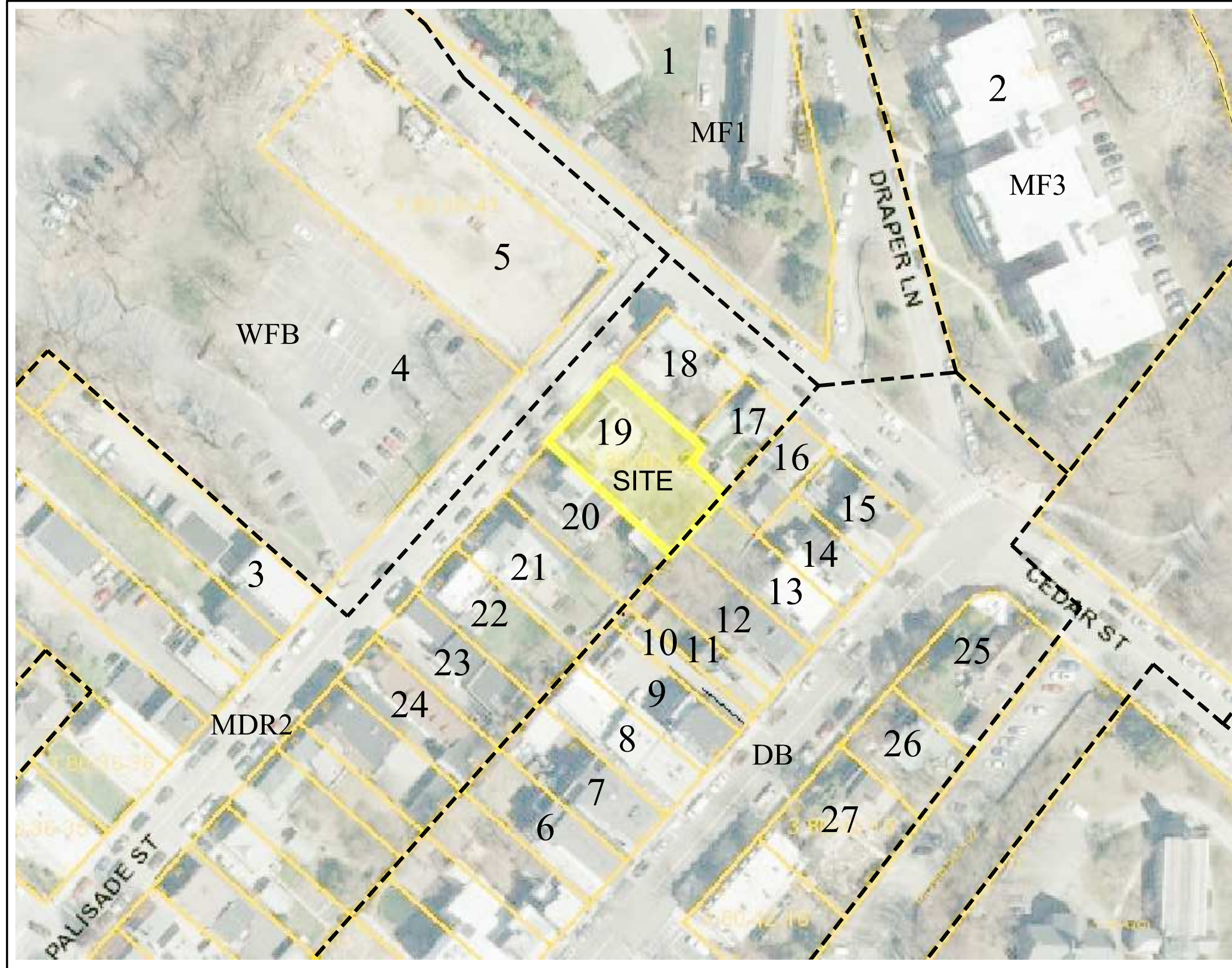
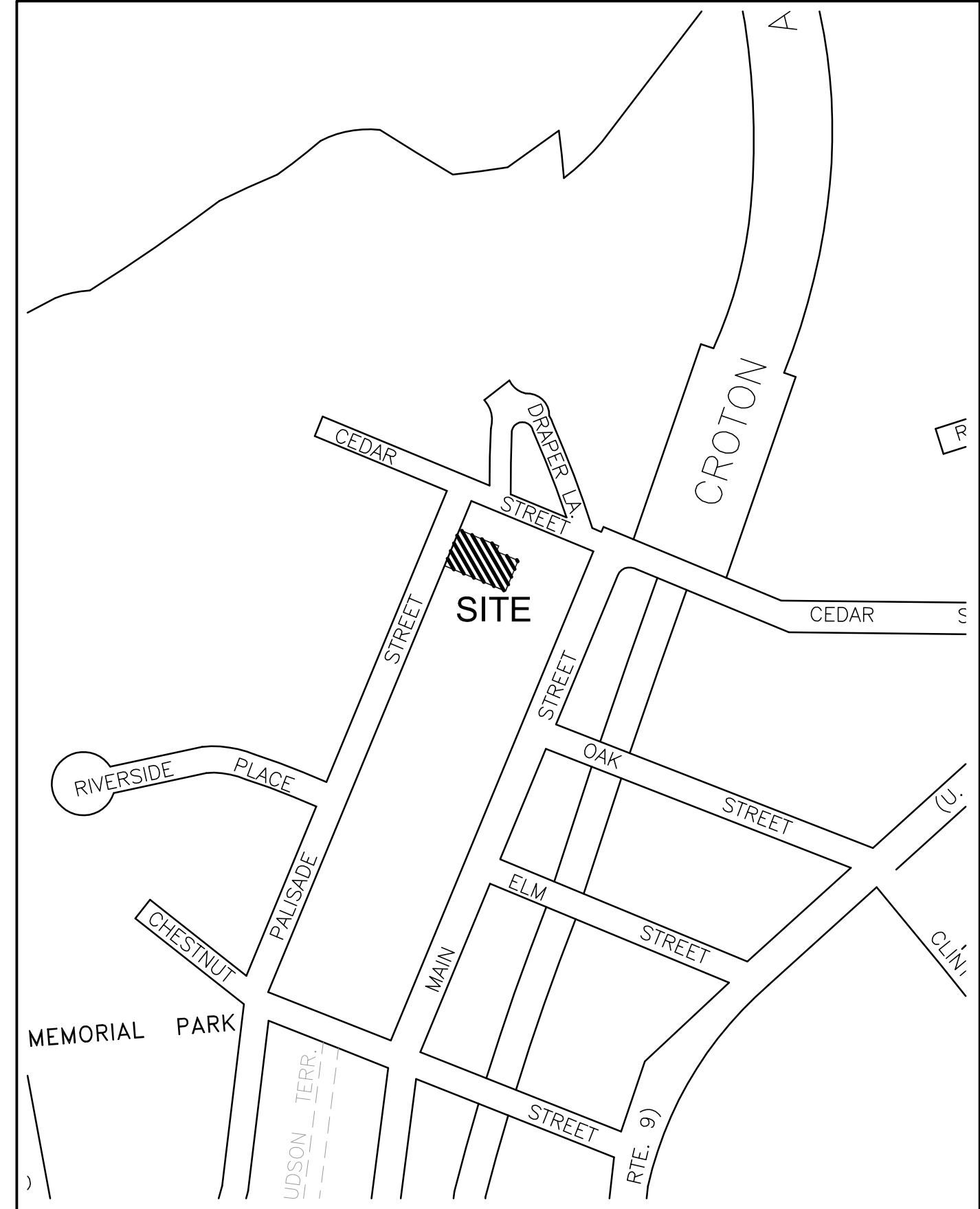


