

DRAFT MINUTES – NOT TO BE USED AS OFFICIAL DOCUMENT

PRESENT:

Stephen Hunter, Chairman
Stephen Brosnahan
Allen Hale
Laura Haupt
Rob Lane
Peter Winder, 1st Alternate Member

ALSO PRESENT:

Ed Manley/Building Inspector
Dan Roemer/Assistant Building Inspector
Lori Lee Dickson/Attorney for the Village
Daniel Pozin/Attorney for the Village
Mr. George Pommer/Village Consulting Engineer
Mr. Simon Kates/Village Consulting Planner
Trustee Liaison Deputy Mayor Donna Cassell/Board of Trustees
Trustee Maura Daroczy/Board of Trustees
Trustee Christy Knell/Board of Trustees
Trustee Michael Patino/Board of Trustees
Trustee Nicole Sullivan/Board of Trustees
Mr. Iair Rosenkranz/AHRB Chairman
Ms. Dipti Shah/AHRB Member
Mr. Richard Leins/Interim Village Administrator
Ms. Alissa Fasman/Secretary to the Village Administrator

EXCUSED: None.

Chairman Hunter called the meeting to order.

Motion by Chairman Hunter, seconded by Mr. Brosnahan to open the meeting.

CHAIRMAN HUNTER	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
STEPHEN BROSNAHAN	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
ROB LANE	<input type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input checked="" type="checkbox"/> ABSENT/EXCUSED
ALLEN HALE	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
LAURA HAUPT	<input type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input checked="" type="checkbox"/> ABSENT/EXCUSED
PETER WINDER, 1ST ALTERNATE MEMBER	<input type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input checked="" type="checkbox"/> ABSENT/EXCUSED
VOTE TOTALS	<div><div>3</div>AYE</div>	<div><div>0</div>NAY</div>	<div><div>0</div>ABSTAIN</div>	<div><div>0</div>RECUSE</div>	<div><div>3</div>ABSENT/EXCUSED</div>
RESULT:	MOTION: PASSES				

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1. Adopt Minutes for Planning Board Meetings of January 7, 2021

Motion by Chairman Hunter, seconded by Mr. Hale to approve the meeting minutes of January 7, 2021 as amended.

CHAIRMAN HUNTER	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
STEPHEN BROSNAHAN	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
ROB LANE	<input type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input checked="" type="checkbox"/> ABSENT/EXCUSED
ALLEN HALE	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
LAURA HAUPT	<input type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input checked="" type="checkbox"/> ABSENT/EXCUSED
PETER WINDER, 1ST ALTERNATE MEMBER	<input type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input checked="" type="checkbox"/> ABSENT/EXCUSED
VOTE TOTALS	<input type="text" value="3"/> AYE	<input type="text" value="0"/> NAY	<input type="text" value="0"/> ABSTAIN	<input type="text" value="0"/> RECUSE	<input type="text" value="3"/> ABSENT/EXCUSED
RESULT:	MOTION: PASSES				

Mr. Lane, Ms. Haupt and Mr. Winder arrived at the meeting.

2. 185-191 Ashford Avenue – A joint meeting with the Board of Trustees & the Architectural & Historic Review Board for site plan review for proposed new multi-use building

Ms. Christina Griffin/Architect, Ms. Suzanne Levine/Project Architect and Mr. Andrew Cortese/Property owner were present to represent the application.

