

RESIDENCES AT 34 CLINTON AVENUE

DOBBS FERRY, NEW YORK 10522

CGA STUDIO ARCHITECTS

12 SPRING STREET, HASTINGS.ON.HUDSON, NY 10706



PLANNING BOARD SUBMISSION 2-15-23

OWNER	ARCHITECT	CONSULTING ARCHITECT	LANDSCAPE ARCHITECT	CIVIL ENGINEER	DATES	LIST OF DRAWINGS	LIST OF DRAWINGS
LANDMARK BUILDING & DEVELOPMENT, LLC JOHN SARAIVA, 73 BAJART PLACE YONKERS, NY 10705 914.906.1364 john@strelacore.com	CGA STUDIO CHRISTINA GRIFFIN AIA LEED AP CPHC 10 SPRING STREET HASTINGS-ON-HUDSON, NY 10706 914.478.0799 cg@cgaastudio.com	DIPTI SHAH ARCHITECTS DIPTI SHAH AIA LEED AP 1 MAIN STREET DOBBS FERRY, NY 10522 914.967.0557 dipti@pbarchgroup.com	LOUIS FUSCO LANDSCAPE ARCHITECTS LOUIS C. FUSCO PLA ASLA PO BOX 362 POUND RIDGE, NY 10576 914.764.9123 louisfusco.com	HUDSON ENGINEERING & CONSULTING MICHAEL F. STEIN, P.E., PRESIDENT 45 KNOLLWOOD ROAD - SUITE 201 ELMSFORD, NEW YORK 10523 914.909.0420 michael@hudsonec.com	BUILDING DEPARTMENT SUBMISSION 11-7-22 PLANNING BOARD SUBMISSION 12-13-22 PLANNING BOARD PRESENTATION 01-05-23 PLANNING BOARD SUBMISSION 01-19-23 PLANNING BOARD PRESENTATION 02-02-23 PLANNING BOARD SUBMISSION 02-15-23	TITLE TITLE SHEET, PROJECT IMAGERY, LIST OF DRAWINGS S-1 ZONING DATA & AREA MAP S-4A SITE PLAN SCHEME A S-4B SITE PLAN SCHEME B LANDSCAPE DRAWINGS SP-1A LANDSCAPE SITE PLAN SCHEME A PL-1A PLANTING PLAN & RENDERED SITE PLAN SP-1B LANDSCAPE SITE PLAN SCHEME B	

ZONING CALCULATIONS

34 CLINTON AVENUE, DOBBS FERRY NY 10522			
ZONING DISTRICT: MDR-H; TAX DESIGNATION: SECTION 3.80; BLOCK: 46, LOT: 4			
	REQUIRED	EXISTING	PROPOSED
GROSS LOT AREA	10,000 SF	29,908 SF	29,908 SF
AREA OF SLOPES OVER 25% [EXCL. SLOPE AREAS UNDER 150 SF]	-	3,428 SF	3,428 SF
AREA OF SLOPES OVER 15-25% [EXCL. SLOPE AREAS UNDER 150 SF]	-	1,724 SF	1,724 SF
NET LOT AREA AFTER STEEP SLOPE REDUCTION PER SECTION 300-34.A(2)	LOT AREA- [50% AREA OF SLOPES OVER 25% + 25% AREA OF SLOPES 15-25%] 10,000 SF MIN.	29,908 - [50%(3,428) + 25% (1,724)] = 27,763 SF	29,908 - [50%(3,428) + 25% (1,724)] = 27,763 SF
NUMBER OF DWELLING UNITS	27,763 SF / 2,500 SF = 11.11 11 UNITS MAX. ALLOWABLE	(3) RESIDENTIAL UNITS (2) 2-BEDRM & (1) 5-BEDRM	(11) 2-BEDROOM UNITS
MINIMUM LOT AREA PER DWELLING UNIT	2,500 SF	27,763 / 3 = 9,254 SF	27,763 / 11 = 2,524 SF
NUMBER OF AFFORDABLE DWELLING UNITS PER 300-40.A(1) AND REQUIRED UNIT AREA SEE UNIT SF CHART	10% OF UNITS: (10%) X 11 = 1.1 1 UNIT RQD; MINIMUM UNIT SF = 80% OF AVERAGE MARKET RATE UNIT SF AVERAGE MARKET RATE UNIT: 1,361 SF 80% OF AVG MARKET RATE UNIT: 1,089 SF	N/A	(1) 2-BEDROOM AFFORDABLE UNIT UNIT AREA: UNIT 1: 1,091 SF > 1,089 SF RQD INCL. 1/3 OF UNIT 1 PATIO
MINIMUM RESIDENTIAL UNIT SIZE	N/A FOR THIS DISTRICT	N/A FOR THIS DISTRICT	N/A FOR THIS DISTRICT
DRIVEWAY SLOPE	12%	3%	9%
PARKING REQUIREMENT	1 SPACE PER DWELLING UNIT + 1/4 PER BEDROOM = 17 SPACES REQUIRED FOR 11 x (2-BEDROOM UNITS)	N/A	17 SPACES PROVIDED 7 SPACES IN ENCLOSED GARAGE (1 OF WHICH IS ADA COMPLIANT) & 10 OUTDOOR SPACES
BUILDING COVERAGE FOR LOTS 20,000-40,000 SF	30% x 0.67 = 20.1% OF 27,763 SF 5,580.4 SF MAX.	9% 2,412 SF	SCHEME A: 6,011 SF (21.7%) WAMER REQUESTED: 431 SF (1.6%) SCHEME B: 6,506 SF (23.4 %) WAMER REQUESTED: 926 SF (3.3%)
IMPERVIOUS COVERAGE FOR LOTS 20,000-40,000 SF	60% x 0.67 = 40.2% OF 29,908 SF 12,023 SF MAX.	29% 8,578 SF	SCHEME A: 10,927 (36.5%) SCHEME B: 10,537 (35.2%)
MINIMUM LOT WIDTH [TABLE B-3]	100 FT	148.5 FT	148.5 FT
MINIMUM LOT DEPTH [TABLE B-3]	125 FT	193 FT / 221.26 FT	193 FT / 221.26 FT
FRONT YARD SETBACK [LOT DEPTH (193+221)/2 = 207 FT OVER 150 FT]	40 FT	80.9 FT	80.9 FT
REAR YARD SETBACK [LOT DEPTH (193+221)/2 = 207 FT OVER 150 FT]	40 FT	55.25 FT	40 FT
SIDE SETBACK (#1) [TABLE B-4]	15 FT	54.8 FT	15 FT
SIDE SETBACK (#2) [TABLE B-4]	20 FT	23.5 FT	20 FT
TOTAL OF TWO SIDE SETBACKS [TABLE B-4]	35 FT	78.3 FT	35 FT
MAXIMUM STORIES	3 STORIES	2.5 STORIES	3 STORIES
MAXIMUM HEIGHT TO EAVE [ROOF PITCH 0.5]	28 FT	EXISTING	TO MATCH EXISTING; 26.4 FT ABOVE NEW GRADEPLANE EL: 228
MAXIMUM BUILDING HGT TO MIDPOINT OF ROOF [ROOF PITCH 0.5]	35 FT	EXISTING	TO MATCH EXISTING; 34.42 FT ABOVE NEW GRADEPLANE EL: 228
ELEVATOR BULKHEAD AREA (FOR BULKHEAD EXCEEDING MAX. BUILDING HGT) PER SECTION 300-34-C(1)	UNDER 20% OF ROOF AREAS 20% (6,452 SF) = 1,290 SF	-	80 SF (1.25 % OF ROOF AREA)

