

**Village of Dobbs Ferry  
Building Department**



**Applicant:**

110-150 Draper Owners Corp.  
C/O Garthchester Realty  
440 Mamaroneck Ave Ste S-512  
Harrison, NY 10528

**Emergency Bank Stabilization  
110-150 Drapers Lane  
Dobbs Ferry, NY 10522**

**February 2022**

**Project: 2021121**

**Prepared By:**



**611 Access Road  
Stratford, CT 06615  
Tel: (203)-377-0663  
Fax: (203)-375-6561**

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## **SECTION 1**

# **Plan Submittal Form**



## **Plan Submittal Form**

Address: 110-150 Draper Lane, Dobbs Ferry, NY 10522

Application #: A2021-0711

Project: Emergency Stabilization of Eroded Bank with Riprap Revetment

Name: 110-150 Draper Owners Corp

Email: david@garthchesterrealty.com

Phone: 914-725-3600

Plans attached are being submitted for (check appropriate box):

- ☐ Building permit application 1 PDF copy & 2 paper copies ¼ scale
- ☐ Amendment to an application or permit, 2 sealed copies
- ☐ Final As Built to close permit, 1 sealed copy
- ☐ Final survey to close permit, 1 sealed copy

Plans attached are submitted at the direction of the Building Inspector for review by the following board (check all that apply):

- ☐ BOT- 1 PDF copy + 5 paper copies ¼ scale
- ☒ PB - 1 PDF copy + 4 paper copies ¼ scale
- ☐ ZBA - 1 PDF copy + 4 paper copies ¼ scale
- ☐ AHRB – 1 PDF copy + 2 paper copies ¼ scale

Received Stamp:

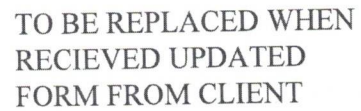




## **SECTION 2**

# **Affidavit of Notice & Associated Mailing Materials**





**112 Main Street  
Dobbs Ferry, New York 10522  
TEL: (914) 231-8500 • FAX: (914) 693-3470**

STATE OF NEW YORK )  
COUNTY OF WESTCHESTER ) ss.:

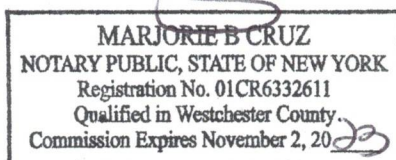
1. On 2/8/22 I forwarded the notice attached as Exhibit 1 by Certified Mail to owners of properties within a 200' radius of the property located at: 110-150 Draper Lane, Dobbs Ferry, NY 10522, which is the subject of review for certain land use approvals in the Village of Dobbs Ferry; and
2. I have attached as Exhibit 2 the mailing list of the relevant property owners requested and received from the Town of Greenburgh Tax Assessor located at 177 Hillside Ave. White Plains, NY 10607, 914-989-1520, assessor@greenburghny.com ; and
3. I have retained proof of these mailings and will make them available upon request or as otherwise required by the Village of Dobbs Ferry.

Dated: 2/8, New York  
\_\_\_\_\_, 2021

Signed: \_\_\_\_\_  
Print name: David Guerrero, Agent

Sworn to before me this  
24 day of February, 2021

Notary Public



Date Mailed 02-08-2022  
Via Certified Mail

Dear Neighbor:

This is a notification that the owner of the property located at: \_\_\_\_\_  
110-150 Draper Lane, Dobbs Ferry, NY 10522

Owner name: 110-150 Drapers Owners Corp

Has filed an application with the Village of Dobbs Ferry to do the following: \_\_\_\_\_  
Emergency Stabilization of Eroded Bank with Riprap Revetment

The applicant will present the proposal to the following checked Board/Boards at their next available meeting. Please check the calendars and agendas on the village web site for the exact date they will first appear before the board:

- 
- ☐ Board Of Trustees; meet 2<sup>nd</sup> & 4<sup>th</sup> Tuesdays at 6:30 PM
  - ☒ Planning Board; meet 1<sup>st</sup> Thursday at 7:30 PM
  - ☐ Zoning Board of Appeals; meet 2<sup>nd</sup> Wednesday at 8:00 PM
  - ☐ Architectural & Historic Review Board; meet 2<sup>nd</sup> & 4<sup>th</sup> Mondays at 8:00 PM
- 

The meeting will be conducted in the Board Room at Village Hall using a hybrid method combining the options of in-person and virtual attendance. This method meets the Village's goal of protecting public health and complies with New York State law Chapter 147 of the Laws of 2021, Part E, which permits virtual participation by Board Members. Residents and other interested parties have the option to participate by either attending the meeting in person or connecting remotely using Zoom virtual technology by internet or phone using the general webinar instructions on the meeting agenda. To simply watch public meetings, as always, they will be broadcast live on Optimum/Altice Ch.75 and on Verizon Ch.46, as well as stream live on YouTube Go to: <https://www.youtube.com/user/VillageOfDobbsFerry>

For Public Hearings that you cannot attend by any means, we will accept emailed comments in advance of the hearings. Please email [BoardComments@DobbsFerry.com](mailto:BoardComments@DobbsFerry.com) by 10am the day before the hearing. If you are participating via Zoom either by phone or by video, do not use the "chat" function to participate. You must "raise your hand" in order to make public comments or participate in the meeting. If joining by video, you may use the webinar controls to raise your hand. If joining by phone, push \*9 to raise your hand and \*6 to unmute yourself.





# 110-150 Draper Ln-200' Map-DF

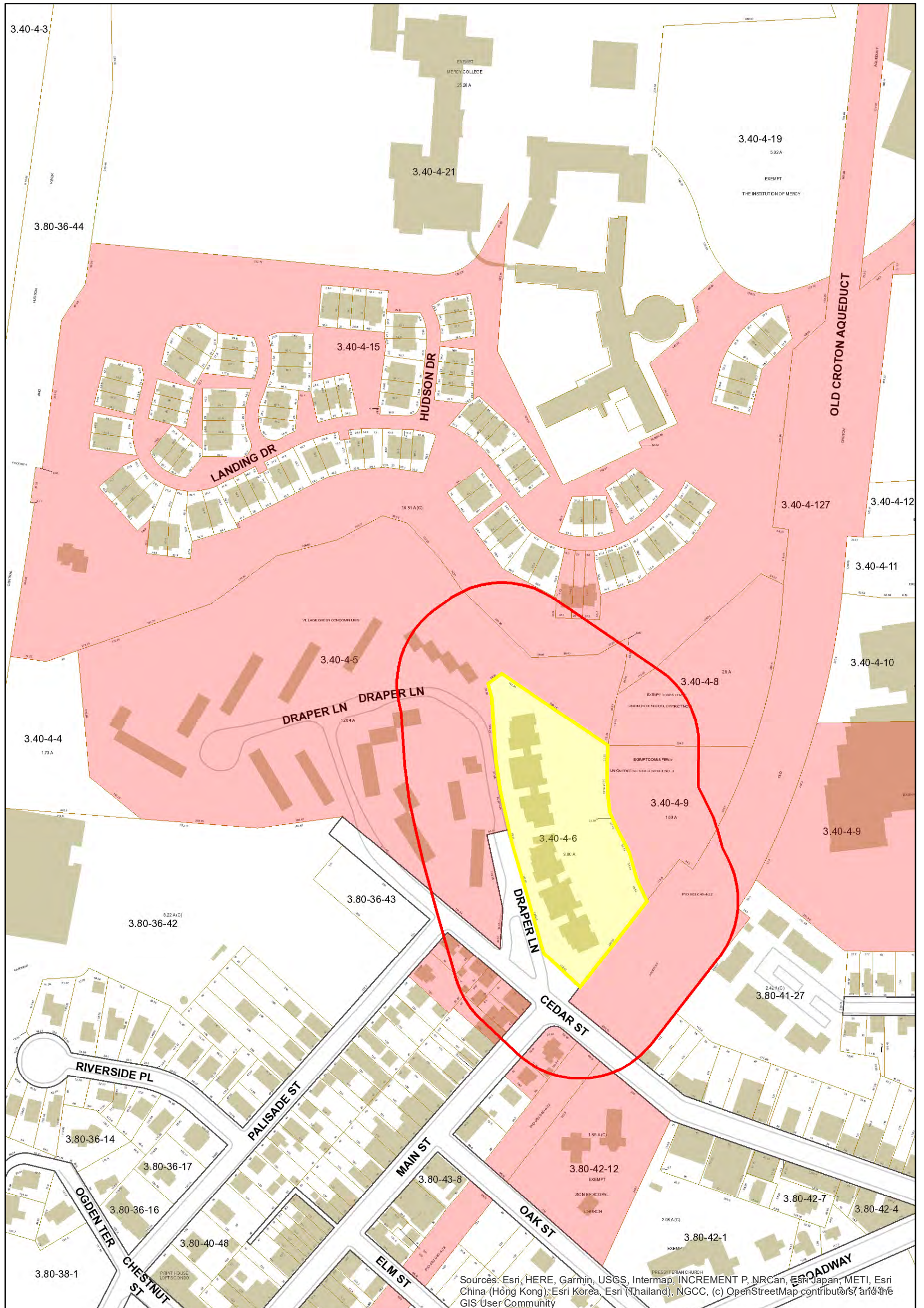
Greenburgh, NY

1 inch = 200 Feet



February 1, 2022

www.cai-tech.com



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

Data displayed on this map is for informational purposes only. Most layers originate from 3rd parties and cannot be verified by the Tax Assessor's office or CAI Technologies. Please consult with department or organization where data originates in order to verify accuracy. Any questions, call Town Assessor's Office: 1-914-989-1520.



## **SECTION 3**

# **Board Lawn Sign Deposit Form & Photo of Sign in Place**



## **Board Lawn Sign Deposit**

Deposit \$20 per sign

**Name:** 110-150 Drapers Owners Corp

**Address:** 110-150 Drapers Lane, Dobbs Ferry, NY 10522  
\_\_\_\_\_

|                             |                                   |
|-----------------------------|-----------------------------------|
| <u>      </u> AHRB          | Number of signs <u>          </u> |
| <u>  X  </u> Planning Board | Number of signs <u>    1    </u>  |
| <u>      </u> ZBA           | Number of signs <u>          </u> |

Date accepted:                                 

Not returned, deposit kept                                 

**The sign shall be returned within two weeks of board decision, in good condition.**

Returned date                                 

Signature





NO PARKING  
FIRE LANE

**NOTICE**

THIS PROPERTY IS THE  
SUBJECT OF AN APPLICATION  
BEFORE THE VILLAGE OF  
DOVER PLANNING BOARD  
FOR MORE INFO  
CONTACT THE BOARD 2021  
814.331.8013

## **SECTION 5**

# **Site Plan Application & Short Environmental Assessment Form**





## Village of Dobbs Ferry Site Plan Application

Please check appropriate box:

X Preliminary      Date 02-08-2022      Final Date \_\_\_\_\_

Name of proposed development Emergency Bank Stabilization

Applicant:

Name 110-150 Draper Owners Corp

Address Garthchester Realty  
440 Mamaroneck Ave Ste S-512  
Harrison NY 10528

Telephone 914-725-3600

Plan Prepared By:

Name RACE Coastal Engineering, PC.

Address 611 Access Road  
Stratford, CT 06615

Telephone 203-377-0663

Owner (if different):

If more than one owner, provide information for each:

Name Same as Applicant

Address \_\_\_\_\_

Telephone \_\_\_\_\_

Ownership intentions, i.e., purchase options Stabilize severely eroded bank on site with  
riprap revetment. Remove fallen debris along stream bank. Restore Wicker's Creek and  
bank landward of riprap revetment to approximate pre-storm conditions.

Location of site 110-150 Draper Lane, Dobbs Ferry, NY 10522

Tax map description:

Sheet/Block 3.40 Lot/Parcel 4-6

Current Zoning Classification MF-3

**Site Plan Application**  
**Page 2 of 6**

**State and federal permits needed (list type and appropriate department):**

Coordination with USACE and NYS DOS to be conducted following local approvals

**Proposed uses(s) of site** Multi-Family Apartments

**Total site area (square feet or areas)** 3.17 acres

**Anticipated construction time** Approximately 2 months after approvals

**Will development be staged?** Yes

**Current land use of site (agriculture, commercial, undeveloped, etc.)** Multi-Family Apartments

**Current condition of site (buildings, rush, etc.)** Bank severely eroded adjacent to parking lot.

**Character of surrounding lands (suburban, agriculture, wetlands, etc.)**

Suburban

**Estimated cost of proposed improvement \$** 250,000

**Anticipated increase in number of residents, shoppers, employees, etc. (as applicable)**

N/A

Site Plan Application  
Page 3 of 6

Describe the proposed use, including primary and secondary uses; ground floor area; height; and number of stories for each building:

For residential buildings, include number of dwelling units by size (efficiency, one-bedroom, two-bedroom, three or more bedrooms) and number of parking spaces to be provided.

For nonresidential buildings, include total floor area and total sales area; number of automobile and truck parking spaces.

Other proposed structures.

(Use separate sheet if needed)

To stabilize the severely eroded bank adjacent to the existing parking lot by constructing

a riprap revetment and restoring Wicker' Creek and the bank landward of the revetment to

its approximate pre-storm condition. See Attachment.

STATE OF NEW YORK )

COUNTY OF WESTCHESTER ) SS:

VILLAGE OF DOBBS FERRY)

David Guerrero (Representative of 110-150 Draper Owners Corp)

being duly sworn, deposes

and says, that (s)he resides at 440 Narraroneck Ave Hamden NY 10523

that (s)he is the authorized owner/representative of the owner and that the foregoing answers are true to the best of (his) knowledge and belief, that the plat if approved by the Planning Board will be filed in the Office of the County clerk within ninety (90) days following the date approval and that all regulations of the Planning Board have been Complied.

SWORN TO BEFORE ME THIS 8th DAY

OF February 2022

MARJORIE B CRUZ  
NOTARY PUBLIC, STATE OF NEW YORK  
Registration No. 01CR6332611  
Qualified in Westchester County  
Commission Expires November 2, 2023

*[Signature]*  
Westchester Realty as Agent  
By David Guerrero

**Site Plan Application**  
**Page 4 of 6**

**Proposed Development**

**Name** Emergency Bank Stabilization

\_\_\_\_\_

**Procedural Sequence**

**Initial contact with enforcement**

**Officer**

**Pre-submission conference Preliminary application**

**Fee paid: Amount \$** 85.00

**Public hearing notice**

**Public hearing**

**Tentative action:**

**Approval**

**Approval with modification**

**Disapproval**

**Resubmitted**

**Lapse date for final approval Final application**

**Referral**

**Comments returned Final Action:**

**Approval**

**Approval with modifications Conditions satisfied**

**Disapproval**

**Resubmitted**

**Building permit granted**

**Performance bond required**

**Amount** \_\_\_\_\_

**Period** \_\_\_\_\_

**Improvements covered** \_\_\_\_\_

**Performance bond satisfied** \_\_\_\_\_

**Applicant:**

**Name** 110-150 Draper Owners Corp.

Garthchester Realty

**Address** 440 Mamaroneck Ave Ste S-512, Harrison, NY 10528

**Telephone** 914-725-3600

**Date**

\_\_\_\_\_

12-08-2021

12-08-2021

\_\_\_\_\_

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Referred to Planning Board on 01-12-2022

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## Site Development Plan Review

### Checklist (cont'd)

#### Technical Considerations

#### Item Satisfied

North arrow, scale date

Yes

Property boundary, dimensions  
and angles

Yes

Easements and deed restrictions

N/A

Names, locations and widths of  
adjacent streets

Yes

Land use, zoning, ownership  
and physical improvement of adjacent  
properties

Yes

Conformity with comprehensive plan

Yes

Impact on environs:

Land use Transportation

N/A

Community facilities and services Aesthetics

Environmental, i.e. air, water,  
noise, etc.

Energy conservation

Historic preservation

Environmental impact statement

Existing, on-site physical improvements

Existing natural features:

Geological features

Soil characteristics

Topography

Vegetation

Hydrologic features

Proposed development:

Grading and drainage plan

Buildings and other structures

Improvements such as parking,

Storage and Recreation areas

Vehicular and pedestrian ways including ingress and egress

Utility lines and appurtenances



Outdoor lighting and public  
address systems

- Outdoor signs
- Landscaping plans
- Architectural plans
- Materials specifications
- Construction schedule
- ADA Compliance

|     |
|-----|
| N/A |
|     |
|     |
|     |
|     |
|     |
|     |

## **SUBMISSION SITE PLAN REVIEW**

All requirements of Site Plan Review and/or submission Ordinances must be adhered to. (Copies may be obtained from the Village Clerk's Office.)