Discussion:

- Ms. Griffin and Ms. Levine discussed the proposed application and displayed the following slides:

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Stephen

RESIDENTIAL BUILDING

185-191 ASHFORD AVENUE, DOBBS PERRY, NY 10522

CHRISTINA GRIFFIN ARCHITECT PC

33 Spring Street, Hastings-on-Hudson, NY 10706



OWNER	ARCHITECT	DATES	LIST OF DRAWINGS
ASHFORD AVENUE APARTMENTS, LLC ANDREW GORTALE 18 PALM JESS ST. SUITE 3100 DOBBS PERRY NY 10522 914-475-4385 ANDREW@CORTERCONSTRUCTION.COM	JOAN DITERS CHRISTINA GRIFFIN ALBED AT DMC 18 SPRING STREET HASTINGS-ON-HUDSON, NY 10706 914-475-0786 CRAG@CARTERCON.COM	REV SUBMISSION 01-14-21 REVISED NOT SUBMITTED 10-16-20 PLANNING BOARD SUBMISSION 10-10-20 PLANNING BOARD SUBMISSION 10-10-20 PLANNING BOARD - NOT REVISOR 01-27-21	A.0 TITLE SHEET, 3D RENDERING, DATES, LIST OF DRAWINGS B.1 ZONING COMPLIANCE B.2 LOCATION MAP, PHOTOS OF EXISTING CONDITIONS C.1 RESIDENTIAL UNIT AREA CALCULATIONS C.2 STREETSCAPE, AERIAL VIEW OF NEIGHBORING PROPERTIES D.1 SITE PLAN D.2 FIRST FLOOR PLAN D.3 SECOND FLOOR PLAN D.4 THIRD FLOOR PLAN D.5 ROOF PLAN D.6 SOUTH ELEVATION D.7 WEST & EAST ELEVATIONS D.8 NORTH ELEVATION



EAST VIEW



WEST VIEW



PHOTOS OF EXISTING CONDITIONS

SCALE: 1/8" = 1'-0"

CGA St

RESIDENTIAL BUILDING AT
185 - 191 ASHFORD AVENUE
DOBBS PERRY, NY 10522

CHRISTINA GRIFFIN ARCHITECT PC
33 Spring Street
Hastings-on-Hudson, New York 10706
914-475-0786
www.craiggriffinarchitect.com

Scale: 1/8" = 1'-0"

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AREA MAP / PHOTOS OF NEIGHBORING PROPERTIES

SCALE: NTS



PHOTOS OF NEIGHBORING PROPERTIES

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DT ZONE - ASHFORD AVE.
 EXAMPLES OF EXISTING BUILDINGS
 SCALE: 1/8"=1'-0"

MIXED-USE BUILDING AT
 185 - 191 ASHFORD AVENUE
 DOBBS FERRY, NY 10322

CONSULTING ENGINEER
 11 Ferry Road
 DOBBS FERRY, NY 10322
 914-467-1234
 www.dobbsferry.com

NO.	DATE	REVISIONS

20
 S-5



MAIN STREET
 VILLAGE OF TUCKAHOE
 INSPIRATION PHOTOS
 SCALE: NTS

RESIDENTIAL BUILDING AT
 185 - 191 ASHFORD AVENUE
 DOBBS FERRY, NY 10322

CONSULTING ENGINEER
 11 Ferry Road
 DOBBS FERRY, NY 10322
 914-467-1234
 www.dobbsferry.com

NO.	DATE	REVISIONS

20
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RESIDENTIAL BUILDING AT
 185 - 191 ASHFORD AVENUE
 DOBBS FERRY, NY 10522

CONSULTING ARCHITECTS
 185-191 ASHFORD AVENUE
 DOBBS FERRY, NY 10522
 516-224-1111
 www.ashfordavenue.com

