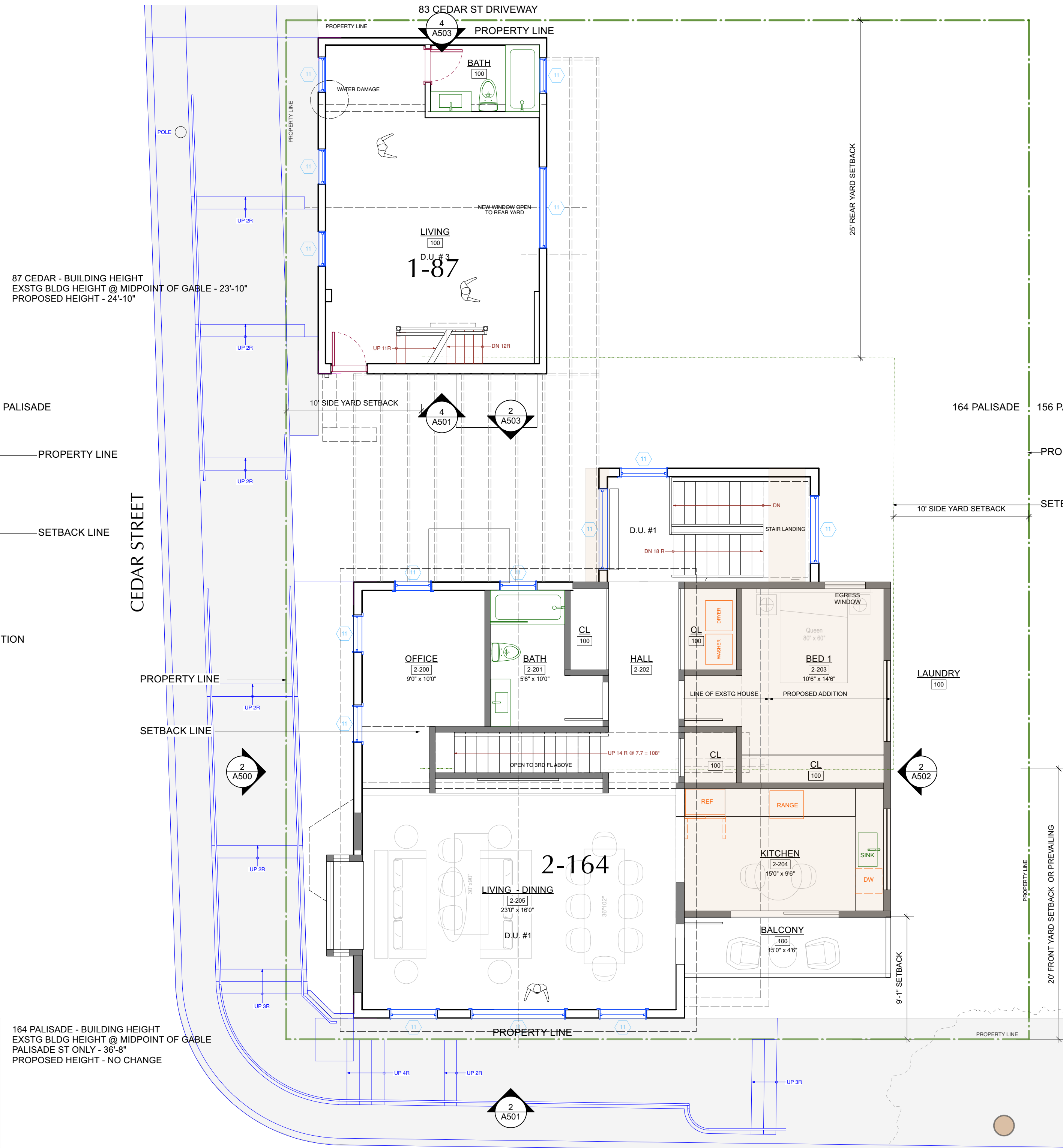
1ST FLOOR PLANS

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| DATE: | 2/7/23 | |
| PROJECT ID: | 2213A | |



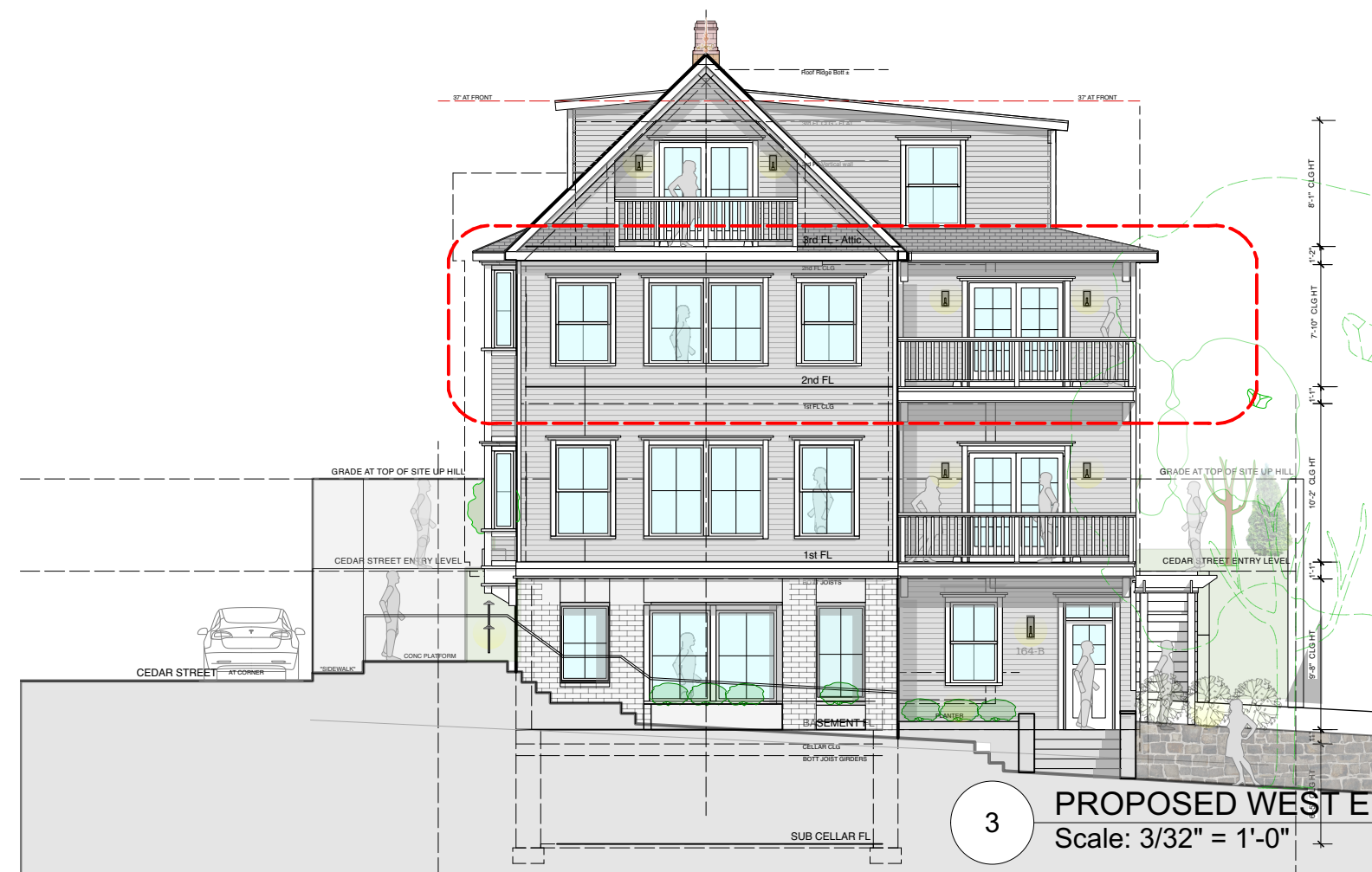
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Scale: 3/16" = 1'-0"