The following information must be addressed on the plans to avoid rejection by the Village for Staff and Consulting Engineer review.

All plans are to be submitted to the Building Department for approval before being placed on the agenda.

### **SEWER:**

1. Eight (8)" PVC sewer pipe for all main line sewers. The pipe to conform to the specifications on file in the Building Department.
2. Use D.I.P. CL56 when grade is 15% or more.
3. Use concrete piers when grade is 20% or more.
4. Minimum of 4' of cover is required.
5. Maximum distance between manholes is 300 feet. Additionally, they shall be placed at every change in line or grade.
6. Manholes are to be 5' in diameter or after 9' depth.
7. Drop connection manholes must be C.I.P. or D.I.P.
8. All house connections to be 4" diameter cast iron. Each individual residence or unit to have its own individual connection.
9. All main line sewers to be a minimum of 10' 0" set back of structures.
10. All manholes to be supplied with covers entitled "Sewer".
11. Length of pipe run, per cent slope, and invert and rim elevations of manholes, to be shown.
12. Show all easements.

### **DRAINAGE**

1. Drainage calculations as required.
2. Minimum cover 2'0".
3. Pipe size and type to be indicated.

- 4. Roof drains and leaders to be piped to dry wells or drainage system.**
- 5. Details of catch Basin, Manholes and Lawn Inlets.**
- 6. Drainage arrows should be shown to indicate flow.**
- 7. Detail design of all retention systems where applicable.**
- 8. Length of pipe, run, per cent slope and invert, and rim elevations, to be shown.**

**ROADWAY IMPROVEMENTS:**

- 1. Stone or concrete curbing detail.**
- 2. Minimum width of roadway pavement is 35'.**
- 3. Road grade not to exceed 100/D.**
- 4. Road grade not be less than 1.0%.**
- 5. Grades across cul-de-sac shall not exceed 6% and not be less than 2%.**
- 6. Guide rail must be shown on all shoulders with slopes 6 feet or greater in height.**
- 7. Where road or drive enters State or County Roads, owner must obtain the necessary permits.**
- 8. Detail of road and driveway sections.**

**NOTES TO BE PUT ON DRAWINGS:**

- 1. All work to conform to the satisfaction of the Building Inspector.**
- 2. Provide retaining walls on all slopes exceeding one (1) foot vertical on one and one-half (1½) feet horizontal.**
- 3. The builder shall furnish 6" perforated CMP encased in stone wherever directed by the Building Inspector.**
- 4. Swales to be installed as directed by the Building Inspector.**
- 5. All grading to be performed to create positive drainage.**
- 6. All driveways sloping down to garages shall have a drain inlet with a pipe extending beyond the rear of the house to carry rain run-off.**
- 7. All driveways sloping down shall rise 6" the first 5' and then slope down.**



**8. A Code 53 to be called in.**

**GENERAL:**

- 1. All drawings for duster shall show the proposed units numbered in sequence, for reference purposes.**
- 2. All drawings for duster are to show the required parking spaces, and said spaces shall be NUMBERED.**
- 3. All drawings shall have THE SIGNATURE OF THE OWNER, THE LAND SURVEYOR AND THE PROFESSIONAL ENGINEER.**
- 4. If the application is a subdivision, applicant must review Section 26B.20 Improvement of the Village of Dobbs Ferry Code.**
- 5. The applicant shall also include in the submission, items listed in Zoning and Land Use Appendix D.**

## **Attachment #2**

### **RESTORATION Specifications**

#### **SIDEWALKS:**

In the case of sidewalks, each slab of concrete cut or damaged by the opening shall be replaced by new concrete, and no patching will be permitted.

#### **ROADWAYS:**

On streets paved with blacktop or macadam, the existing pavement shall be cut back eighteen (18") inches beyond the original cut and the entire area repaved with blacktop or macadam to a depth of 2".

On streets paved with concrete or with a concrete base, the existing pavement shall be cut back twenty-four (24) inches beyond the original cut and the entire area repaved with concrete to match the existing street pavement.

Where an excavation is in a public roadway, the trench shall be filled to the level of the roadway with 50 PSI K-crete or equivalent (cap-crete, etc.). For final restoration, the road shall be cut back as directed above, and the finished pavement shall be installed.

#### **CURBS AND DRIVEWAYS:**

Curbs shall be 16" stone or 18" concrete, with a 6" reveal. Where a curb crosses a driveway, a minimum 1 ½" reveal is required to the finished pavement.

All work for sidewalks, roadways, curbs and driveways shall also conform with the latest version of the Highway Department "Standard Construction Details & Specifications".

## **Attachment to Dobbs Ferry Site Plan Application**

### **Page 3 of 6**

**Describe the proposed use, including primary and secondary uses; ground floor area; height; and number of stories for each building:**

**Other proposed structures.**

The Applicant proposes to stabilize a bank along Wicker's Creek that was severely eroded during Hurricane Ida. The eroded bank is threatening the parking lot of a condominium complex located at the project site and requires emergency stabilization. The Applicant is proposing to stabilize the severely eroded bank by constructing a 340' +/- riprap revetment along the length of the bank. The stabilization of the bank will restore Wicker's Creek to its approximate pre-storm footprint following construction. The footprint of the proposed revetment will not extend into the approximate pre-storm footprint of Wicker's Creek. It is anticipated that the revetment will be comprised of 680 +/- CY of armor stone, 190 +/- CY of filter stone and filter fabric. Sections along the eroded bank landward of the proposed revetment will be backfilled (101 +/- CY) in order to be restored to their pre-storm conditions and lawn atop the backfill will be restored. Fallen/damaged debris will be removed along the streambank and will be disposed of at an authorized waste facility. It is anticipated that the contractor will work around and protect the existing infrastructure as necessary to complete the proposed project.

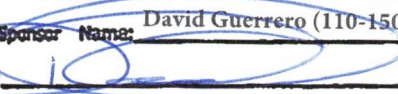


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PROJECT I.D. NUMBER

617.21  
Appendix C  
State Environmental Quality Review  
**SHORT ENVIRONMENTAL ASSESSMENT FORM**  
For UNLISTED ACTIONS Only

**PART I-PROJECT INFORMATION (To be completed by Applicant or Project sponsor)**

|  |  |   |  |
|--|--|---|--|
| <b>1. APPLICANT/SPONSOR</b> 110-150 Draper Owners Corp   |  | <b>2. PROJECT NAME</b> Emergency Bank Stabilization |  |
| <b>3. PROJECT LOCATION:</b> Dobbs Ferry  |  | County Westchester                                  |  |
| <b>4. PRECISE LOCATION (Street address and road intersections, prominent landmarks, etc. or provide map)</b><br>110-150 Draper Lane, Dobbs Ferry, NY 10522   |  |   |  |
| <b>5. IS PROPOSED ACTION:</b><br><input checked="" type="checkbox"/> New <input type="checkbox"/> Expansion <input type="checkbox"/> Modification/Alteration   |  |   |  |
| <b>6. DESCRIBE PROJECT BRIEFLY:</b><br>Stabilize the severely eroded bank with a riprap revetment  |  |   |  |
| <b>7. AMOUNT OF LAND AFFECTED:</b><br>Initially <1 acres Ultimately <1 acres   |  |   |  |
| <b>8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER EXISTING LAND USE RESTRICTIONS?</b><br><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No, describe briefly.  |  |   |  |
| <b>9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT?</b><br><input checked="" type="checkbox"/> Residential <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Agriculture <input type="checkbox"/> Park/Forest/Open Space <input type="checkbox"/> Other<br>Describe: Multi-family Apartments |  |   |  |
| <b>10. DOES ACTION INVOLVE A PERMIT APPROVAL, OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (FEDERAL, STATE OR LOCAL)?</b><br><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes, list agency(s) and permit/approvals<br>USACE & NYS DOS  |  |   |  |
| <b>11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL?</b><br><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, list agency name and permit/approval  |  |   |  |
| <b>12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION?</b><br><input type="checkbox"/> Yes <input type="checkbox"/> No N/A  |  |   |  |
| I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE  |  |   |  |
| Applicant/Sponsor Name: David Guerrero (110-150 Draper Owners Corp) Date: _____  |  |   |  |
| Signature:    |  |   |  |

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment.

SEQR

**PART II—ENVIRONMENTAL ASSESSMENT (To be completed by Agency)**

**A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, PART 617.4? If yes, coordinate the review process and use the FULL EAF.**

☐ Yes ☐ No

**B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 6 NYCRR, PART 617.5? If No, a negative declaration may be superseded by another involved agency.**

☐ Yes ☐ No

**C. COULD ACTION RESULT IN ANY ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible)**

**C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic patterns, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly:**

**C2. Aesthetic, agricultural, archaeological, historic or other natural or cultural resources; or community or neighborhood character? Explain briefly.**

**C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly.**

**C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly.**

**C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly.**

**C6. Long term, short term, cumulative, or other effects not identified in C1-C5? Explain briefly.**

**C7. Other impacts (including changes in use of either quantity or type of energy)? Explain briefly.**

**D. WILL THE PROJECT HAVE AN IMPACT ON THE ENVIRONMENTAL CHARACTERISTICS THAT CAUSED THE ESTABLISHMENT OF A CEA?**

☐ Yes ☐ No

**E. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS?**

☐ Yes ☐ No If Yes, explain briefly.

**PART III—DETERMINATION OF SIGNIFICANCE (To be completed by Agency)**

**INSTRUCTIONS:** For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed. If question D or Part II was checked yes, the determination and significance must evaluate the potential impact of the proposed action on the environmental characteristics of the CEA.

- ☐ Check this box if you have identified one or more potentially large or significant adverse impacts which MAY occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.
- ☐ Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action WILL NOT result in any significant adverse environmental impacts AND provide on attachments as necessary, the reasons supporting this determination:

\_\_\_\_\_  
Name of Lead Agency

\_\_\_\_\_  
Print or Type Name of Responsible Officer in Lead Agency

\_\_\_\_\_  
Title of Responsible Officer

\_\_\_\_\_  
Signature of Responsible Officer in Lead Agency

\_\_\_\_\_  
Signature of Preparer (If different from responsible officer)

\_\_\_\_\_  
Date

**5300-72. Site plan requirements.**

- A. The site plan design shall, at a minimum, meet the requirements for improvements established in this chapter. Supplementary drawings which contain any required information shall be submitted with and made part of the site plan. The site plan shall show the following information:
- (1) Existing zoning, land use, property owners as shown on the latest tax records and the location of existing buildings on adjoining properties, all within a one-hundred-foot radius of the subject site in all directions.
  - (2) Sheet, block and lot numbers of the site taken from the latest tax records, and the name and address of the owner of record.
  - (3) Name and address of the person or firm preparing the map, along with the date, North arrow and written and graphic scale.
  - (4) Property lines and names of related streets, rights-of way and easement lines as determined by survey. The distances to an established street intersection shall be shown. Any relevant deed restrictions or covenants shall also be noted.
  - (5) Existing topography of the site as revealed by five-foot contours or key elevations as may be required by the Planning Board.
  - (6) Location, arrangement and dimensions of existing and/or proposed buildings and structures.
  - (7) Layout of existing and proposed off-street parking and loading areas, showing the details of aisles, driveways and each parking or loading space.
  - (8) Proposed location, arrangement and dimensions of all vehicular entrances, exits and driveways; curbs, sidewalks and pedestrian walks.
  - (9) Proposed final grades, including detailed information relative to methods to be used to retain, stabilize and/or refurbish regraded areas, e.g., sod, retaining walls, etc.
  - (10) Existing and proposed water lines, stormwater drainage facilities, sewage disposal facilities, telephone-electric poles and other utility installations.
  - (11) Existing and proposed trees, vegetation, landscaping and fences, including watercourses, marshes, wooded areas, rock outcrops and isolated trees with a diameter of eight (8) inches or more as measured three (3) feet above the base of the trunk.
  - (12) Existing and proposed outdoor lighting and sign locations, including their direction and dimensions.
- B. If the site plan indicates only a first stage or a section of development, a supplementary plan shall be submitted indicating ultimate development and the full relationship of the first stage or section thereto.
- C. Any other information deemed by the Planning Board to be necessary to determine conformity of the site plan with the spirit and intent of this chapter shall also be provided.
- D. A site plan, following approval by the Village Board of Trustees, shall be valid for a period of six (6) months from the date of such approval, and provided that work is commenced and diligently executed within this period, such approval shall be valid for a period of one (1) year from the date of approval. Upon application, the Village Board of Trustees shall have the right to extend this period of approval to not more than two (2) years from the date of original approval. [Amended 2-3-76 by L.L. No. 4-1976]

## **SECTION 6**

# **Site Plan Checklist**



# VILLAGE OF DOBBS FERRY

## SITE PLAN CHECK LIST

The items listed below should be reviewed by the applicant's design professional to aid in providing a complete submission.

### AGENCY APPROVALS

YES

NO

Westchester County Department of Health  
Septic and Water.

\_\_\_\_\_

X

New York State Department Environmental  
Conservation Stormwater SPDES.

\_\_\_\_\_

X

New York City Department Environmental  
Protection Joint Septic.

\_\_\_\_\_

X

New York City Department of Environmental  
Protection SWPPP.

\_\_\_\_\_

X

### VILLAGE PERMITS/APPROVALS

Zoning Board of Appeals.

\_\_\_\_\_

X

Blasting and Explosives Permit.

\_\_\_\_\_

X

Fill Permit.

\_\_\_\_\_

X

Freshwater Wetlands Permit.

\_\_\_\_\_

X

Site Plan to comply with Subdivision

Plat approval requirements

\_\_\_\_\_

X

Stormwater Pollution Prevention Plan (SWPPP)

\_\_\_\_\_

X

Architectural Review

\_\_\_\_\_

X

Building Permit

\_\_\_\_\_

X

Excavation/Grading Permit

\_\_\_\_\_

X

Demolition Permit

\_\_\_\_\_

X

Electrical Permit

\_\_\_\_\_

X

### SITE PLAN INFORMATION

1. 24" x 36" maximum drawing size.