156 PALISADE ST.
DOBBS FERRY, N. Y. 10522

LIST OF PROPERTY OWNERS WITHIN 200 FEET OF				SUBJECT PROPERTY	
TAG	ZONING DISTRICT	LOT INFORMATION PARCEL	OWNER	OWNER ADDRESS	PROPERTY ADDRESS
1	MF-1	3.40- 4 - 5	VILLAGE GREEN CONDO COMMON AREA UNITS (A1- B45) POOL	71 PONDFIELD ROAD ARTHUR HAVELIN PROP. MANAGER BRONXVILLE, NY 10708	100 CEDAR STREET
2	MF-3	3.40- 5 - 6	110-150 DRAPER OWNERS CORP ATTN: GARTHCHESTER REALTY LTD	209 GARTH ROAD SCARSDALE, NY 10583	110 - 150 DRAPER LANE
3	DB	3.80- 36 - 41.1	TARRICONE REALTY INC	56 MAIN STREET DOBBS FERRY, NY 10522	139 PALISADE STREET
4	WFB	3.80- 36 - 42	KOSOV PROPERTIES COMPANY LLC	145 PALISADE STREET DOBBS FERRY, NY 10522	
5	WFB	3.80- 36 - 43	VILLAGE OF DOBBS FERRY	112 MAIN STREET DOBBS FERRY, NY 10522	
6	DB	3.80- 40 - 19	701 MONROE BLVD LLC	8 FORBES BLVD EASTCHESTER, NY 10709	127 MAIN STREET
7	DB	3.80- 40 - 20	129 MAIN STREET, LLC	133 MAIN STREET DOBBS FERRY, NY 10522	129 MAIN STREET
8	DB	3.80- 40 - 21	TSN REALTY, LLC	133 MAIN STREET DOBBS FERRY, NY 10522	133 MAIN STREET
9	DB	3.80- 40 - 22	OTTO FREY, JR	11 SENECA STREET DOBBS FERRY, NY 10522	135 MAIN STREET
10	DB	3.80- 40 - 23	OTTO FREY, JR	11 SENECA STREET DOBBS FERRY, NY 10522	0 MAIN STREET VACANT LAND
11	DB	3.80- 40 - 24	GREEN APPLE PROPERTIES, LLC	38 MCKEEL AVENUE TARRYTOWN , NY 10591	141 MAIN STREET
12	DB	3.80- 40 - 25	ANN PALERMO	301 RIVERSVILLE ROAD GREENWICH, CT 06831	143 MAIN STREET
13	DB	3.80- 40 - 26	PALISADE VIEW PROPERTIES, INC	147 MAIN STREET DOBBS FERRY, NY 10522	
14	DB	3.80- 40 - 27	PATRICK TARTAGLIONE	440 SAW MILL RIVER ROAD YONKERS, NY 10701	149 MAIN STREET
15	DB	3.80- 40 - 28	BRUCE RICHARDS, TRUST KIMBERLY KANATANI, TRUST	153 MAIN STREET DOBBS FERRY, NY 10522	
16	DB	3.80- 40 - 29	BRIAN SILVERMAN	81 CEDAR STREET DOBBS FERRY, NY 10522	
17	MDR-2	3.80- 40 - 30	MARY RUOTOLO	83 CEDAR STREET DOBBS FERRY, NY 10522	
18	MDR-2	3.80- 40 - 31	154 PALISADES STREET, LLC	59 MAIN STREET DOBBS FERRY, NY 10522	164 PALISADE STREET
19	MDR-2	3.80- 40 - 32	156 PALISADE STREET, LLC	156 PALISADE STREET DOBBS FERRY, NY 10522	
20	MDR-2	3.80- 40 - 33	GLENN VARCASIA	154 PALISADE STREET DOBBS FERRY, NY 10522	
21	MDR-2	3.80- 40 - 34	EDWARD M AND LUCILLE M. HENNESSY	148 150 PALISADE STREET DOBBS FERRY, NY 10522	
22	MDR-2	3.80- 40 - 35	CHRISTOPHER AND JACQUELINE PARERES	144 PALISADE STREET DOBBS FERRY, NY 10522	
23	MDR-2	3.80- 40 - 36	142 PALISADE, LLC	43 TAXTER ROAD IRVINGTON, NY 10533	142 PALISADE STREET
24	MDR-2	3.80- 40 - 37	VINCENZO AND SUSANNE SANZO	138 PALISADE STREET DOBBS FERRY, NY 10522	136 PALISADE STREET
25	DB	3.80- 42 - 13	FRANK GOLIO, VICTOR GOLIO	64 BELLWOOD DRIVE DOBBS FERRY, NY 10522	146 MAIN STREET
26	DB	3.80- 42 - 14	CHARLES W AND TARA J. MASTIN	138 MAIN STREET DOBBS FERRY, NY 10522	
27	DB	3.80- 42 - 15	JOSEFINA TIGRE	134 MAIN STREET DOBBS FERRY, NY 10522	



 **AERIAL LOCATION MAP**
NOT TO SCALE



 **SITE LOCATION MAP**
NOT TO SCALE

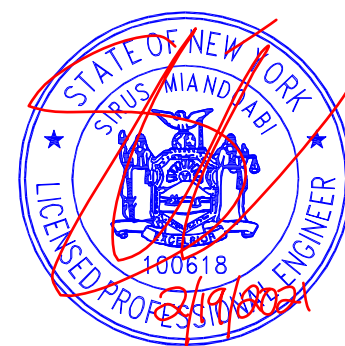
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DOBBS FERRY PLANNING BOARD DRAFT
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DAVID T KIM, ARCHITECT
a professional corporation

156 PALISADE STREET

DOBBS FERRY, NEW YORK 10522

PROJECT NO.: 1901

PROJECT DESIGN COORDINATOR

**GOTHAM
DESIGN**

AND COMMUNITY
DEVELOPMENT LTD

329 Broadway
Dobbs Ferry, N.Y. 10522
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email: arch329@gmail.com

ISSUED / REVISIONS	
REVISED	01-14-202
PLANNING BOARD SUBMISSION FOR PUBLIC HEARING	
REVISED	02-04-202
PLANNING BOARD MEETING	
REVISED	02-17-202
PER PLANNING BRD COMMENTS	

SHEET TITLE:

**DAVID T. KIM DESIGN
COVER SHEET**

DATE: 01-07-2021	DRAWN BY: DTK,MB
SCALE: AS NOTED	CHECKED BY: PRS

CS

ALL SURVEYING INFORMATION ON THIS DRAWING
IS TAKEN FROM A SURVEY DATED MAY 04, 2019
PREPARED BY: SUMMIT LAND SURVEYING P.C.
64 VIRGINIA AVENUE
DOBBS FERRY 10522
TEL 914 629 - 7758

