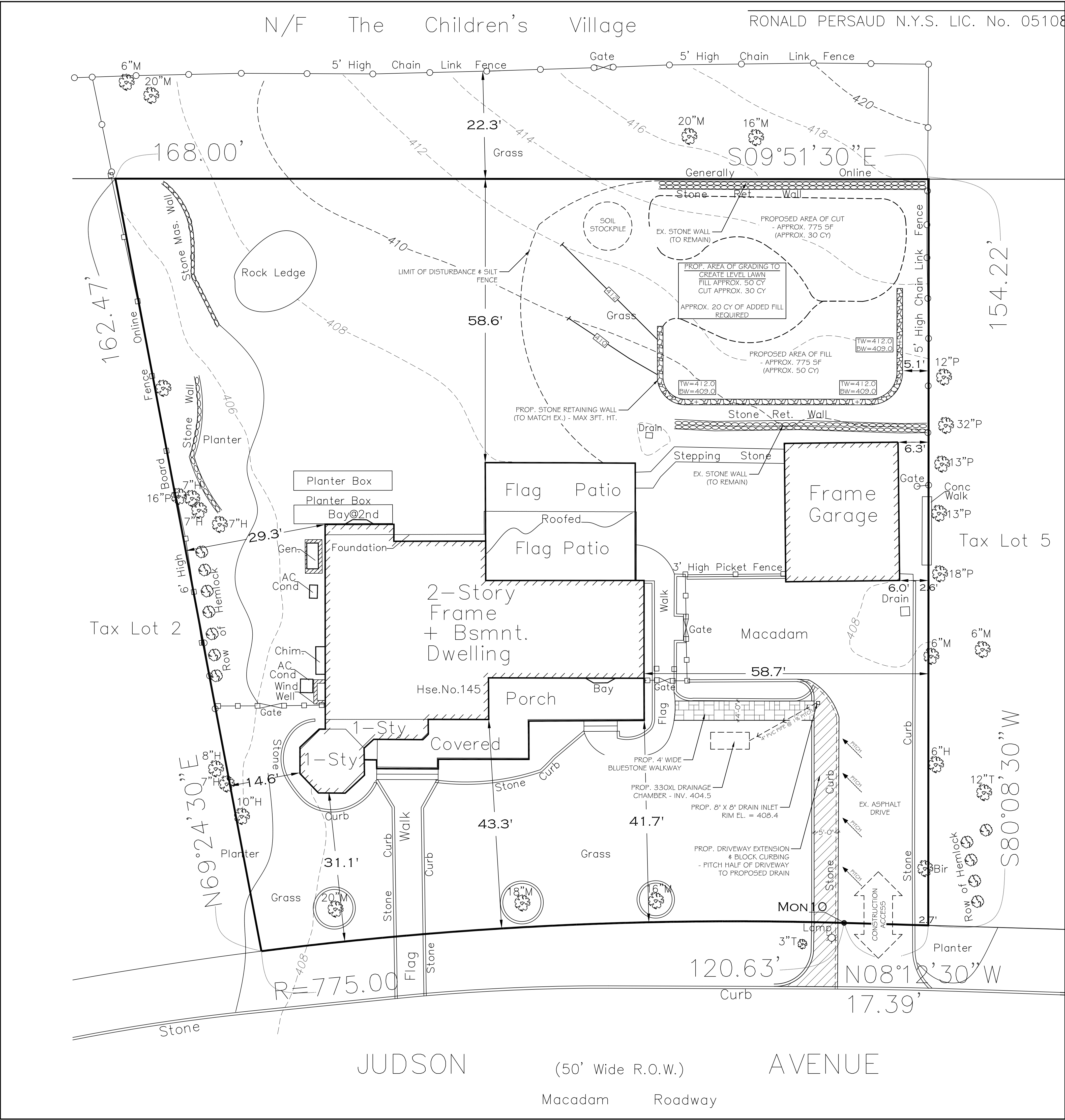


ZONING DATA:			
ZONE: OF-3			
TAX MAP: 4488 SHEET: 3, 170, BLOCK: 151, LOT: 3			
FIRE DISTRICT: DOBBS FERRY			
SCHOOL DISTRICT: DOBBS FERRY			
GROSS LOT AREA = 23,759.0 SF			
		PERMITTED	EXISTING
MIN. LOT AREA		15,000 SF	23,759.0 SF
DEPTH		100 FT.	154.22'
WIDTH		100 FT.	120.63'
US. ROAD SECTIONS	FRONT	30 FT.	41.7'
	REAR	25 FT.	58.6'
	SIDE 1	15 FT.	29.3'
SIDE 2		40 FT.	88.00'
BUILDING COVERAGE		20 %	7.71 %
DEVELOPMENT COVERAGE		40 %	20.4 %
			PROPOSED
			21.5 %