X

2. Minimum scale: (1" = 30').

X

3. Project Name.

X

4. Name and address of engineer and surveyor.

X

5. Name and address of owner of record and applicant.

X

6. Drawings signed and sealed by P.E. or R.A.

X

7. Original drawing date & revision dates.

X

8. Tax map section and lot numbers.

X



|     |  |               |               |
|-----|--|---------------|---------------|
| 9.  | Location plan with existing and adjacent zoning district.  | <u>X</u>      | <u>      </u> |
| 10. | Scale, north arrow, date of survey, property acreage, drawings numbered (i.e., 1 of 3, 2 of 3, etc.) & identify adjoining property owners. | <u>X</u>      | <u>      </u> |
| 11. | Minimum yard setbacks.   | <u>      </u> | <u>X</u>      |
| 12. | Provide bulk zoning table with all existing, proposed and required conditions.   | <u>      </u> | <u>X</u>      |

### **AGENCY APPROVALS**

|     |   |               |               |
|-----|---|---------------|---------------|
| 12. | Estimated quantity of cut or fill to be imported or removed from site or provide note stating that A No material is to be imported or removed from this site. @ | <u>X</u>      | <u>      </u> |
| 13. | Topography at two feet maximum intervals.   | <u>      </u> | <u>N/A</u>    |
| 14. | Topography along streets adjacent to property.  | <u>      </u> | <u>N/A</u>    |
| 15. | Existing buildings, retaining walls, fences, rock outcrops, wooded areas, watercourses, water bodies, wetlands and wetland controlled areas, etc.               | <u>X</u>      | <u>      </u> |
| 16. | Total amount of site area disturbed   | <u>X</u>      | <u>      </u> |

### **DRAINAGE**

|     |  |               |            |
|-----|--|---------------|------------|
| 1.  | Collect and convey driveway runoff. Mitigate increases in site runoff due to site development.   | <u>      </u> | <u>N/A</u> |
| 2.  | Roof drains to discharge to existing or proposed drainage system. Mitigate increases from roof runoff.   | <u>      </u> | <u>N/A</u> |
| 3.  | Surface inlets provided where low points cannot be graded to drain .   | <u>      </u> | <u>N/A</u> |
| 4.  | Swale provided between buildings and embankment which slopes toward building.  | <u>      </u> | <u>N/A</u> |
| 5.  | Culverts provided where roads or driveways cross watercourses.   | <u>      </u> | <u>N/A</u> |
| 6.  | Catch basin spacing adequate.  | <u>      </u> | <u>N/A</u> |
| 7.  | All rim and invert elevations provided.  | <u>      </u> | <u>N/A</u> |
| 8.  | Two feet minimum cover of storm drains in roads, driveways and parking areas. 18" minimum elsewhere.   | <u>      </u> | <u>N/A</u> |
| 9.  | Drywells provided with emergency overflow outlet pipes to grade. Multiple drywell systems should be connected by equalization pipes with rim and invert elevations posted. | <u>      </u> | <u>N/A</u> |
| 10. | Minimum storm drain pipe size 15" diameter.  | <u>      </u> | <u>N/A</u> |

- |     |  |       |            |
|-----|--|-------|------------|
| 11. | Headwalls or end sections provided at pipe inlets and outlets. | _____ | <u>N/A</u> |
| 12. | Rip-rap provided at headwalls and end sections.                | _____ | <u>N/A</u> |
| 13. | Provide cross section for pond or detention facility.          | _____ | <u>N/A</u> |

#### **SITE INGRESS/EGRESS**

- |    |   |       |            |
|----|---|-------|------------|
| 1. | Adequate sight distance at driveway intersection with road.   | _____ | <u>N/A</u> |
| 2. | Site accessible to fire trucks, emergency vehicles, tractor trailers for fill deliveries, moving vans, oil trucks, etc. | _____ | <u>N/A</u> |
| 3. | Backup space for parking area.  | _____ | <u>N/A</u> |
| 4. | Driveways intersecting existing road at 90E.  | _____ | <u>N/A</u> |

#### **SITE GRADING**

- |     |   |       |            |
|-----|---|-------|------------|
| 1.  | All proposed grading on property for house, driveway and septic. Show limit line of disturbance.  | _____ | <u>N/A</u> |
| 2.  | Driveway platform sloped at 4% maximum within 25 feet of centerline of street or within 35 feet from the Right-of-Way, whichever is the greater distance. | _____ | <u>N/A</u> |
| 3.  | Driveway slope 14% maximum.   | _____ | <u>N/A</u> |
| 4.  | Parking area 5% maximum.  | _____ | <u>N/A</u> |
| 5.  | Paved areas 1% minimum grade at curb line.  | _____ | <u>N/A</u> |
| 6.  | Lawn area 2% minimum.   | _____ | <u>N/A</u> |
| 7.  | Top and bottom of retaining wall elevations provided.   | _____ | <u>N/A</u> |
| 8.  | Outside grade pitched away from residence.  | _____ | <u>N/A</u> |
| 9.  | Guide rail provided at steep drop offs.   | _____ | <u>N/A</u> |
| 10. | Spot elevations at corners of residence and parking area where necessary to ensure positive drainage.   | _____ | <u>N/A</u> |
| 11. | Finished floor elevations provided including basement.  | _____ | <u>N/A</u> |
| 12. | Plans and calculations for walls $\geq$ 4 feet Signed & Sealed by P.E., R.A.  | _____ | <u>N/A</u> |
| 13. | Provide profiles of proposed roads with vertical geometry.  | _____ | <u>N/A</u> |
| 14. | Provide horizontal geometry.  | _____ | <u>N/A</u> |

#### **GENRAL**

- |    |   |       |            |
|----|---|-------|------------|
| 1. | Show existing and proposed utilities(water, sewer,etc.) | _____ | <u>N/A</u> |
| 2. | Show snow piling areas.                                 | _____ | <u>N/A</u> |

|     |  |       |            |
|-----|--|-------|------------|
| 3.  | Show refuse areas with enclosures.               | _____ | <u>N/A</u> |
| 4.  | Show zoning map with districts(school,fire,etc). | _____ | <u>N/A</u> |
| 5.  | Show signage.                                    | _____ | <u>N/A</u> |
| 6.  | Show landscaping.                                | _____ | <u>N/A</u> |
| 7.  | Provide sections and details of wall.            | _____ | <u>N/A</u> |
| 8.  | Provide phasing plan for areas over 5ac.         | _____ | <u>N/A</u> |
| 9.  | Provide lighting plan.                           | _____ | <u>N/A</u> |
| 10. | Maintain low noise level at property line.       | _____ | <u>N/A</u> |
| 11. | ADA compliance                                   | _____ | <u>N/A</u> |
| 12. | Village Construction Standard Compliance         | _____ | <u>N/A</u> |

### **SITE PLAN NOTES**

|    |   |          |            |
|----|---|----------|------------|
| 1. | General construction notes.   | <u>X</u> | _____      |
| 2. | Construction Sequence shown on plans.   | <u>X</u> | _____      |
| 3. | The following notes shall be provided on the plans:<br>AShould rock blasting be required, a permit application in accordance with Chapter 125 - Blasting and Explosives of the Village of Dobbs Ferry Code must be submitted to the Village by the applicant for review/approval. This should be noted on the plans as follows: | _____    | <u>N/A</u> |
|    | AThe Village Engineer may require additional erosion control measures if deemed appropriate to mitigate unforeseen siltation and erosion of disturbed soils.@   | <u>X</u> | _____      |
|    | AAAs-Built plans of the proposed driveway and drainage improvements shall be submitted to the Village Engineer for review prior to issuance of Certificate of Occupancy.@   | _____    | <u>N/A</u> |
|    | AFill material imported to the site shall be certified in writing by a New York Licensed Professional Engineer as clean, non-contaminated fill suitable for the intended use.@  | <u>X</u> | _____      |
|    | “Before the site plan is signed by the Chairman of the Planning Board, the applicant shall be required to post a performance bond or other type of  |          |            |

acceptable monetary guaranty which shall be in an amount determined by the Planning Board and the Village Engineer and in a form satisfactory to the Village Attorney”.

X

4. The following notes shall be provided on plans that involve SWPPP's:

The applicant shall notify the Building Department or Village's Consulting Engineer in writing at least 48 hours before any of the following so that any inspection may be performed.

- |   |                   |            |
|---|-------------------|------------|
| 1) Start of construction  | <u>          </u> | <u>N/A</u> |
| 2) Installation of sediment and erosion control measures.           | <u>          </u> | <u>N/A</u> |
| 3) Completion of site clearing.                                     | <u>          </u> | <u>N/A</u> |
| 4) Completion of rough grading.                                     | <u>          </u> | <u>N/A</u> |
| 5) Installation of SMP's.   | <u>          </u> | <u>N/A</u> |
| 6) Completion of final grading and stabilization of distured areas. | <u>          </u> | <u>N/A</u> |
| 7) Closure of construction.   | <u>          </u> | <u>N/A</u> |
| 8) Completion of final landscaping; and                             | <u>          </u> | <u>N/A</u> |
| 9) Successful establishment of landscaping in public areas.         | <u>          </u> | <u>N/A</u> |

“The owner or operator shall have a qualified inspector inspect and document the effectiveness of all erosion and sedimentation control practices and prepare inspection reports at least once a month. These reports must be kept on site and available for review”.

           N/A

**SITE CONSTRUCTION DETAILS**

Driveway Profile

           N/A

|  |              |       |
|--|--------------|-------|
| Driveway and shoulder section          | _____        | N/A   |
| Roadway replacement                    | _____        | N/A   |
| Pavement section                       | _____        | N/A   |
| Sidewalk Details                       | _____        | N/A   |
| Rip-rap slopes, embankments and aprons | <u>  X  </u> | _____ |
| Paved, rip-rapped, grass gutters       | _____        | N/A   |
| NYSDOT material item numbers           | _____        | N/A   |
| Detention basin                        | _____        | N/A   |
| Catch basin                            | _____        | N/A   |
| Surface inlet                          | _____        | N/A   |
| Drain manhole                          | _____        | N/A   |
| Headwall                               | _____        | N/A   |
| Curb                                   | _____        | N/A   |
| Drywell                                | _____        | N/A   |
| Underdrain                             | _____        | N/A   |
| Retaining wall                         | _____        | N/A   |
| Silt fence                             | _____        | N/A   |
| Haybales                               | _____        | N/A   |
| Inlet protection                       | _____        | N/A   |
| Anti-tracking strip                    | _____        | N/A   |
| Guiderail                              | _____        | N/A   |
| Energy dissipater                      | _____        | N/A   |
| Sediment traps or basins               | _____        | _____ |

### **EROSION CONTROL PLAN**

Erosion control measures implemented as per New York  
Guidelines for Urban Erosion and Sediment Control.

  X  

### **MISCELLANEOUS ITEMS**

- |    |  |       |     |
|----|--|-------|-----|
| 1. | Proposed easements   |       |     |
|    | a) Temporary construction  | _____ | N/A |
|    | b) Drainage  | _____ | N/A |
|    | c) Sight   | _____ | N/A |
|    | d) Slope   | _____ | N/A |
|    | e) Driveway access   | _____ | N/A |
| 2. | Existing sanitary disposal system in the vicinity<br>of construction activity protected with temporary<br>fencing. | _____ | N/A |

## **SECTION 7**

# **Coastal Assessment Form (CAF)**



## VILLAGE OF DOBBS FERRY - LWRP CONSISTENCY REVIEW

### COASTAL ASSESSMENT FORM (CAF)

**Name of applicant:** 110-150 Draper Owners Corp

**Mailing address:** Garthchester Realty  
440 Mamaroneck Ave Ste S-512, Harrison, NY 10528

**Telephone number:** 914-725-3600

**Tax Lot #** 3.40-4-6

**Application number, if any:** A2021-0711

#### A. INSTRUCTIONS (Please print or type all answers)

1. All applicants, including the Village of Dobbs Ferry and other agencies, shall complete this CAF for proposed actions subject to Local Law # 10-05 - LWRP Consistency Law. This assessment is intended to supplement other information used by the Dobbs Ferry Planning Board in making a determination of consistency with the Coastal Management Policies set forth in the Dobbs Ferry Local Waterfront Revitalization Program (LWRP).

2. All applicants shall complete Sections B and C of this Coastal Assessment Form. If the proposed action meets any of the criteria listed in Section C, Section D must be completed.

3. In Section D, a proposed action should be evaluated as to its potential beneficial and/or adverse effects upon the coastal area and how it may affect the achievement of the specific policy standards contained in the LWRP and the LWRP Consistency Law.

4. Once evaluated, a proposed action may need to be analyzed in more detail and, if necessary, modified prior to making a determination that it is consistent with the LWRP policy standards. If an action cannot be certified as consistent with the LWRP policy standards, it shall not be undertaken.

#### B. DESCRIPTION OF SITE AND PROPOSED ACTION

1. Type of action (check appropriate response):

(a) Directly undertaken (e.g. capital construction, planning activity, agency regulation, land transaction) \_\_\_\_\_

(b) Financial assistance (e.g. grant, loan, subsidy) \_\_\_\_\_

(c) Permit, approval, license, certification ☒ \_\_\_\_\_

(d) Party or Agency undertaking action: \_\_\_\_\_

2. **Describe nature and extent of action:** Stabilize severely eroded bank on site with riprap  
revetment. Remove fallen debris along stream bank. Restore Wicker's Creek and bank  
landward of riprap revetment to approximate pre-storm conditions.

3. **Location of action (Street or Site Description) :** 110-150 Draper Lane, Dobbs Ferry, NY 10522

### C. COASTAL ASSESSMENT CRITERIA

Please check any of the following criteria that describe the proposed action.

- X   1. The proposed action has direct contact with coastal waters, i.e. the Hudson River  
and/or its tributaries - Wickers Creek and the Saw Mill River.
2. The proposed action utilizes coastal waters, either directly or indirectly.
- X   3. The proposed action involves natural features such as tree cover, hillsides, steep  
slopes, ridgelines and wetlands that either effect or are affected by coastal waters.
- X   4. The proposed action demonstrates a relationship to coastal waters. The relationship  
may be recreational, cultural, historic, or business.
5. The proposed action has a direct visual relationship with coastal waters and their  
waterfronts.

If the proposed action meets any of the above criteria, Section D must be completed.

### D. COASTAL ASSESSMENT

The following thirteen questions are based directly on the Coastal Management Policies set forth in Section III of the Dobbs Ferry LWRP. The preparer of this form should review these policies which are available online at [www.dobbsferry.com/content/waterfront](http://www.dobbsferry.com/content/waterfront) and also on file in the Village of Dobbs Ferry Clerk's office. Please answer every question and provide a brief explanation. If necessary, you may attach further explanation or refer to other available documentation relating to the proposed action.



**Planning Bd.**

1. ☐

**Applicant**

1. Does the proposed action foster a pattern of development in the coastal area that enhances community character, open space preservation, use of existing infrastructure, use of a coastal location?

\_\_\_\_ YES \_\_\_\_ NO X Not Applicable

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2. ☐

2. Does the proposed action preserve historic and archaeological resources?

\_\_\_\_ YES \_\_\_\_ NO X Not Applicable

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3. ☐

3. Does the proposed action protect existing scenic resources or enhance visual quality in the community?

\_\_\_\_ YES \_\_\_\_ NO X Not Applicable

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4. ☐

4. Does the proposed action minimize loss of life, structures, and natural resources from flooding and erosion?

X YES \_\_\_\_ NO \_\_\_\_ Not Applicable

The proposed work will stabilize a bank along Wicker's Creek that was severely eroded during Hurricane Ida. The bank is adjacent to a parking lot of a multi-family apartment building.

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5. ☐

5. Does the proposed action protect or improve water resources?

\_\_\_\_ YES \_\_\_\_ NO X Not Applicable

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6. ☐

6. Does the proposed action protect or restore ecological resources, including significant fish and wildlife habitats, wetlands, and rare ecological communities?

☒ YES ☐ NO ☐ Not Applicable

The proposed work will restore Wicker's Creek to its approximate pre-storm footprint.

7. ☐

7. Does the proposed action protect and/or improve air quality?

☐ YES ☐ NO ☒ Not Applicable

8. ☐

8. Does the proposed action minimize environmental degradation from solid waste and hazardous substances and wastes?

☐ YES ☐ NO ☒ Not Applicable

9. ☐

9. Does the proposed action improve public access to and recreational use of public lands and waters?

☐ YES ☐ NO ☒ Not Applicable

10. ☐

10. Does the proposed action protect water-dependent uses, promote siting of new water-dependent uses in suitable locations, and/or support efficient harbor operation?

☐ YES ☐ NO ☒ Not Applicable

11. ☐

11. Does the proposed action promote the sustainable use of fish and wildlife resources?

☐ YES ☐ NO ☒ Not Applicable

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12. ☐

12. Does the proposed action protect agricultural lands?

☐ YES ☐ NO ☒ Not Applicable

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13. ☐

13. Does the proposed action promote appropriate use and development of energy and mineral resources?

☐ YES ☐ NO ☒ Not Applicable

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**Consistency  
Determination**

☐ Yes

☐ No

**E. FURTHER REMARKS OR ADDITIONAL INFORMATION:**

If assistance or further information is needed to complete this form, please contact Village of Dobbs Ferry Clerk at 914-693-2203 ext. 204..