Z O N I N G T A B L E					
PROPERTY LOCATION : 156 PALISADE STREET		TAX ID No 380-40-32			
OWNER :		156 PALISADE STREET LLC 156 PALISADE STREET DOBBS FERRY, NY 10522			
ZONING DISTRICT MDR - 2					
REQUIREMENT	UNITS	REQUIRED/ ALLOWED	EXISTING	PROPOSED	VARIANCE / WAIVER REQUESTED
MINIMUM NET LOT AREA	SQ.FT.	5,000	8,675	UNCHANGED	
MINIMUM LOT AREA PER DWELLING	SQ.FT.	800 PER UNIT	TO BE REMOVED	7 UNITS 8,675 / 800 =10	
MINIMUM LOT WIDTH	FEET	50	76.67	UNCHANGED	
MINIMUM LOT DEPTH	FEET	100	102.5 (AVG)	UNCHANGED	
MAX. LOT COVERAGE BY BUILDINGS	%	27	16.97 (1,472)	TBD	TBD
MAX. LOT COVERAGE BY IMPERVIOUS SURFACES	%	54	28.18 (2,445)	68.63 (5,954)	YES
MINIMUM FRONT YARD SETBACK	FEET	7.8 (PREVAILING)	5.6	10	
MINIMUM REAR YARD SETBACK	FEET	25	76.25	25	
MINIMUM SIDE YARD SETBACK ONE	FEET	10	8.1	10	
MINIMUM SIDE YARD SETBACK BOTH	FEET	20	38.95	20	
STORIES	NUMBER	3	2	3	
MAXIMUM HEIGHT	FEET	37	21	36.5	
EAVE HEIGHT	FEET	28	20	27.5	
OFF STREET PARKING			0	6	
ON - STREET PARKING	NUMBER	9	3	3	T B D

BUILDING COVERAGE TABLE				
	UNITS	EXISTING	PROPOSED	
EXISTING HOUSE	SQ.FT.	1,297		
EXISTING METAL SHEDS	SQ.FT.	175		
TOTAL		EXISTING 1,472		
TOTAL EXISTING BUILDING COVERAGE		1,472 / 8,675 = 16.97 %		
PROPOSED GARAGE	SQ.FT.		3,788	43.66 % OF LOT
PROPOSED FIRST FLOOR	SQ.FT.		3,142	36.22 % OF LOT
PROPOSED PORCH	SQ.FT.		92	1.06 % OF LOT
PROPOSED DECKS	SQ.FT.		236	2.72 % OF LOT

IMPERVIOUS COVERAGE TABLE			
	UNITS	EXISTING	PROPOSED
HOUSE	SQ.FT.	1,297	
METAL SHEDS	SQ.FT.	175	
WALKS AND STEPS	SQ.FT.	520	
RETAINING WALLS	SQ.FT.	453	
		TOTAL EXISTING	2,445
TOTAL EXISTING IMPERVIOUS COVERAGE		2,445 / 8,675 = 28.18 %	
EXISTING RETAINING WALLS TO REMAIN	SQ.FT.		200
PROPOSED BUILDING	SQ.FT.		3,788
PROPOSED PORCHES / DECKS	SQ.FT.		328
PROPOSED RAMP	SQ.FT.		170
PROPOSED RETAINING WALLS	SQ.FT.		419
PROPOSED ENTRY TERRACE AND STEPS	SQ.FT.		249
PROPOSED WALK AND STEPS	SQ.FT.		380
PROPOSED DRIVEWAY	SQ.FT.		420
			TOTAL PROPOSED 5,954
TOTAL PROPOSED IMPERVIOUS COVERAGE			5,954 / 8,675 = 68.63 %

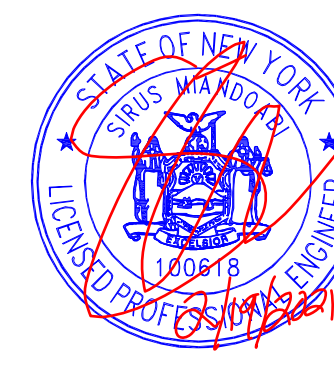
F L O O R A R E A S T A B L E				
STORY	EXISTING AREA	EXISTING HABITABLE AREA	AREA OF RENOVATION	NEW AREA
EXISTING FIRST FLOOR	1,297	± 1,197	0	
PROPOSED FIRST FLOOR				3,142
EXISTING SECOND FLOOR	1,070	± 970	0	
PROPOSED SECOND FLOOR				3,142
PROPOSED THIRD FLOOR				3,100
PROPOSED GARAGE				3,788

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914-774-0343 : m
info@integralengr.com : e
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DAVID T KIM, ARCHITECT
a professional corporation

PROJECT TITLE:

156 PALISADE STREET

DOBBS FERRY, NEW YORK 10522

PROJECT NO.: 1904

PROJECT DESIGN COORDINATOR:

**GOTHAM
DESIGN**
AND COMMUNITY
DEVELOPMENT LTD

329 Broadway
Dobbs Ferry, N.Y. 10522
Phone: (914) 693-5093
Fax: (914) 693-5390
email: arch329@gmail.com

ISSUED / REVISIONS

PLANNING BOARD MEETING 01-07-2021

REVISED 01-14-2021
PLANNING BOARD SUBMISSION
FOR PUBLIC HEARING

REVISED 02-04-2021
PLANNING BOARD MEETING

REVISED 02-17-2021
PER PLANNING BRD COMMENTS

SHEET TITLE:

DAVID T. KIM DESIGN
SITE PLAN

DATE:
01-07-2021

DRAWN BY:
DTK,MB

SCALE:
AS NOTED

CHECKED BY
PRS

SP-1

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DAVID T. KIM, ARCHITECT
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PROJECT TITLE:
156 PALISADE STREET
DOBBS FERRY, NEW YORK 10522
PROJECT NO.: **1904**