2 PROPOSED 2ND FLOOR PLAN (164) - 1st FL (87)
Scale: 3/16" = 1'-0"



4 EXISTING WEST ELEVATION - PALISADE STREET
Scale: 3/32" = 1'-0"



3 PROPOSED WEST ELEVATION - PALISADE STREET
Scale: 3/32" = 1'-0"

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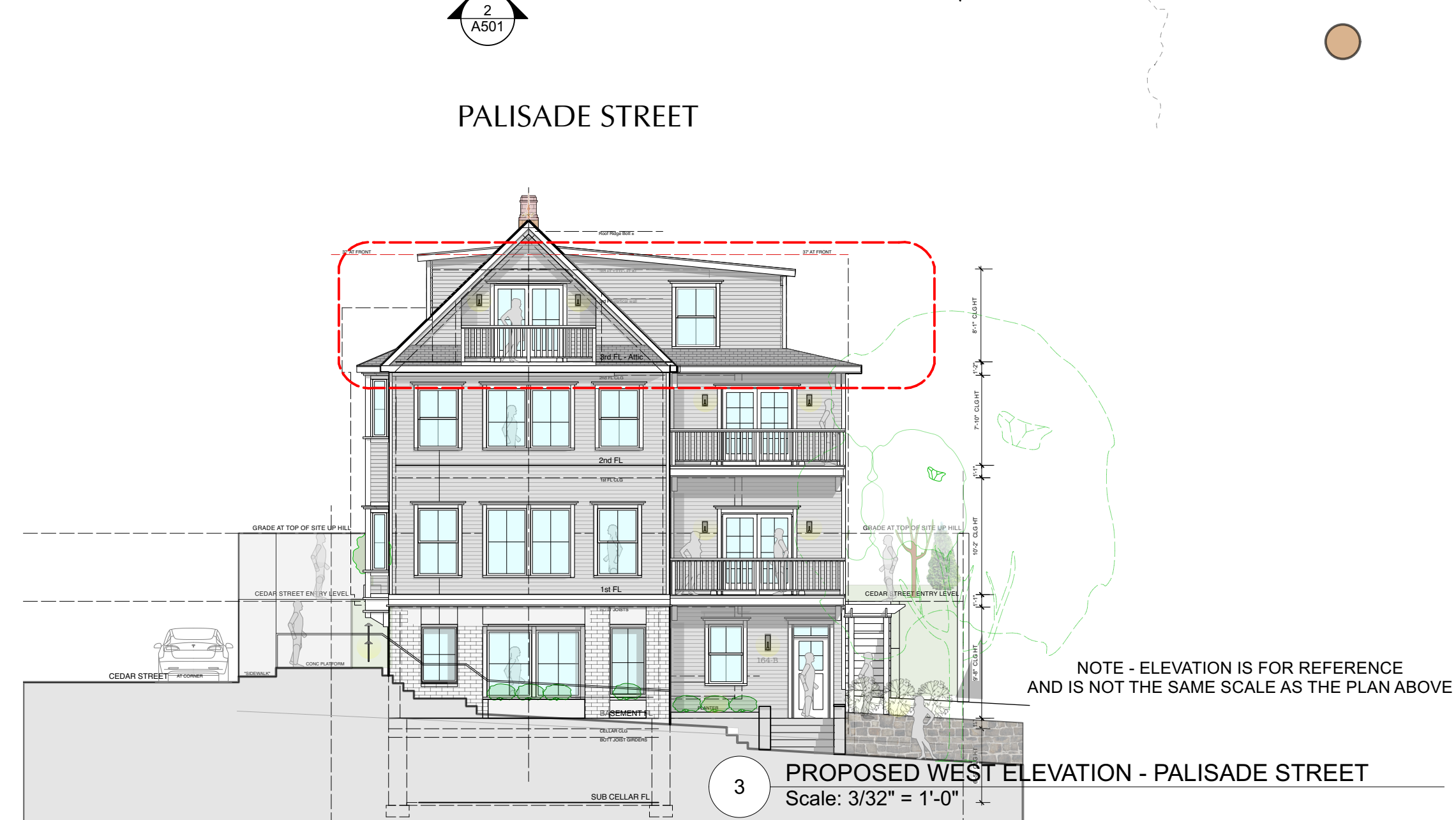
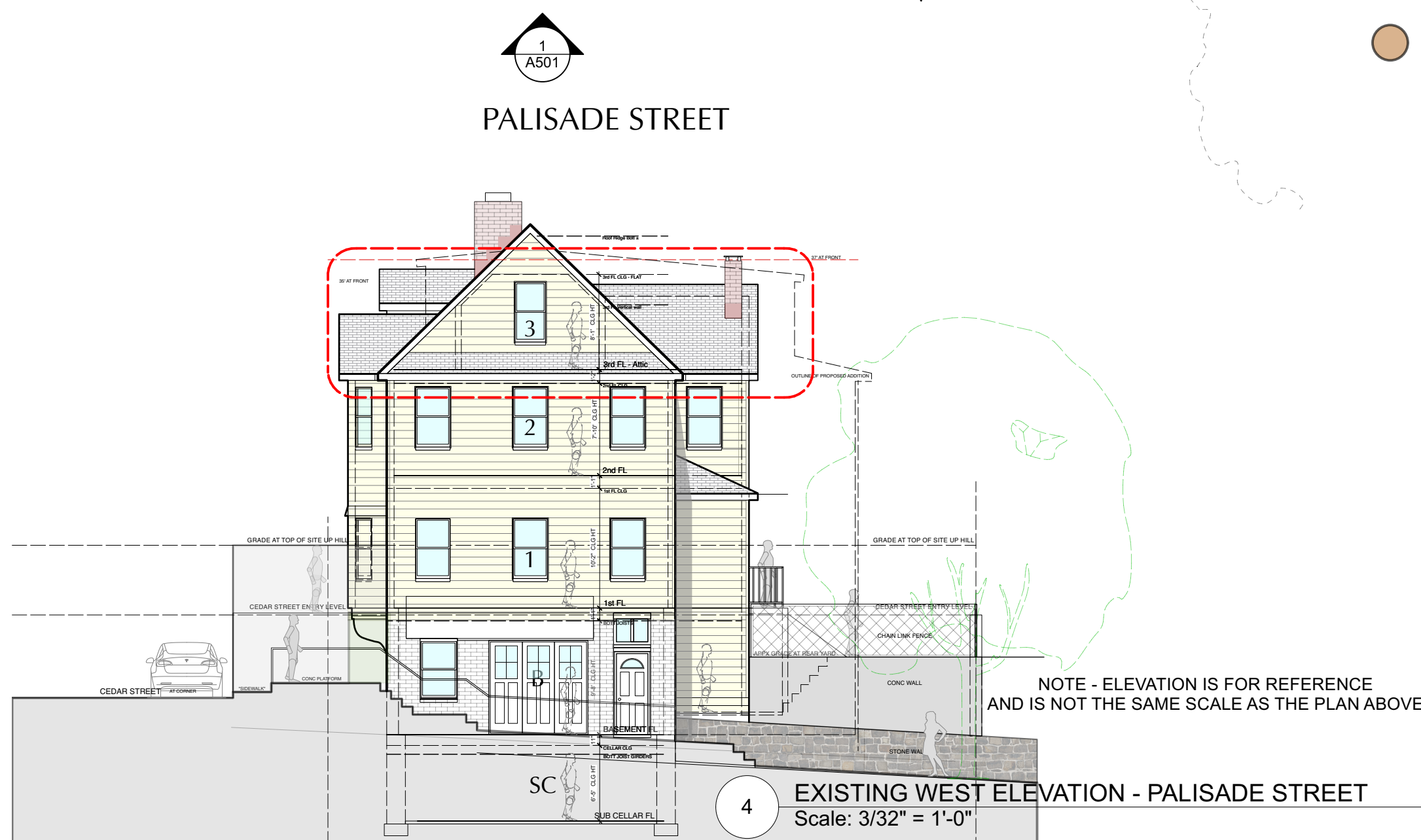
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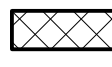
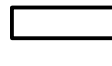
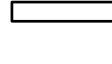





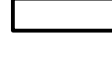
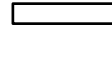




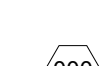
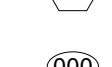
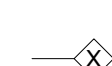


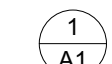
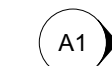


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164 PALISADE STREET
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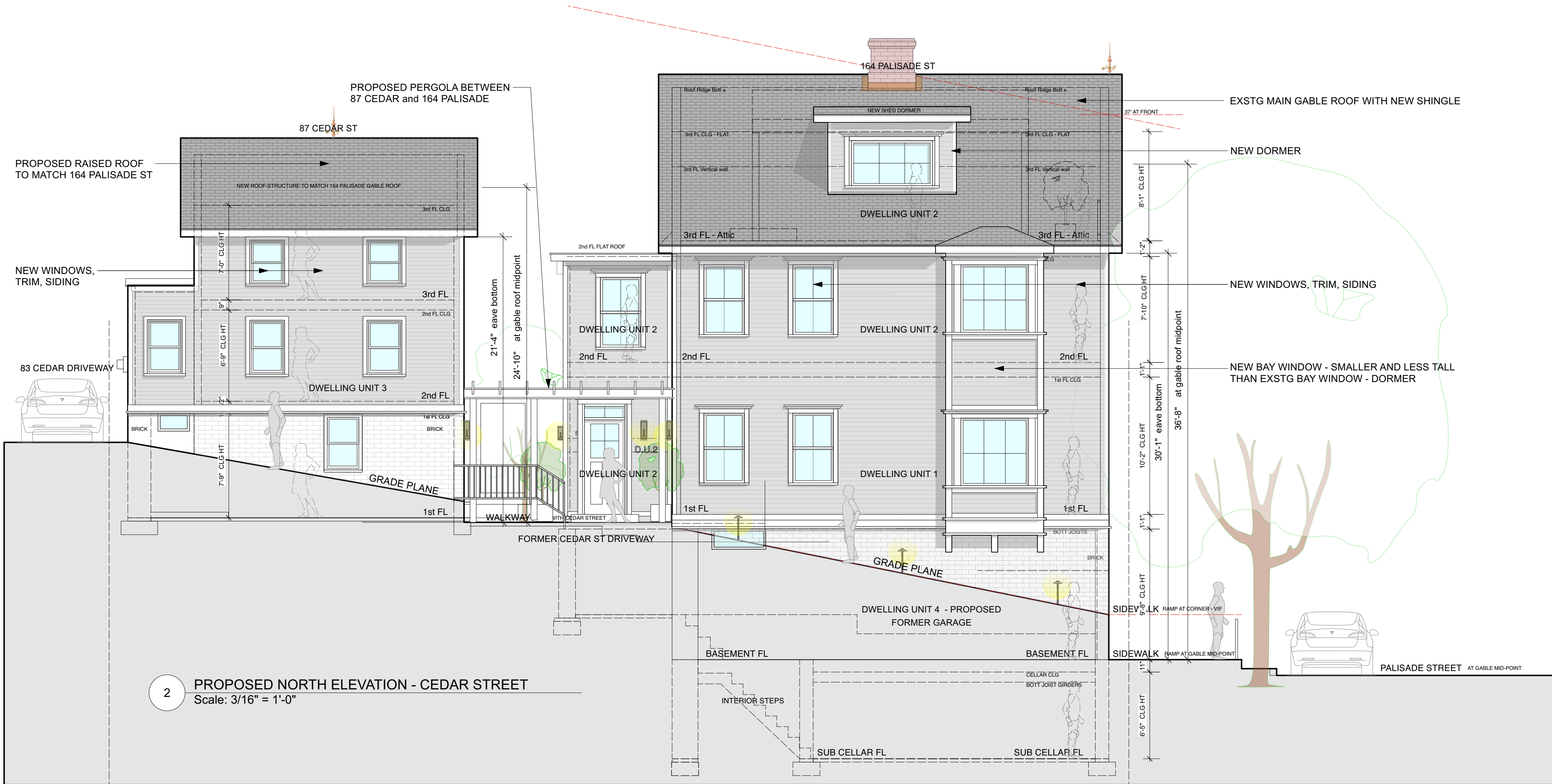
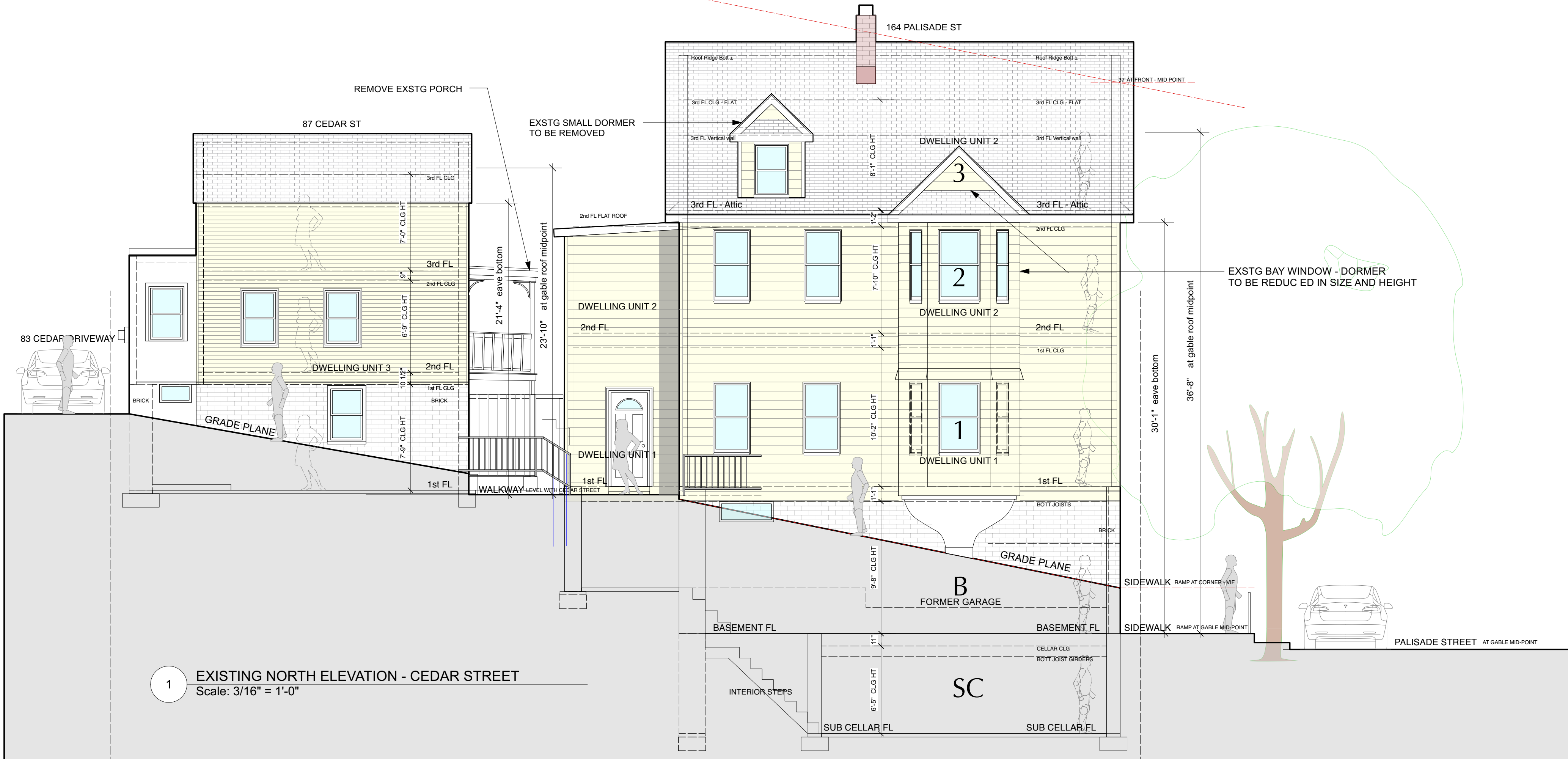
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2ND FLOOR PLANS