Preparer's

Name: Hailey Simpson

Telephone: 203-377-0663

Title: Coastal Engineer

RACE Coastal

Agency: Engineering, PC

Date: 02-08-2022

## **SECTION 8**

# **Existing and Proposed Site Plans**



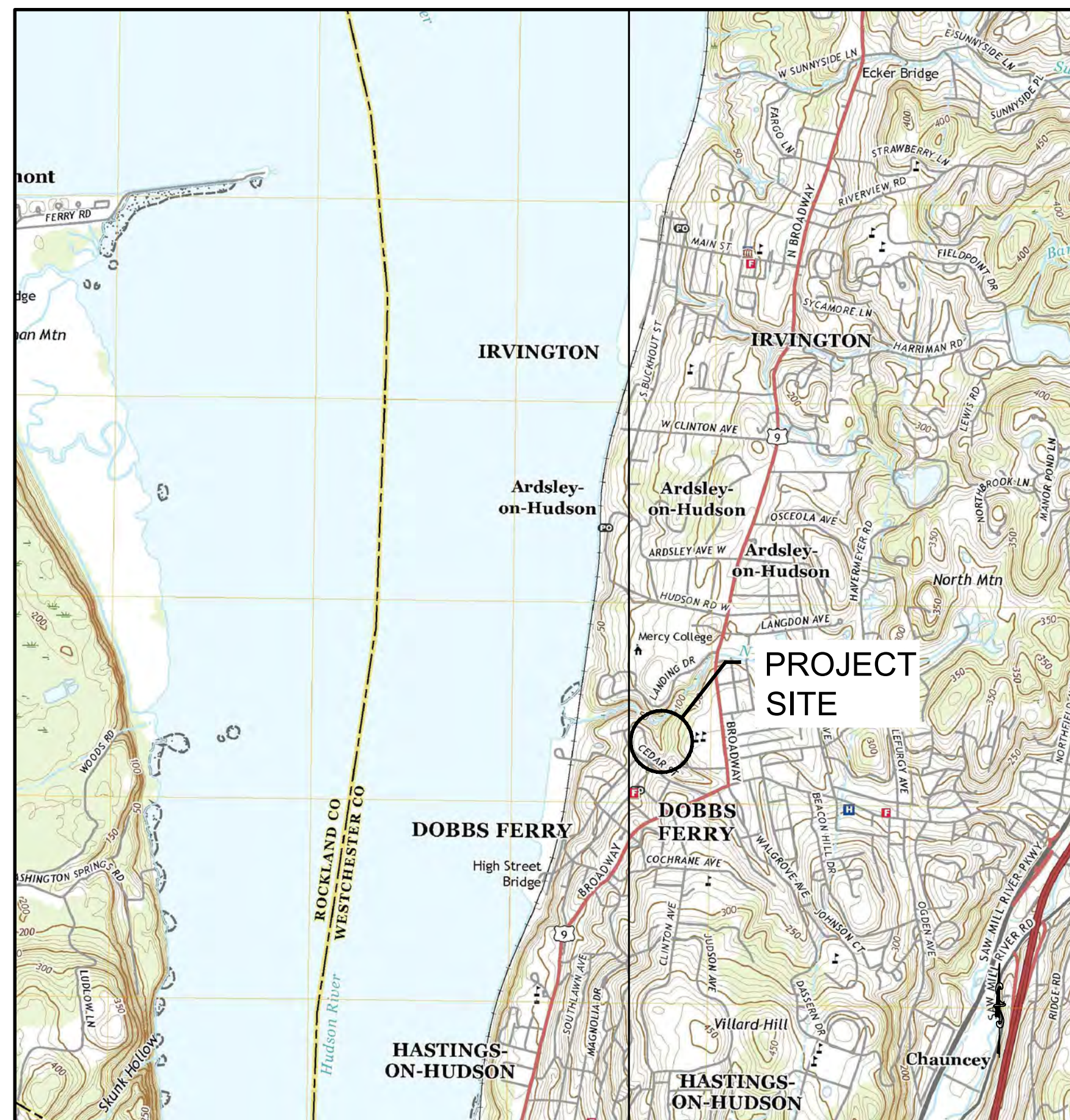


# EMERGENCY BANK STABILIZATION

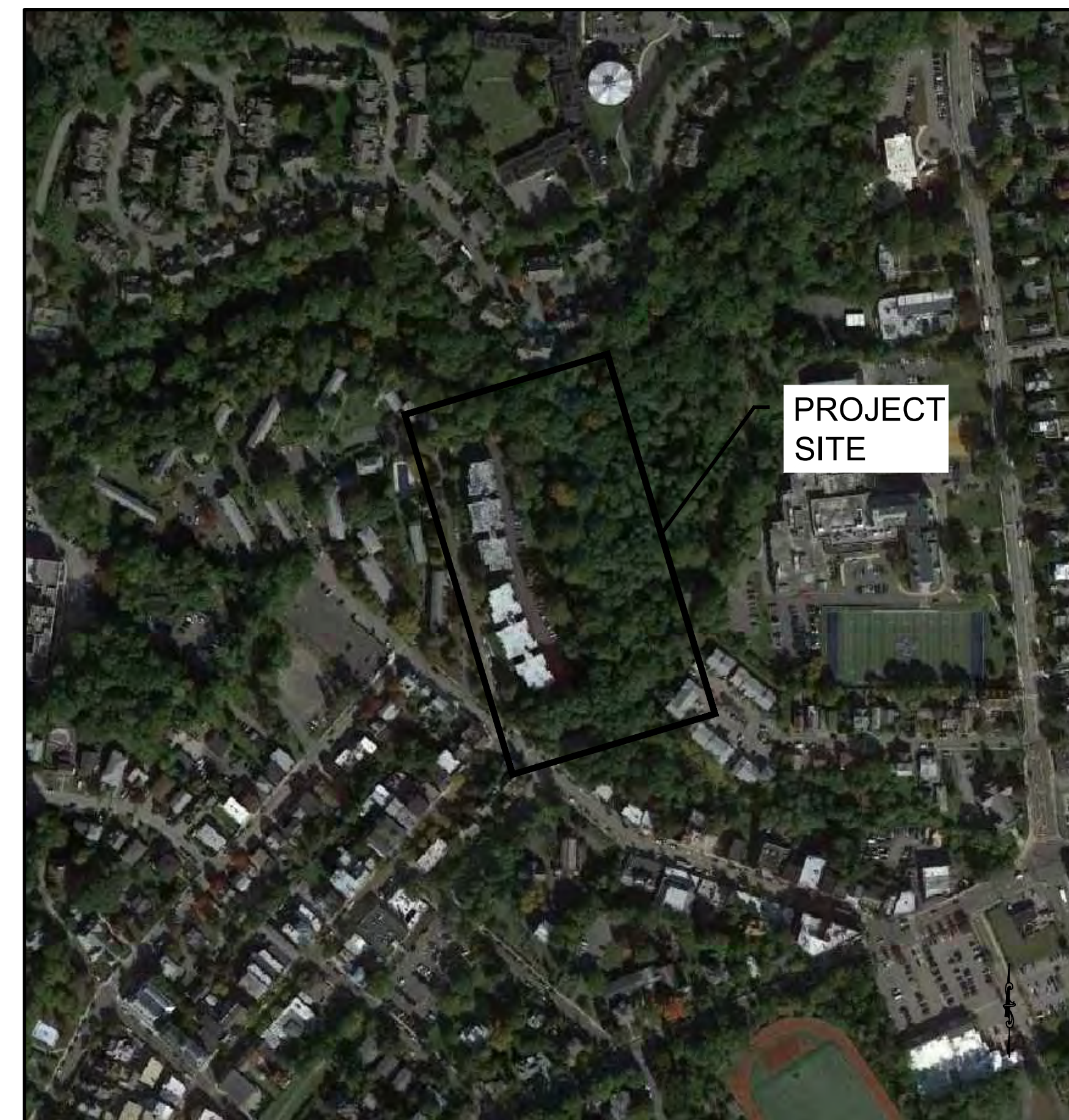
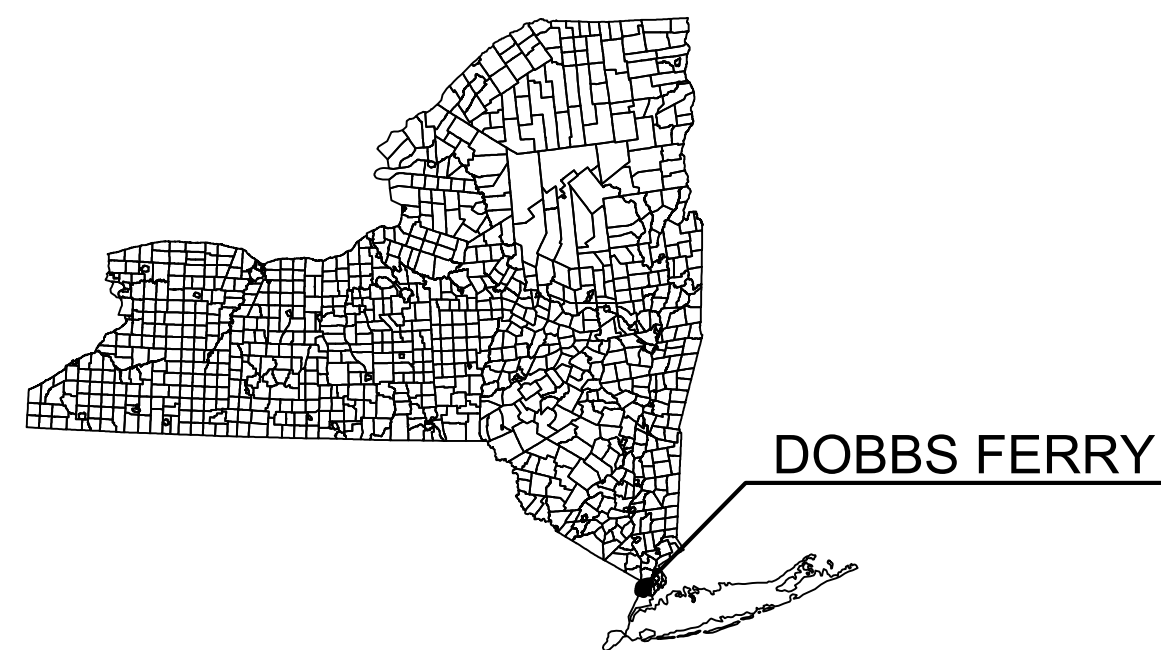
110-150 DRAPER OWNERS CORP.  
C/O GARTHCHESTER REALTY  
440 MAMARONECK AVE  
HARRISON, NY 10528  
11/18/2021

## LIST OF DRAWINGS

| DWG. No. | DRAWING TITLE                            |
|----------|--|
| 1        | TITLE SHEET, DRAWING LIST & VICINITY MAP |
| 2        | PROJECT NOTES & SITE PHOTOGRAPHS         |
| 3        | EXISTING & PROPOSED SITE PLAN            |
| 4        | EXISTING & PROPOSED SECTIONS             |



VICINITY MAP



AERIAL PHOTO



| 1  | 02-04-2022   | REVISED FOR PLANNING BOARD REQUIREMENTS |
|--|--|---|
| REV  | DATE   | DESCRIPTION                             |
| ISSUED FOR PERMIT  |  |   |
| <b>RACE</b><br>COASTAL ENGINEERING   |  |   |
| 611 Access Road<br>Stratford, CT 06615<br>Tel.: 203-377-0663<br>racecoastal.com  |  |   |
| OWNERSHIP AND CONDITIONS OF USE:<br>Drawings and Specifications, as instruments of professional service, are and shall remain the property of RACE Coastal Engineering, PC. Documents are not to be used, in whole or in part, for other projects or purposes or by any other parties than those authorized by contract without the specific written authorization of RACE Coastal Engineering, PC. The use of this document is contingent upon payment to RACE Coastal Engineering, PC for services rendered. Non-payment shall give RACE Coastal Engineering, PC the authority to bar document use by any and all parties. |  |   |
| THIS DRAWING IS COPYRIGHTED  |  |   |
| Prepared for   | 110-150 DRAPER OWNERS CORP.<br>C/O GARTHCHESTER REALTY<br>440 MAMARONECK AVE<br>HARRISON, NY 10528 |   |
| Project  | EMERGENCY BANK STABILIZATION<br>110-150 DRAPER LANE<br>DOBBS FERRY, NY 10522                       |   |
| Drawing  | TITLE SHEET,<br>DRAWING LIST &<br>VICINITY MAP   |   |
| Designed   | HNS  | Checked<br>HNS                          |
| Job No.  | 2021121  | Date<br>11/18/2021                      |
|  |  | Drawing No.<br>ADS                      |
|  |  | 1 of 4                                  |



PROJECT NOTES

DESCRIPTION OF WORK:

1.

THE WORK COVERED UNDER THESE CONTRACT DOCUMENTS, INCLUDING THE DRAWINGS, PROJECT NOTES, AND ALL AMENDMENTS, CONSISTS OF PROVIDING ALL PLANT, LABOR, SUPERVISION, EQUIPMENT APPLIANCES AND MATERIALS AND IN PERFORMING ALL OPERATIONS IN CONNECTION WITH AT LEAST, BUT NOT NECESSARILY LIMITED TO, THE FOLLOWING ITEMS:

  - FURNISH AND INSTALL S&E CONTROLS
  - STABILIZE THE STREAM BANK
  - FURNISH AND INSTALL RIPRAP REVETMENT
  - COORDINATE WORK WITH OWNER AND PROTECT UTILITIES

2.

THE CONTRACTOR SHALL PROVIDE ALL ITEMS AND ACCESSORIES REQUIRED TO COMPLETE ALL ASPECTS OF THE WORK NEEDED FOR A COMPLETE AND PROPER INSTALLATION, ALL IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS.

GENERAL NOTES:

1.

ELEVATIONS ARE REFERENCED TO DATUM NOTED ON PLAN.
2.

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LAYOUT THE STRUCTURES IN ACCORDANCE WITH THE PROJECT DRAWINGS.
3.

WORK SHALL COMPLY WITH FEDERAL, STATE, AND LOCAL LAWS AND STATUTES AND THE REQUIREMENTS AND CONDITIONS OF ALL REGULATORY PERMITS ISSUED FOR THE WORK.
4.

EXISTING CONDITIONS AND DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION AND FABRICATION OR ORDERING OF ANY CONSTRUCTION MATERIALS.
5.

SECTIONS AND DETAILS APPLY TO SAME AND SIMILAR CONDITIONS UNLESS SPECIFICALLY NOTED OTHERWISE HEREIN.
6.

DAMAGE TO ANY PROPERTY, PRIVATE OR OF PUBLIC TRUST, OCCURRING DURING THE CONSTRUCTION BY THE CONTRACTOR, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER AT THE EXPENSE OF THE CONTRACTOR.
7.

THE CONTRACTOR SHALL SAFEGUARD AND PROTECT ALL EXCAVATIONS.
8.

THE CONTRACTOR SHALL USE ADEQUATE NUMBERS OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK.
9.

THE CONTRACTOR SHALL USE EQUIPMENT ADEQUATE IN SIZE, CAPACITY, AND NUMBERS, AND MAINTAINED TO THE REQUIREMENTS OF ALL FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS TO ACCOMPLISH THE WORK.
10.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND PROTECT FROM DAMAGE ALL UTILITIES, UTILITY STRUCTURES, FUEL LINES & TANKS OR ANY UNKNOWN UTILITIES OR STRUCTURES PRIOR TO ANY WORK, EXCEPT THOSE SPECIFIED FOR DEMOLITION.
11.

LABOR, EQUIPMENT, AND MATERIALS REQUIRED TO PERFORM THE WORK THAT, UPON COMPLETION ARE NOT A PART OF THE WORK SHALL BE FURNISHED, INSTALLED, AND SUBSEQUENTLY REMOVED FROM THE SITE BY THE CONTRACTOR.
12.

THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IN WRITING IF CONTRACTOR OBSERVES ANY DISCREPANCIES OR ERRORS WHICH WOULD MATERIALLY AFFECT THE PROJECT.
13.

ANY STRUCTURES CONSTRUCTED IN POSITIONS OTHER THAN THE LOCATIONS DEPICTED ON THE PROJECT PLANS SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
14.

THE VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.
15.

FILL MATERIAL IMPORTED TO THE SITE SHALL BE CERTIFIED IN WRITING BY A NEW YORK LICENSED PROFESSIONAL ENGINEER AS CLEAN, NON-CONTAMINATED FILL SUITABLE FOR THE INTENDED USE.
16.

BEFORE THE SITE PLAN IS SIGNED BY THE CHAIRMAN OF THE PLANNING BOARD, THE APPLICANT SHALL BE REQUIRED TO POST A PERFORMANCE BOND OR OTHER TYPE OF ACCEPTABLE MONETARY GUARANTY WHICH SHALL BE IN AN AMOUNT DETERMINED BY THE PLANNING BOARD AND THE VILLAGE ENGINEER AND IN A FORM SATISFACTORY TO THE VILLAGE ATTORNEY.
17.

ALL WORK TO CONFORM TO THE SATISFACTION OF THE BUILDING INSPECTOR.
18.