RESIDENTIAL BUILDING AT
 185 - 191 ASHFORD AVENUE
 DOBBS FERRY, NY 10522

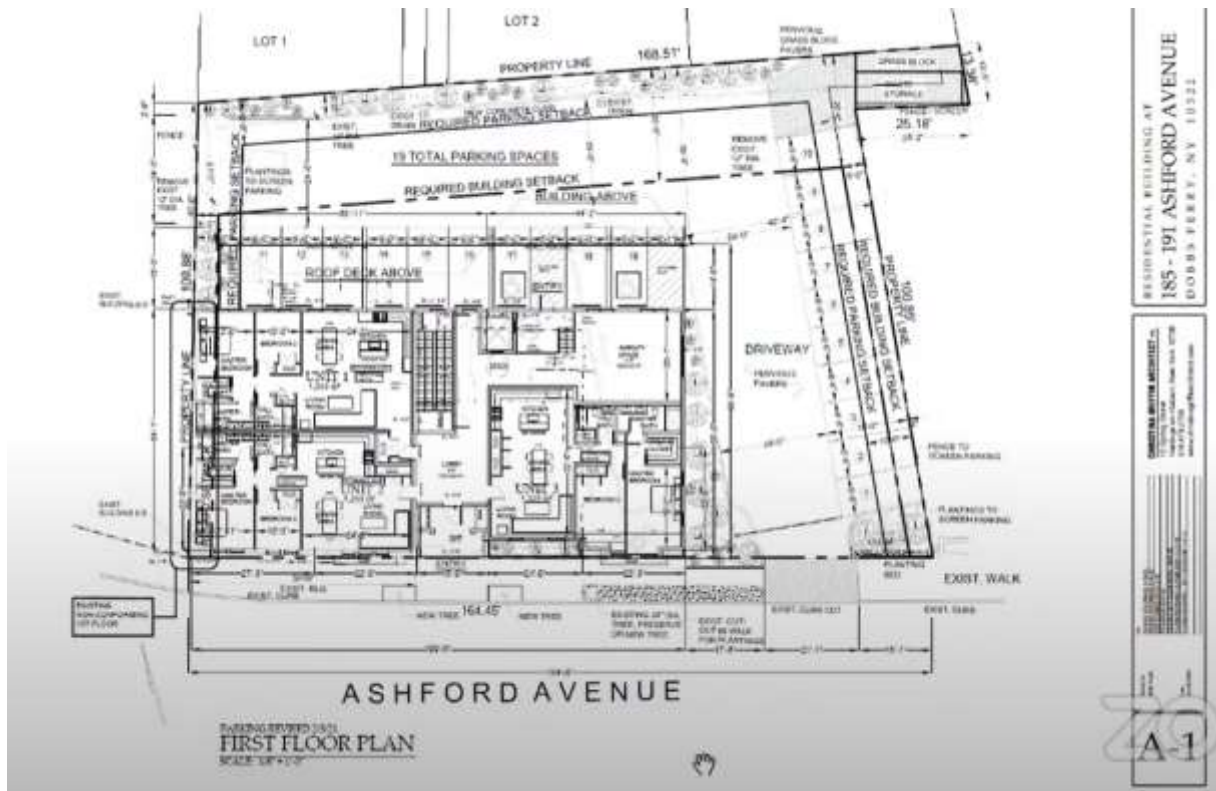
CONSULTING ARCHITECTS
 185-191 ASHFORD AVENUE
 DOBBS FERRY, NY 10522
 516-224-1111
 www.ashfordavenue.com

DEC 14
 2020
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SKETCH of PROPOSED DEVELOPMENT



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Discussion:

- A discussion was held and Ms. Griffin and Ms. Levine addressed questions from the Board.
- Mr. Hale noted that the Traffic Committee submitted a letter to the Planning Board supporting retail for the application.
- Mr. Leins asked for a motion to open the meeting on behalf of the Village Trustees present.

Motion by Trustee Knell, seconded by Deputy Mayor Cassell to open the Trustees joint meeting of the Planning Board, Board of Trustees & the Architectural & Historic Review Board for Site Plan Review for proposed new multi-use building for the application of 185-191 Ashford Avenue.

Roll Call: Deputy Mayor Cassell-Aye; Trustee Daroczy-Aye; Trustee Knell-Aye; Trustee Patino-Aye and Trustee Nicole Sullivan-Aye. Motion passes.

Discussion:

- The discussion continued and Ms. Griffin and Mr. Cortese addressed questions from the Board.
- Chairman Hunter thanked the Trustees for joining the meeting this evening.
- Ms. Griffin thanked the Boards for their time.

Action:

Ms. Dickson said a motion would be necessary to close the Trustees joint meeting.