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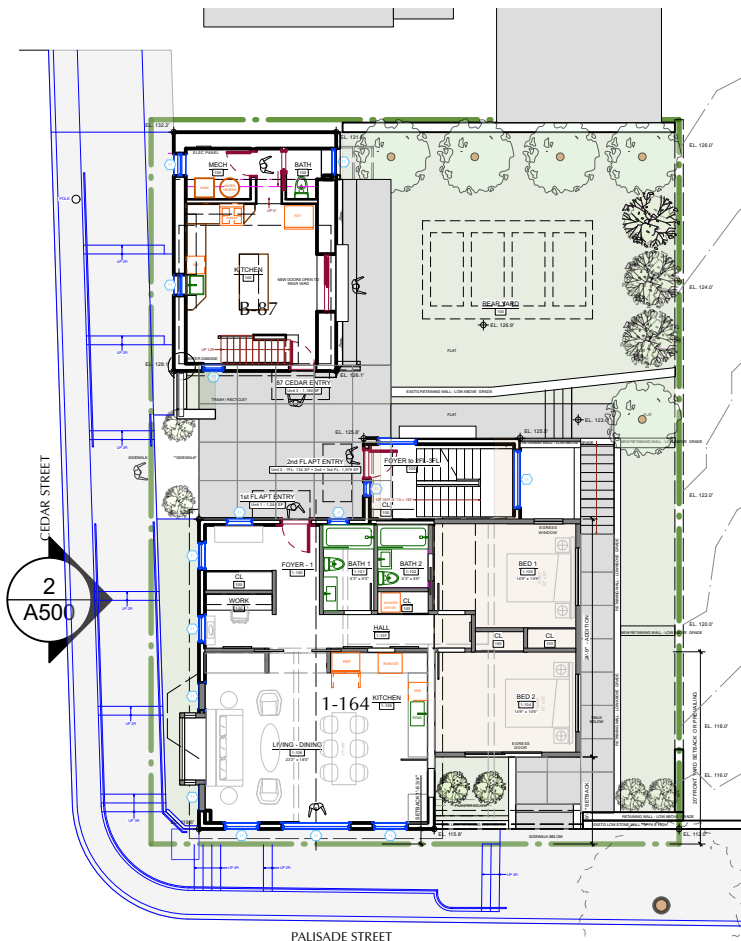
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| DEMOLITION PLAN LEGEND | | |
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|  | EXISTING MASONRY WALL TO REMAIN | |
|  | EXISTING EXTERIOR FRAME WALL TO REMAIN | |
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| CONSTRUCTION PLAN LEGEND | | |
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|  | NEW MASONRY WALL | |
|  | NEW C.I.P. CONCRETE WALL | |
|  | NEW EXTERIOR FRAME WALL | |
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|  | WINDOW ID | |
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|  | EXTERIOR ELEVATION KEY | |
|  | DETAIL KEY | |
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| NOTE: ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD (W/F) PRIOR TO CONSTRUCTION | | |
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|  | | |
| NO. | ISSUE | DATE |
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| Michael Lewis Architects PC 145 Palisade St. Suite # 307 Dobbs Ferry, NY 10522 tel 914-231-7700, fax 914-231-7701 info@mlarchitect.com www.mlarchitect.com | | |
| PROJECT: 164 PALISADE STREET DOBBS FERRY, NY 10522 | | |
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| PROJECT ID: | 2213A | |



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K KEY PLAN - ELEVATIONS
Scale: Not to Scale

NO. REVISIONS DATE



NO. ISSUE DATE

| | | |
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| 1C | INITIAL PERMIT FILING - REVISED | 11/10/22 |
| 2A | ZONING BOARD OF APPEALS | 12/6/22 |
| 2B | ZBA PRESENTATION | 1/10/23 |
| 3A | PB-AHRB PRE-SUBMISSION | 2/7/23 |

APPLICATION # A 2022 - 0449

Michael Lewis Architects PC

145 Palisade St. Suite #307
Dobbs Ferry, NY 10522
tel 914-231-7700, fax 914-231-7701
info@mlarchitect.com
www.mlarchitect.com

PROJECT:

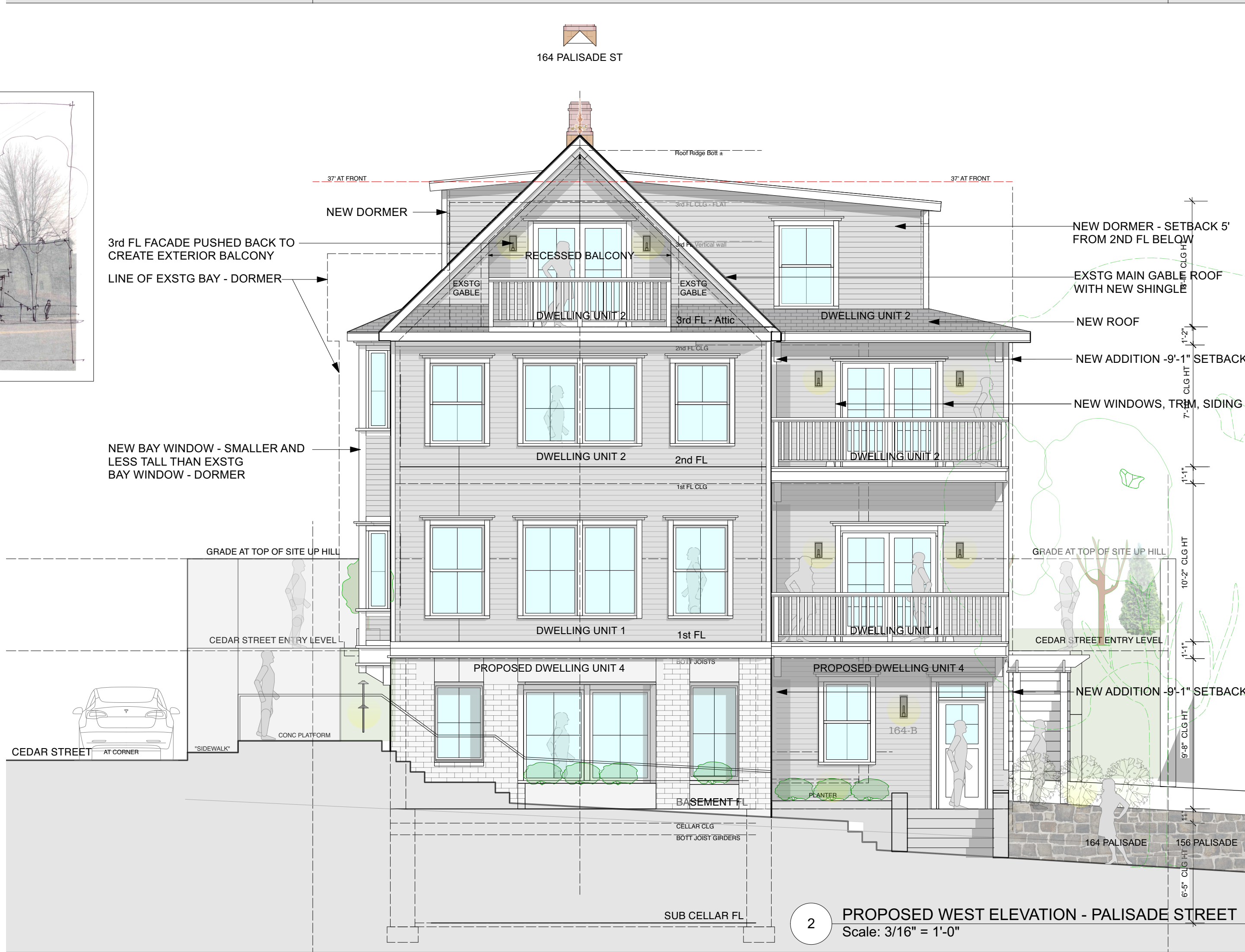
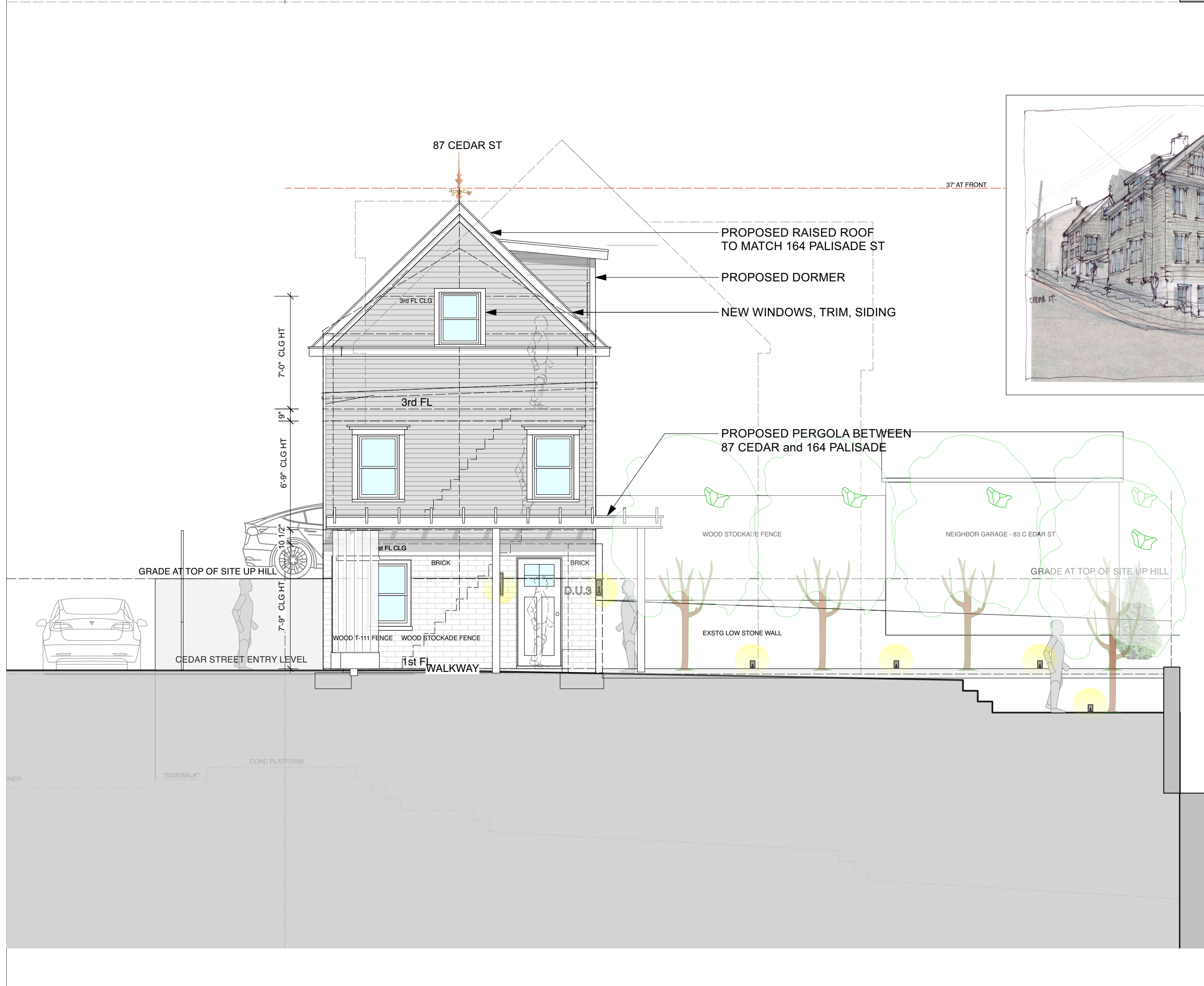
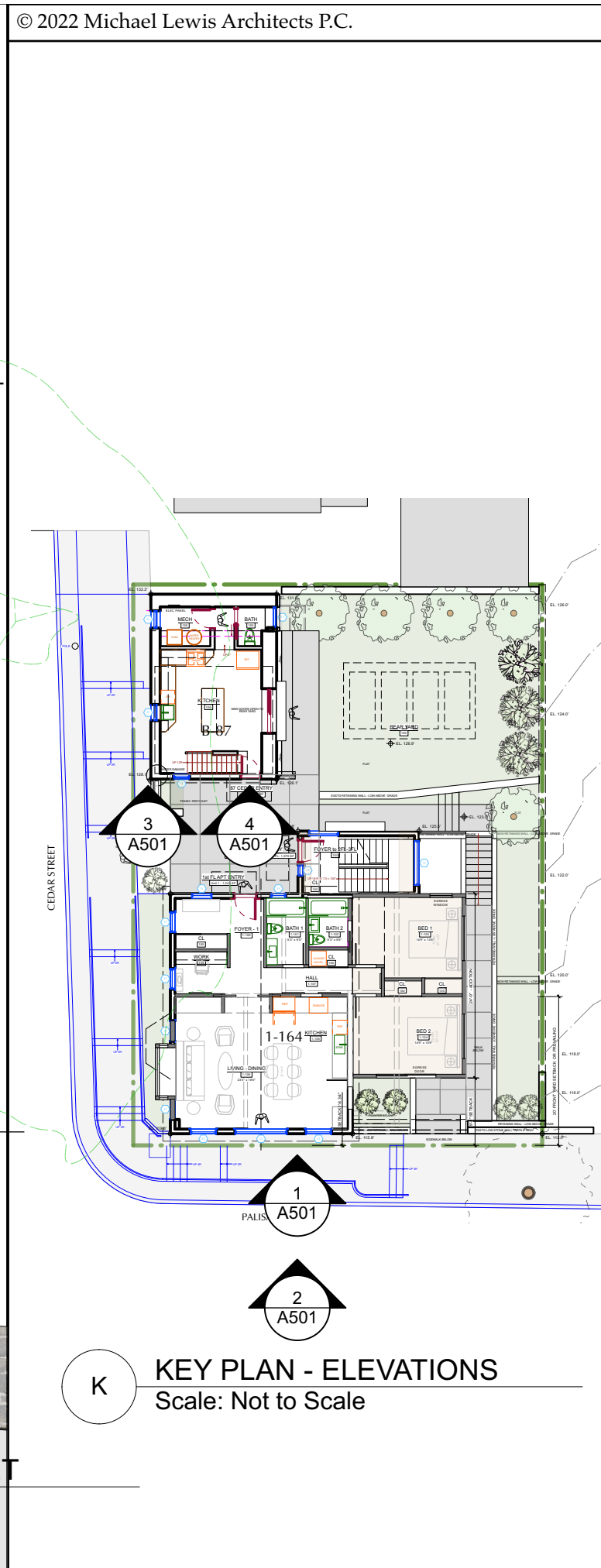
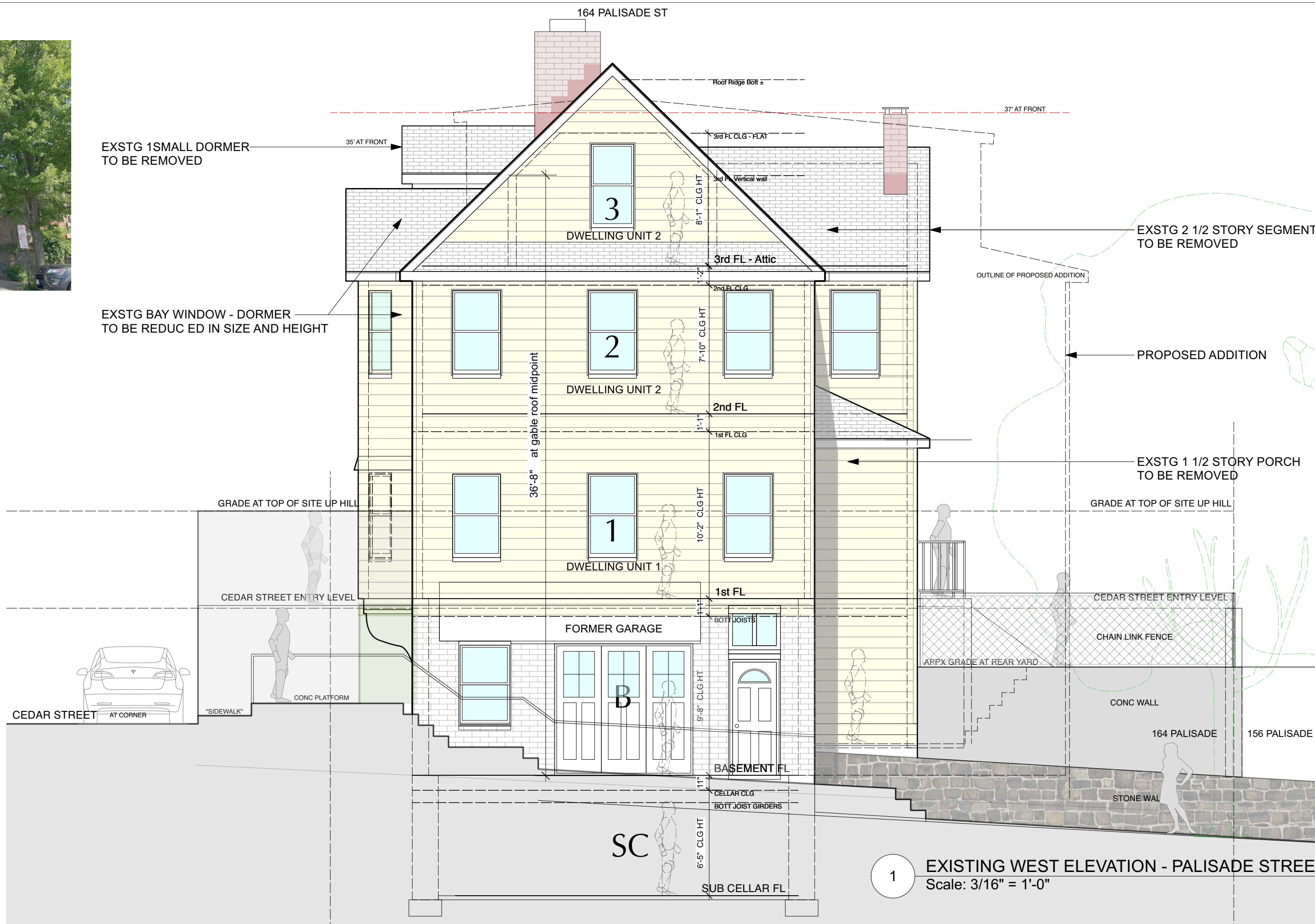
164 PALISADE STREET
DOBBS FERRY, NY 10522

DRAWING TITLE:

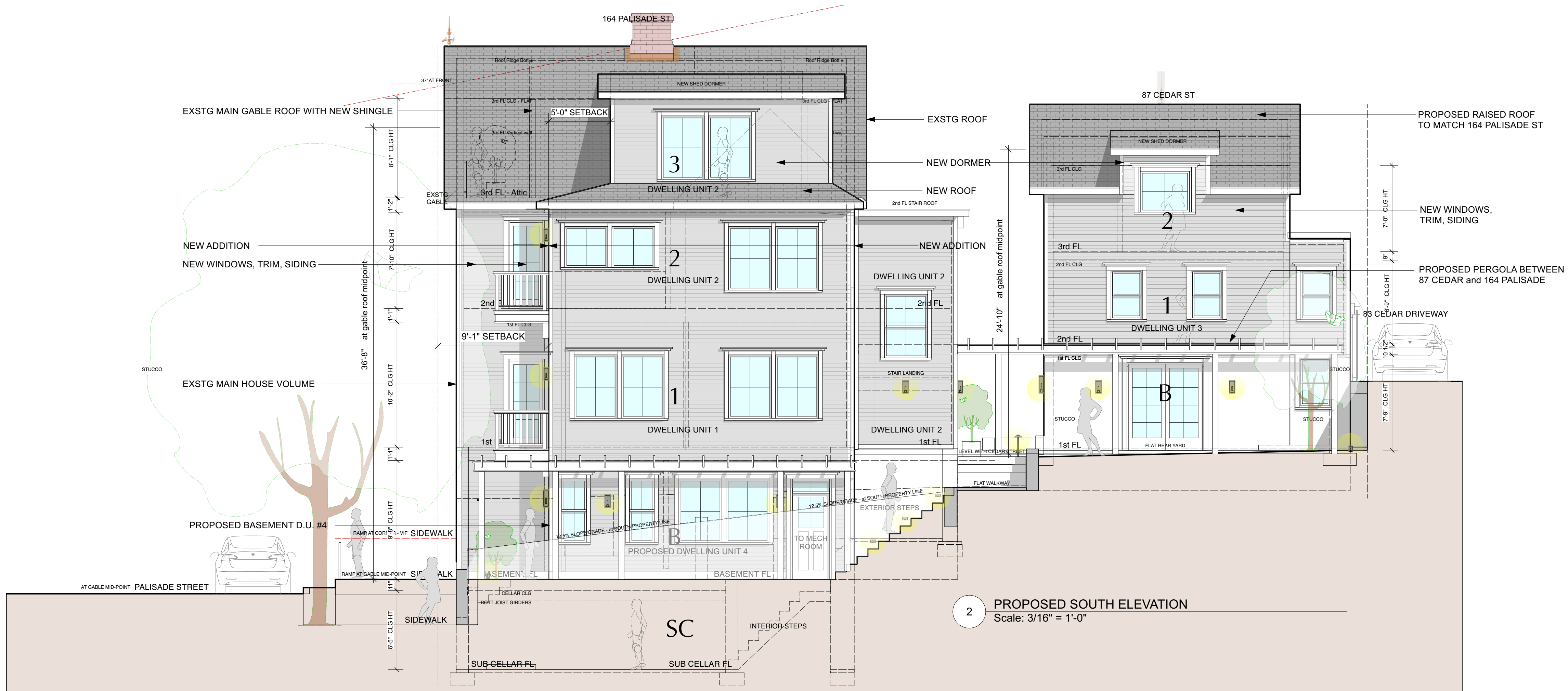
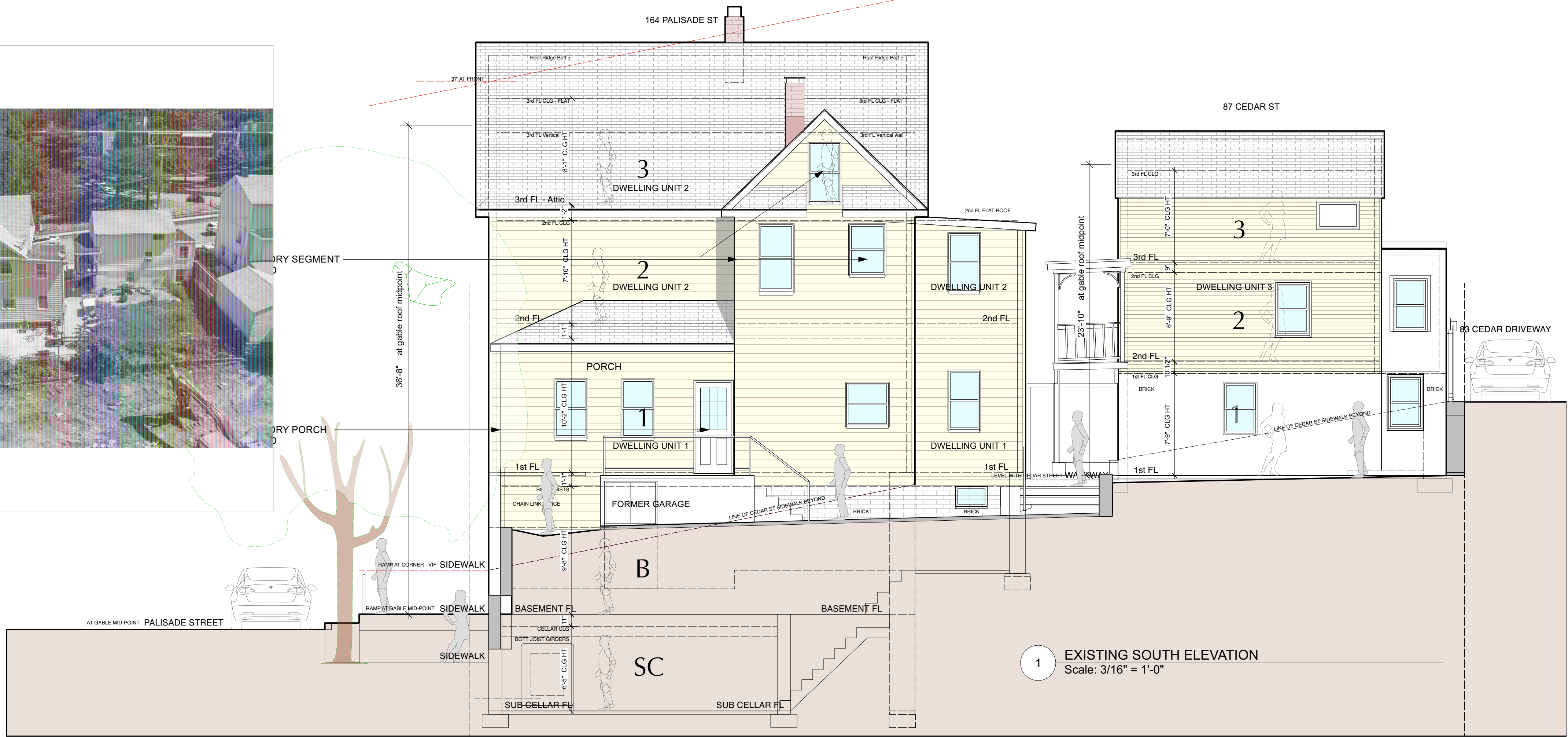
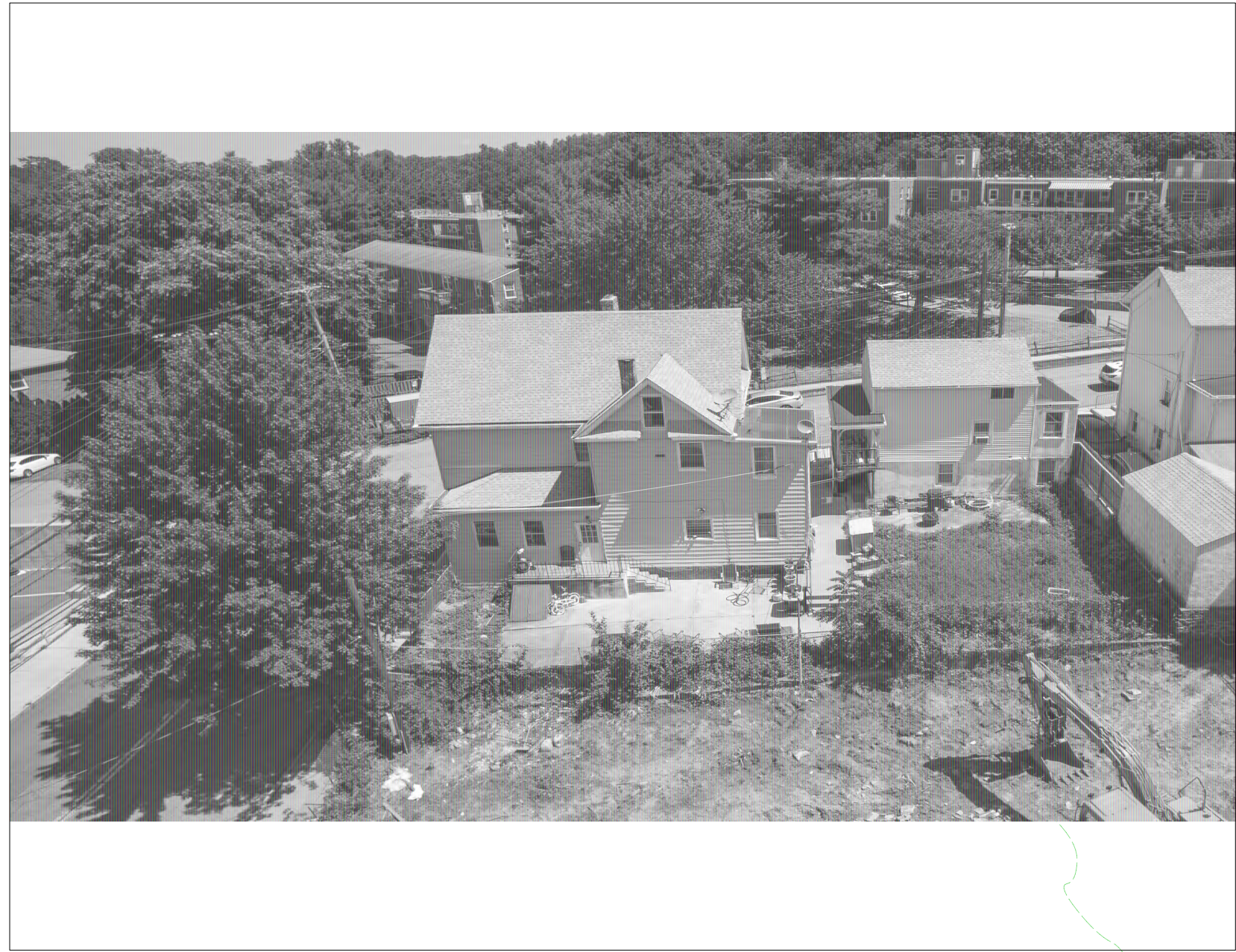
NORTH ELEVATIONS - Cedar St

FILE NAME:

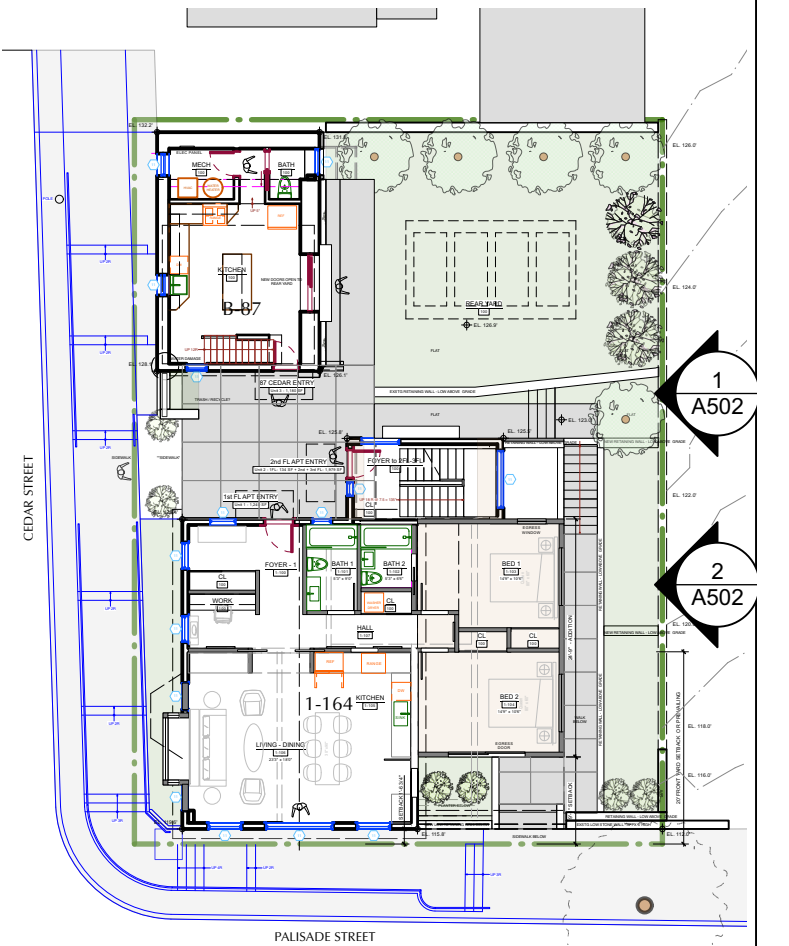
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| DRAWN BY: | PG | DRAWING NUMBER |
| SCALE: | 3/16" = 1'-0" | A-500.00 |
| DATE: | 2/7/23 | |
| PROJECT ID: | 2213A | |



| NO. REVISIONS | | DATE |
|--|---------------------------------|-----------------------|
| | | |
| NO. | ISSUE | DATE |
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| APPLICATION # A 2022 - 0449 | | |
| Michael Lewis Architects PC 145 Palisade St. Suite # 307 Dobbs Ferry, NY 10522 tel 914-231-7700, fax 914-231-7701 info@mlarchitect.com www.mlarchitect.com | | |
| PROJECT: 164 PALISADE STREET DOBBS FERRY, NY 10522 | | |
| DRAWING TITLE: WEST ELEVATIONS - Palisade St | | |
| FILE NAME: | | |
| DRAWN BY: | PG | DRAWING NUMBER |
| SCALE: | 3/16" = 1'-0" | A-501.00 |
| DATE: | 2/7/23 | |
| PROJECT ID: | 2213A | |



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K KEY PLAN - ELEVATIONS
Scale: Not to Scale