IMPERVIOUS SURFACES SUMMARY	
EX. PRINCIPAL BUILDING	1,834 SF
EX. FRONT PORCH	460 SF
TOTAL BUILDINGS	2,294 SF
EX. DRIVEWAY	1,575 SF
PROP. DRIVEWAY	135 SF
TOTAL DRIVEWAY	1,710 SF
EX. PATIO	690 SF
EX. WALKWAY	286 SF
PROP. WALKWAY	120 SF
TOTAL PATIO & WALKWAY	1,096 SF
EX. IMPERVIOUS SURFACE = 4,845 (20.4%)	
PROP. IMPERVIOUS SURFACE = 5,100 (21.5%)	



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#### REVISION DATE

REV. 1	10/20/21
REV. 2	12/10/21
REV. 3	02/08/22

#### ONUFRYCHUK RESIDENCE

145 JUDSON AVE  
DOBBS FERRY, NY 10522

#### SITE PLAN



11 Main Street #3  
Tarrytown, New York 10591  
914-631-4834  
westoverld.com



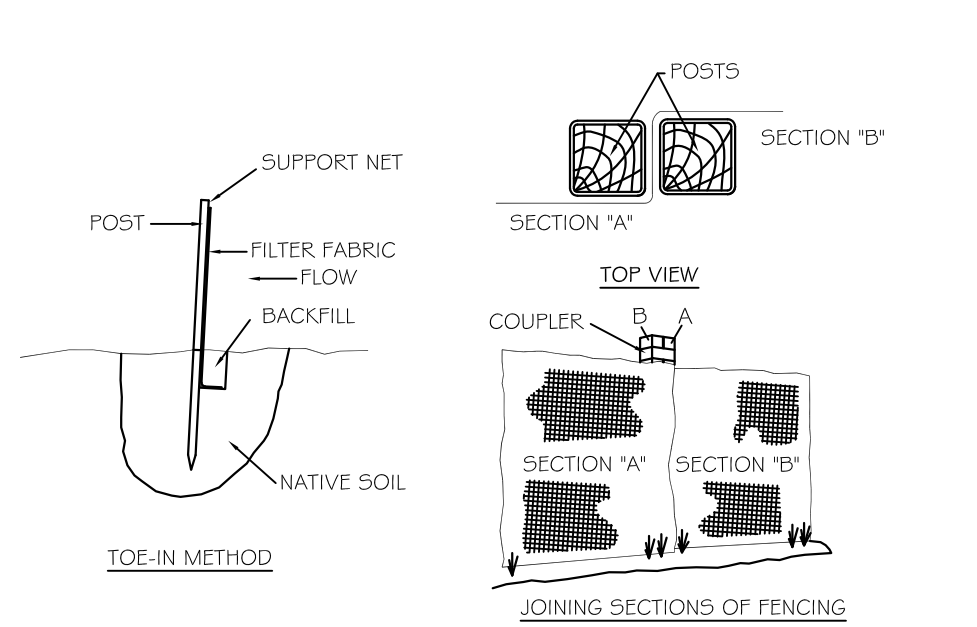
DATE:	SCALE:
APRIL 6, 2021	1" = 10' - 0"