Mr. Manley asked the Chairman if it's a joint opinion for continuing the joint meeting next month.

Chairman Hunter said he thinks we could have a meeting ourselves and move this along. Chairman Hunter said he thinks we understand what the Trustees concerns are.

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Mr. Lane said he would support another joint meeting and thought it was very helpful. Mr. Lane said the applicant is going to come back would different things, so he would advocate for another joint meeting.

Mr. Manley asked if this would be until a concept is agreed upon.

Mr. Lane said he would suggest one more joint meeting until we have a concept. The Board agreed with Mr. Lane.

Ms. Dickson said if the applicant meets the deadline we will have to publish another special meeting of the Board. Ms. Dickson said she is sure the Building Department will keep us posted as to whether this application meets the deadline and if it does we will get Ms. Dreaper involved and publish another joint meeting.

Motion by Trustee Patino, seconded by Deputy Mayor Cassell to close the Trustees joint meeting of the Planning Board, Board of Trustees & the Architectural & Historic Review Board for Site Plan Review for proposed new multi-use building for the application of 185-191 Ashford Avenue.

Roll Call: Deputy Mayor Cassell-Aye; Trustee Daroczy-Aye; Trustee Knell-Aye; Trustee Patino-Aye and Trustee Nicole Sullivan-Aye. Motion passes and joint meeting closed at 8:05 p.m.

The Board discussed whether there was a study or any statistics regarding having retail businesses in this area.

Mr. Steinschneider said he could address this at the next Chamber of Commerce meeting and see if they have an interest in looking at issues like this.

3. 156 Palisade Street – Public hearing for site plan review for proposed new multi-family building. A joint meeting with the Architectural & Historic Review Board

Mr. Paddy Steinschneider/Gotham Design and Mr. Donald Kim were present to represent the application.

Motion by Chairman Hunter, seconded by Mr. Brosnahan to open the public hearing for the application of 156 Palisade Street, for site plan review for proposed new multi-family building, a joint meeting with the Architectural & Historic Review Board.

CHAIRMAN HUNTER	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
STEPHEN BROSDAHAN	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
ROB LANE	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
ALLEN HALE	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
LAURA HAUPT	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
PETER WINDER, 1ST ALTERNATE MEMBER	<input type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
VOTE TOTALS	<input type="text" value="5"/> AYE	<input type="text" value="0"/> NAY	<input type="text" value="0"/> ABSTAIN	<input type="text" value="0"/> RECUSE	<input type="text" value="0"/> ABSENT/EXCUSED
RESULT:	MOTION: PASSES				

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Discussion:

- Mr. Steinschneider and Mr. Kim discussed the proposed application and displayed the following slides:



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156 PALISADE ST.
DOBBS FERRY, N. Y. 10522