SWALES TO BE INSTALLED AS DIRECTED BY THE BUILDING INSPECTOR.
19.

ALL GRADING TO BE PERFORMED TO CREATE POSITIVE DRAINAGE.

UTILITIES:

1.

CONTRACTOR IS RESPONSIBLE TO OBTAIN CALL BEFORE YOU DIG PERMIT.
2.

CONTRACTOR SHALL PROTECT EXISTING UTILITIES ONSITE AND COORDINATE ALL WORK THAT MAY INTERFERE WITH UTILITIES WITH OWNER.
3.

CONTRACTOR SHALL PROVIDE TEMPORARY BRACING, SUPPORT, HANGERS, AND OTHER MEANS AS MAY BE NECESSARY TO SUPPORT AND PROTECT THE UTILITIES DURING CONSTRUCTION.
4.

UTILITY WORK SHALL BE PERFORMED BY LICENSED TRADESMEN.

STONE REVETMENT:

1.

ARMOR STONE & FILTER STONE SHALL BE PLACED BY HAND OR MACHINE TO THE DESIGN LINES AND GRADES SPECIFIED IN THESE DRAWINGS. STONE SHALL BE PLACED IN A MANNER WHICH WILL PRODUCE A WELL-GRADED MASS OF ROCK WITH THE MINIMUM PRACTICAL PERCENTAGE OF VOIDS. THE TOP FINISH LAYER SHALL BE UNIFORMLY PLANAR. A TOLERANCE OF PLUS 6 INCHES AND MINUS 3 INCHES FROM THE SLOPE LINES AND GRADES SHOWN ON THE DRAWINGS WILL BE ALLOWED IN THE FINISHED SURFACE, EXCEPT THAT THE EXTREME OF THIS TOLERANCE SHALL NOT BE CONTINUOUS OVER AN AREA GREATER THAN 200 SQUARE FEET.
2.

ARMOR AND TOE STONE SHALL BE A DENSE, SOUND GNEISS, DIORITE, OR BASALT, CONFORMING TO THE WEIGHT AND GRADATION TABLES PROVIDED HEREIN. STONE SHALL BE FREE FROM LAMINATIONS, WEAK CLEAVAGES, UNDESIRABLE WEATHERING, OR BLASTING OR HANDLING FRACTURES. ADDITIONALLY, STONES SHALL BE FREE FROM FRACTURE ZONES WHICH SUBTEND MORE THAN 1/2 OF THE TOTAL CIRCUMFERENCE OF THE STONES ALONG THE PLACE OF FRACTURING. STONES SHALL BE CLEAN, FREE FROM EARTH, CLAY, REFUSE, OR COATINGS. BROKEN CONCRETE OR ROUNDED STONES ARE NOT ACCEPTABLE. ARMOR STONE SHALL BE OF SUCH SHAPE TO ASSURE INTERLOCKING WITH ADJACENT ARMOR STONES.
3.

FILTER STONE SHALL CONSIST OF CRUSHED DURABLE STONE, SCREENED TO THE GRADATION TABLE PROVIDED HEREIN.

4.

THE TOE OF THE REVETMENT SHALL BE SET AT THE ELEVATION SHOWN ON THE DRAWINGS.
5.

THE EXCAVATION DEPTH FOR THE PLACEMENT OF THE STONE REVETMENT SHALL BE TO BE KEPT TO THE MINIMUM DEPTH. THE CONTRACTOR SHALL ESTABLISH CONTROL POINTS PRIOR TO EXCAVATION OF EX. GRADE.
6.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO LIMIT THE AMOUNT OF EXPOSED STREAMBANK DURING CONSTRUCTION IN ORDER TO MINIMIZE THE CHANCE OF STREAMBANK RECESSION. SHOULD A STORM EVENT OCCUR DURING CONSTRUCTION, IN SUCH A CASE, THE CONTRACTOR SHALL TEMPORARILY PLACE STONE MATERIAL ALONG THE EXPOSED STREAMBANK.
7.

STONES SHOULD BE KEYED AND FITTED, MAXIMIZING CONTACT ON ALL SIDES. THREE POINTS OF CONTACT (MINIMUM) ARE REQUIRED BETWEEN A STONE AND OTHER STONES IN THE SAME LAYER.
8.

CONTRACTOR SHALL IDENTIFY QUARRY SOURCE FOR STONE MATERIALS AND PROVIDE INFORMATION FOR ENGINEER TO INSPECT STONE PRIOR TO SHIPMENT TO PROJECT SITE.
9.

ACCEPTANCE OF A SOURCE OF STONE BY THE ENGINEER IS NOT TO BE CONSTRUED AS ACCEPTANCE OF ALL MATERIALS FROM THAT SOURCE.

| ARMOR STONE GRADATION |                       |                           |
|-----------------------|-----------------------|---------------------------|
| Percent less by size  | Stone weight (pounds) | Approx. stone size (feet) |
| 0                     | 60                    | 0.7                       |
| 15                    | 220                   | 1.1                       |
| 50                    | 450                   | 1.4                       |
| 85                    | 960                   | 1.8                       |
| 100                   | 1,800                 | 2.2                       |

| FILTER STONE GRADATION |                       |                             |
|------------------------|-----------------------|-----------------------------|
| Percent less by size   | Stone weight (pounds) | Approx. stone size (inches) |
| 0                      | 0.2                   | 1.2                         |
| 15                     | 0.6                   | 1.8                         |
| 50                     | 1.3                   | 2.4                         |
| 85                     | 4.5                   | 3.6                         |
| 100                    | 7.1                   | 4.2                         |

10.

STONE SHALL BE PLACED IN A MANNER SUCH THAT THE LONGITUDINAL AXIS OF EACH STONE BE NORMAL TO THE AXES OF THE STRUCTURE, AND SLOPE DOWNWARD TOWARD THE CENTER OF THE STRUCTURE. ALL STONE SHOULD BE PLACED TOGETHER AS CLOSELY AS PRACTICAL.
11.

STONE MATERIALS SHALL BE DELIVERED PER THE TERMS AND CONDITIONS OF THE APPLICABLE REGULATORY PERMITS, RULES AND REGULATIONS AND OF SUFFICIENT AND LEGAL SIZE TO TRAVEL ON LOCAL AND STATE ROADWAYS OR WITHIN LOCAL WATERWAYS.

GEOTEXTILE FILTER FABRIC:

1.

GEOTEXTILE FILTER FABRIC SHALL BE MIRAFI FW700 BY TENCATE GEOSYNTHETICS OR ENGINEER APPROVED EQUAL.
2.

FILTER FABRIC ROLLS SHALL BE STORED OFF THE GROUND IN WEATHER-TIGHT STORAGE, AND PROTECTED TO ASSURE NO DAMAGE TO THE MATERIALS.
3.

ATMOSPHERIC EXPOSURE OF THE GEOTEXTILE TO THE ELEMENTS FOLLOWING LAYDOWN SHALL BE LIMITED TO 14 DAYS TO PREVENT DAMAGE.
4.

PREPARE SURFACES TO RECEIVE GEOTEXTILE TO SMOOTH CONDITION AS INDICATED OR AS DIRECTED BY THE ENGINEER. FILL DEPRESSIONS AND HOLES FLUSH WITH ADJACENT SURFACES AS REQUIRED.
5.

REMOVE LARGE STONES, LIMBS, AND OTHER DEBRIS PRIOR TO PLACEMENT OF GEOTEXTILE.
6.

THE GEOTEXTILE SHALL BE PLACED IN INTIMATE CONTACT WITH THE SOILS WITHOUT WRINKLES OR FOLDS AND ANCHORED ON SMOOTH GRADE SURFACE APPROVED BY THE ENGINEER. THE GEOTEXTILE SHALL BE PLACED IN SUCH A MANNER THAT PLACEMENT OF THE OVERLYING MATERIALS WILL NOT EXCESSIVELY STRETCH SO AS TO TEAR THE GEOTEXTILE. ANCHORING OF THE GEOTEXTILE SHALL BE ACCOMPLISHED THROUGH THE USE OF KEY TRENCHES OR APRONS AT THE CREST AND TOE OF SLOPE.
7.

450 MM (18 IN) ANCHORING PINS PLACED ON 600 TO 1800 MM (24 TO 45 IN) CENTERS, DEPENDING ON SLOPE OF THE COVERED AREA, MAY BE USED TO EXPEDITE CONSTRUCTION. IF USED, RETAINING PINS SHALL BE 4 MM (0.18 IN) DIAMETER X 450 MM (18 IN) LONG STEEL PINS, POINTED AT ONE END AND FITTED WITH 35 MM (1 IN) DIAMETER WASHER AT OTHER END.
8.

THE GEOTEXTILE SHALL BE PLACED WITH THE MACHINE DIRECTION PARALLEL TO THE DIRECTION OF WATER FLOW WHICH IS NORMALLY PARALLEL TO THE SLOPE FOR EROSION CONTROL RUNOFF AND PARALLEL TO THE STREAM OR CHANNEL IN THE CASE OF STREAMBANK AND CHANNEL STABILIZATION. EITHER SEWING OR OVERLAPPING SHALL JOIN ADJACENT GEOTEXTILE SHEETS. OVERLAPPED SEAMS OF ROLL ENDS SHALL BE A MINIMUM OF 300 MM (12 IN) EXCEPT WHERE PLACED UNDER WATER. IN SUCH INSTANCES THE OVERLAP SHALL BE A MINIMUM OF 1 M (3 FT). OVERLAPS OF ADJACENT ROLLS SHALL BE A MINIMUM OF 300 MM (12 IN) IN ALL INSTANCES.
9.

WHEN OVERLAPPING, SUCCESSIVE SHEETS OF GEOTEXTILE SHALL BE OVERLAPPED UPSTREAM OVER DOWNSTREAM, AND/OR UPSLOPE OVER DOWN SLOPE.
10.

CARE SHALL BE TAKEN DURING INSTALLATION SO AS TO AVOID DAMAGE OCCURRING TO THE GEOTEXTILE AS A RESULT OF THE INSTALLATION PROCESS. SHOULD THE GEOTEXTILE BE DAMAGED DURING INSTALLATION, A GEOTEXTILE PATCH SHALL BE PLACED OVER THE DAMAGED AREA EXTENDING 1 M (3 FT) BEYOND THE PERIMETER OF THE DAMAGE.

11.

THE ARMOR SYSTEM PLACEMENT SHALL BEGIN AT THE TOE AND PROCEED UP THE SLOPE. PLACEMENT SHALL TAKE PLACE SO AS TO AVOID STRETCHING AND SUBSEQUENT TEARING OF THE GEOTEXTILE. RIP RAP AND HEAVY STONE FILLING SHALL NOT BE DROPPED FROM A HEIGHT OF MORE THAN 300 MM (12 IN). STONE WITH A MASS OF MORE THAN 100 KG (225 LB) SHALL NOT BE ALLOWED TO ROLL DOWN THE SLOPE.
12.

SLOPE PROTECTION AND SMALLER SIZES OF STONE FILLING SHALL NOT BE DROPPED FROM A HEIGHT EXCEEDING 1 M (3 FT), OR A DEMONSTRATION PROVIDED SHOWING THAT THE PLACEMENT PROCEDURES WILL NOT DAMAGE THE GEOTEXTILE. IN UNDERWATER APPLICATIONS, THE GEOTEXTILE AND BACKFILL MATERIAL SHALL BE PLACED THE SAME DAY. ALL VOID SPACES IN THE ARMOR STONE SHALL BE BACKFILLED WITH THE SMALL STONE TO ENSURE FULL COVERAGE.
13.

FOLLOWING PLACEMENT OF THE ARMOR STONE, GRADING OF THE SLOPE SHALL NOT BE PERMITTED IF THE GRADING RESULTS IN MOVEMENT OF THE STONE DIRECTLY ABOVE THE GEOTEXTILE.
14.

FIELD MONITORING SHALL BE PERFORMED TO VERIFY THAT THE ARMOR SYSTEM PLACEMENT DOES NOT DAMAGE THE GEOTEXTILE.
15.

ANY GEOTEXTILE DAMAGED DURING BACKFILL PLACEMENT SHALL BE REPLACED AS DIRECTED BY THE ENGINEER, AT THE CONTRACTOR'S EXPENSE.

EXCAVATION & BACKFILL:

1.

CONTRACTOR SHALL EXCAVATE TO THE REQUIRED DEPTHS IN ACCORDANCE WITH OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION (OSHA) REGULATIONS.
2.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT NEIGHBORING PROPERTY'S, STRUCTURES, COMPLETED WORK, AND NATURAL RESOURCES FROM DAMAGE DURING CONSTRUCTION. CONTRACTOR SHALL PROVIDE SHORING AND EXCAVATION PROTECTION AS NEEDED.
3.

BACKFILL OF EXCAVATIONS PERFORMED BY THE CONTRACTOR AS PART OF THE WORK OR AS REQUIRED TO ACCOMMODATE THE WORK SHALL CONSIST OF MATERIAL CONFORMING TO THE FOLLOWING REQUIREMENTS:

3.1.

FREE-DRAINING MATERIAL SHALL CONSISTING OF A MIXTURE OF SAND, GRAVEL, GRAVEL ROCK FRAGMENTS, QUARRY RUN STONE AND SHALL NOT HAVE MORE THAN 70%, BY WEIGHT, PASSING THE NO. 40 SIEVE AND NOT MORE THAN 10%, BY WEIGHT, PASSING THE NO. 200 MESH SIEVE.
4.

BACKFILL MATERIAL SHALL BE FREE OF ORGANICS, FROZEN SOIL, ICE, WOOD AND OTHER EXTRANEEOUS MATERIAL.
5.

MATERIAL REMOVED FROM THE EXCAVATION AND TEMPORARILY STOCKPILED ONSITE MAY BE USED AS BACKFILL PROVIDED IT MEETS THE ABOVE REQUIREMENTS AND NO PARTICLES ARE GREATER THAN 3" IN MAXIMUM DIMENSION. A SAMPLE AND GRADATION OF MATERIAL PROPOSED AS BACKFILL SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND ACCEPTANCE.
6.

CRUSHED STONE SHALL BE CONSISTENT WITH THE MATERIAL REQUIREMENTS OF NYSDOT.
7.

PLACE BACKFILL IN MAXIMUM 1 FT LIFTS. LIFT THICKNESS SHALL BE REDUCED IF NEEDED BASED ON EQUIPMENT USED. CONTRACTOR TO DRY OR MOISTEN SOIL AS NEEDED TO PROVIDE SUITABLE COMPACTION AND OPTIMUM MOISTURE CONTENT. THE DRY DENSITY OF EACH LAYER OF BACKFILL AFTER COMPACTION SHALL NOT BE LESS THAN 95% OF THE DRY DENSITY FOR THAT MATERIAL WHEN TESTED IN ACCORDANCE WITH AASHTO T 180, METHOD D.
8.

PROCESSED AGGREGATE BASE SHALL BE PLACED IN LAYERS NOT TO EXCEED 6" IN LOOSE DEPTH.
9.

BACKFILL SHALL BE PLACED EVENLY ALONG STRUCTURES, TO REQUIRED ELEVATIONS.
10.

CONTRACTOR SHALL TAKE CARE TO PREVENT WEDGING ACTIONS OF BACKFILL AGAINST STRUCTURES BY CARRYING MATERIAL UNIFORMLY AROUND THE STRUCTURES TO APPROXIMATELY THE SAME ELEVATION OF EACH LIFT.
11.

EXCAVATIONS WITHIN THE STREAM CHANNEL SHALL BE RESTORED TO ITS PRE-CONSTRUCTION CONDITIONS, WITH FUNCTIONS RESTORED. RESTORATION SHALL COMMENCE NO LATER THAN THE COMPLETION OF CONSTRUCTION.
12.

EXCESS EXCAVATION MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE AND HAUL OFF-SITE FOR DISPOSAL.
13.

SUPPLEMENTAL EXCAVATION AND FILL CONTROL MAY BE NECESSARY TO LIMIT SETTLEMENT BASED ON ACTUAL CONDITIONS EXPOSED DURING CONSTRUCTION.

CLEARING & GRUBBING:

1.

UNLESS OTHERWISE INDICATED THE CONTRACTOR SHALL CUT OR REMOVE ALL BRUSH, SAPLINGS, VINES, LOGS, DEBRIS, ETC. AS REQUIRED TO COMPLETE THE WORK WITHIN THE PROJECT AREA AS SPECIFIED WITHIN THESE CONTRACT DOCUMENTS.
2.