NO. REVISIONS DATE



NO. ISSUE DATE

| | | |
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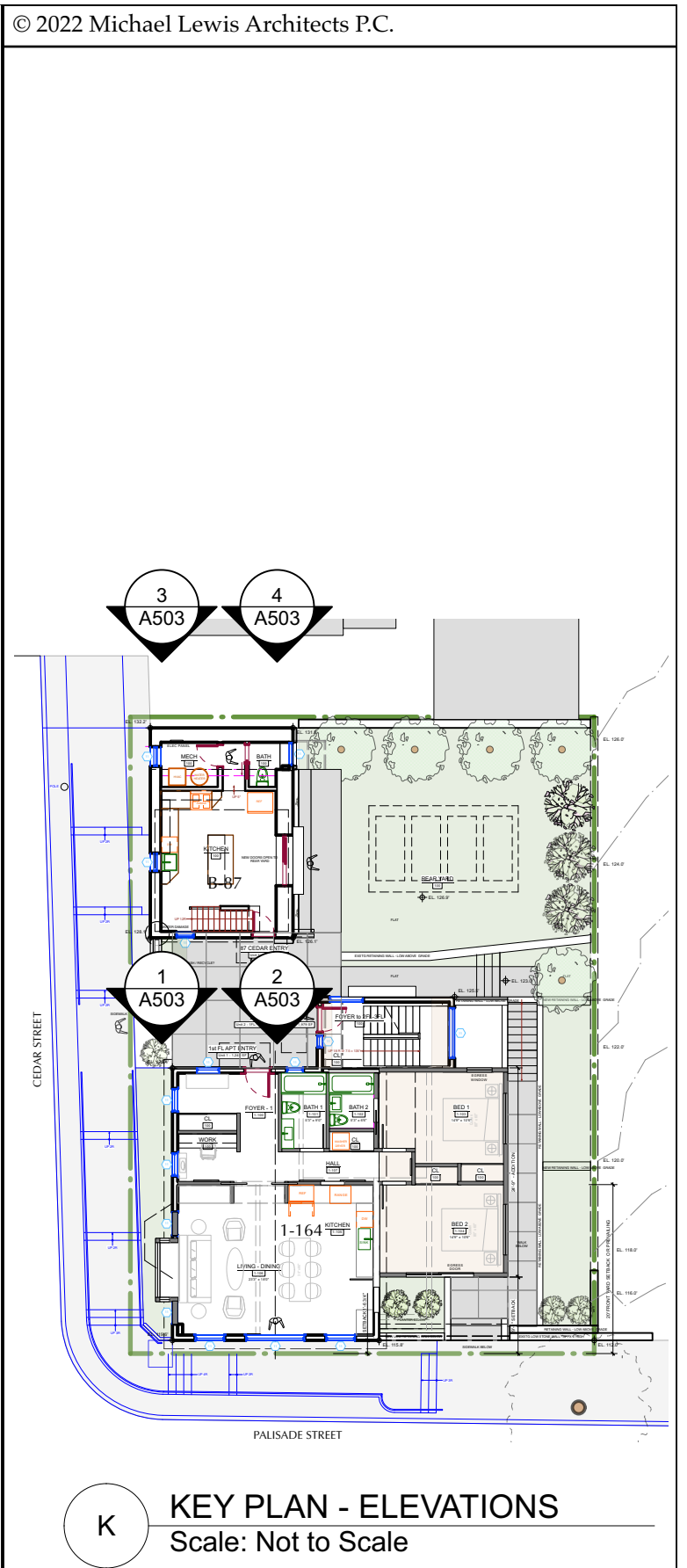
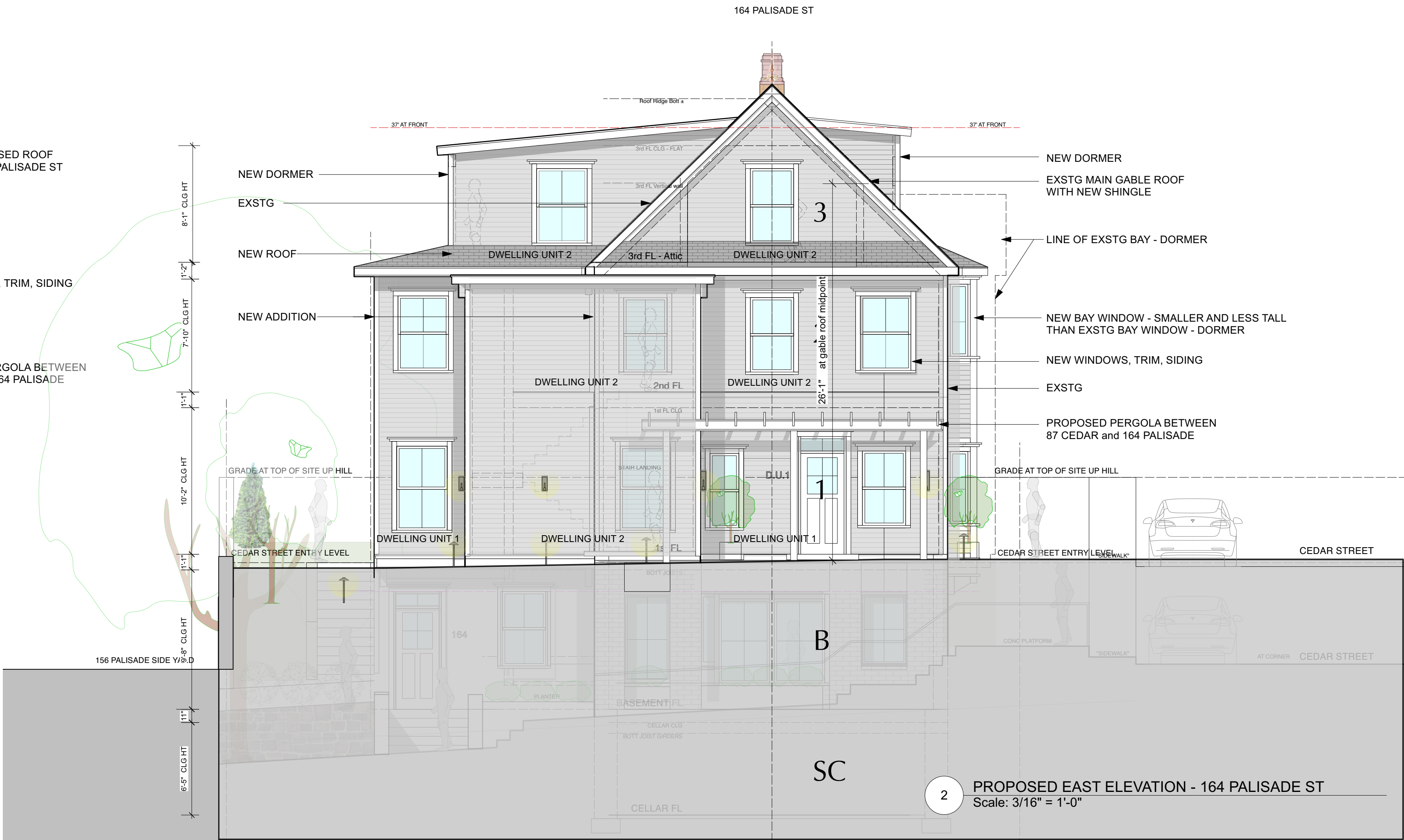
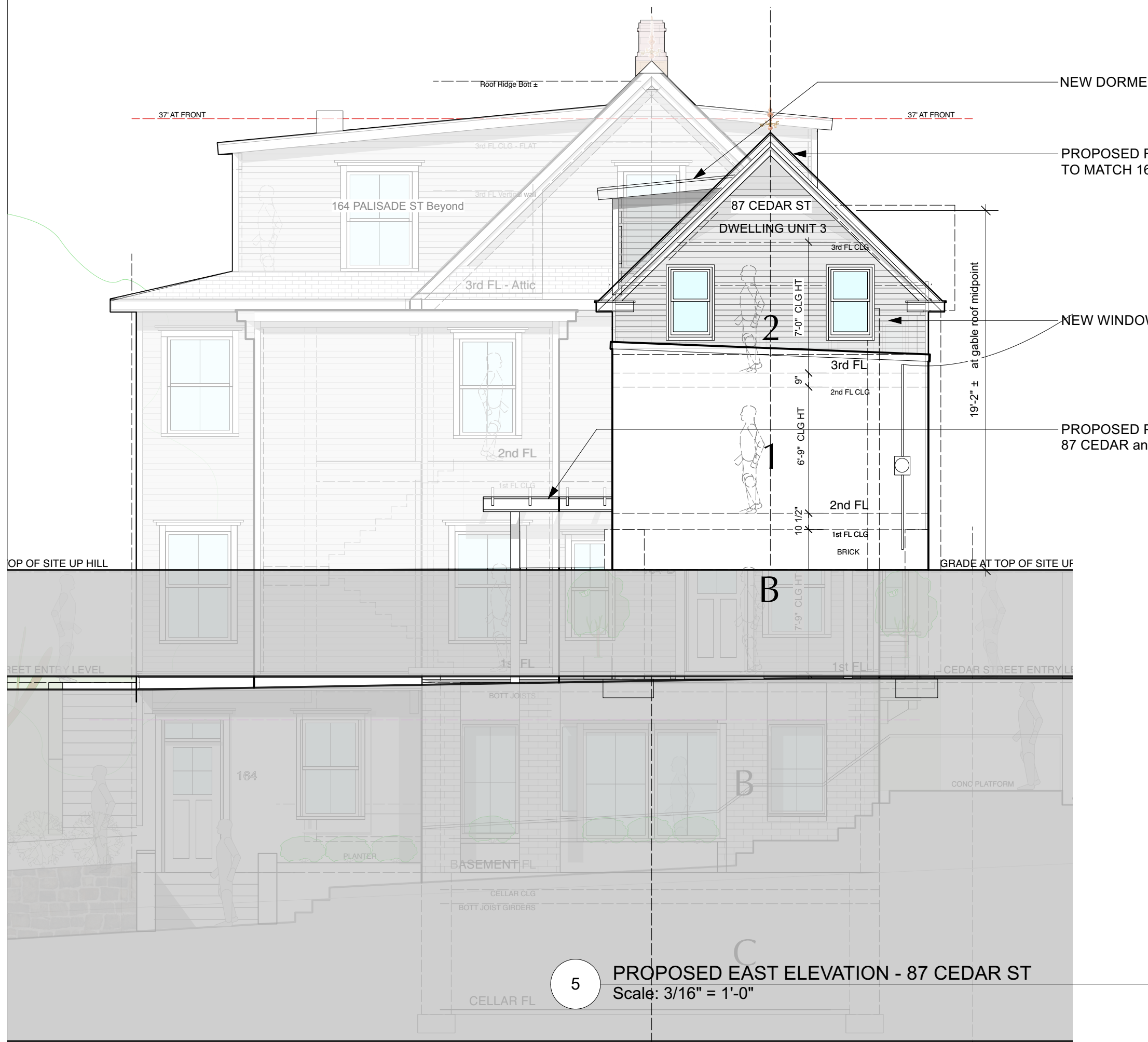
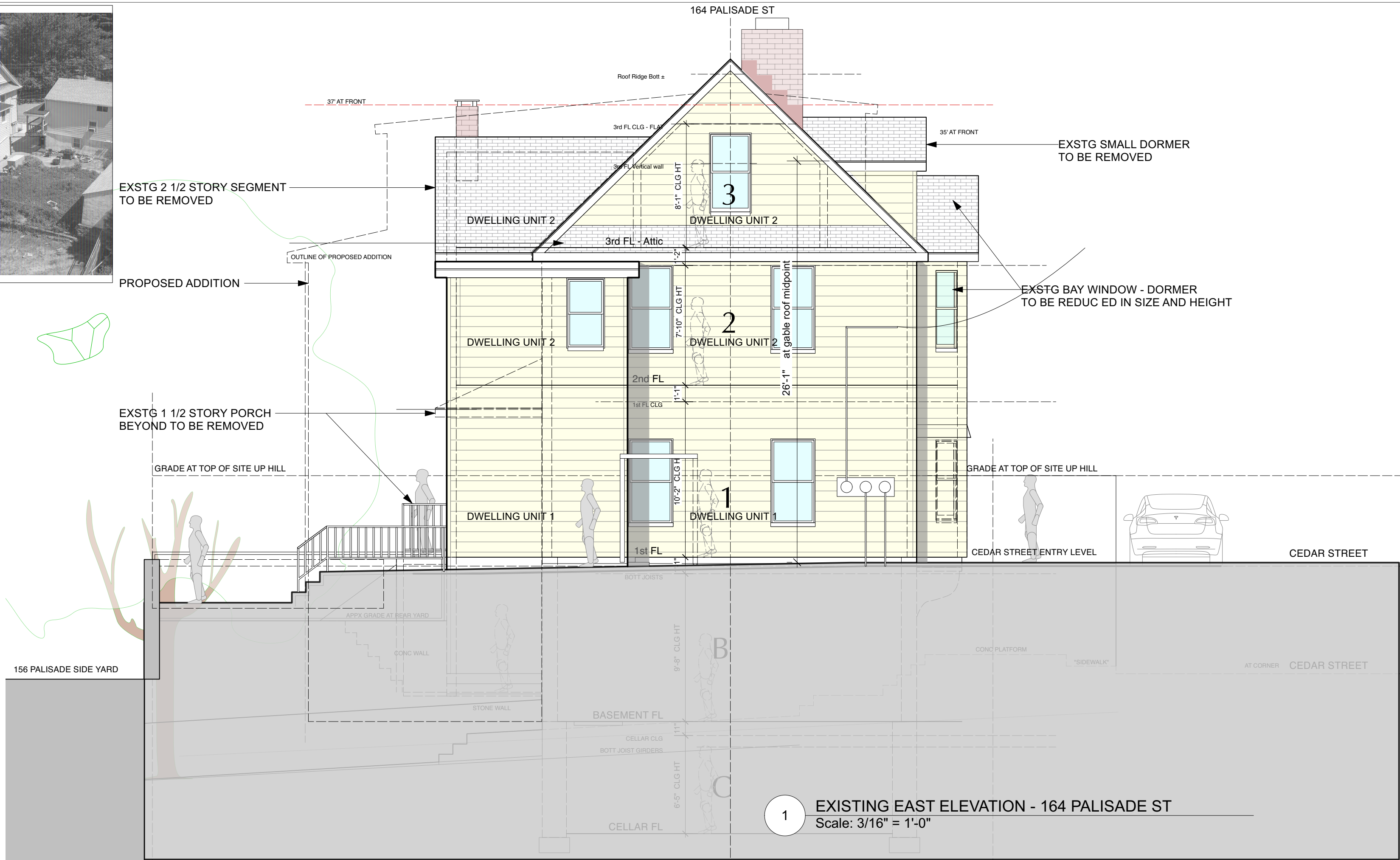