LIST OF PROPERTY OWNERS OTHER THAN THE APPLICANT

NO.	APPLICANT'S ADDRESS	PROPERTY ADDRESS	OWNER'S NAME	PROPERTY TYPE
1	156 Palisade St.	156 Palisade St.	156 Palisade St. LLC	Commercial
2	156 Palisade St.	156 Palisade St.	156 Palisade St. LLC	Commercial
3	156 Palisade St.	156 Palisade St.	156 Palisade St. LLC	Commercial
4	156 Palisade St.	156 Palisade St.	156 Palisade St. LLC	Commercial
5	156 Palisade St.	156 Palisade St.	156 Palisade St. LLC	Commercial
6	156 Palisade St.	156 Palisade St.	156 Palisade St. LLC	Commercial
7	156 Palisade St.	156 Palisade St.	156 Palisade St. LLC	Commercial
8	156 Palisade St.	156 Palisade St.	156 Palisade St. LLC	Commercial
9	156 Palisade St.	156 Palisade St.	156 Palisade St. LLC	Commercial
10	156 Palisade St.	156 Palisade St.	156 Palisade St. LLC	Commercial
11	156 Palisade St.	156 Palisade St.	156 Palisade St. LLC	Commercial
12	156 Palisade St.	156 Palisade St.	156 Palisade St. LLC	Commercial
13	156 Palisade St.	156 Palisade St.	156 Palisade St. LLC	Commercial
14	156 Palisade St.	156 Palisade St.	156 Palisade St. LLC	Commercial
15	156 Palisade St.	156 Palisade St.	156 Palisade St. LLC	Commercial
16	156 Palisade St.	156 Palisade St.	156 Palisade St. LLC	Commercial
17	156 Palisade St.	156 Palisade St.	156 Palisade St. LLC	Commercial
18	156 Palisade St.	156 Palisade St.	156 Palisade St. LLC	Commercial
19	156 Palisade St.	156 Palisade St.	156 Palisade St. LLC	Commercial
20	156 Palisade St.	156 Palisade St.	156 Palisade St. LLC	Commercial
21	156 Palisade St.	156 Palisade St.	156 Palisade St. LLC	Commercial
22	156 Palisade St.	156 Palisade St.	156 Palisade St. LLC	Commercial
23	156 Palisade St.	156 Palisade St.	156 Palisade St. LLC	Commercial
24	156 Palisade St.	156 Palisade St.	156 Palisade St. LLC	Commercial
25	156 Palisade St.	156 Palisade St.	156 Palisade St. LLC	Commercial
26	156 Palisade St.	156 Palisade St.	156 Palisade St. LLC	Commercial
27	156 Palisade St.	156 Palisade St.	156 Palisade St. LLC	Commercial

AERIAL LOCATION MAP
NOT TO SCALE

SITE LOCATION MAP
NOT TO SCALE

LIST OF DRAWINGS

NO.	DRAWING TITLE	DATE	BY	CHKD BY
1	156 Palisade St. - Site Plan	01/27/2021	156 Palisade St. LLC	156 Palisade St. LLC