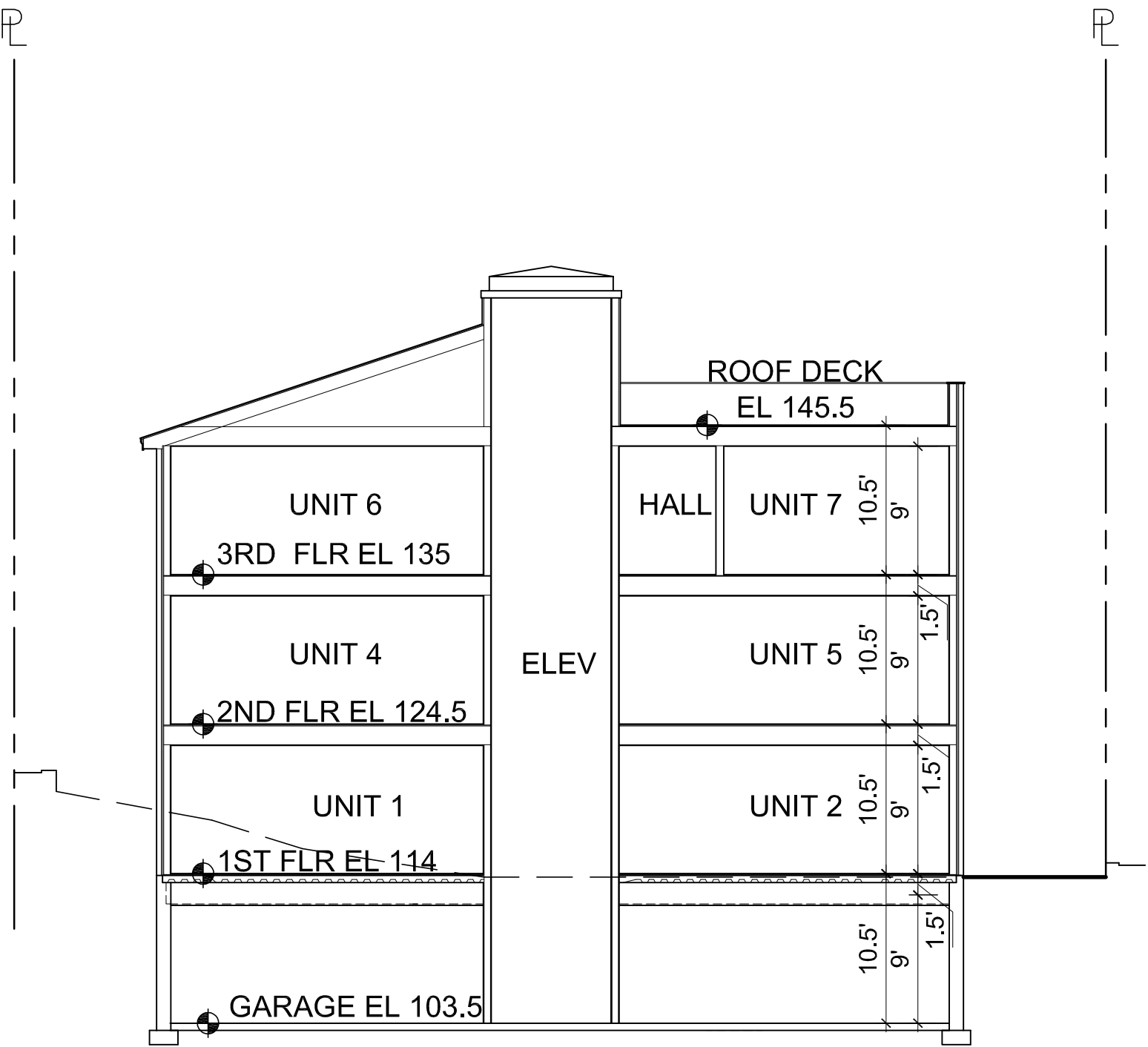
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PER PLANNING BRD COMMENTS