DRAWN BY:	DRAWING #
AL	L - 1

- GENERAL NOTES**
1. CONTRACTOR IS TO VISIT SITE AND VERIFY ALL EXISTING CONDITIONS (INCLUDING UNDERGROUND UTILITIES, PIPES, ETC) AND LIMITATIONS AFFECTING THE PROPOSED WORK
  2. ALL WORK IS TO BE PERFORMED IN COMPLIANCE WITH ALL LOCAL, STATE, AND APPLICABLE BUILDING CODE REGULATIONS.
  3. CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THE IS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE CITY REPRESENTATIVES HARMLESS FROM AND AND ALL LIABILITY, REAL AND/OR ALLEGED, IN CONJUNCTION WITH THE PERFORMANCE OF THIS PROJECT.
  4. CONTRACTOR SHALL VERIFY LOCATIONS, LEVELS, DISTANCES, AND FEATURES THAT MAY AFFECT THE WORK. SHOULD EXISTING CONDITIONS DIFFER FROM THESE PLANS, STANDARD SPECIFICATIONS, AND SPECIAL PROVISIONS DO NOT ADEQUATELY DETAIL THE WORK TO BE DONE, CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO CONTINUING WITH ANY RELATED WORK. NO ALLOWANCE WILL BE MADE IN HIS BEHALF FOR ANY EXTRA EXPENSE RESULTING FROM FAILURE OR NEGLIGENCE IN DETERMINING THE CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE.
  5. A SET OF SIGNED BLUEPRINTS AND A SET OF SPECIFICATIONS SHALL BE KEPT ON SITE AT ALL TIMES
  6. CONTRACTOR SHALL NOTIFY ALL PUBLIC OR PRIVATE UTILITY COMPANIES (48) HOURS PRIOR TO COMMENCEMENT OF WORK ADJACENT TO EXISTING UTILITY LINES UNLESS ENCROACHMENT PERMIT SPECIFIES OTHERWISE.
  7. CONTRACTOR SHALL PROVIDE AND MAINTAIN SUFFICIENT BARRICADES TO PROVIDE FOR THE SAFETY OF THE GENERAL PUBLIC TO THE SATISFACTION OF THE MUNICIPAL BUILDING DEPARTMENT.
  8. ALL MATERIALS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.

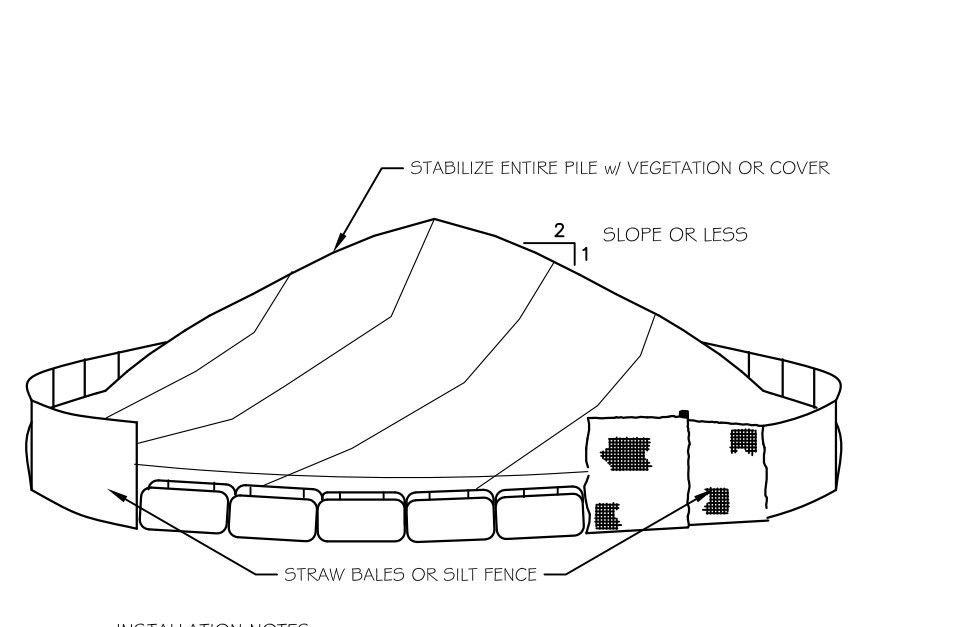
- NOTE:**
1. SHOULD ROCK BLASTING BE REQUIRED, A PERMIT APPLICATION IN ACCORDANCE WITH CHAPTER 125-BLASTING AND EXPLOSIVES OF THE VILLAGE OF DOBBS FERRY CODE MUST BE SUBMITTED TO THE VILLAGE BY THE APPLICANT FOR REVIEW / APPROVAL.
  2. THE VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.
  3. AS-BUILT PLANS OF THE PROPOSED DRIVEWAY AND DRAINAGE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
  4. FILL MATERIAL IMPORTED TO THE SITE SHALL BE CERTIFIED IN WRITING BY A NEW YORK LICENSED PROFESSIONAL ENGINEER AS CLEAN, NON-CONTAMINATED FILL SUITABLE FOR THE INTENDED USE.
  5. BEFORE THE SITE PLAN IS SIGNED BY THE CHAIRMAN OF THE PLANNING BOARD, THE APPLICANT SHALL BE REQUIRED TO POST A PERFORMANCE BOND OR TYPE OF ACCEPTABLE MONETARY GUARANTY WHICH SHALL BE IN AN AMOUNT DETERMINED BY THE PLANNING BOARD AND THE VILLAGE ENGINEER AND IN A FORM SATISFACTORY TO THE VILLAGE ATTORNEY.