2	156 Palisade St. - Site Plan	01/27/2021	156 Palisade St. LLC	156 Palisade St. LLC
3	156 Palisade St. - Site Plan	01/27/2021	156 Palisade St. LLC	156 Palisade St. LLC
4	156 Palisade St. - Site Plan	01/27/2021	156 Palisade St. LLC	156 Palisade St. LLC
5	156 Palisade St. - Site Plan	01/27/2021	156 Palisade St. LLC	156 Palisade St. LLC
6	156 Palisade St. - Site Plan	01/27/2021	156 Palisade St. LLC	156 Palisade St. LLC
7	156 Palisade St. - Site Plan	01/27/2021	156 Palisade St. LLC	156 Palisade St. LLC
8	156 Palisade St. - Site Plan	01/27/2021	156 Palisade St. LLC	156 Palisade St. LLC
9	156 Palisade St. - Site Plan	01/27/2021	156 Palisade St. LLC	156 Palisade St. LLC
10	156 Palisade St. - Site Plan	01/27/2021	156 Palisade St. LLC	156 Palisade St. LLC
11	156 Palisade St. - Site Plan	01/27/2021	156 Palisade St. LLC	156 Palisade St. LLC
12	156 Palisade St. - Site Plan	01/27/2021	156 Palisade St. LLC	156 Palisade St. LLC
13	156 Palisade St. - Site Plan	01/27/2021	156 Palisade St. LLC	156 Palisade St. LLC
14	156 Palisade St. - Site Plan	01/27/2021	156 Palisade St. LLC	156 Palisade St. LLC
15	156 Palisade St. - Site Plan	01/27/2021	156 Palisade St. LLC	156 Palisade St. LLC
16	156 Palisade St. - Site Plan	01/27/2021	156 Palisade St. LLC	156 Palisade St. LLC
17	156 Palisade St. - Site Plan	01/27/2021	156 Palisade St. LLC	156 Palisade St. LLC
18	156 Palisade St. - Site Plan	01/27/2021	156 Palisade St. LLC	156 Palisade St. LLC
19	156 Palisade St. - Site Plan	01/27/2021	156 Palisade St. LLC	156 Palisade St. LLC
20	156 Palisade St. - Site Plan	01/27/2021	156 Palisade St. LLC	156 Palisade St. LLC
21	156 Palisade St. - Site Plan	01/27/2021	156 Palisade St. LLC	156 Palisade St. LLC
22	156 Palisade St. - Site Plan	01/27/2021	156 Palisade St. LLC	156 Palisade St. LLC
23	156 Palisade St. - Site Plan	01/27/2021	156 Palisade St. LLC	156 Palisade St. LLC
24	156 Palisade St. - Site Plan	01/27/2021	156 Palisade St. LLC	156 Palisade St. LLC
25	156 Palisade St. - Site Plan	01/27/2021	156 Palisade St. LLC	156 Palisade St. LLC
26	156 Palisade St. - Site Plan	01/27/2021	156 Palisade St. LLC	156 Palisade St. LLC
27	156 Palisade St. - Site Plan	01/27/2021	156 Palisade St. LLC	156 Palisade St. LLC