COVERAGES CALCULATIONS

REFER TO CHARTS ON SHEETS A-4A & A-4B FOR
COVERAGES CALCULATIONS FOR SCHEMES A & B

AREA MAP

GRADE PLANE CALCULATION

	AVG GRADE	FAÇADE LENGTH (FT)	AVG GRADE x FAÇADE LENGTH
EAST (FRONT) ELEVATION (@ NEW BUILDING)	225.3	44.5	10,024
SOUTH ELEVATION (@ NEW BUILDING FROM CTYD)	232.8	41.6	9,682
EAST ELEVATION (@ NEW BUILDING FROM CTYD)	233.5	23.3	5,441
NORTH ELEVATION (@ EXIST BUILDING FROM CTYD)	232.8	37	8,612
EAST (FRONT) ELEVATION (@ EXIST BUILDING)	231.6	50.75	11,754
SOUTH ELEVATION (@ EXIST BUILDING)	228.5	47.5	10,852
WEST (REAR) ELEVATION (@ EXIST BUILDING)	224.5	26.16	5,873
SOUTH ELEVATION (@ NEW BUILDING FROM REAR)	225.3	30	6,759
WEST (REAR) ELEVATION (@ NEW BUILDING)	225.0	68.3	15,368
NORTH (SIDE) ELEVATION (@ NEW BUILDING)	225.7	69.16	15,606
TOTAL		438.27	99,970

GRADE PLANE

(AVG GRADE x FAÇADE LENGTH/TOTAL LENGTH)

FIRST FLOOR - GRADE PLANE = 234 - 228 = 5.90 < 6 FT

CHART OF RESIDENTIAL UNITS

FLOOR	UNIT #	DESCRIPTION	SF
BASEMENT	UNIT 1	2BR AFFORDABLE	966
		UNIT 1 PATIO	352
	UNIT 1 INCLUDING 1/3 PATIO SF		1,083
1st FLOOR	UNIT 2	2BR	1,365
1st FLOOR	UNIT 3	2BR	1,330
1st FLOOR	UNIT 4	2BR	1,295
1st-2nd FLOOR	UNIT 5	2BR DUPLEX	1,506
2nd FLOOR	UNIT 6	2BR	1,365
2nd FLOOR	UNIT 7	2BR	1,330
2nd FLOOR	UNIT 8	2BR	1,295
3rd FLOOR	UNIT 9	2BR	1,016
3rd FLOOR	UNIT 10	2BR	1,386
3rd FLOOR	UNIT 11	2BR	1,494
AVERAGE MARKET RATE UNIT			1,338
80% AVERAGE MARKET RATE UNIT			1,071

CGA
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ARCHITECTS

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RESIDENCES AT
34 CLINTON AVENUE
DOBBS FERRY, NEW YORK 10522

ScaleAs Shown

Drawing Title

ZONING DATA & AREA MAP

S-1

Sheet Number

RESIDENCES AT
34 CLINTON AVENUE
DOBBS FERRY, NEW YORK 10522

Project Submitted
BUILDING PERMIT SUBMISSION 11-7-22
PLANNING BOARD SUBMISSION 12-13-22
PLANNING BOARD SUBMISSION 1-19-23
PLANNING BOARD SUBMISSION 2-15-23



Scale As Shown

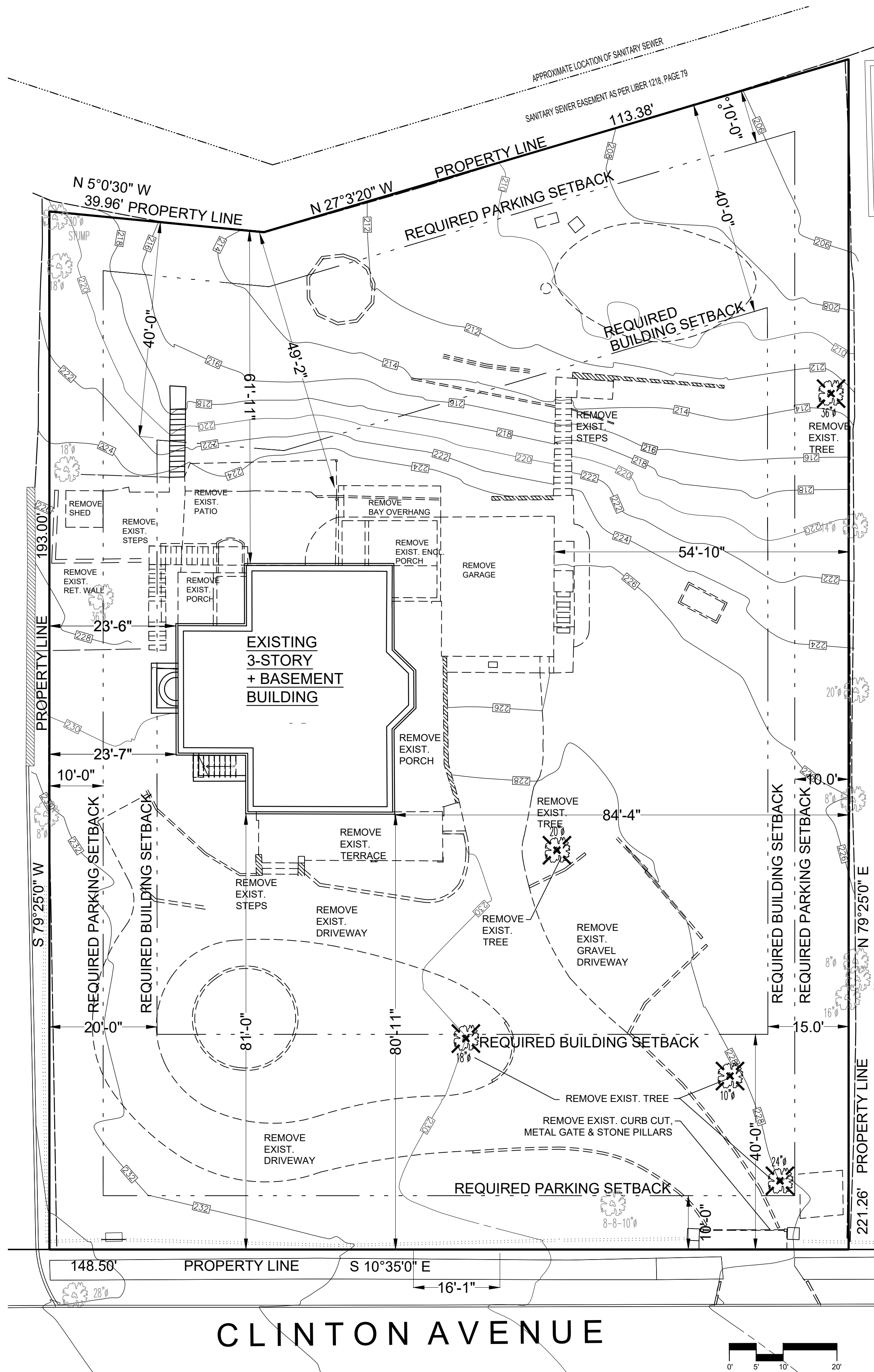
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SITE PLAN - SCHEME A