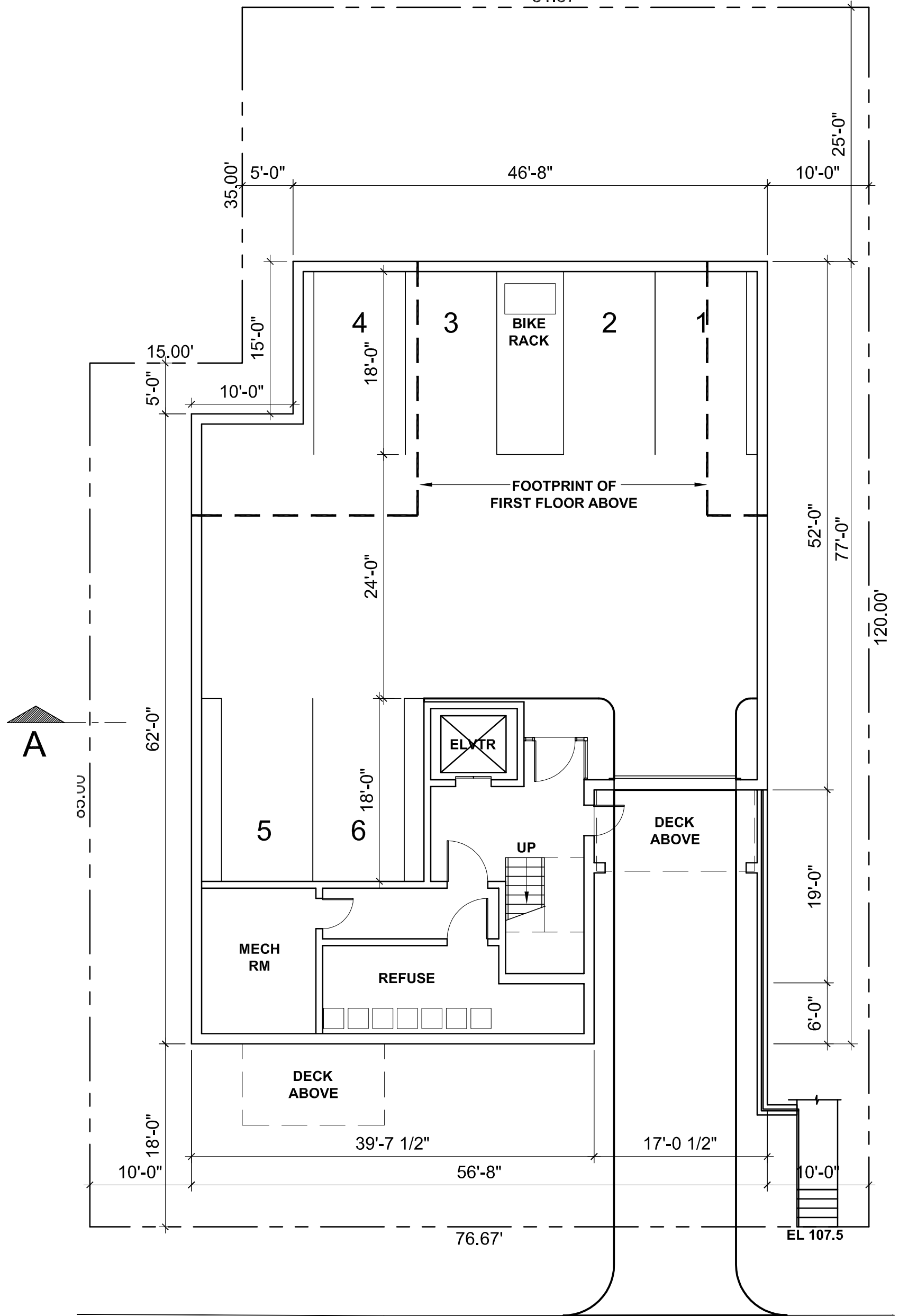
SHEET TITLE:
**DAVID T. KIM DESIGN
FLOOR PLANS
AND SECTION**

DATE: 01-07-2021	DRAWN BY: DTK,MB
SCALE: AS NOTED	CHECKED BY: PRS

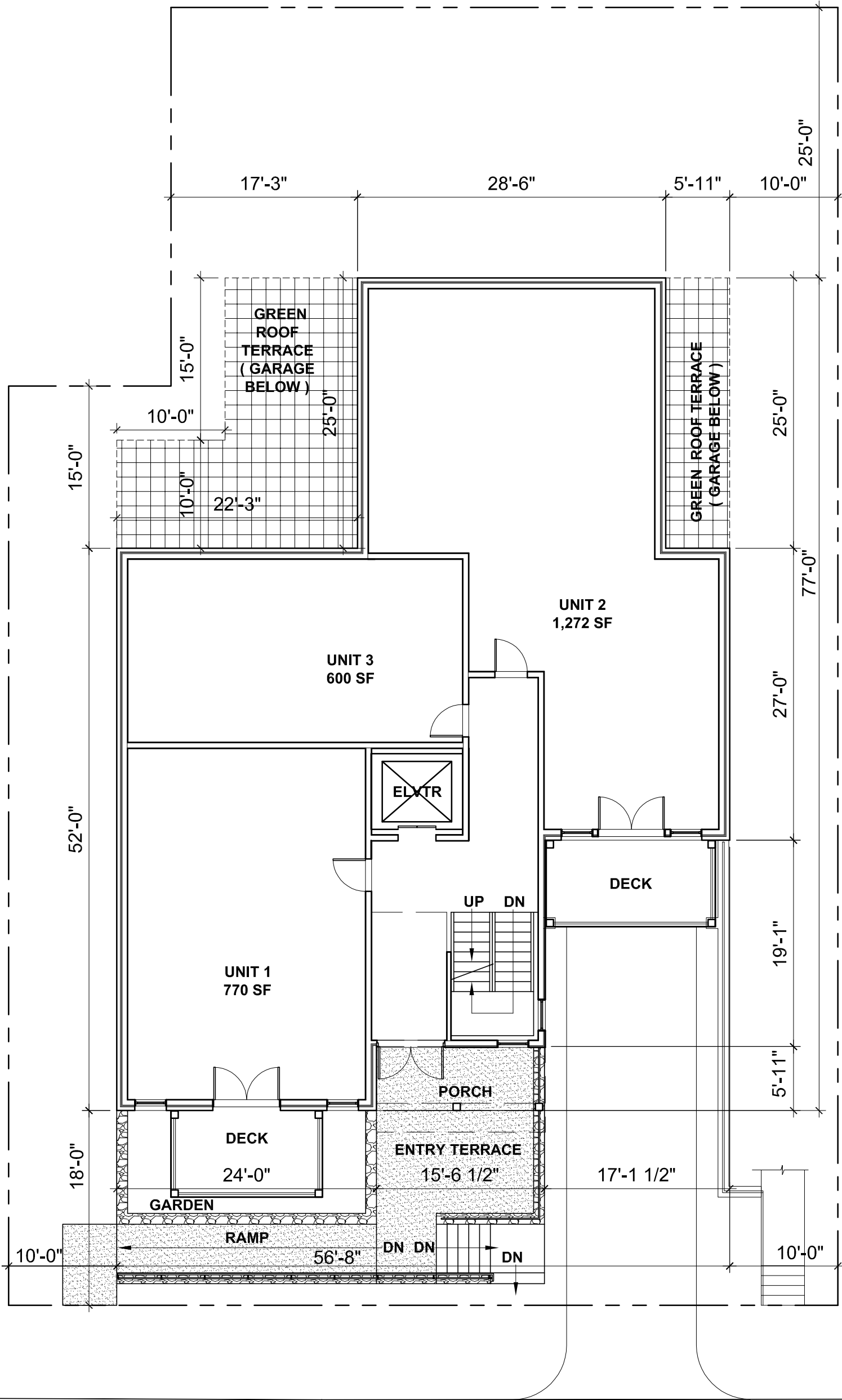
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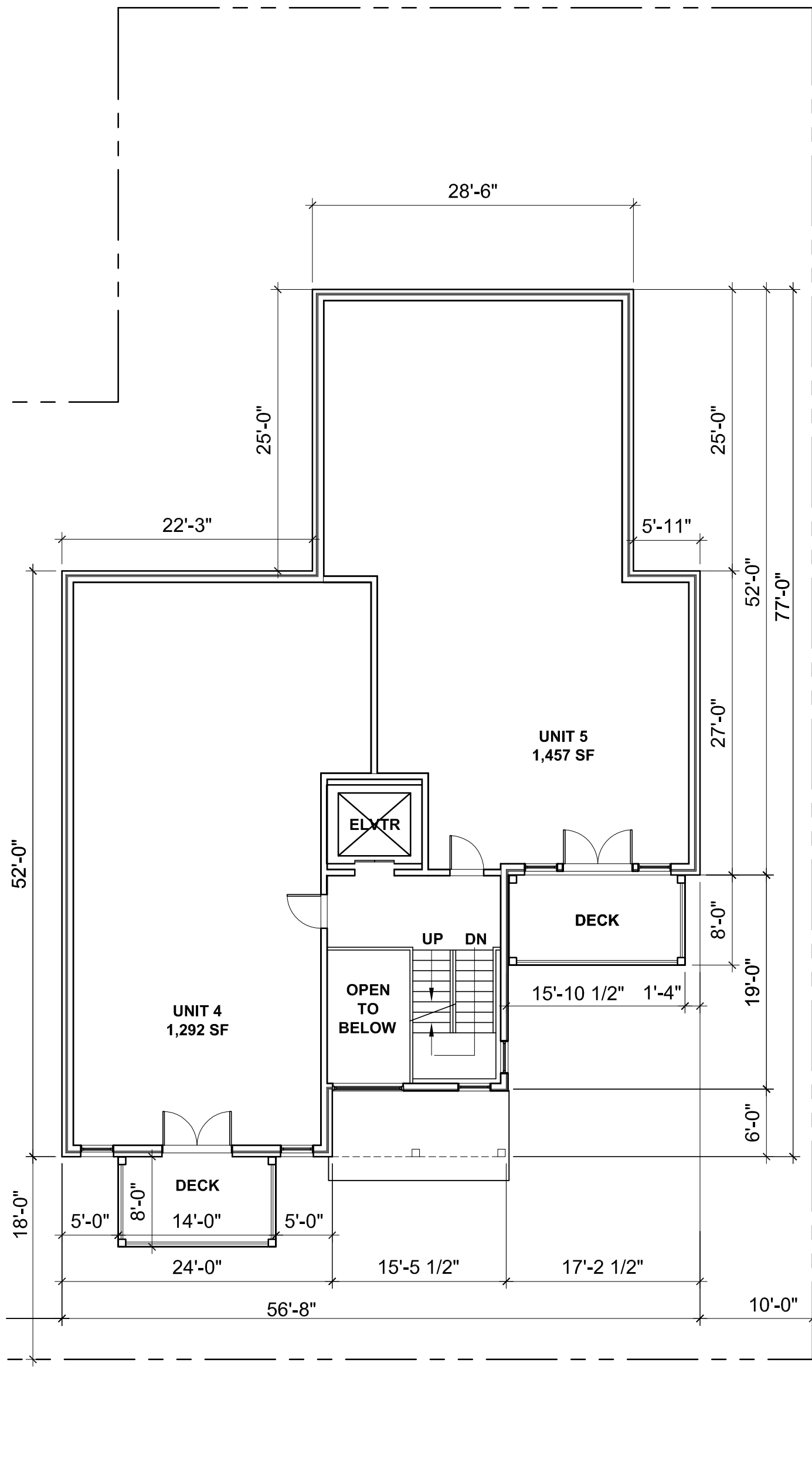
BUILDING SECTION A-A
SCALE : 1" = 10'-0"
GRAPHIC SCALE IN FEET
0 5 10 20