THE CONTRACTOR SHALL NOT REMOVE MATURE TREES 4-INCHES OR GREATER IN DIAMETER UNLESS THEY ARE WITHIN THE EXCAVATION AREA.
3.

UNLESS OTHERWISE INDICATED WITHIN THESE CONTRACT DOCUMENTS THE CONTRACTOR SHALL COMPLETELY REMOVE ALL STUMPS AND ROOTS TO A DEPTH OF 18-INCHES.
4.

DEPRESSIONS REMAINING FROM THE REMOVAL OF STUMPS SHALL BE FILLED WITH GRAVEL BORROW AND/OR CLEAN LOAM.
5.

MATERIAL COLLECTED IN THE COURSE OF CLEARING AND GRUBBING, WHICH IS NOT TO REMAIN, SHALL BE DISPOSED IN A PROPER MANNER AWAY FROM THE SITE.

EROSION & SEDIMENTATION CONTROLS:

1.

LAND DISTURBANCE SHALL BE KEPT TO A MINIMUM, AS PRACTICABLE TO COMPLETE THE WORK.
2.

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE 2016 NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
3.

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
4.

ADDITIONAL CONTROL MEASURES SHALL BE INSTALLED DURING THE CONSTRUCTION PERIOD AS NECESSARY AND REQUIRED.
5.

THE CONTRACTOR SHALL UTILIZE APPROVED METHODS/MATERIALS FOR PREVENTING THE BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES ONTO ADJACENT PROPERTIES AND SITE AREAS.
6.

THE CONTRACTOR SHALL MAINTAIN AN ADDITIONAL SUPPLY OF EROSION & SEDIMENTATION CONTROL ON SITE FOR EMERGENCY PURPOSES.
7.

THE CONTRACTOR SHALL PROVIDE A PROJECT SPECIFIC PLAN FOR THE INSTALLATION AND MAINTENANCE OF SEDIMENTATION AND EROSION CONTROL MEASURES FOR THE PROJECT SITE AND SHALL BE RESPONSIBLE FOR CONSTRUCTION AND MAINTENANCE OF ALL CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD.

SELECTIVE DEMOLITION & DISPOSAL:

1.

SELECTIVE DEMOLITION AND DISPOSAL SHALL BE PERFORMED IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL PERMIT AND BUILDING CODE REQUIREMENTS.
2.

THE CONTRACTOR SHALL REMOVE AND DISPOSE THOSE STRUCTURES AND DERELICT COMPONENTS REQUIRED TO PERFORM THE WORK.
3.

SELECTIVE DEMOLITION INCLUDES BUT IS NOT LIMITED TO REMOVAL OF EXISTING MATERIALS, UTILITIES, AND OTHER COMPONENTS ESSENTIAL FOR A COMPLETE PROJECT.
4.

THE CONTRACTOR SHALL TAKE REASONABLE CARE IN REMOVING ELEMENTS SELECTED TO BE DEMOLISHED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. DAMAGE OR DESTRUCTION BY THE CONTRACTOR TO EXISTING ELEMENTS DESIGNATED TO REMAIN SHALL BE REPAIRED OR REPLACED IN-KIND AT THE DISCRETION OF THE OWNER AT NO ADDITIONAL COST.
5.

ITEMS TO BE REMOVED AND REUSED SHALL BE PLACED IN A STAGING AREA ACCESSIBLE FOR INSPECTION BY THE OWNER.
6.

PRIOR TO COMMENCEMENT OF SELECTIVE DEMOLITION, THE CONTRACTOR SHALL SUBMIT A DISPOSAL PLAN FOR ITEMS TO BE DEMOLISHED. DEMOLITION MATERIAL DESIGNATED BY THE OWNER TO BE REMOVED FROM THE SITE SHALL BECOME THE PROPERTY OF THE CONTRACTOR. THE DEBRIS DISPOSAL PLAN SHALL ACKNOWLEDGE THIS OWNERSHIP AND SHALL IDENTIFY THE MEANS AND METHODS AND FINAL DISPOSITION FOR DISPOSAL MATERIALS.
7.

PRIOR TO COMMENCEMENT OF DEMOLITION, THE CONTRACTOR SHALL CLEARLY MARK THE LIMITS OF THE DEMOLITION FOR REVIEW AND APPROVAL BY THE ENGINEER.
8.

COMPLETELY REMOVE ITEMS DESIGNATED LEAVING SURFACES CLEAN, SOUND, AND READY TO RECEIVE NEW MATERIALS AS SPECIFIED IN THE CONTRACT DOCUMENTS.
9.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE STABILITY OF THE STRUCTURES DURING THE COURSE OF DEMOLITION.
10.

THE CONTRACTOR SHALL SUBMIT A DISPOSAL CERTIFICATE TO THE OWNER'S REPRESENTATIVE CERTIFYING LEGAL AND PROPER DISPOSAL.
11.

ALL DEMOLITION AND CONSTRUCTION WASTE MATERIALS SHALL BE DISPOSED OF LEGALLY OFFSITE BY THE CONTRACTOR, AT THE EXPENSE OF THE CONTRACTOR.

CONSTRUCTION SEQUENCE:

1.

IT IS ANTICIPATED THE CONTRACTOR WILL PREPARE THE SITE BY FURNISHING AND INSTALLING THE NECESSARY SEDIMENTATION & EROSION (S&E) CONTROL MEASURES ALONG THE ERODED BANK IN ACCORDANCE WITH THE NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENTATION CONTROL. S&E CONTROL MEASURES MAY INCLUDE BUT ARE NOT LIMITED TO A CONSTRUCTION FENCE, SILT FENCE AND HAY BALES.
2.

THE CONTRACTOR SHALL CLEAR THE SITE OF ALL NATURAL DEBRIS, DERELICT STRUCTURES AND THEIR COMPONENTS. DEBRIS AND UNWANTED DERELICT STRUCTURES AND COMPONENTS WILL BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF AT AN AUTHORIZED WASTE FACILITY.
3.

FOLLOWING CLEARING AND GRUBBING OF THE SITE, IT IS ANTICIPATED THE CONTRACTOR WILL ROUGH GRADE THE ERODED BANK SLOPE TO PREPARE FOR THE INSTALLATION OF THE RIPRAP REVETMENT. EARTH MATERIAL WILL BE EXCAVATED AND REUSED AS BACKFILL MATERIAL IN ORDER TO GRADE THE BANK IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS. WHEN NOT IN USE, EXCAVATED MATERIAL WILL BE STAGED ON SITE AND SURROUNDED BY THE APPLICABLE S&E CONTROL MEASURES IN ACCORDANCE WITH NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENTATION CONTROL.
4.

AFTER THE BANK HAS BEEN GRADED, IT IS ANTICIPATED THE CONTRACTOR WILL INSTALL THE GEOTEXTILE FILTER FABRIC, FILTER STONE AND ARMOR STONE ALONG THE BANK SLOPE, THE RIPRAP REVETMENT AND ITS COMPONENTS WILL BE CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS.
5.

FOLLOWING THE COMPLETION OF THE RIPRAP REVETMENT, AREAS THAT HAVE BEEN DISTURBED WILL BE FURNISHED AND LANDSCAPED IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS. LANDSCAPING INCLUDES BUT IS NOT LIMITED TO INSTALLING TOP SOILS, RAKING TOP SOILS, SEEDING, PROVIDING PROTECTION AND WATERING.
6.

UPON COMPLETION OF THE PROJECT, S&E CONTROL MEASURES WILL BE REMOVED AND THE CONTRACTOR WILL DEMOBILIZE FROM THE SITE.