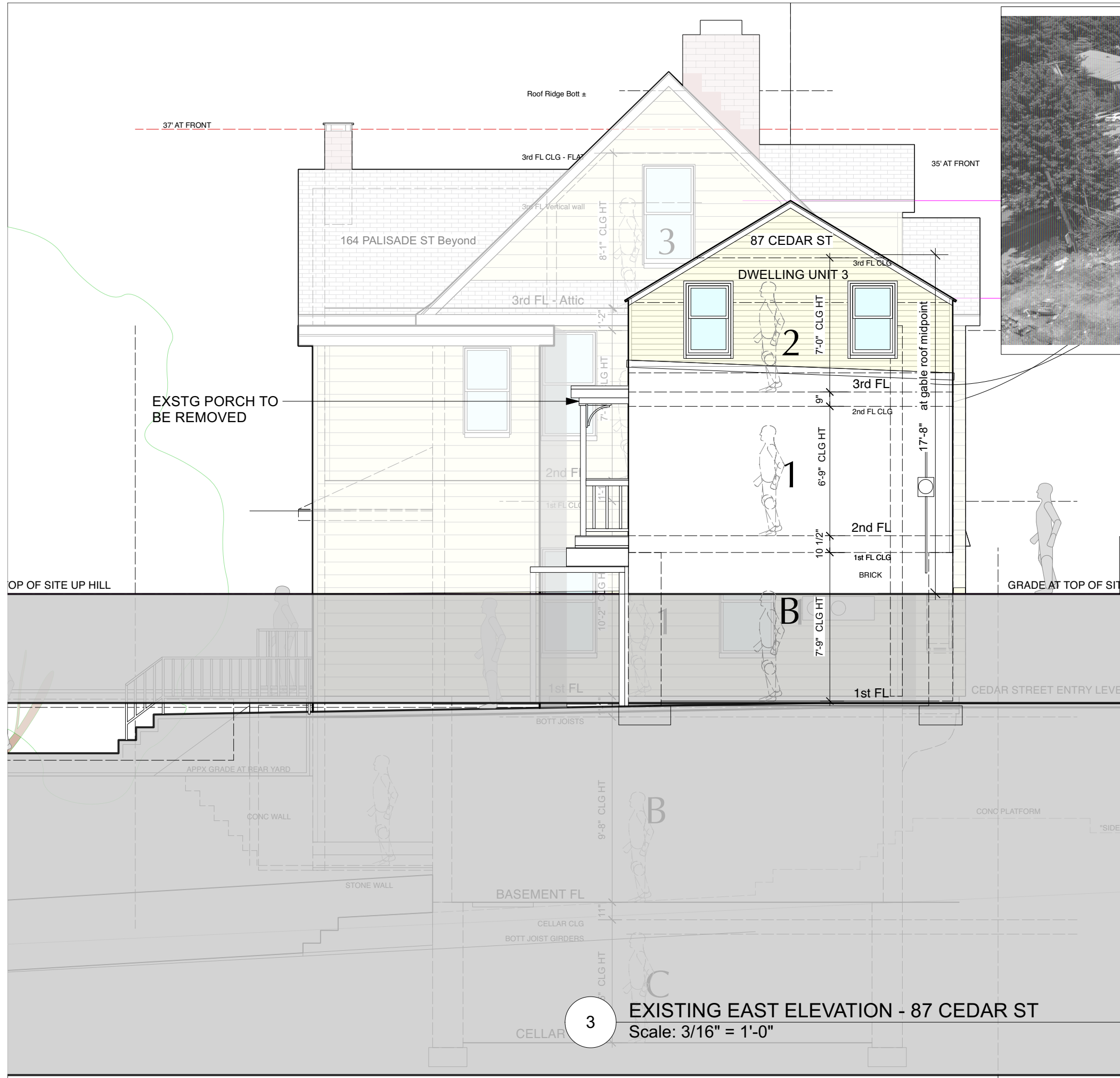
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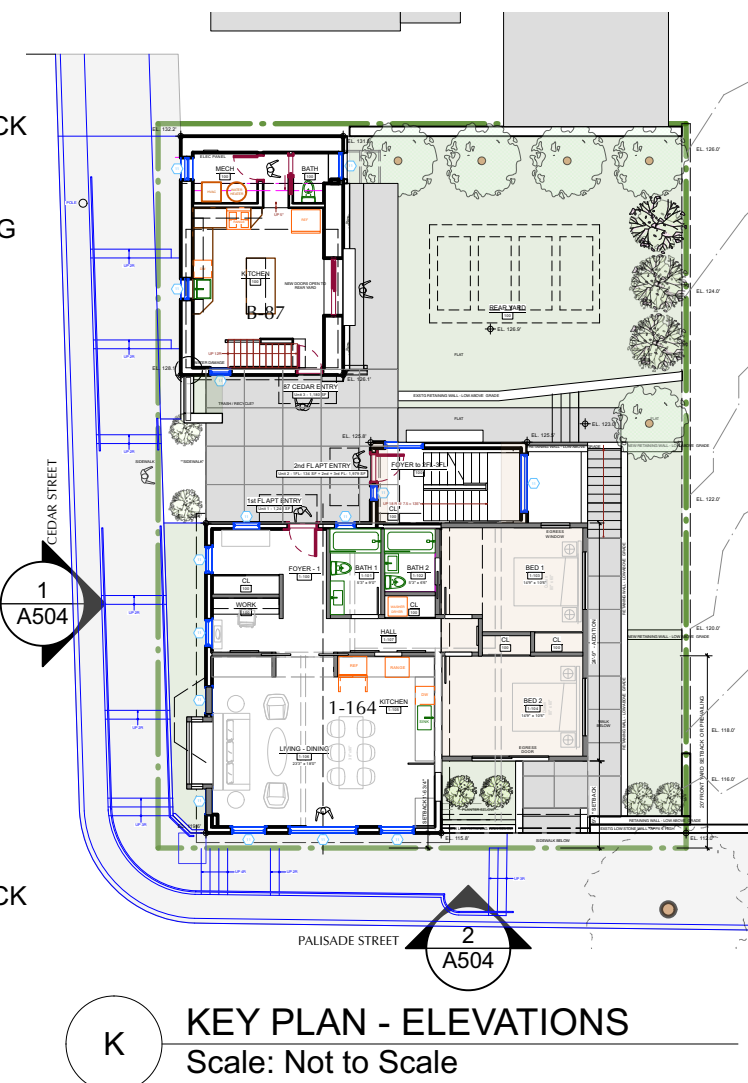
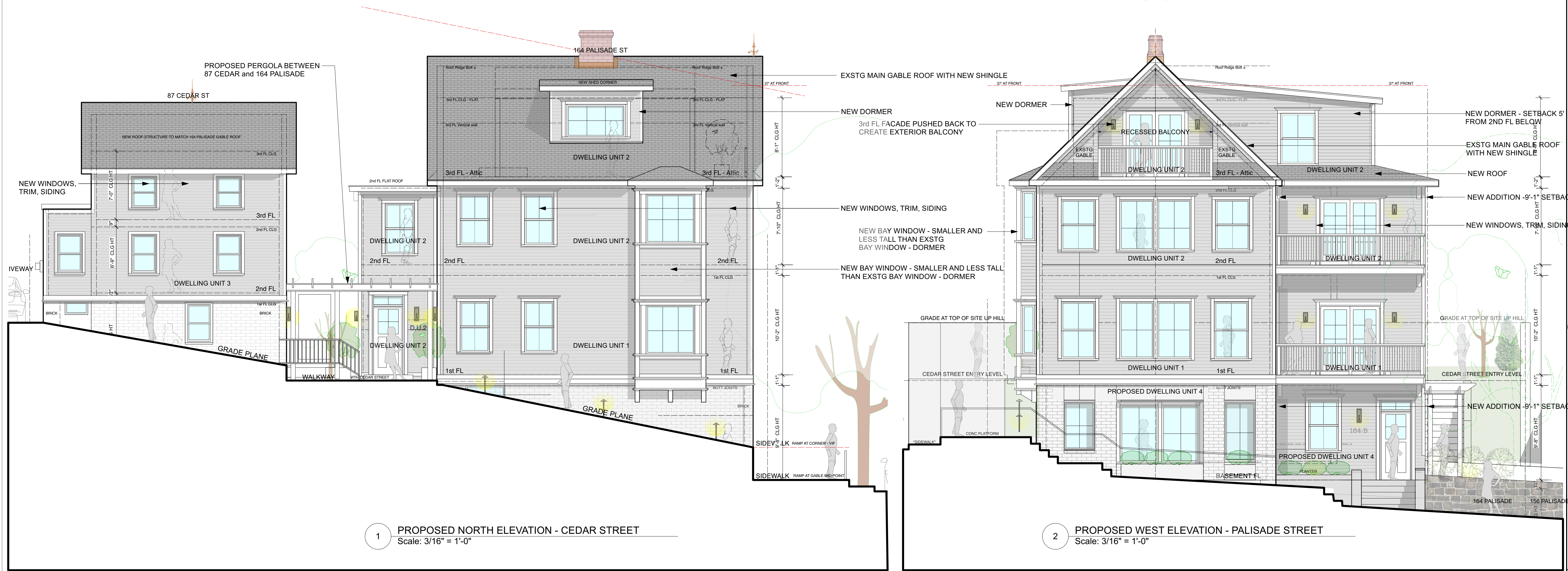
PROJECT:
164 PALISADE STREET
DOBBS FERRY, NY 10522