**DOBBS FERRY PLANNING BOARD DRAFT
NOT FOR CONSTRUCTION**

Submitted for the February 4, 2021 Planning Board

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SITE PLAN

SCALE: 1" = 10'-0"

DATE: 01/27/21

DRAWN BY: J. B. BROWN

CHECKED BY: J. B. BROWN

APPROVED BY: J. B. BROWN

DOBB'S FERRY PLANNING BOARD DRAFT
NOT FOR CONSTRUCTION

TOTAL AREA TABLE				
ITEM	AREA (SQ. FT.)	AREA (SQ. YD.)	PERCENT	TOTAL AREA (SQ. FT.)
LOT 1	10,000	111.11	100%	10,000
LOT 2	10,000	111.11	100%	10,000
LOT 3	10,000	111.11	100%	10,000
LOT 4	10,000	111.11	100%	10,000
LOT 5	10,000	111.11	100%	10,000
LOT 6	10,000	111.11	100%	10,000
LOT 7	10,000	111.11	100%	10,000
LOT 8	10,000	111.11	100%	10,000
LOT 9	10,000	111.11	100%	10,000
LOT 10	10,000	111.11	100%	10,000
LOT 11	10,000	111.11	100%	10,000
LOT 12	10,000	111.11	100%	10,000
LOT 13	10,000	111.11	100%	10,000
LOT 14	10,000	111.11	100%	10,000
LOT 15	10,000	111.11	100%	10,000
LOT 16	10,000	111.11	100%	10,000
LOT 17	10,000	111.11	100%	10,000
LOT 18	10,000	111.11	100%	10,000
LOT 19	10,000	111.11	100%	10,000
LOT 20	10,000	111.11	100%	10,000
LOT 21	10,000	111.11	100%	10,000
LOT 22	10,000	111.11	100%	10,000
LOT 23	10,000	111.11	100%	10,000
LOT 24	10,000	111.11	100%	10,000
LOT 25	10,000	111.11	100%	10,000
LOT 26	10,000	111.11	100%	10,000
LOT 27	10,000	111.11	100%	10,000
LOT 28	10,000	111.11	100%	10,000
LOT 29	10,000	111.11	100%	10,000
LOT 30	10,000	111.11	100%	10,000
LOT 31	10,000	111.11	100%	10,000
LOT 32	10,000	111.11	100%	10,000
LOT 33	10,000	111.11	100%	10,000
LOT 34	10,000	111.11	100%	10,000
LOT 35	10,000	111.11	100%	10,000
LOT 36	10,000	111.11	100%	10,000
LOT 37	10,000	111.11	100%	10,000
LOT 38	10,000	111.11	100%	10,000
LOT 39	10,000	111.11	100%	10,000
LOT 40	10,000	111.11	100%	10,000
LOT 41	10,000	111.11	100%	10,000
LOT 42	10,000	111.11	100%	10,000
LOT 43	10,000	111.11	100%	10,000
LOT 44	10,000	111.11	100%	10,000
LOT 45	10,000	111.11	100%	10,000
LOT 46	10,000	111.11	100%	10,000
LOT 47	10,000	111.11	100%	10,000
LOT 48	10,000	111.11	100%	10,000
LOT 49	10,000	111.11	100%	10,000
LOT 50	10,000	111.11	100%	10,000
LOT 51	10,000	111.11	100%	10,000
LOT 52	10,000	111.11	100%	10,000
LOT 53	10,000	111.11	100%	10,000
LOT 54	10,000	111.11	100%	10,000
LOT 55	10,000	111.11	100%	10,000
LOT 56	10,000	111.11	100%	10,000
LOT 57	10,000	111.11	100%	10,000
LOT 58	10,000	111.11	100%	10,000
LOT 59	10,000	111.11	100%	10,000
LOT 60	10,000	111.11	100%	10,000
LOT 61	10,000	111.11	100%	10,000
LOT 62	10,000	111.11	100%	10,000
LOT 63	10,000	111.11	100%	10,000
LOT 64	10,000	111.11	100%	10,000
LOT 65	10,000	111.11	100%	10,000
LOT 66	10,000	111.11	100%	10,000
LOT 67	10,000	111.11	100%	10,000
LOT 68	10,000	111.11	100%	10,000
LOT 69	10,000	111.11	100%	10,000
LOT 70	10,000	111.11	100%	10,000
LOT 71	10,000	111.11	100%	10,000
LOT 72	10,000	111.11	100%	10,000
LOT 73	10,000	111.11	100%	10,000
LOT 74	10,000	111.11	100%	10,000
LOT 75	10,000	111.11	100%	10,000
LOT 76	10,000	111.11	100%	10,000
LOT 77	10,000	111.11	100%	10,000
LOT 78	10,000	111.11	100%	10,000
LOT 79	10,000	111.11	100%	10,000
LOT 80	10,000	111.11	100%	10,000
LOT 81	10,000	111.11	100%	10,000
LOT 82	10,000	111.11	100%	10,000
LOT 83	10,000	111.11	100%	10,000
LOT 84	10,000	111.11	100%	10,000
LOT 85	10,000	111.11	100%	10,000
LOT 86	10,000	111.11	100%	10,000
LOT 87	10,000	111.11	100%	10,000
LOT 88	10,000	111.11	100%	10,000
LOT 89	10,000	111.11	100%	10,000
LOT 90	10,000	111.11	100%	10,000
LOT 91	10,000	111.11	100%	10,000
LOT 92	10,000	111.11	100%	10,000
LOT 93	10,000	111.11	100%	10,000
LOT 94	10,000	111.11	100%	10,000
LOT 95	10,000	111.11	100%	10,000
LOT 96	10,000	111.11	100%	10,000
LOT 97	10,000	111.11	100%	10,000
LOT 98	10,000	111.11	100%	10,000
LOT 99	10,000	111.11	100%	10,000
LOT 100	10,000	111.11	100%	10,000