S-4A

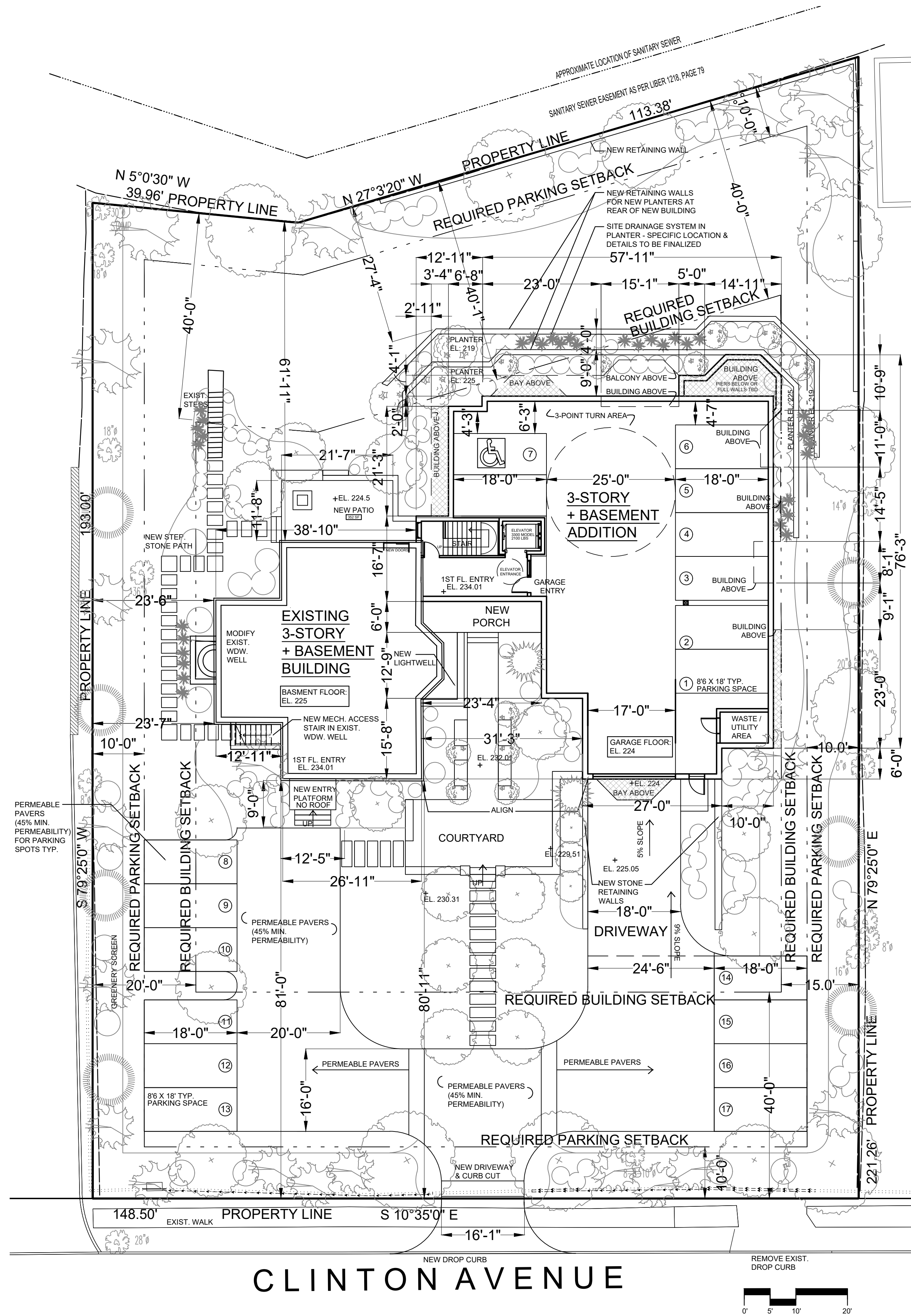
Sheet Number

COVERAGE CALCULATIONS SCHEME A	
EXISTING BUILDING COVERAGE	
EXISTING BUILDING	1582
EXISTING COVERED SIDE PORCH	317
REAR ONE-STORY PORTION	230
REAR OVERHANG	111
SIDE ONE-STORY PORTION + ROOFED PORCH	125
SHED	47
TOTAL BUILDING COVERAGE	2,412
	9%
EXISTING IMPERVIOUS COVERAGE	
DRIVEWAY	4,124
FRONT TERRACE+STEPS	340
DECK	545
STEPS, WALK NEAR DECK & REAR STEPS	279
WALK & METAL STEPS TO SIDE PORCH	258
REAR PATIO	560
REAR STEPS DOWN TO REMAIN	60
IMPERVIOUS COVERAGE	6,166
TOTAL IMPERVIOUS COVERAGE INCL. BUILDING	8,578
	29%
PROPOSED BUILDING COVERAGE SCHEME A	
EXISTING BUILDING	1,582
NEW COVERED PORCH AT MAIN ENTRY	138
BUILDING ADDITION (INCL. FRONT, REAR BAY & TOWER)	4,291
TOTAL BUILDING COVERAGE	6,011
COVERAGE % RELATIVE TO NET LOT AREA	21.7%
WAIVER REQUESTED FOR	431
WAIVER %	1.6%
BUILDING COVERAGE OF OVERHANG ELEMENTS IDENTIFIED WITH CROSSHATCH IN PLAN	
1ST-3RD FL OVERHANG ON SOUTH ELEVATION	68
1ST-2ND FL BAY WINDOW ON WEST ELEVATION	43
1ST-3RD FL GABLE OVERHANG ON NORTH ELEVATION	37
1ST-3RD FL TOWER ON WEST & NORTH ELEVATIONS	129
1ST-3RD FL BAY WINDOW ON EAST ELEVATION	43
TOTAL	321
NEW COVERED PORCH AT MAIN ENTRY	138
PROPOSED IMPERVIOUS COVERAGE SCHEME A	
NEW DRIVEWAY & OUTDOOR PARKING SPOTS	5,220
DEDUCT 45% OF 5,220 SF OF DRIVEWAY & OUTDOOR PARKING AREA PAVED WITH PERMEABLE PAVERS	(2,349)
NEW COURTYARD	766
NEW FRONT ENTRY PLATFORM	75
NEW REAR PATIO (FOR UNIT 1)	352
RETAINING WALLS	483
REAR STEPS (EXIST. TO REMAIN)	60
NEW STEPPING STONES PATH	309
IMPERVIOUS COVERAGE	4,916
TOTAL IMPERVIOUS COVERAGE INCL. BUILDING	10,927
COVERAGE % RELATIVE TO GROSS LOT AREA	36.5%