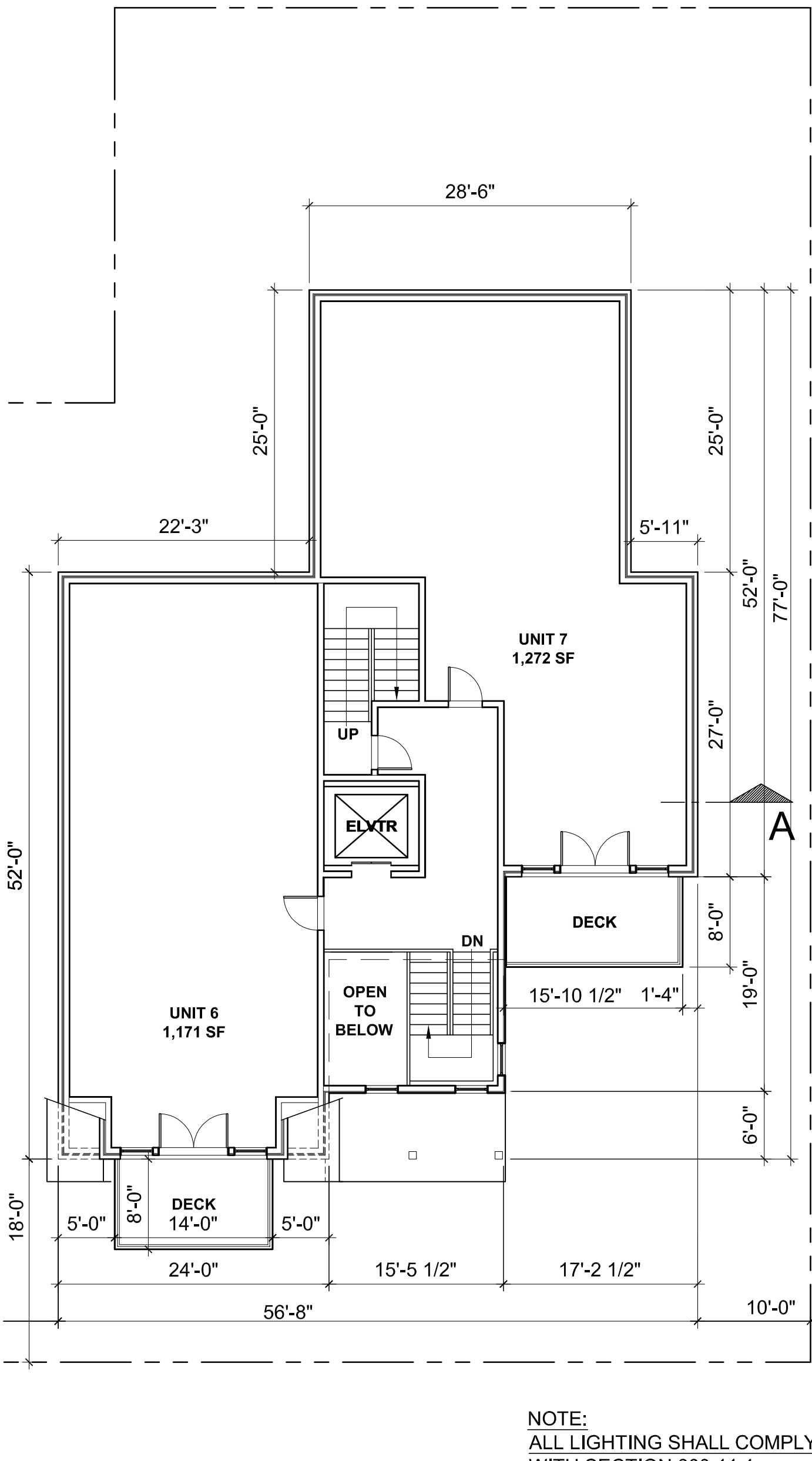
GARAGE FLOOR PLAN
SCALE : 1" = 10'-0"
GRAPHIC SCALE IN FEET
0 5 10 20



FIRST FLOOR PLAN
SCALE : 1" = 10'-0"
GRAPHIC SCALE IN FEET
0 5 10 20

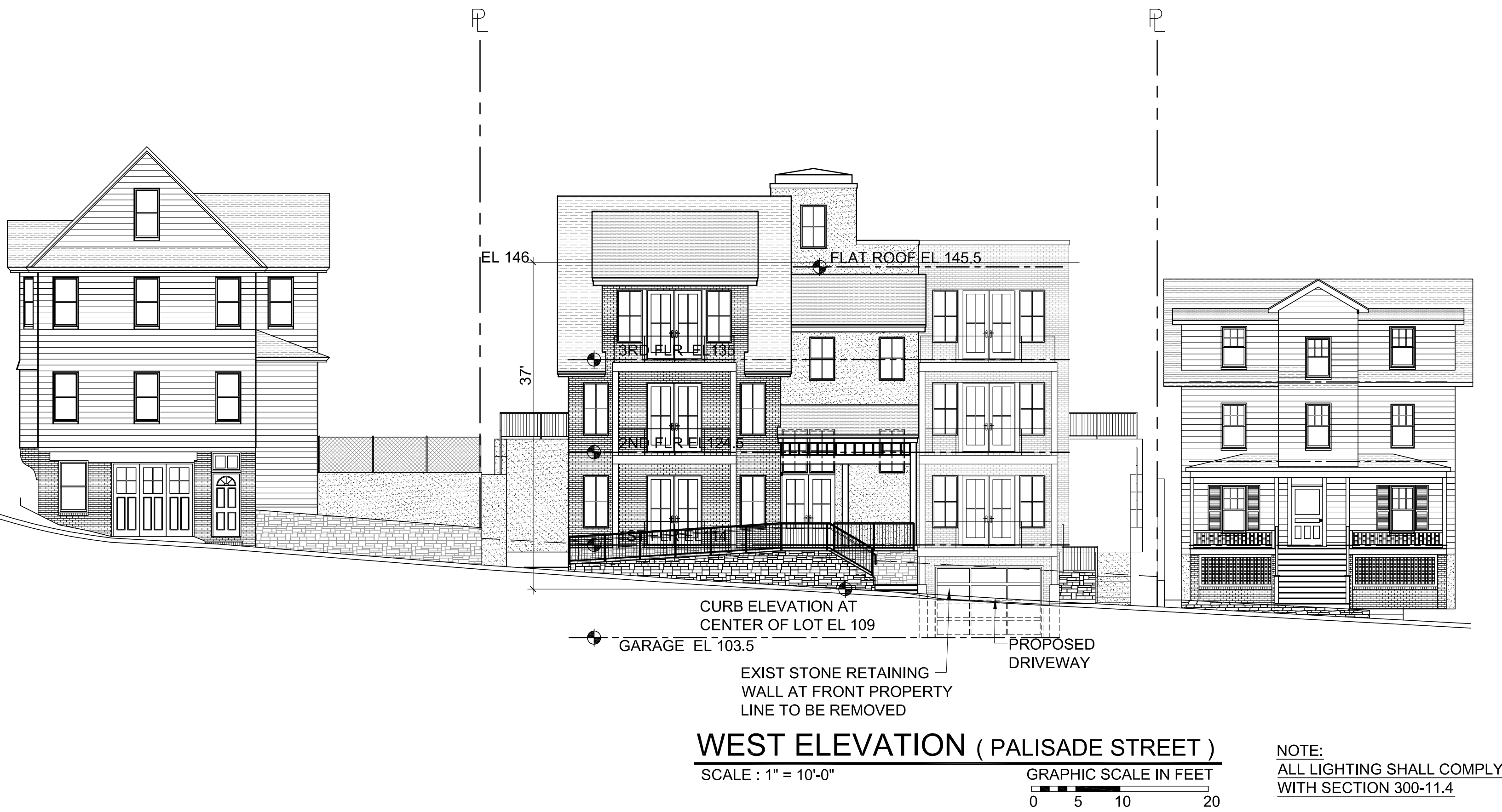
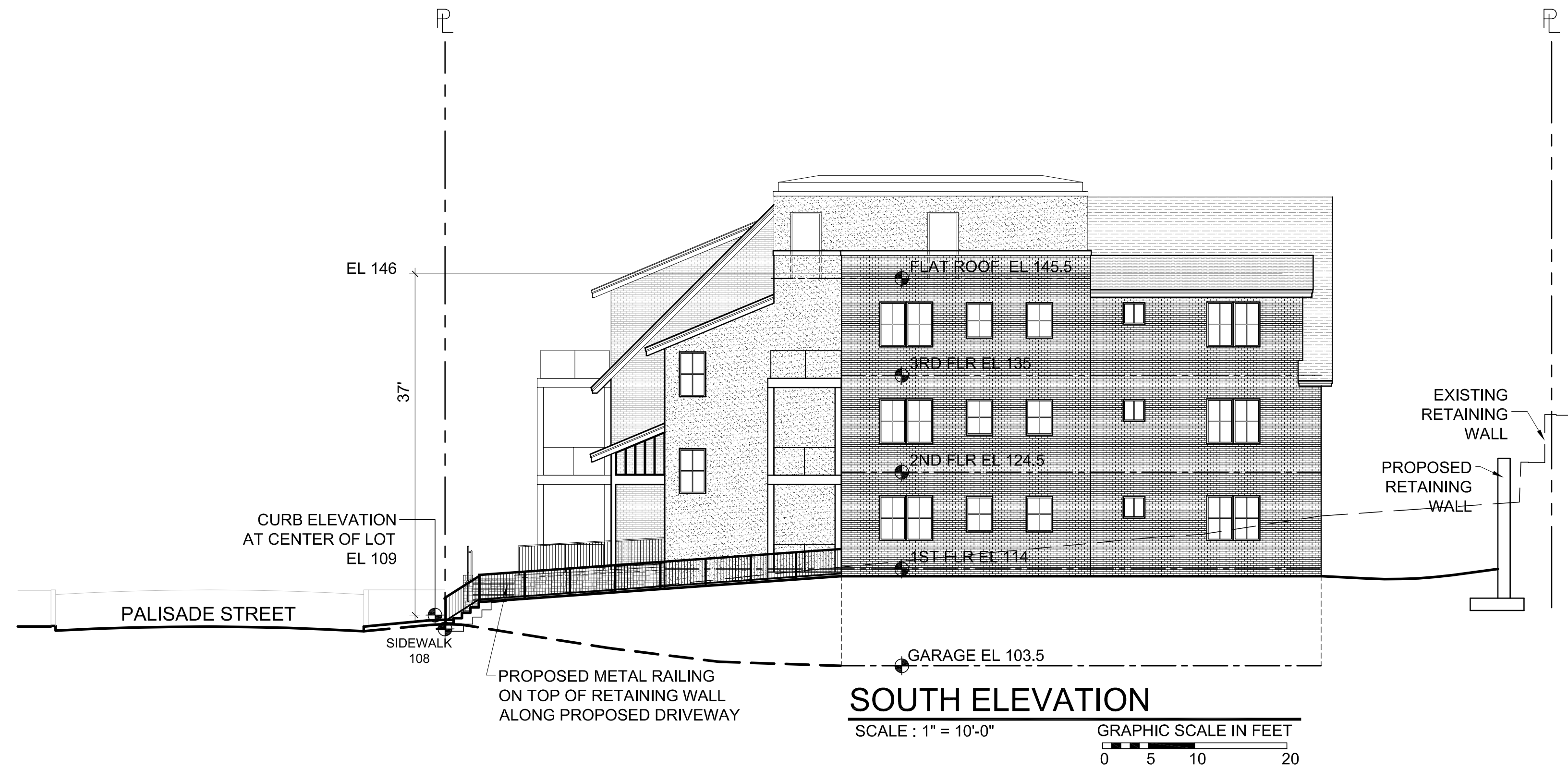


SECOND FLOOR PLAN
SCALE : 1" = 10'-0"
GRAPHIC SCALE IN FEET
0 5 10 20



THIRD FLOOR PLAN
SCALE : 1" = 10'-0"
GRAPHIC SCALE IN FEET
0 5 10 20

NOTE:
ALL LIGHTING SHALL COMPLY
WITH SECTION 300-11.4



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SEAL OF THE STATE OF NEW YORK
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DAVID T. KIM, ARCHITECT
a professional corporation

PROJECT TITLE:
156 PALISADE STREET
DOBBS FERRY, NEW YORK 10522
PROJECT NO.: **1904**

PROJECT DESIGN COORDINATOR:
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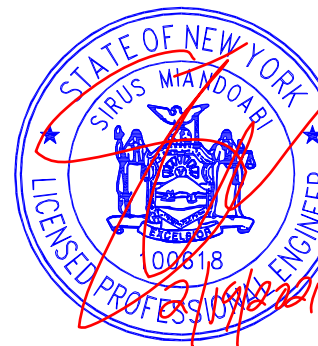
ISSUED / REVISIONS
PLANNING BOARD MEETING 01-07-2021
REVISOR 01-14-2021
PLANNING BOARD SUBMISSION FOR PUBLIC HEARING
REVISOR 02-04-2021