EXISTING SITE PHOTOGRAPHS



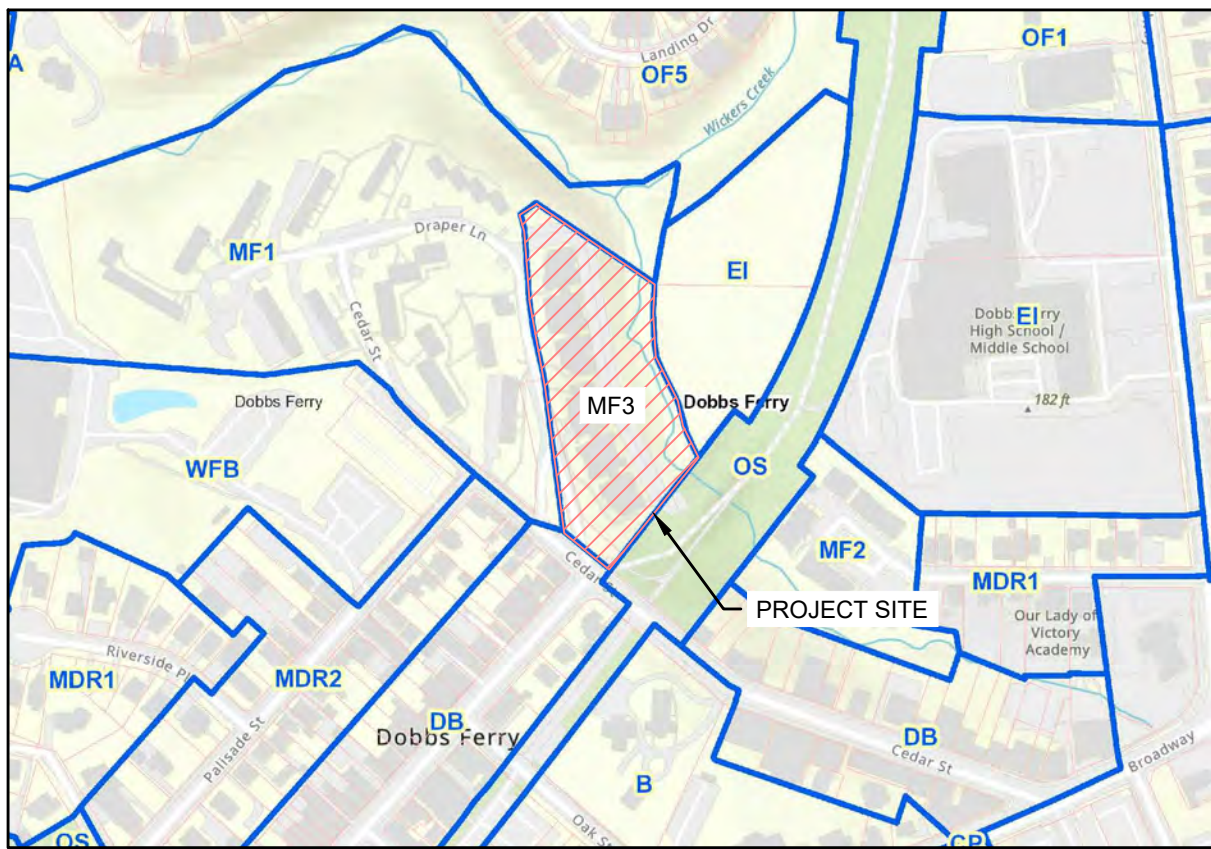
EXISTING SECTION 1

EXISTING SECTION 2

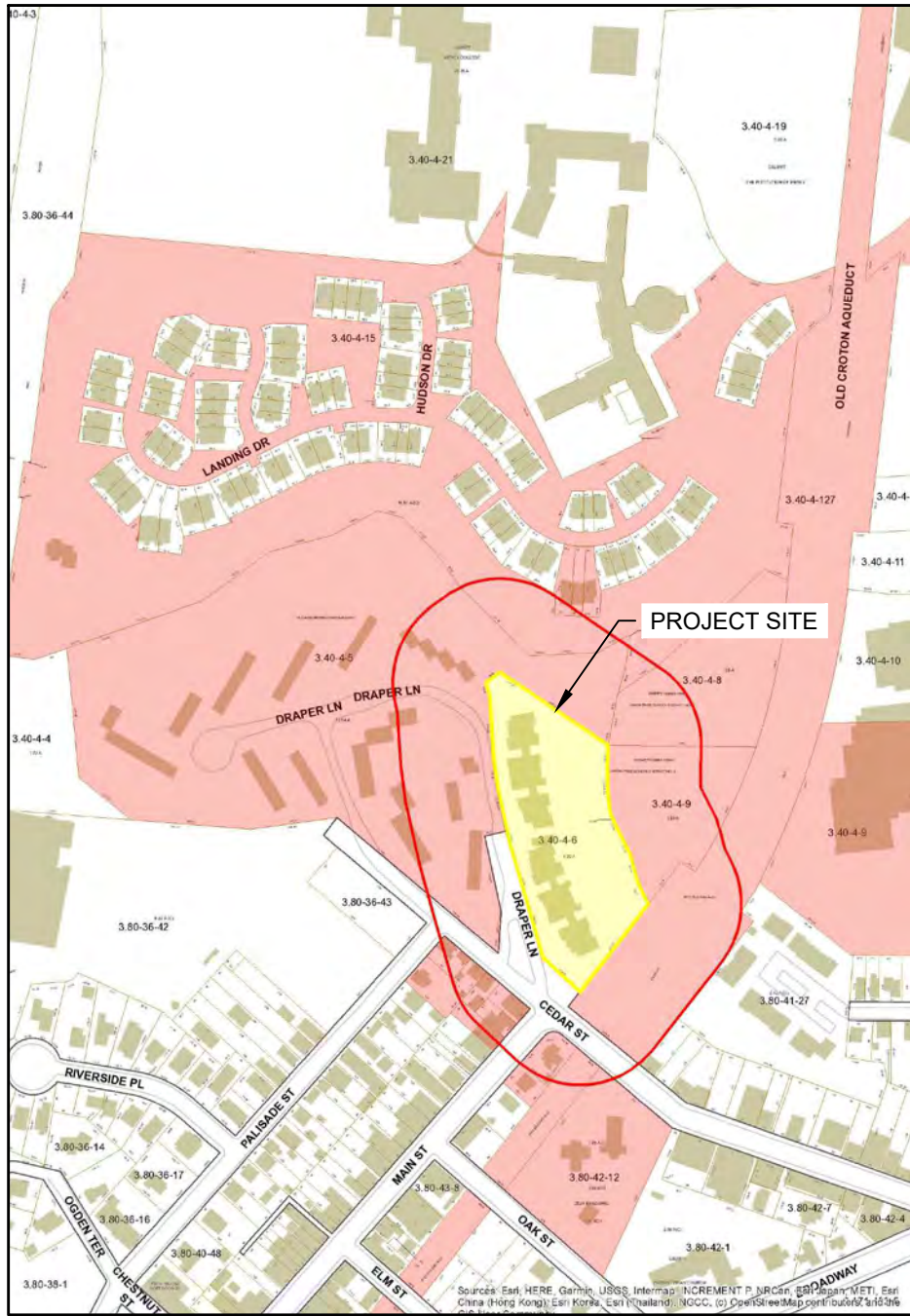


EXISTING SECTION 3

EXISTING SECTION 4



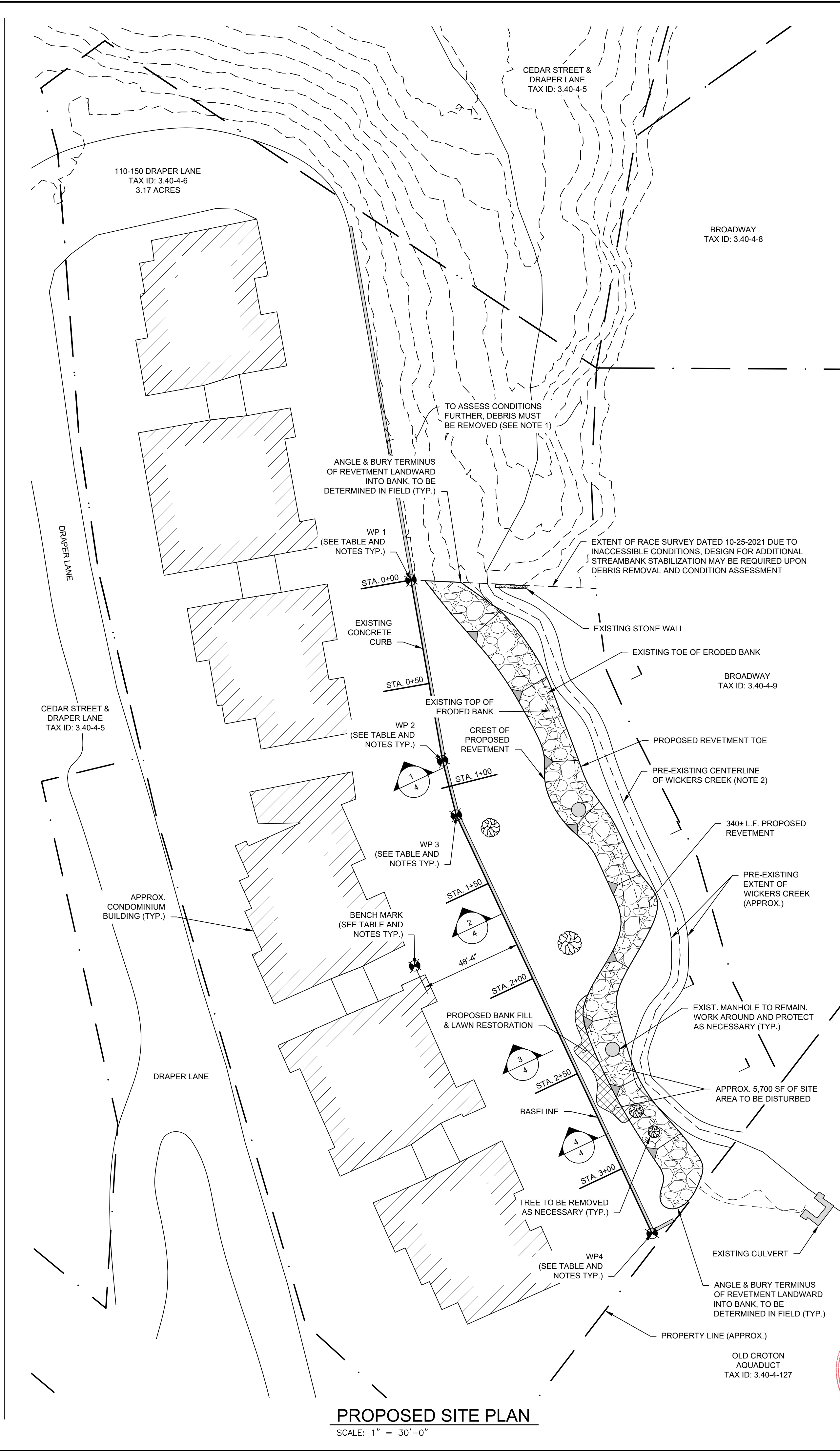
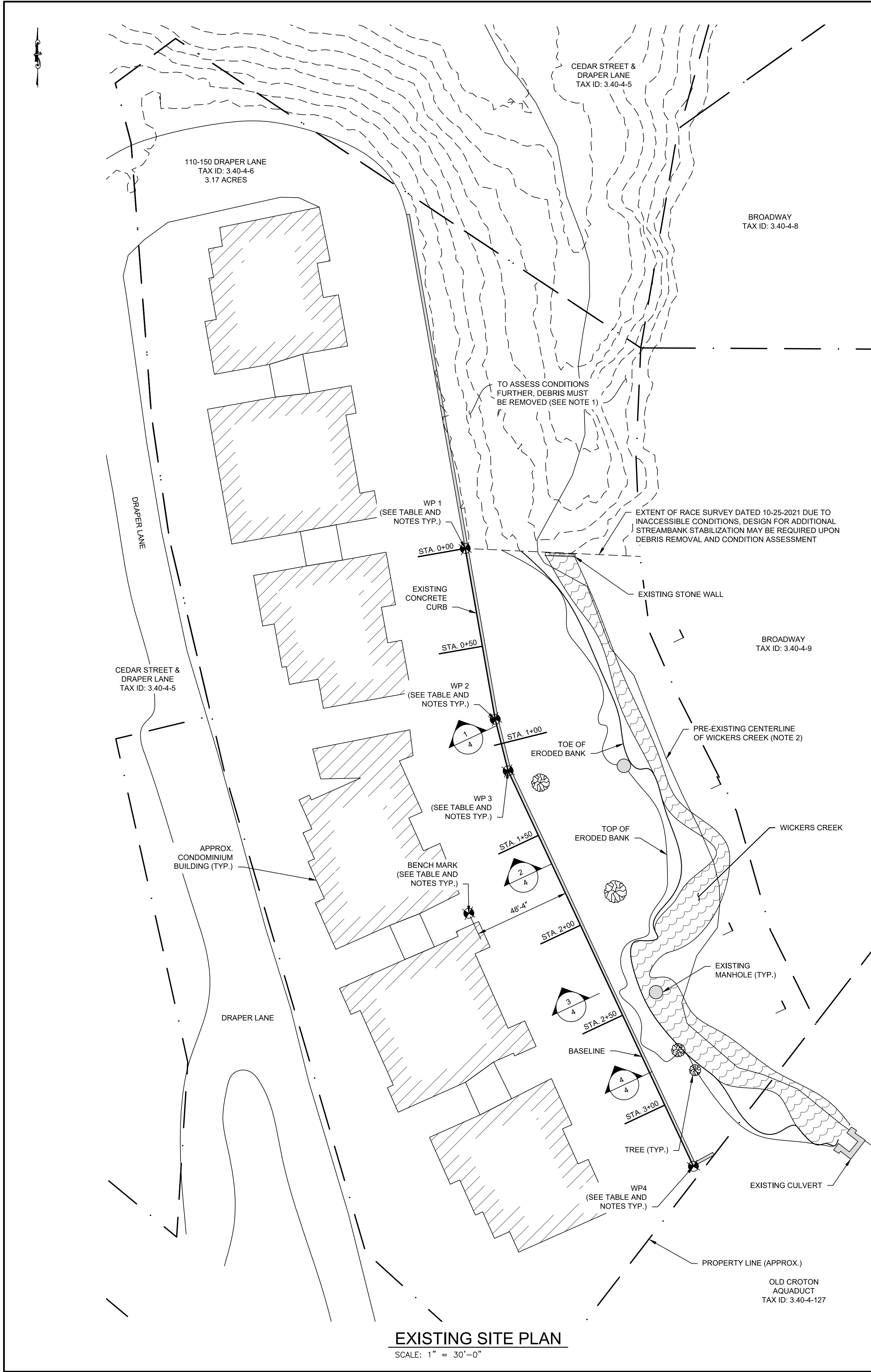
ABUTTING ZONING DISTRICTS



TAX ASSESSOR'S MAP

|  |   |   |
|--|---|---|
| 1  | 02-04-2022  | REVISED FOR PLANNING BOARD REQUIREMENTS   |
| REV  | DATE  | DESCRIPTION   |
| <b>ISSUED FOR PERMIT</b>   |   |   |
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| Project  | EMERGENCY BANK STABILIZATION<br>110-150 DRAPER LANE<br>DOBBS FERRY, NY 10522                      |   |
| Drawing  | PROJECT NOTES &<br>SITE PHOTOGRAPHS   |   |
| Designed   | HNS   | Drawn HNS   |
| Job No.  | 2021121   | Date 11/18/2021   |
| Checked  | HNS   | ADs   |
| Drawing No.  | 2 of 4  |   |





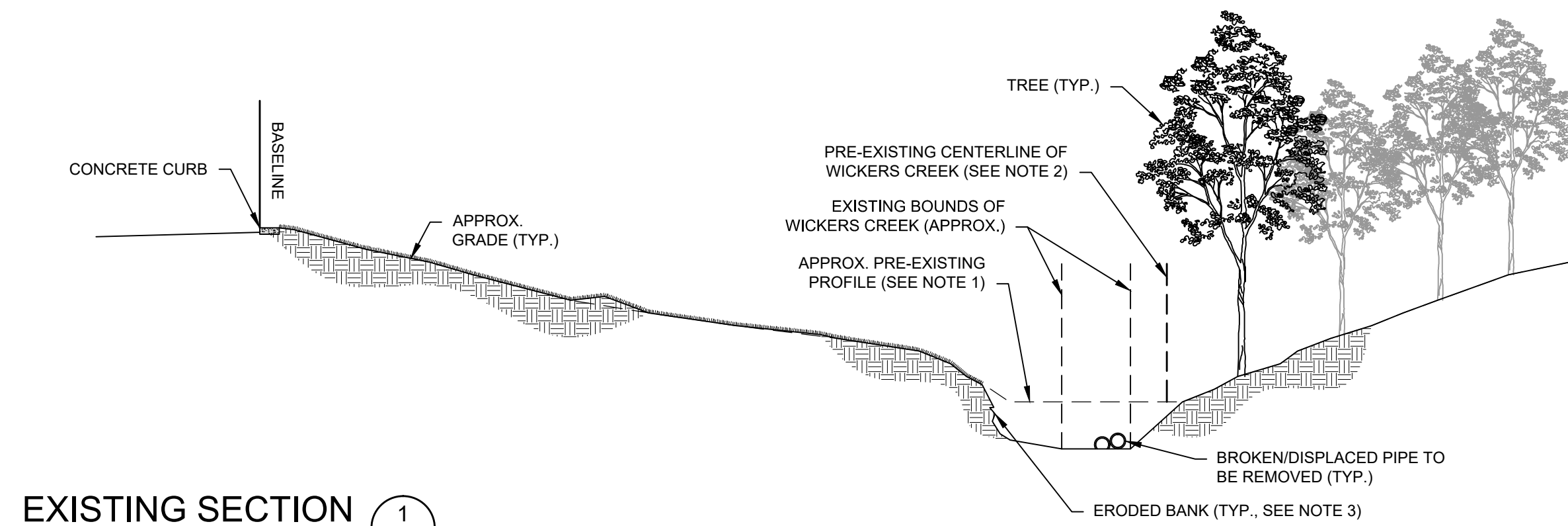
- NOTES:**
1. CONTOURS ARE TAKEN FROM 2011-2012 NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) LIDAR: COASTAL NEW YORK (LONG ISLAND AND ALONG THE HUDSON RIVER) AND ARE AT 5 FT INTERVALS.
  2. PRE-EXISTING CENTERLINE OF WICKERS CREEK TAKEN FROM WESTCHESTER COUNTY GIS - STREAMS DATASET PUBLISHED MAY 1, 2019 AND UPDATED MARCH 25, 2021.
  3. WORKING POINT ELEVATIONS WERE TAKEN BY RACE COASTAL ENGINEERING, PC ON OCTOBER 25, 2021. ELEVATIONS ARE REFERENCED TO LOCAL BENCHMARK ELEVATION TAKEN ON SUCH DATE.
  4. NORTHING AND EASTING COORDINATES ARE REFERENCED TO THE CONNECTICUT STATE PLANE COORDINATE SYSTEM (0600).
  5. SITE INFORMATION HAS BEEN TAKEN FROM A DRAWING TITLED "SURVEY OF PROPERTY PREPARED FOR DRAPER ASSOCIATES IN THE VILLAGE OF DOBBS FERRY, TOWN OF GREENBURGH, WESTCHESTER COUNTY, NY" PREPARED BY KULHANKEK AND PLAN LAND SURVEYORS, P.C. DATED 08-22-1973 AND REVISED 07-09-1996.

| WORKING POINT (WP) | NORTHING  | EASTING   | ELEVATION (FT) |
|--------------------|-----------|-----------|----------------|
| BENCHMARK (BM)     | 665000.43 | 796023.97 | +10.0          |
| WP1                | 664998.89 | 796195.14 | -              |
| WP2                | 665013.74 | 796121.63 | +5.7           |
| WP3                | 665020.24 | 796095.68 | +6.1           |
| WP4                | 665113.53 | 795896.52 | +8.9           |

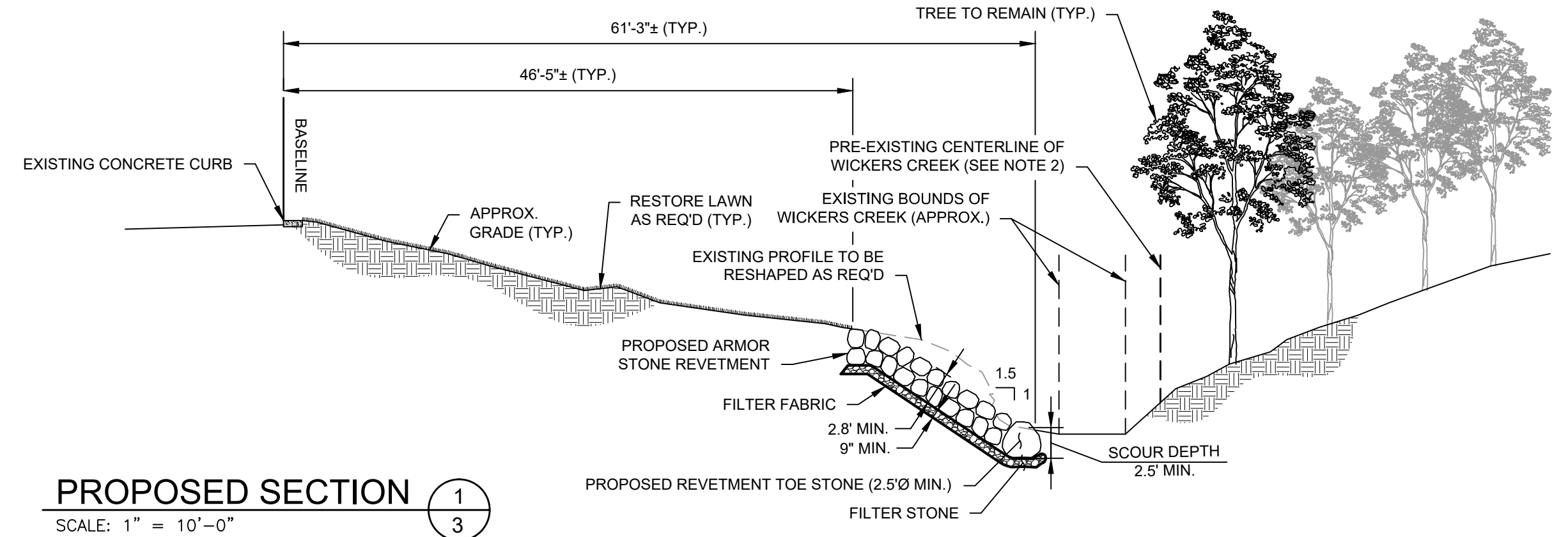
| ESTIMATED QUANTITIES OF MATERIALS (CY) |     |
|--|-----|
| ARMOR STONE                            | 680 |
| FILTER STONE                           | 190 |
| BANK FILL                              | 100 |
| BANK CUT                               | 650 |

|  |   |   |
|--|---|---|
| 1  | 02-04-2022  | REVISED FOR PLANNING BOARD REQUIREMENTS   |
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| Project  | EMERGENCY BANK STABILIZATION<br>110-150 DRAPER LANE<br>DOBBS FERRY, NY 10522                      |   |
| Drawing  | EXISTING & PROPOSED SITE PLAN   |   |
| Designed   | HNS   | Drawn HNS Checked ADS   |
| Job No.  | 2021121   | Date 11/18/2021 Drawing No. 3 of 4  |