DEMOLITION SITE PLAN

SHOWING TOPOGRAPHY



PROPOSED SITE PLAN - SCHEME A

RESIDENCES AT 34 CLINTON AVENUE DOBBS FERRY, NEW YORK 10522

Project Submitted

PLANNING BOARD SUBMISSION 2-15-23



Scale As Shown

Drawing Title

SITE PLAN - SCHEME B

S-4B

Sheet Number

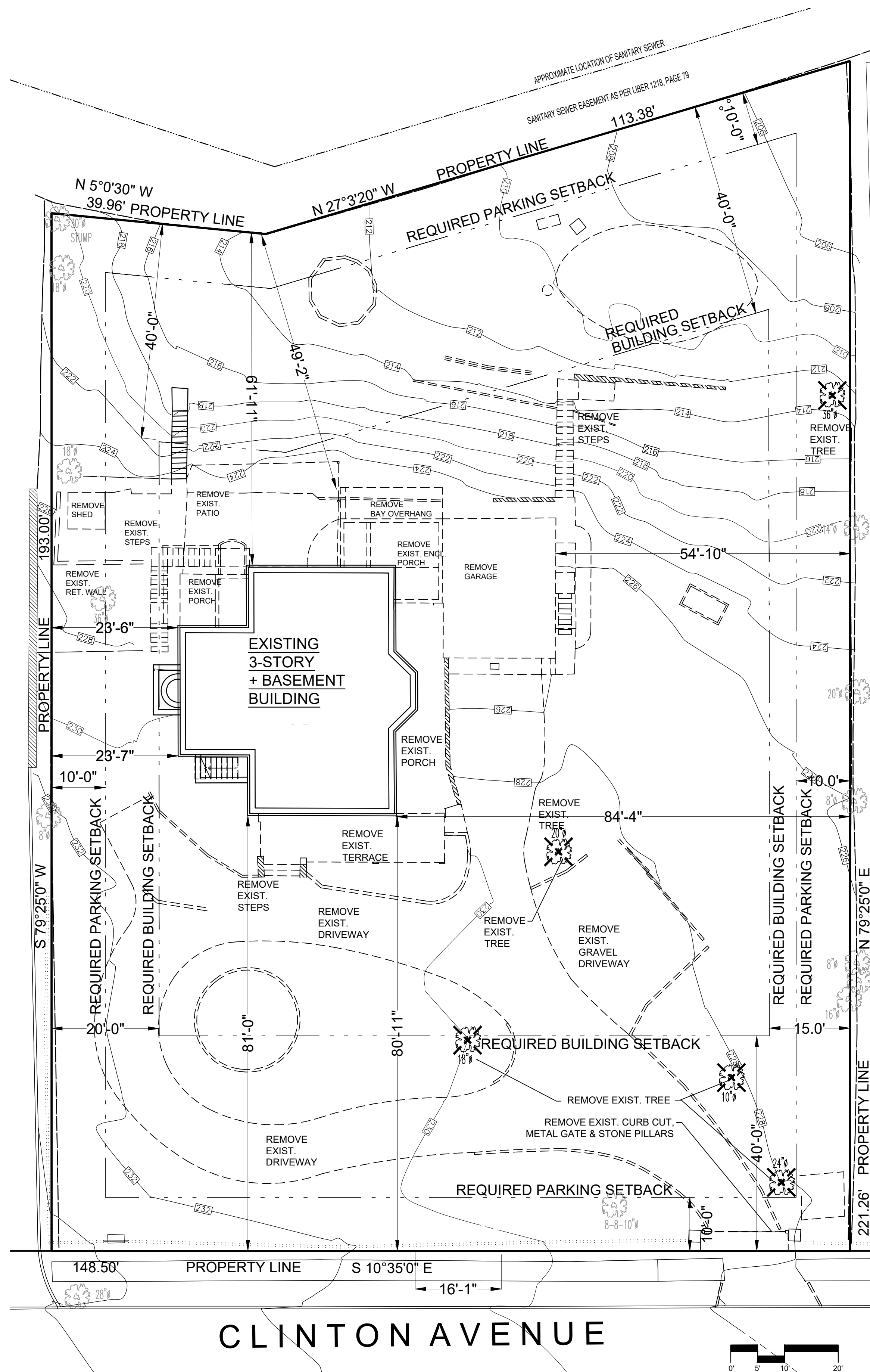
COVERAGE CALCULATIONS SCHEME B

EXISTING BUILDING COVERAGE	
EXISTING BUILDING	1582
EXISTING COVERED SIDE PORCH	317
REAR ONE-STORY PORTION	230
REAR OVERHANG	111
SIDE ONE-STORY PORTION + ROOFED PORCH	125
SHED	47
TOTAL BUILDING COVERAGE	2,412
	9%

EXISTING IMPERVIOUS COVERAGE	
DRIVEWAY	4,124
FRONT TERRACE+STEPS	340
DECK	545
STEPS, WALK NEAR DECK & REAR STEPS	279
WALK & METAL STEPS TO SIDE PORCH	258
REAR PATIO	560
REAR STEPS DOWN TO REMAIN	60
IMPERVIOUS COVERAGE	6,166
TOTAL IMPERVIOUS COVERAGE INCL. BUILDING	8,578
	29%

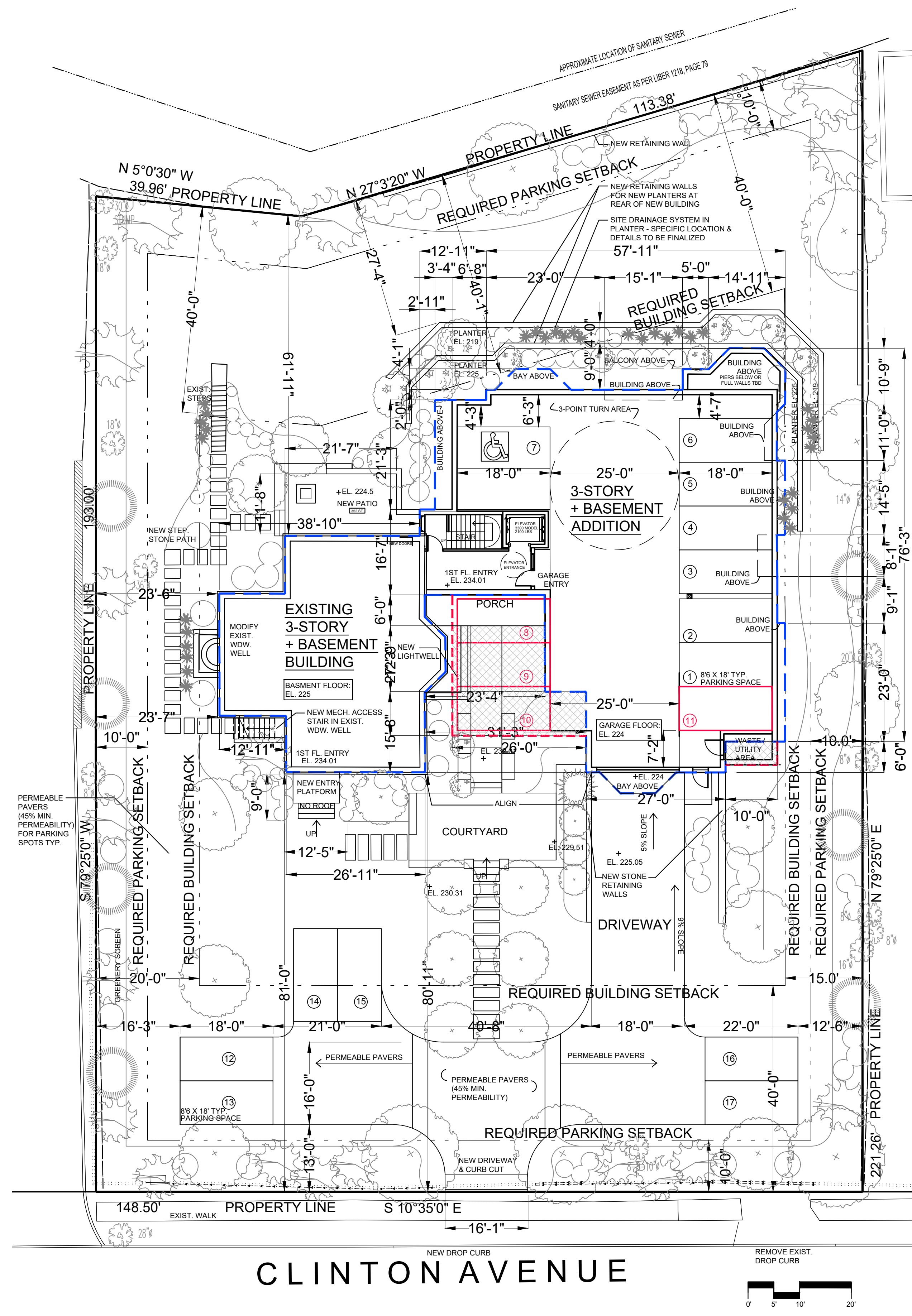
PROPOSED BUILDING COVERAGE SCHEME B	
EXISTING BUILDING	1,582
NEW COVERED PORCH AT MAIN ENTRY	138
BUILDING ADDITION (INCL. 495 SF ADDED TO ENCLOSE 4 PARKING SPOTS IDENTIFIED WITH CROSSHATCH IN PLAN)	4,786
TOTAL BUILDING COVERAGE	6,506
COVERAGE % RELATIVE TO NET LOT AREA	23.4%
WAIVER REQUESTED FOR	926
WAIVER %	3.3%