- NOTE:**
1. ALL WORK TO CONFORM TO THE SATISFACTION OF THE BUILDING INSPECTOR.
  2. PROVIDE RETAINING WALLS ON ALL SLOPES EXCEEDING (1) FOOT VERTICAL ON ONE AND ONE-HALF (1 1/2) FEET HORIZONTAL.
  3. THE BUILDER SHALL FURNISH 6" PERFORATED CMP ENCASED IN STONE WHEREVER DIRECTED BY THE BUILDING INSPECTOR.
  4. SWALES TO BE INSTALLED AS DIRECTED BY THE BUILDING INSPECTOR.
  5. ALL GRADING TO BE PERFORMED TO CREATE POSITIVE DRAINAGE.
  6. ALL DRIVEWAYS SLOPING DOWN TO GARAGES SHALL HAVE A DRAIN INLET WITH A PIPE EXTENDING BEYOND THE REAR OF THE HOUSE TO CARRY RAIN RUN-OFF.
  7. ALL DRIVEWAYS SLOPING DOWN SHALL RISE 6" THE FIRST 5' AND THEN SLOPE DOWN.



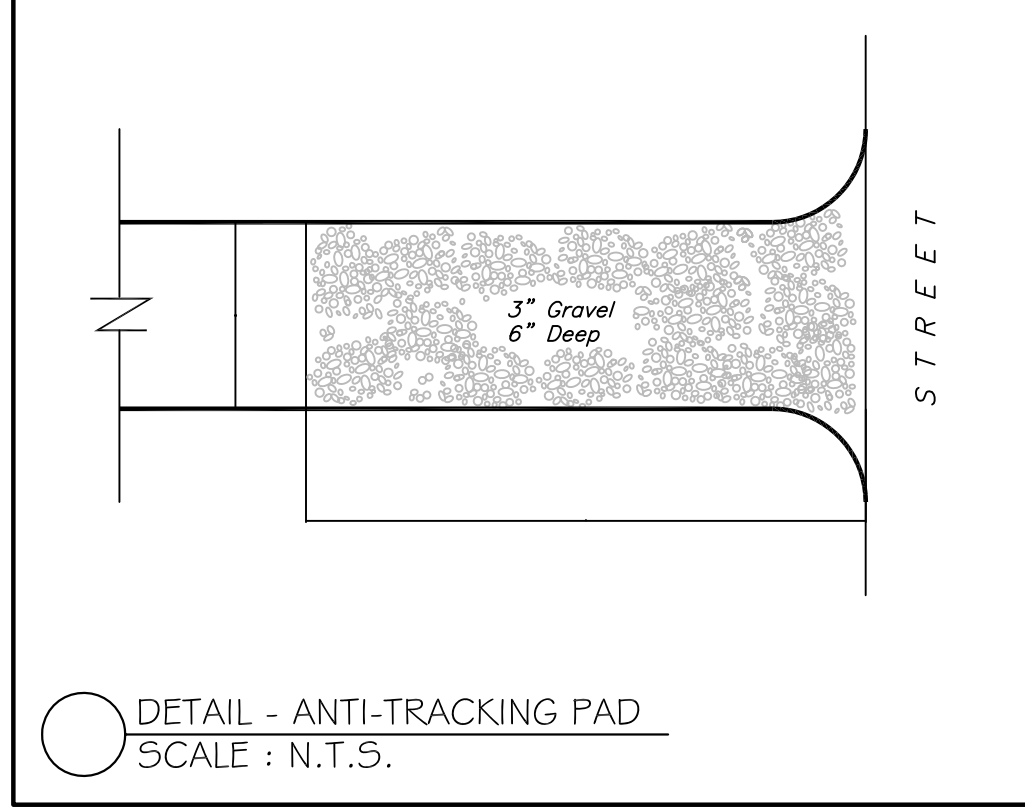
- INSTALLATION NOTES:**
1. EXCAVATE A 4"x4" TRENCH ALONG THE LOWER PERIMETER OF THE SITE.
  2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM).
  3. DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS APPROX. 2" FROM THE TRENCH BOTTOM.
  4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH, BACKFILL THE TRENCH AND TAMP THE SOIL. STEEPER SLOPES REQUIRE AN INTERCEPT TRENCH.
  5. JOIN SECTIONS AS SHOWN ABOVE.