DRAWING TITLE:
SOUTH ELEVATIONS

| | |
|----------------|---------------|
| FILE NAME: | |
| DRAWN BY: | PG |
| SCALE: | 3/16" = 1'-0" |
| DATE: | 2/7/23 |
| PROJECT ID: | 2213A |
| DRAWING NUMBER | A-502.00 |



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| PROJECT: 164 PALISADE STREET DOBBS FERRY, NY 10522 | | |
| DRAWING TITLE: EAST ELEVATIONS | | |
| FILE NAME: | | |
| DRAWN BY: | PG | DRAWING NUMBER |
| SCALE: | 3/16" = 1'-0" | A-503.00 |
| DATE: | 2/7/23 | |
| PROJECT ID: | 2213A | |



EXISTING MATERIALS



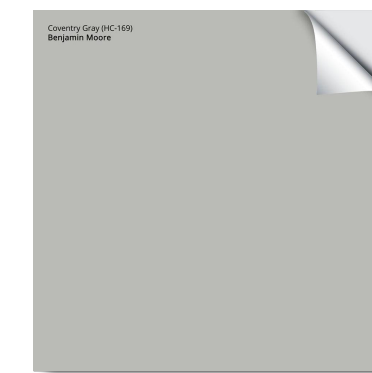
PALISADE ST RETAINING WALL
FIELDSTONE



BRICK AT BUILDINGS BASE
BRICK IS PAINTED WHITE



STUCCO - 87 CEDAR ST SIDE-REAR
STUCCO WAS OFF WHITE - NOW STAINED

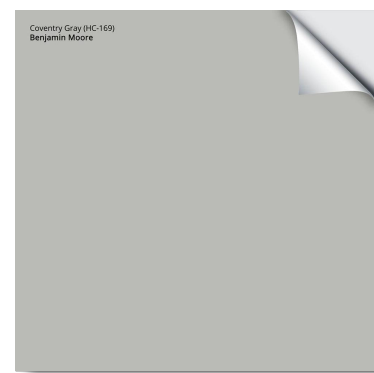


PROPOSED RETAINING WALL
CMU BLOCK AND STUCCO - PRE-CAST CONC CAP
BENJAMIN MOORE HISTORICAL COLORS
COLOR - HC-169 COVENTRY GRAY



BRICK AT BUILDING BASE

BRICK RE-POINTED AND WHITEWASHED



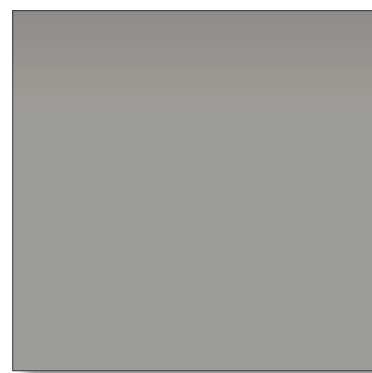
STUCCO - 87 CEDAR ST
BENJAMIN MOORE HISTORICAL COLORS
COLOR - HC-169 COVENTRY GRAY



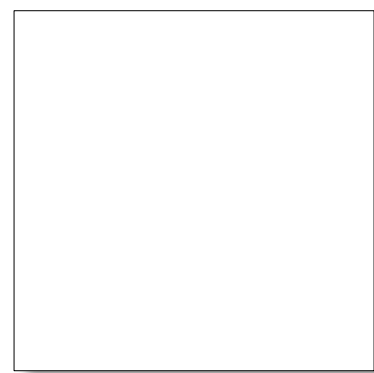
ROOF SHINGLE
BY GAF - TIMBERLINE HDZ
COLOR - CHARCOAL
(Darker color to match future solar panels/shingles)



SIDING
HARDIE - FIBER CEMENT SIDING
LAP SIDING - SMOOTH - COLOR - PEARL GRAY



WINDOW - EXTERIOR FRAME
MARVIN - ELEVATE SERIES
COLOR - PEBBLE GRAY

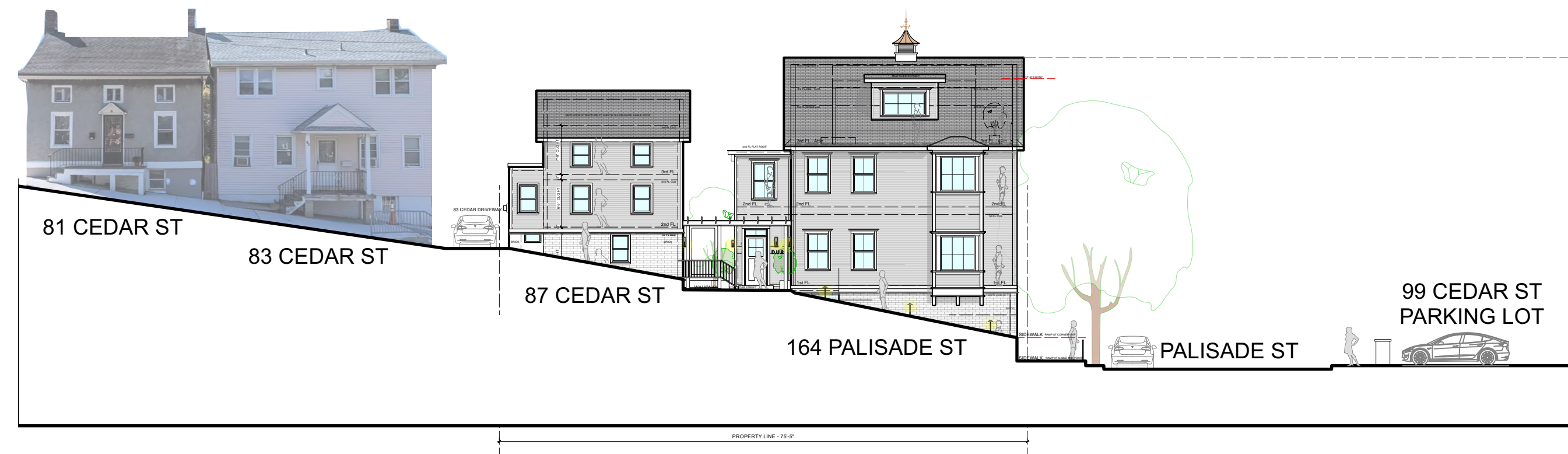


TRIM
AZEK TRIM - WHITE
WINDOW SURROUNDS, CORNER BOARDS, ETC

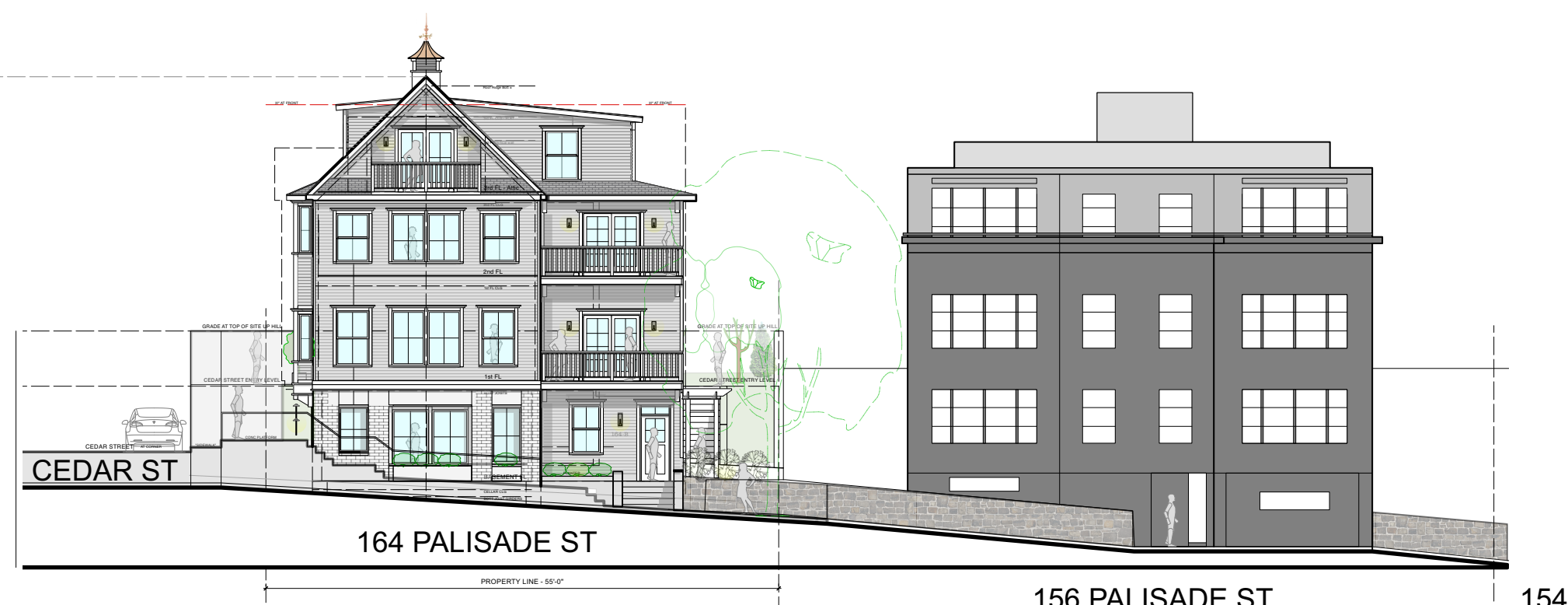


TRELLIS
WOOD - WESTERN RED CEDAR
COLOR NEW and WEATHERED

PROPOSED MATERIALS



S1 STREETScape - CEDAR STREET
Scale: 1/16" = 1'-0"



S2 STREETScape - PALISADE STREET
Scale: 1/16" = 1'-0"

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| PROJECT: 164 PALISADE STREET DOBBS FERRY, NY 10522 | | |
| DRAWING TITLE: MATERIALS + STREETSCAPES | | |
| FILE NAME: | | |
| DRAWN BY: | PG | DRAWING NUMBER |
| SCALE: | As Noted | A-504.00 |
| DATE: | 2/7/23 | |
| PROJECT ID: | 2213A | |