PROPOSED IMPERVIOUS COVERAGE SCHEME B	
NEW DRIVEWAY & OUTDOOR PARKING SPOTS	3,550
DEDUCT 45% OF 3,550 SF OF DRIVEWAY & OUTDOOR PARKING AREA PAVED WITH PERMEABLE PAVERS	(1,597)
NEW COURTYARD	766
NEW FRONT ENTRY PLATFORM	75
NEW REAR PATIO (FOR UNIT 1)	352
RETAINING WALLS	483
REAR STEPS (EXIST. TO REMAIN)	60
NEW STEPPING STONES PATH	343
IMPERVIOUS COVERAGE	4,031
TOTAL IMPERVIOUS COVERAGE INCL. BUILDING	10,537
COVERAGE % RELATIVE TO GROSS LOT AREA	35.2%

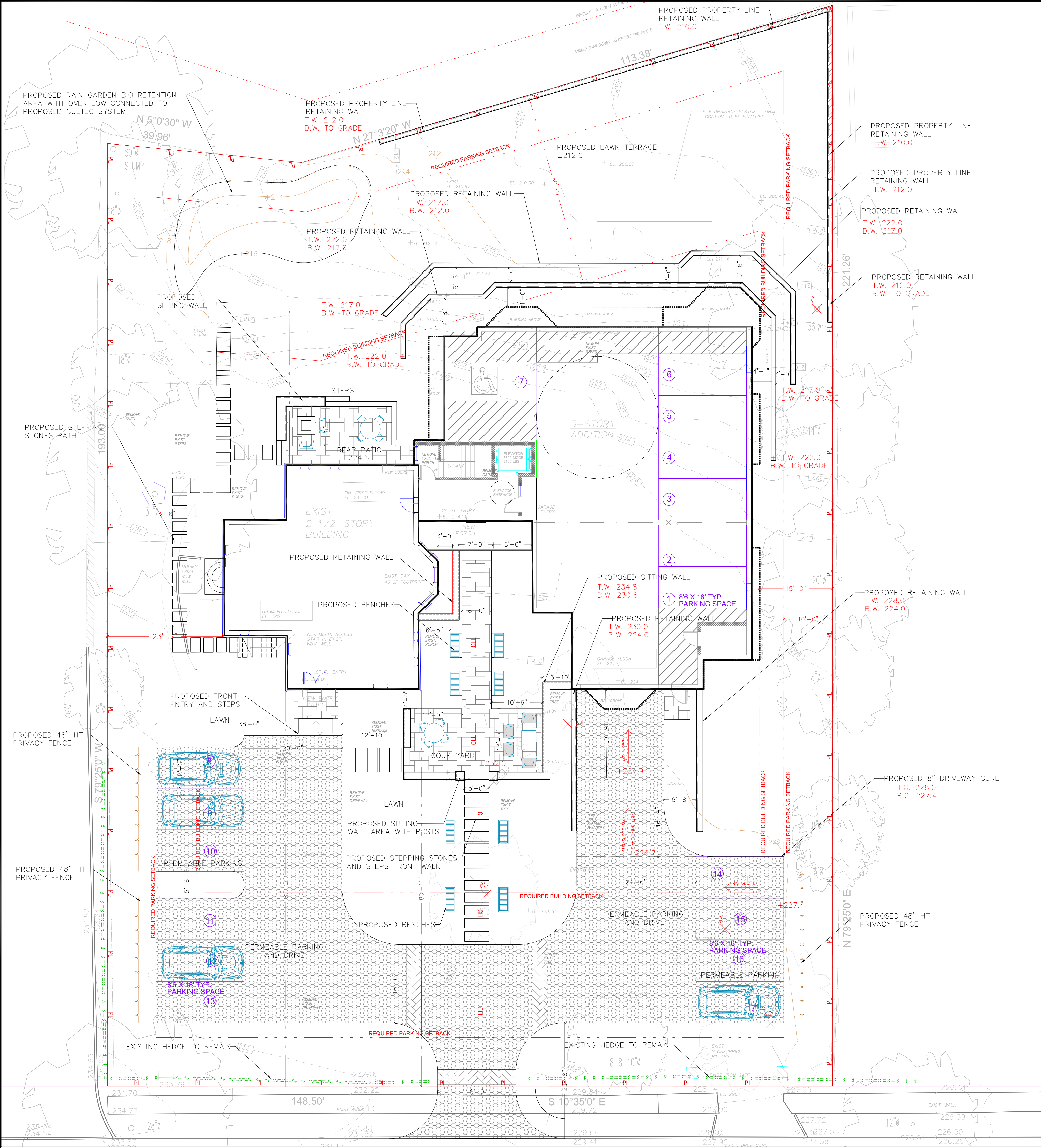


DEMOLITION SITE PLAN

SHOWING TOPOGRAPHY



PROPOSED SITE PLAN - SCHEME B



PERMEABLE PAVER

CROSS SECTION - DRIVEWAY

Residential Driveway - Permeable Base

PERMEABLE PAVER

CROSS SECTION

Residential Patio - Permeable Base

27763	PROPOSED(NET AREA)		PROPOSED(GROSS)	
TOTAL BUILDING COVERAGE	6011	SF		
TOTAL DRIVEWAY AND PARKING	5220	SF		
DEDUCT 45% OF PARKING AREA PAVED WITH PERMEABLE PAVER (5220 S.F.)	-2349	SF		
REAR STEPS	60	SF		
COURTYARD	766	SF		
FRONT TERRACE	75	SF		
REAR PATIO	352	SF		
RETAINING WALLS	483	SF		
STEPPING STONES PATH	309.0	SF		
TOTAL	10927	SF	10927	SF
TOTAL %	39.4	%	36.5	%

LEGEND:

- EXISTING CONTOURS
- PROPOSED CONTOURS
- TREE PROTECTION
- TREE REMOVAL
- EXISTING LABELS
- PROPERTY LINE
- MIN. SETBACKS
- PERMEABLE PAVER