DETAIL - SILT FENCE  
SCALE : N.T.S.

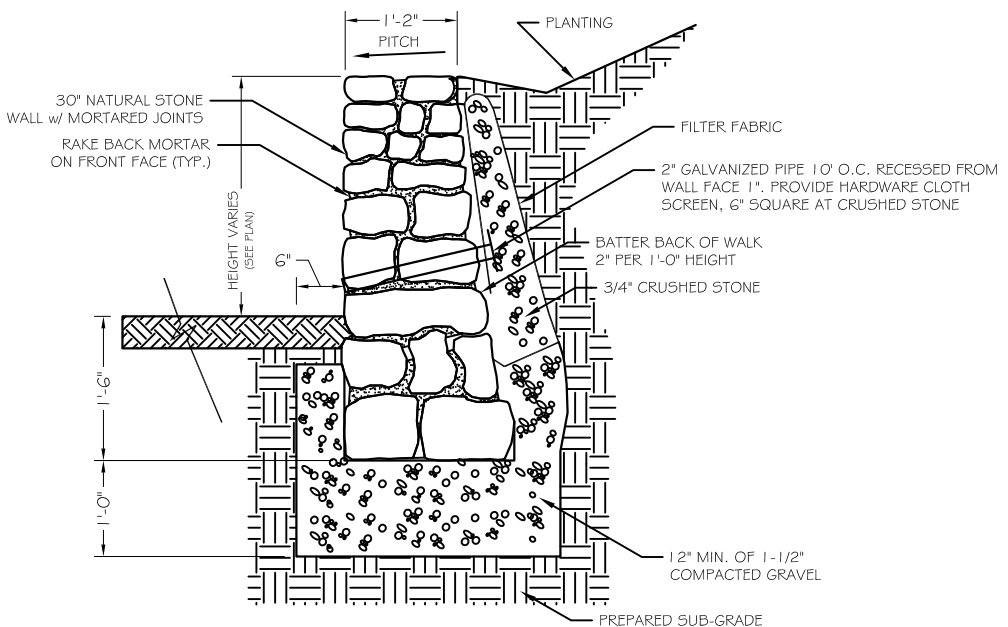


- INSTALLATION NOTES**
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
  2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
  3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAW BALES, THEN STABILIZED BY COVERING.
  4. SEE SPECIFICATIONS (EROSION CONTROL) FOR INSTALL OF SILT FENCE.