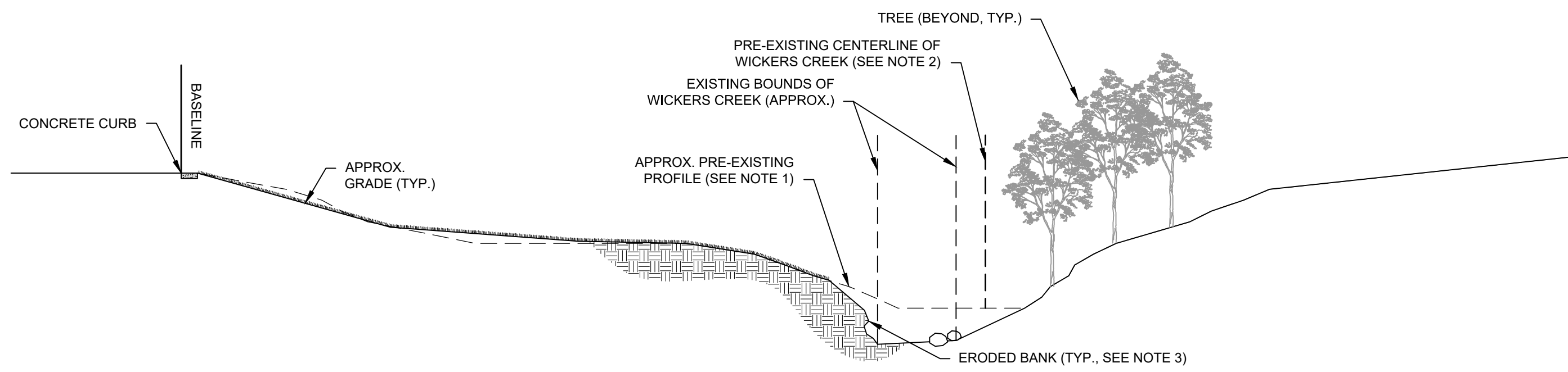




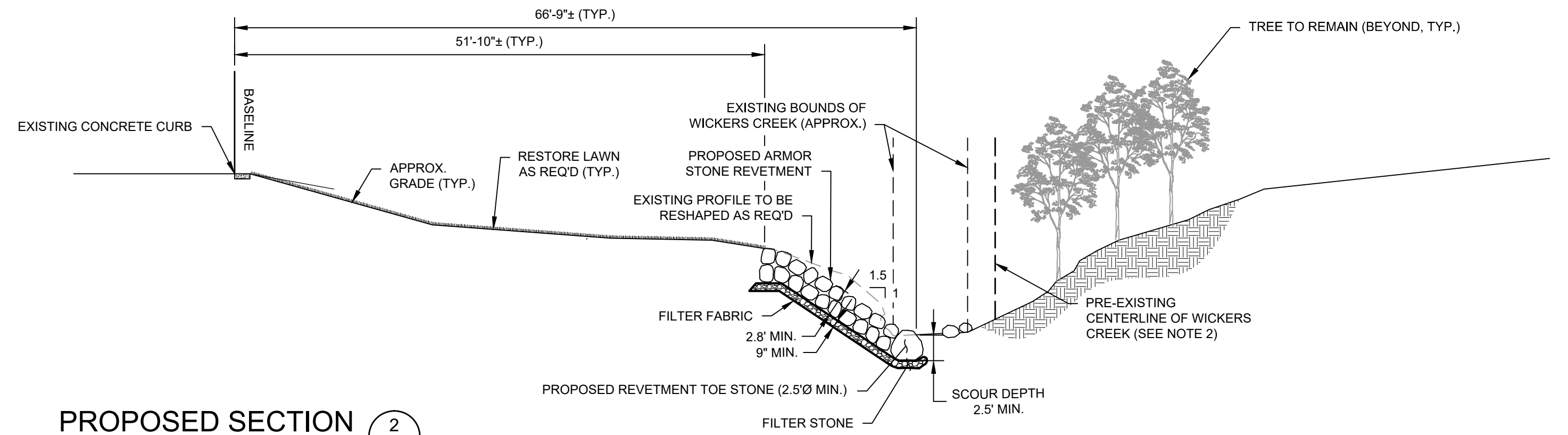
EXISTING SECTION 1  
SCALE: 1" = 10'-0"



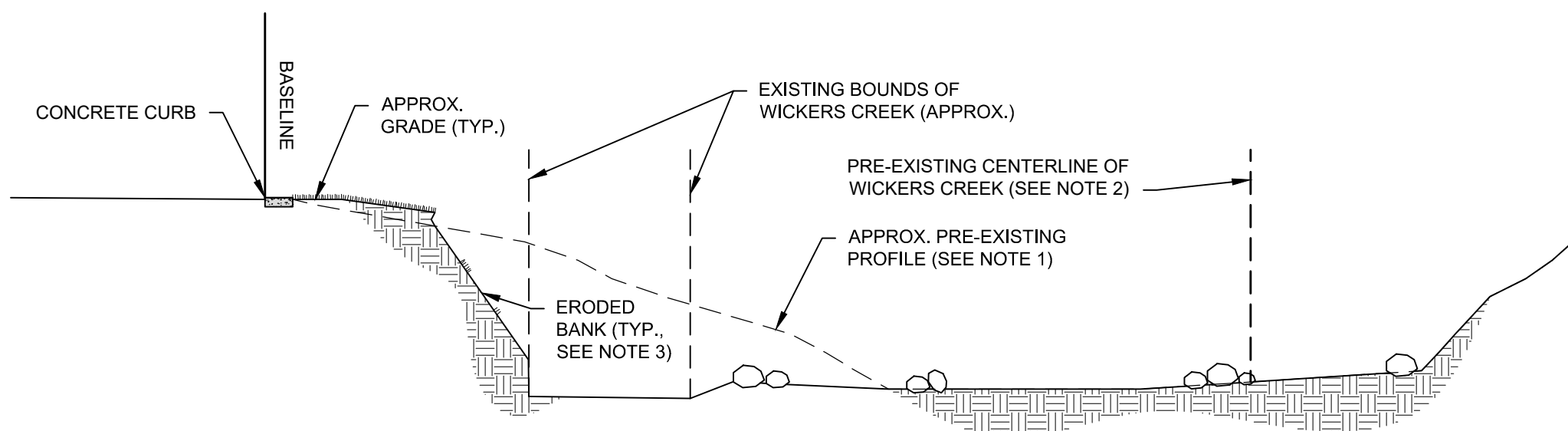
PROPOSED SECTION 1  
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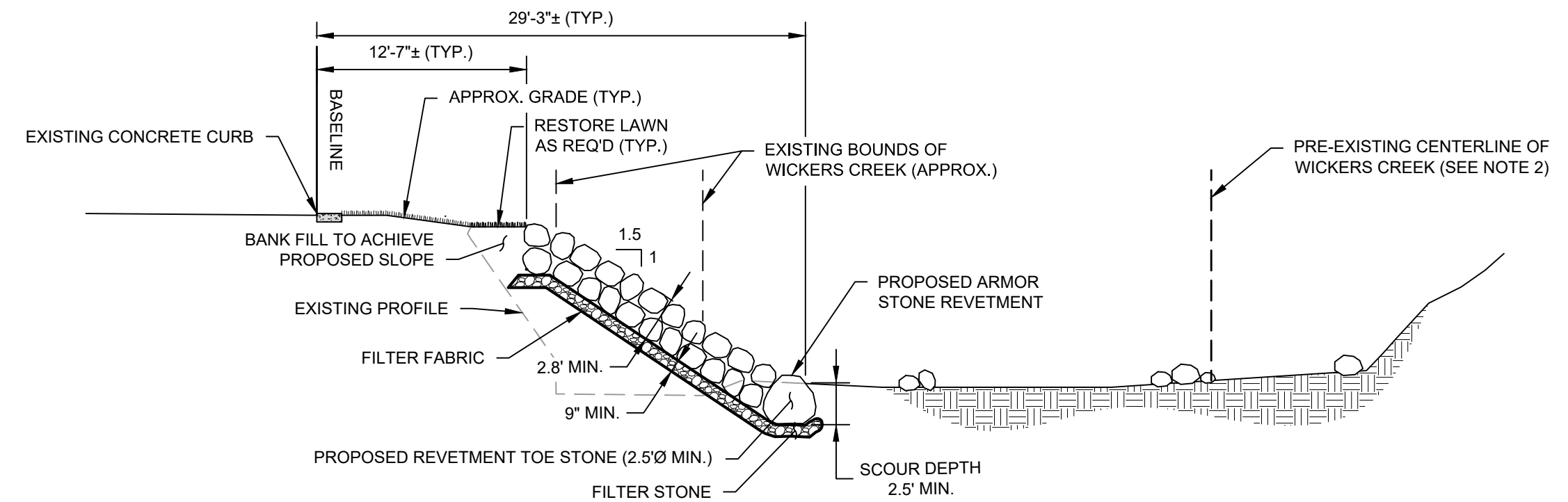
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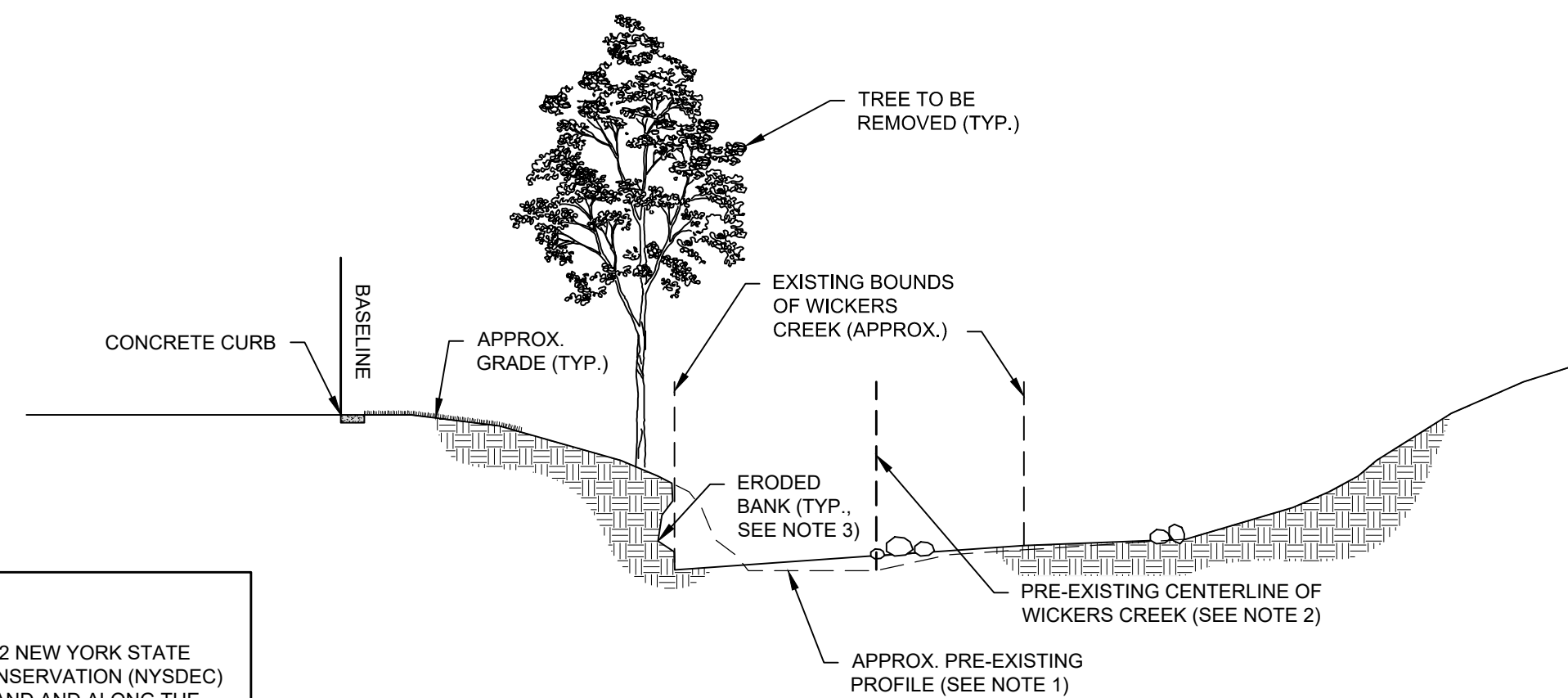
PROPOSED SECTION 2  
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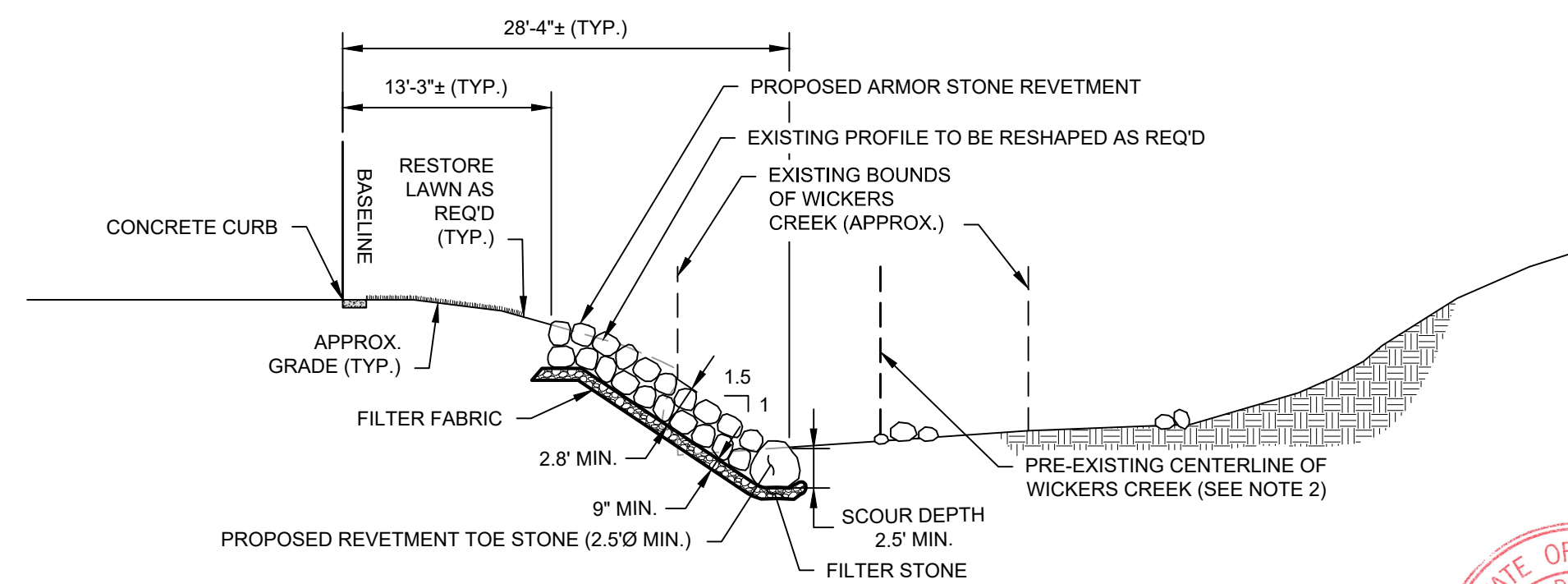
EXISTING SECTION 3  
SCALE: 1" = 8'-0"



PROPOSED SECTION 3  
SCALE: 1" = 8'-0"



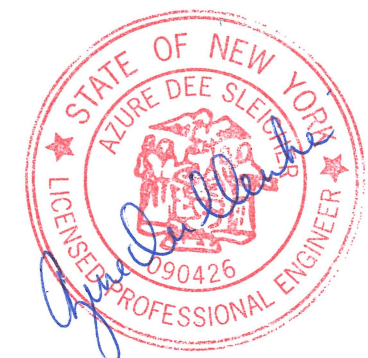
EXISTING SECTION 4  
SCALE: 1" = 10'-0"



PROPOSED SECTION 4  
SCALE: 1" = 10'-0"

- NOTES:
1. CONTOURS ARE TAKEN FROM 2011-2012 NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) LIDAR: COASTAL NEW YORK (LONG ISLAND AND ALONG THE HUDSON RIVER).
  2. PRE-EXISTING CENTERLINE OF WICKERS CREEK TAKEN FROM WESTCHESTER COUNTY GIS - STREAMS DATASET PUBLISHED MAY 1, 2019 AND UPDATED MARCH 25, 2021.
  3. EXISTING SITE PHOTOGRAPHS LOCATED ON SHEET 2 OF 4 ARE CORRELATED WITH EXISTING SECTIONS.

| REV  | DATE  | DESCRIPTION      |
|--|---|------------------|
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| Prepared for   | 110-150 DRAPER OWNERS CORP.<br>C/O GARTHCHESER REALTY<br>440 MAMARONECK AVE<br>HARRISON, NY 10528 |                  |
| Project  | EMERGENCY BANK STABILIZATION<br>110-150 DRAPER LANE<br>DOBBS FERRY, NY 10522                      |                  |
| Drawing  | EXISTING & PROPOSED SECTIONS  |                  |
| Designed   | HNS   | Checked<br>HNS   |
| Job No.  | 2021121   | Drawing No.<br>4 |
| Date   | 11/18/2021  |                  |



NOT VALID WITHOUT ENGINEER'S SEAL



## **SECTION 9**

### **Existing Site Survey**

- **Survey of Property prepared for Draper Associates in the Village of Dobbs Ferry prepared by Kulhanek and Plan Land Surveyors, P.C. dated 08-22-1973 and revised 07-09-1996**