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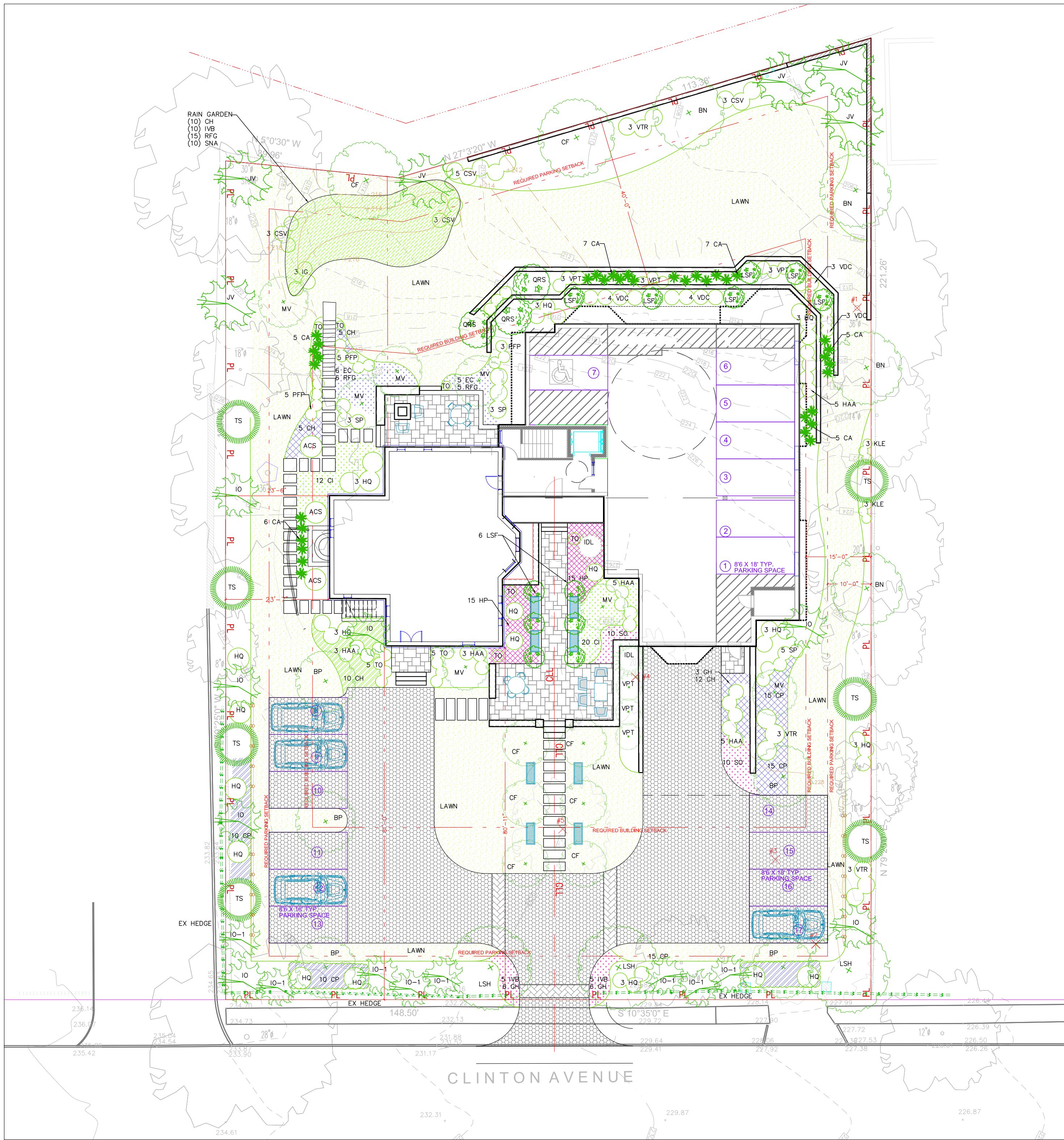
34 CLINTON AVENUE,
DOBBS FERRY, NY 10522

DATE: 01-18-2023 SCALE: 1"= 10'-0"

SITE PLAN
OPTION A

REVISED: 02-13-2023

STAMP: REGISTERED LANDSCAPE ARCHITECT
LOUIS FUSCO
NO. 001915
STATE OF NEW YORK



PLANTING PLAN

SCALE: 1" = 16'-0"



RENDERED PLAN

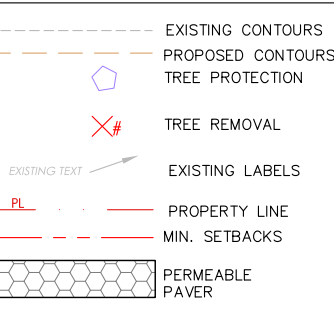
SCALE: 1" = 16'-0"

2023-02-13 PLANTING - 34 CLINTON AVENUE				
Symbol	Latin Name	Common Name	Quantity	Size
TREES				
ACS	<i>Amelanchies Canadensis</i>	Canadian Serviceberry	3	B & B 2 1/2" cal.
BN	<i>Betula nigra</i> 'Heritage'	River Birch	4	B & B 10-12'
BP	<i>Betula papyrifera</i> 'O'ENC'	Oasis Paper Birch	5	B & B 12-14'
CF	<i>Cornus florida</i>	White Flowering Dogwood	8	B & B 2 1/2- 3" cal.
IDL	<i>Ilex x meservae</i> 'Dragon Lady'	Dragon Lady Holly	2	B & B 7-8'
IO	<i>Ilex opaca</i>	American Holly	7	B & B 8-9'
IO-1	<i>Ilex opaca</i>	American Holly	8	B & B 5-6'
JV	<i>Juniperus virginiana</i>	Eastern Red Cedar	6	B & B 8-9'
LSF	<i>Liquidambar styraciflua</i> 'Slender Silhouette'	Fastigiata Sweetgum	13	B & B 2 1/2- 3" cal.
LSH	<i>Liquidambar styraciflua</i> Haplidaze	Haplidaze Sweetgum	3	B & B 4" cal.
MV	<i>Magnolia virginiana</i>	Sweet Bay Magnolia	7	B & B 6-8'
QRS	<i>Quercus robur</i> 'Skyrocket'	Fastigiata English Oak	3	B & B 3 " cal.
TS	<i>Thuja standishii x plicata</i> 'Green Giant'	Arborvitae 'Green Giant'	7	B & B 8-9' cal.

SHRUBS				
CSV	<i>Cornus stolonifera</i> 'Variegata'	Variegated Redtwig Dogwood	14	7 gal.
HAA	<i>Hydrangea arborescens</i> 'Annabelle'	Annabelle Hydrangea	19	7 gal.
HQ	<i>Hydrangea quercifolia</i>	Oakleaf Hydrangea	25	10 gal.
IVS	<i>Itea virginica</i> 'Little Henry'	Virginia sweetspire	6	5gal.
IG	<i>Ilex glabra</i>	Inkberry	3	B & B 1.5-18"
KLE	<i>Kalmia latifolia</i> 'Elf' or 'Minuet'	Mountain Laurel	6	5 gal.
PPP	<i>Potentilla fruticosa</i> 'Pink Beauty'	Happy Face Pink	13	3 gal.
SP	<i>Syringa patula</i> 'Miss Kim'	Dwarf Lilac	19	5 gal.
TO	<i>Thuja occidentalis</i> 'Bobaxam'	Mr. Bowling Ball	18	5 gal.
VDC	<i>Viburnum dentatum</i> 'Christom'	Blue Muffin Arrowwood Viburnum	12	7 gal.
VPT	<i>Viburnum P. tomentosum</i> 'Shasta'	Doublefile Viburnum Summer Shasta	9	B & B 4-4 1/2" cal.
VTR	<i>Viburnum trilobum</i>	Highbush Cranberry	12	B & B 24-36"

PERENNIALS AND GRASSES				
CA	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Feather-reed Grass	32	2 gal.
CH	<i>Carex hobb</i>	Hobb Sedge	82	2 gal.
CI	<i>Carex morrowii</i> 'Ice Dance'	Ice Dance Sedge	51	2 gal.
CP	<i>Carex pensylvanica</i>	Pennsylvania Sedge	95	2 gal.
EC	<i>Echinacea purpurea</i>	Purple Coneflower	11	2 gal.
GH	<i>Geranium 'Rozanne'</i>	Hardy Geranium Rozanne	41	2 gal.
HP	<i>Helleborus purpurascens</i> 'Waldst. & Kit.'	Helleborus	87	2 gal.
IVB	<i>Iris virginica</i>	Blue Flag Iris	47	2 gal.
RFG	<i>Rudbeckia fulgida</i> 'Goldstrum'	Black Eyed Susan	26	2 gal.
SO	<i>Schizachyrium scoparium</i> 'Standing Ovation'	Little Bluestem Grass	22	2 gal.
SNA	<i>Symphotrichum novae-angliae</i>	New England Aster	10	2 gal.