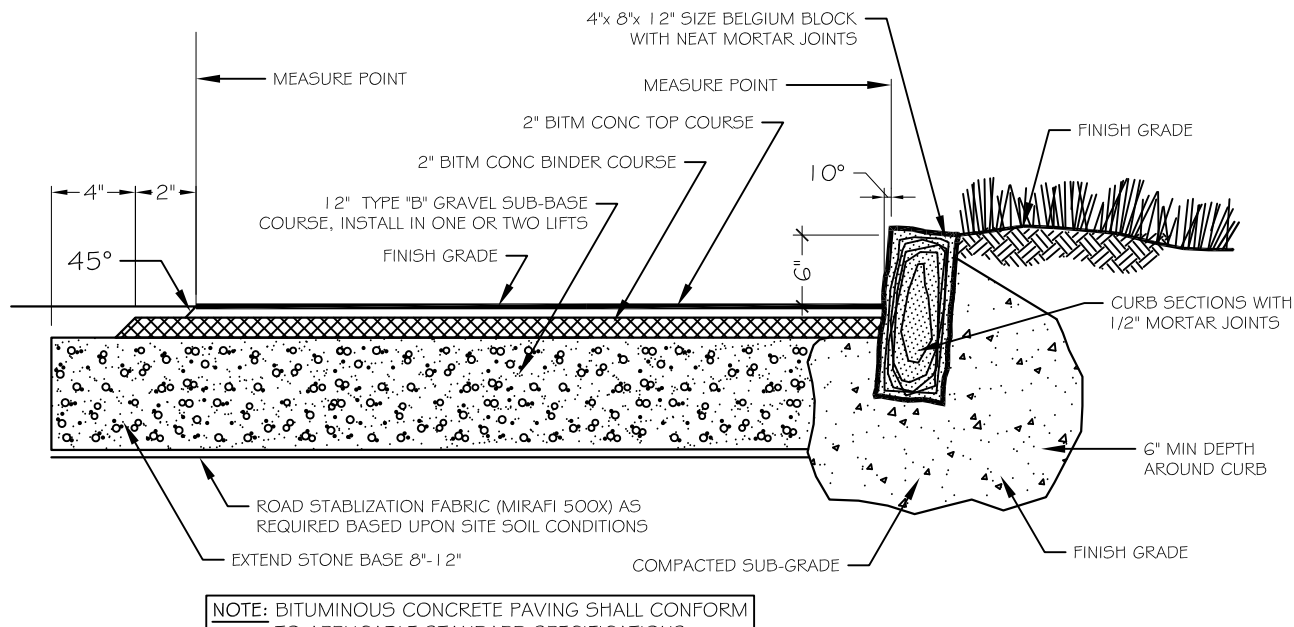
DETAIL - SOIL STOCKPILE  
SCALE : N.T.S.



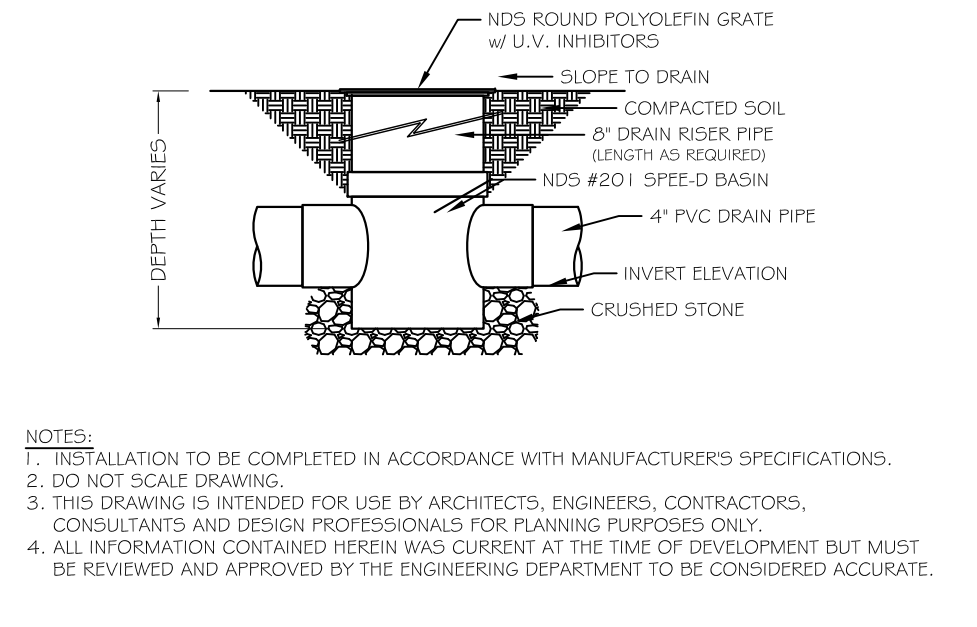
DETAIL - ANTI-TRACKING PAD  
SCALE : N.T.S.