PLANNING BOARD MEETING
REVISOR 02-17-2021
PER PLANNING BRD COMMENTS

SHEET TITLE:
**DAVID T. KIM DESIGN
ELEVATIONS**

DATE: **01-07-2021** DRAWN BY: **DTK,MB**
SCALE: **AS NOTED** CHECKED BY: **PRS**

SP-3

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156 PALISADE STREET

DOBBS FERRY, NEW YORK 10522

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ISSUED / REVISIONS

PLANNING BOARD MEETING	01-07-2021
REVISED PLANNING BOARD SUBMISSION FOR PUBLIC HEARING	01-14-2021
REVISED PLANNING BOARD MEETING	02-04-2021
REVISED PER PLANNING BRD COMMENTS	02-17-2021

SHEET TITLE:

**DAVID T. KIM DESIGN
WEST ELEVATION**

DATE:

01-07-2021

SCALE:

AS NOTED

DRAWN BY:

DTK,MB

CHECKED BY:

PRS

SP-4

P

P

EL 146

37'

3RD FLR EL 135

2ND FLR EL 124.5

1ST FLR EL 114

TOP OF FLAT ROOF
STRUCTURE EL 145.5

CURB ELEVATION AT
CENTER OF LOT
EL 109

GARAGE EL 103.5

EXIST STONE RETAINING
WALL AT FRONT PROPERTY
LINE TO BE REMOVED

PROPOSED
DRIVEWAY

WEST ELEVATION (PALISADE STREET)