LEGEND:



TREE REMOVAL LIST:

- 36" MAPLE TREE
- 24" PINE TREE
- 10" JAPANESE MAPLE TREE
- 42" BEECH TREE
- 18" SPRUCE TREE

TREE PRESERVATION:

- Total number of over 8" DBH trees to be removed = 130 Total DBH (5 trees)
- Total number of required tree replanting's per code section 300-511 (50% minimum) = 65" Total DBH.
- Total Proposed Trees 2.5" DBH or greater = 170.5" Total DBH (131%, 52 trees)

NOTE:

- NEW PLANTINGS TO BE WATERED AND MAINTAINED IN GOOD HEALTH FOR MINIMUM OF 2 YEARS. ANY PLANT MATERIAL THAT DOES NOT SURVIVE OR IN POOR CONDITION AFTER 2 YEARS SHALL BE REPLACED IN KIND AND QUALITY OF ORIGINAL SPECIFICATION.
- EXISTING TREES TO REMAIN SHALL RECEIVE TREE PROTECTION PER DRAWINGS BY HUDSON ENGINEERING.
- LANDSCAPE ARCHITECT TO APPROVE TREE PROTECTION INSTALLATION EXTENDING PROTECTED AREA PAST DRIP LINE OF TREE WHERE POSSIBLE.
- EXISTING TREE TO REMAIN SHALL ALSO RECEIVE ROOT INVIGORATION POST CONSTRUCTION:
 - Air-Spade to improve soil health and promote root development and function. A radius of approximately 3 feet from outside the dripline of the tree will be cultivated to a depth of 6-8 inches.
 - The cultivated soil should be irrigated regularly following treatment to keep the soil moist if adequate rainfall does not occur.
 - Organic matter from degraded mulch will be incorporated into the soil during cultivation.
 - Incorporate compost and other amendments per soil analysis report.
 - Mulch should be applied to the treated area immediately after treatment.

NOTE:

The existing 4' Ht. hedge is to remain wherever possible and supplement as necessary with new plantings

LOUIS FUSCO
landscape architects
focus • form • function
26 Woodland Road
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34 CLINTON AVENUE,
DOBBS FERRY, NY 10522