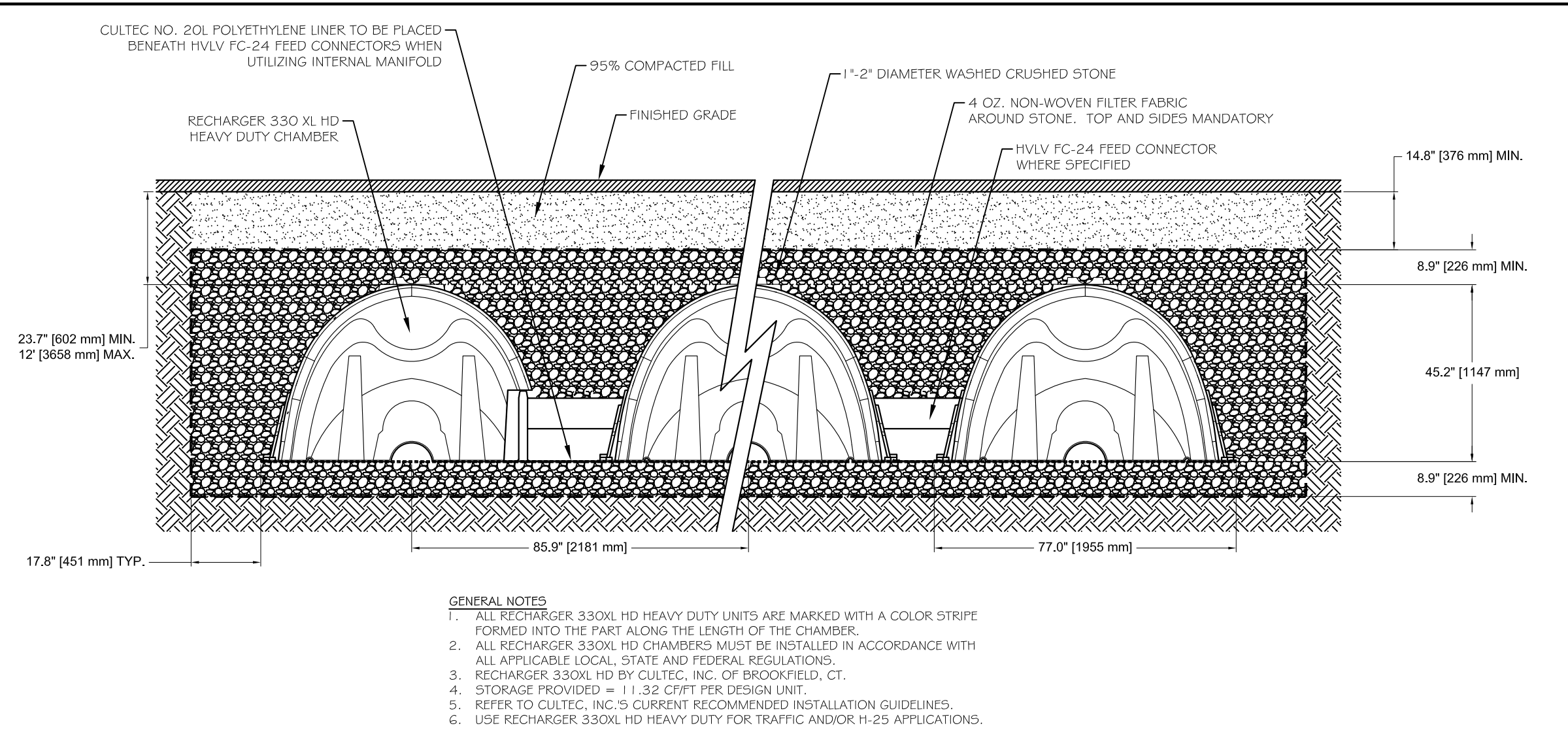
DETAIL - RETAINING WALL  
SCALE : 1/2" = 1'-0"