SCALE : 3/16" = 1'-0"

GRAPHIC SCALE IN FEET

0 1 2 4 8

NOTE:
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WITH SECTION 300-11.4

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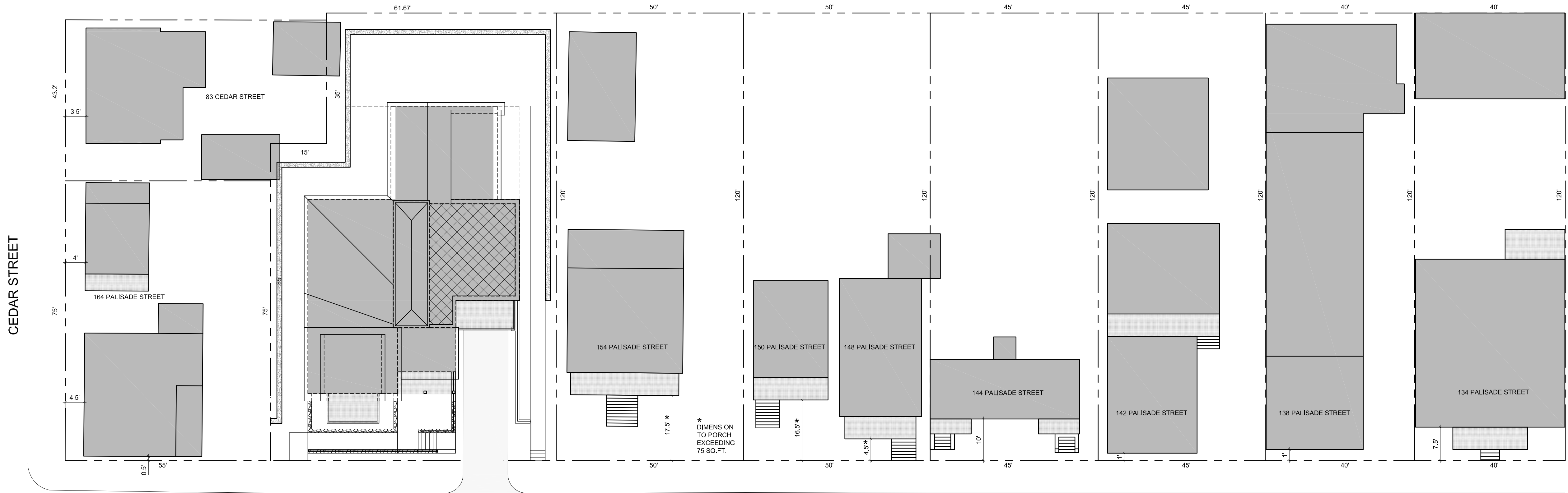


STREET SCAPE ELEVATION

SCALE : 1" = 16'-0"

GRAPHIC SCALE IN FEET

0 4 8 16 32



PALISADE STREET

ADDRESS	NUMBER OF BUILDINGS	NUMBER OF UNITS	LOT AREA	BUILDING AREA (SQ.FT.)	BUILDING COVERAGE	FRONT SETBACK
83 CEDAR STREET	3	2	3,485	1,395	40.03 %	N / A
164 PALISADE STREET	2	3	3,920	1,141 + 493 = 1,634	41.68 %	0.5
156 PALISADE STREET	1	8	8,675	TBD	TBD	10 *
154 PALISADE STREET	2	4	6,098	1,431 + 522 = 1,953	32.03 %	17.5
150 + 148 PALISADE STREET	2	4	6,098	1,135 + 687 = 1,822	29.88 %	16.5 AND 4.5
144 PALISADE STREET	1	2	5,227	823	15.75 %	10
142 PALISADE STREET	2	4	5,227	1,680 + 810 = 2,490	47.64 %	1
138 PALISADE STREET	1	8	4,356	3,196	73.37 %	1
134 PALISADE STREET	1	5	4,792	2,968	61.94 %	7.5

THE AVERAGE BUILDING SITE COVERAGE EXISTING WITHOUT 156 PALISADE STREET IS 42.76 % . WITH 156 PALISADE STREET AS PROPOSED INCLUDED, THE AVERAGE BUILDING SITE COVERAGE WOULD BE TBD

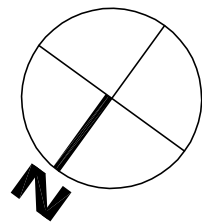
TBD - TO BE DETERMINED

TOTAL 64.3 / 9 = 7.1444

* PROPOSED BUILDING

FRONT SETBACK NOTE:
ALL THESE DIMENSIONS WERE TAKEN AT THE PROPERTIES BY MEASURING THE FRONT OF THE BUILDING TO THE STREET SIDE OF THE CURB. THE CONTROL WAS ESTABLISHED BY 164, 156 AND 154 PALISADE STREET, WHICH ARE SHOWN ON THE SURVEY. THIS RESULTED IN A DIMENSION FROM THE STREET SIDE OF THE CURB TO THE PROPERTY LINE OF 9 FEET. WE THEN SUBTRACTED 9 FEET FROM EACH MEASUREMENT TO DETERMINE THE SETBACK. OBSERVATION INDICATES THAT THE CURB IS A STRAIGHT LINE, AS ARE THE FRONT PROPERTY LINES. THE ACTUAL CALCULATION USED FOR 156 IS 5.8 FEET, ALTHOUGH THE SURVEY INDICATES AN ACTUAL SETBACK OF 5.6 FEET. WE INCLUDED THIS DEVIATION IN OUR CALCULATIONS TO HAVE ANY ERROR INCREASE THE SETBACK, INSTEAD DECREASE THE SETBACK TO COMPENSATE FOR ANY DEVIATION IN THE MEASUREMENTS TAKEN. THIS IS AN ERROR ALLOWANCE OF 0.2 FEET WHICH IS 2.4 INCHES. THIS ADJUSTS FOR ANY INSTANCE IN WHICH THE TAPE MEASURE WAS NOT PERFECTLY PERPENDICULAR TO THE PROPERTY LINE OR NOT PERFECTLY LEVEL.

64.3 FEET DIVIDED BY 9 PROPERTIES EQUALS A PREVAILING SETBACK OF 7.1444 FEET



CONTEXT AREA SITE PLAN

SCALE : 1" = 16'-0"

GRAPHIC SCALE IN FEET

0 4 8 16 32

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DAVID T. KIM, ARCHITECT
a professional corporation

PROJECT TITLE:

156 PALISADE STREET

DOBBS FERRY, NEW YORK 10522

PROJECT NO.: 1904

PROJECT DESIGN COORDINATOR:

GOTHAM DESIGN

AND COMMUNITY DEVELOPMENT LTD.

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ISSUED / REVISIONS

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REVISED PLANNING BOARD SUBMISSION FOR PUBLIC HEARING	01-14-2021
REVISED PLANNING BOARD MEETING	02-04-2021
REVISED PER PLANNING BRD COMMENTS	02-17-2021

SHEET TITLE:

DAVID T. KIM DESIGN
STREETSCAPE ELEVATION
CONTEXT AREA SITE PLAN

DATE: 01-07-2021	DRAWN BY: DTK,MB
SCALE: AS NOTED	CHECKED BY: PRS

SS