DATE: 01-18-2023

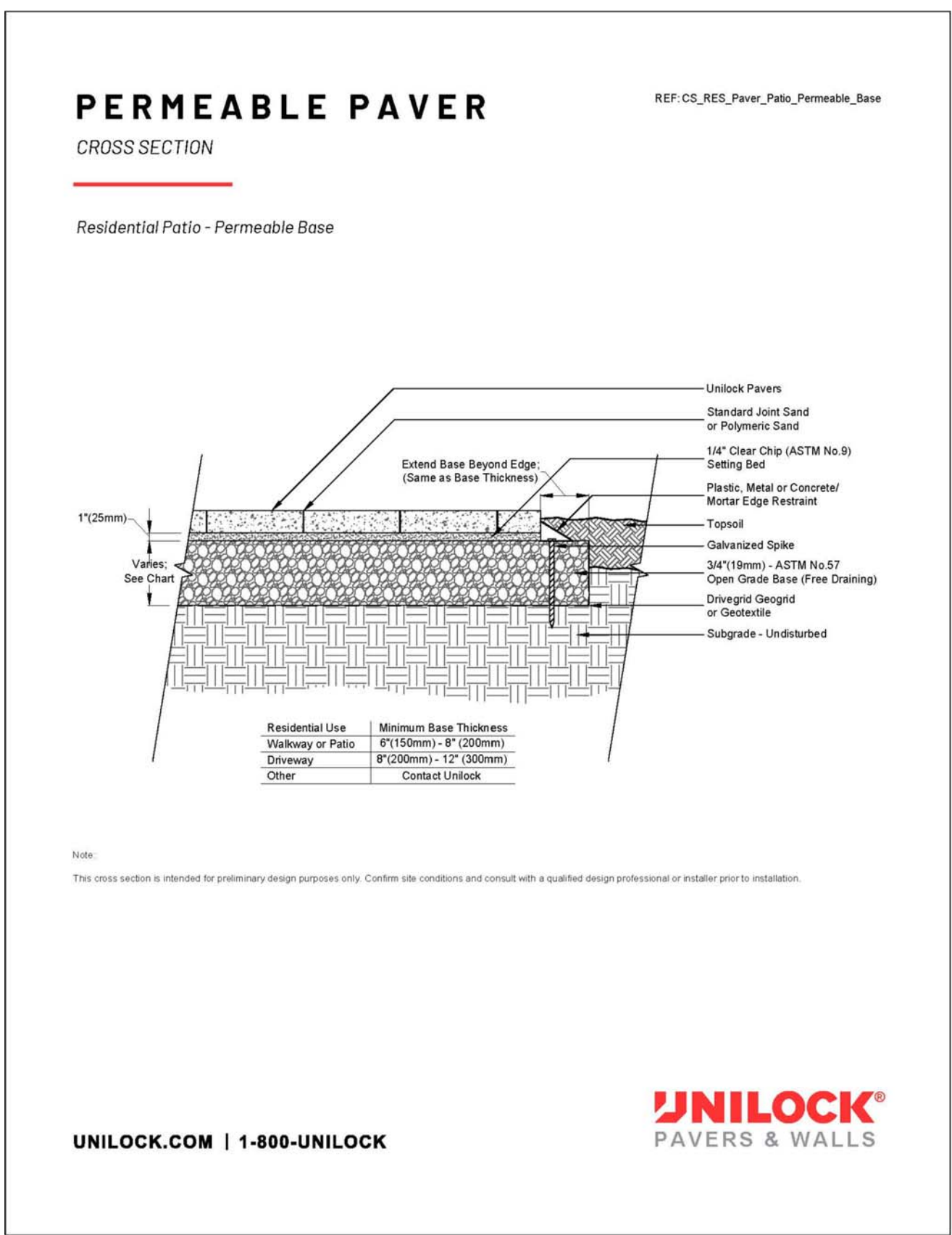
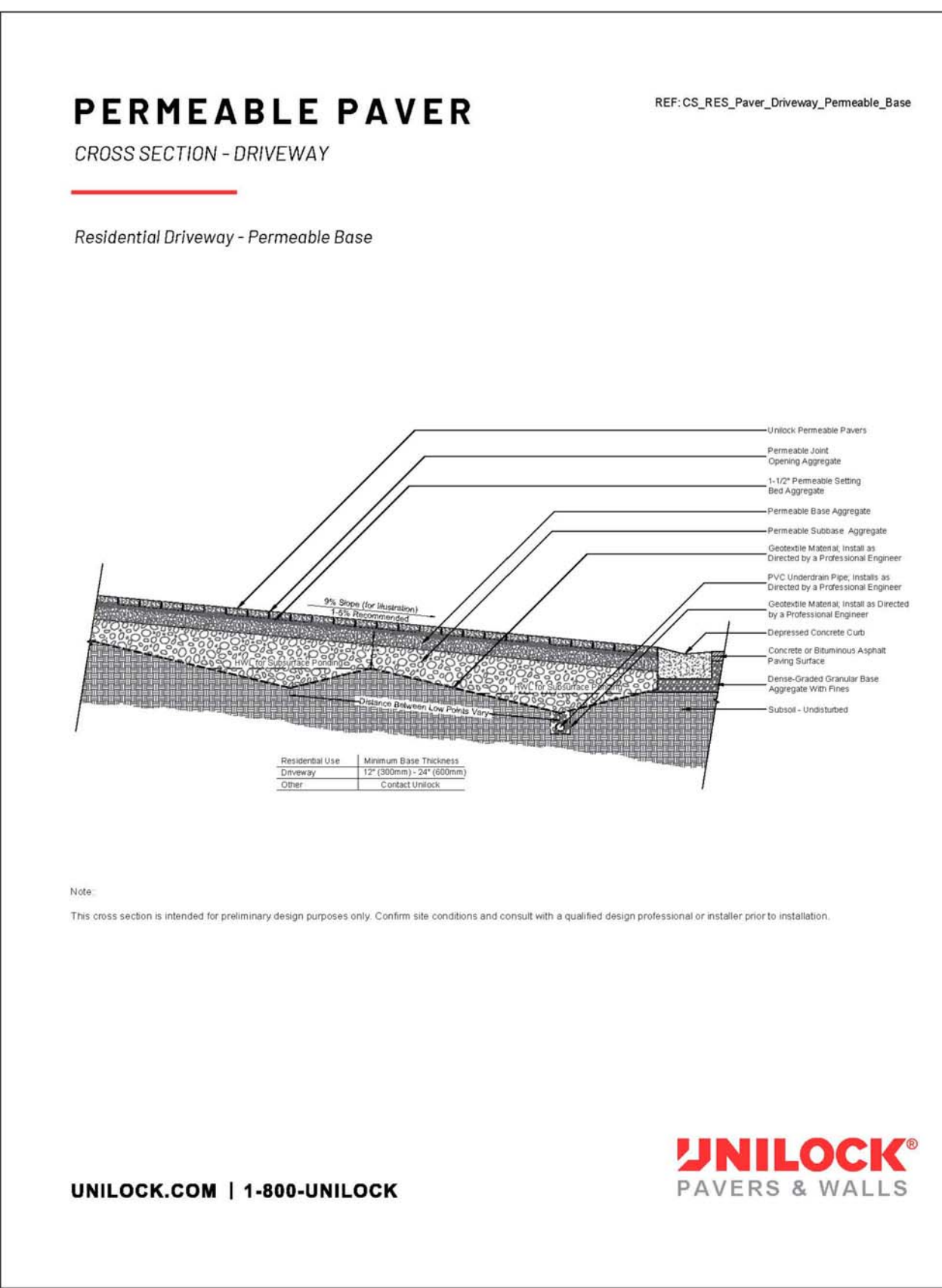
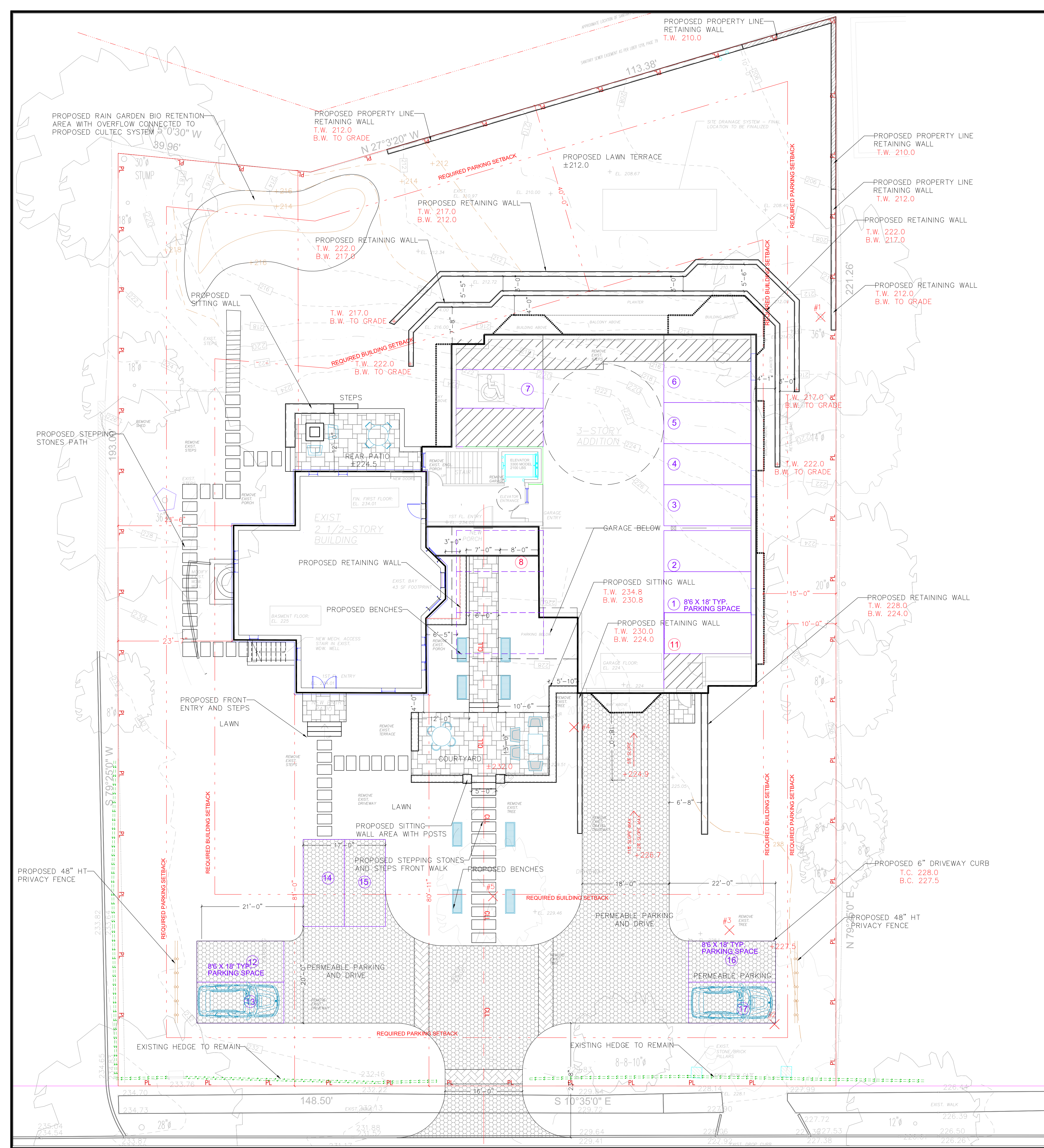
SCALE: AS NOTED

PLANTING PLAN

REVISED: 02-13-2023

STAMP:





27763	PROPOSED(NET AREA)		PROPOSED(GROSS)	
TOTAL BUILDING COVERAGE	6506	SF		
TOTAL DRIVEWAY AND PARKING	3550	SF		
DEDUCT 45% OF PARKING AREA PAVED WITH PERMEABLE PAVER (3550 S.F.)	-1597	SF		
REAR STEPS	60	SF		
COURTYARD	766	SF		
FRONT TERRACE	75	SF		
REAR PATIO	352	SF		
RETAINING WALLS	483	SF		
STEPPING STONES PATH	343.0	SF		
TOTAL	10538	SF	10538	SF
TOTAL %	38.0	%	35.2	%

LEGEND:

- EXISTING CONTOURS
- PROPOSED CONTOURS
- TREE PROTECTION
- TREE REMOVAL
- EXISTING LABELS
- PROPERTY LINE
- MIN. SETBACKS
- PERMEABLE PAVER

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34 CLINTON AVENUE,
DOBBS FERRY, NY 10522

ZONE: MDR-H

DATE: 02-13-2023

SCALE: 1"= 10'-0"

SITE PLAN
OPTION B

REVISED:

STAMP:
REGISTERED LANDSCAPE ARCHITECT
LOUIS CHARLES FUSCO
NO. 001915
STATE OF NEW YORK

Drawing number:
SP-1