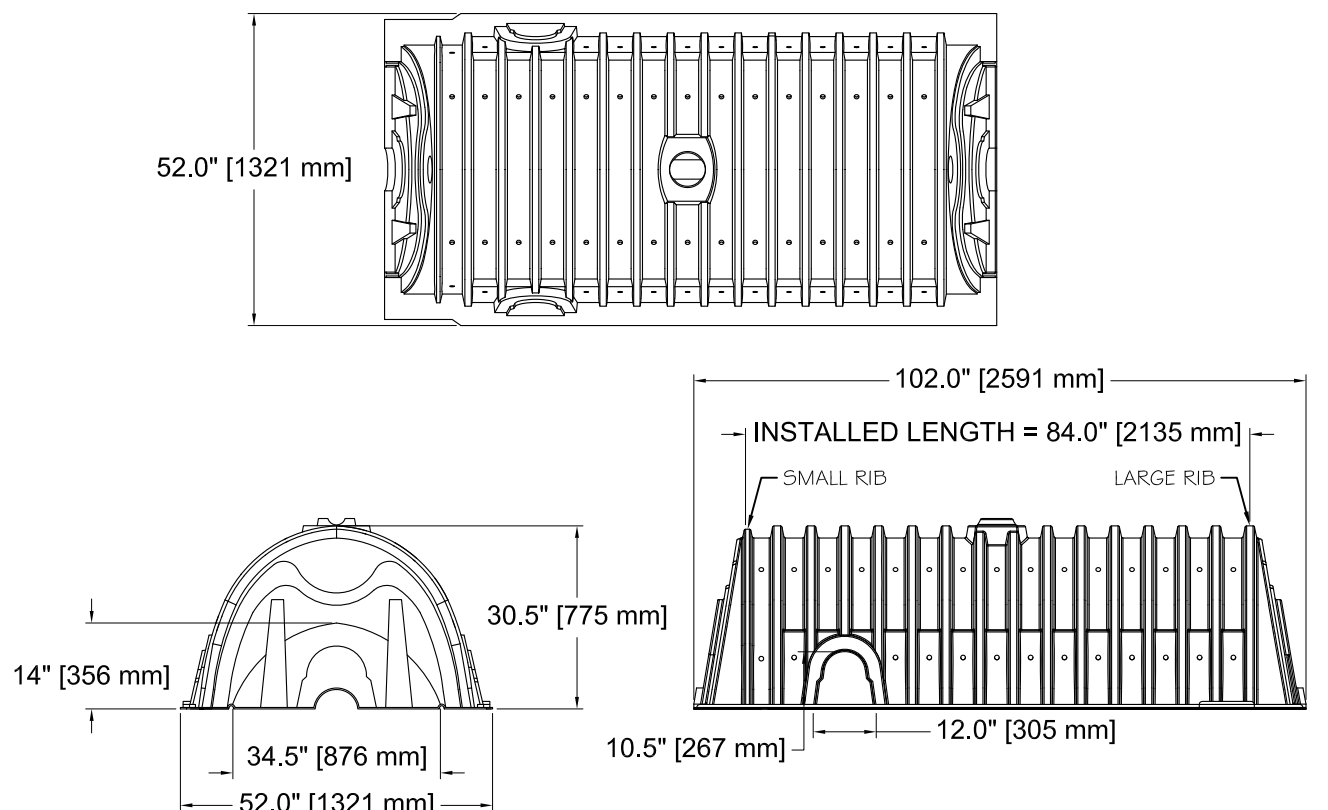
DETAIL - ASPHALT DRIVE & CURBING  
SCALE : 1/2" = 1'-0"



DETAIL - DRAIN INLET  
SCALE : N.T.S.



- GENERAL NOTES**
1. ALL RECHARGER 330XL HD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER.
  2. ALL RECHARGER 330XL HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
  3. RECHARGER 330XL HD BY CULTEC, INC. OF BROOKFIELD, CT.
  4. STORAGE PROVIDED = 11.32 CFM PER DESIGN UNIT.
  5. REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES.
  6. USE RECHARGER 330XL HD HEAVY DUTY FOR TRAFFIC AND/OR H-25 APPLICATIONS.



DETAIL - DRAINAGE CHAMBERS  
SCALE : 3/8" = 1'-0"

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ONUFRYCHUK  
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DOBBS FERRY, NY 10522

CONSTRUCTION  
DETAILS



11 Main Street #3  
Tarrytown, New York 10591  
914-631-4836  
westoverld.com



DATE: APRIL 6, 2021

SCALE: 1" = 10' - 0"

DRAWN BY: AL

DRAWING # L - 2