155 PALSADE STREET
DOBB'S FERRY, NEW YORK 10286

GOTHAM DESIGN
LANDSCAPE ARCHITECTS

200 Broadway
New York, NY 10002
Phone: (212) 693-0000
Fax: (212) 693-0001
www.gothamdesign.com

DATE: 01/27/21
DRAWN BY: J. B. BROWN
CHECKED BY: J. B. BROWN
APPROVED BY: J. B. BROWN

SP-1

**DOBB'S FERRY PLANNING BOARD DRAFT
NOT FOR CONSTRUCTION**

Presented at the February 4, 2021 Planning Board

DRAFT MINUTES – NOT TO BE USED AS OFFICIAL DOCUMENT

2020-2021 FUND BALANCE TABLE				
FUND BALANCE TABLE - FUND BALANCE BY FUND				
FUND BALANCE TABLE - FUND BALANCE BY FUND				
FUND	GENERAL FUND	DEVELOPMENTAL FUND	EDUCATION FUND	OTHER FUNDS
GENERAL FUND	1001	1002	1003	1004
DEVELOPMENTAL FUND	1005	1006	1007	1008
EDUCATION FUND	1009	1010	1011	1012
OTHER FUNDS	1013	1014	1015	1016
GRAND TOTAL	1017	1018	1019	1020
GRAND TOTAL	1021	1022	1023	1024
GRAND TOTAL	1025	1026	1027	1028
GRAND TOTAL	1031	1032	1033	1034
GRAND TOTAL	1035	1036	1037	1038
GRAND TOTAL	1041	1042	1043	1044
GRAND TOTAL	1045	1046	1047	1048
GRAND TOTAL	1051	1052	1053	1054
GRAND TOTAL	1055	1056	1057	1058
GRAND TOTAL	1061	1062	1063	1064
GRAND TOTAL	1065	1066	1067	1068
GRAND TOTAL	1071	1072	1073	1074
GRAND TOTAL	1075	1076	1077	1078
GRAND TOTAL	1081	1082	1083	1084
GRAND TOTAL	1085	1086	1087	1088
GRAND TOTAL	1091	1092	1093	1094
GRAND TOTAL	1095	1096	1097	1098
GRAND TOTAL	1101	1102	1103	1104
GRAND TOTAL	1105	1106	1107	1108
GRAND TOTAL	1111	1112	1113	1114
GRAND TOTAL	1115	1116	1117	1118
GRAND TOTAL	1121	1122	1123	1124
GRAND TOTAL	1125	1126	1127	1128
GRAND TOTAL	1131	1132	1133	1134
GRAND TOTAL	1135	1136	1137	1138
GRAND TOTAL	1141	1142	1143	1144
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GRAND TOTAL	1161	1162	1163	1164
GRAND TOTAL	1165	1166	1167	1168
GRAND TOTAL	1171	1172	1173	1174
GRAND TOTAL	1175	1176	1177	1178
GRAND TOTAL	1181	1182	1183	1184
GRAND TOTAL	1185	1186	1187	1188
GRAND TOTAL	1191	1192	1193	1194
GRAND TOTAL	1195	1196	1197	1198
GRAND TOTAL	1201	1202	1203	1204
GRAND TOTAL	1205	1206	1207	1208
GRAND TOTAL	1211	1212	1213	1214
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GRAND TOTAL	1955	1956	1957	1958
GRAND TOTAL	1961	1962	1963	1964
GRAND TOTAL	1965	1966	1967	1968
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GRAND TOTAL	1991	1992	1993	1994
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GRAND TOTAL	2001	2002	2003	2004
GRAND TOTAL	2005	2006	2007	2008
GRAND TOTAL	2011	2012	2013	2014
GRAND TOTAL	2015	2016	2017	2018
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GRAND TOTAL	2025	2026	2027	2028
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GRAND TOTAL	2101	2102	2103	2104
GRAND TOTAL	2105	2106	2107	2108
GRAND TOTAL	2111	2112	2113	2114
GRAND TOTAL	2115	2116	2117	2118
GRAND TOTAL	2121	2122	2123	2124
GRAND TOTAL	2125	2126	2127	2128
GRAND TOTAL	2131	2132	2133	2134
GRAND TOTAL	2135	2136	2137	2138
GRAND TOTAL	2141	2142	2143	2144
GRAND TOTAL	2145	2146	2147	2148
GRAND TOTAL	2151	2152	2153	2154
GRAND TOTAL	2155	2156	2157	2158
GRAND TOTAL	2161	2162	2163	2164
GRAND TOTAL	2165	2166	2167	2168
GRAND TOTAL	2171	2172	2173	2174
GRAND TOTAL	2175	2176	2177	2178
GRAND TOTAL	2181	2182	2183	2184
GRAND TOTAL	2185	2186	2187	2188
GRAND TOTAL	2191	21		

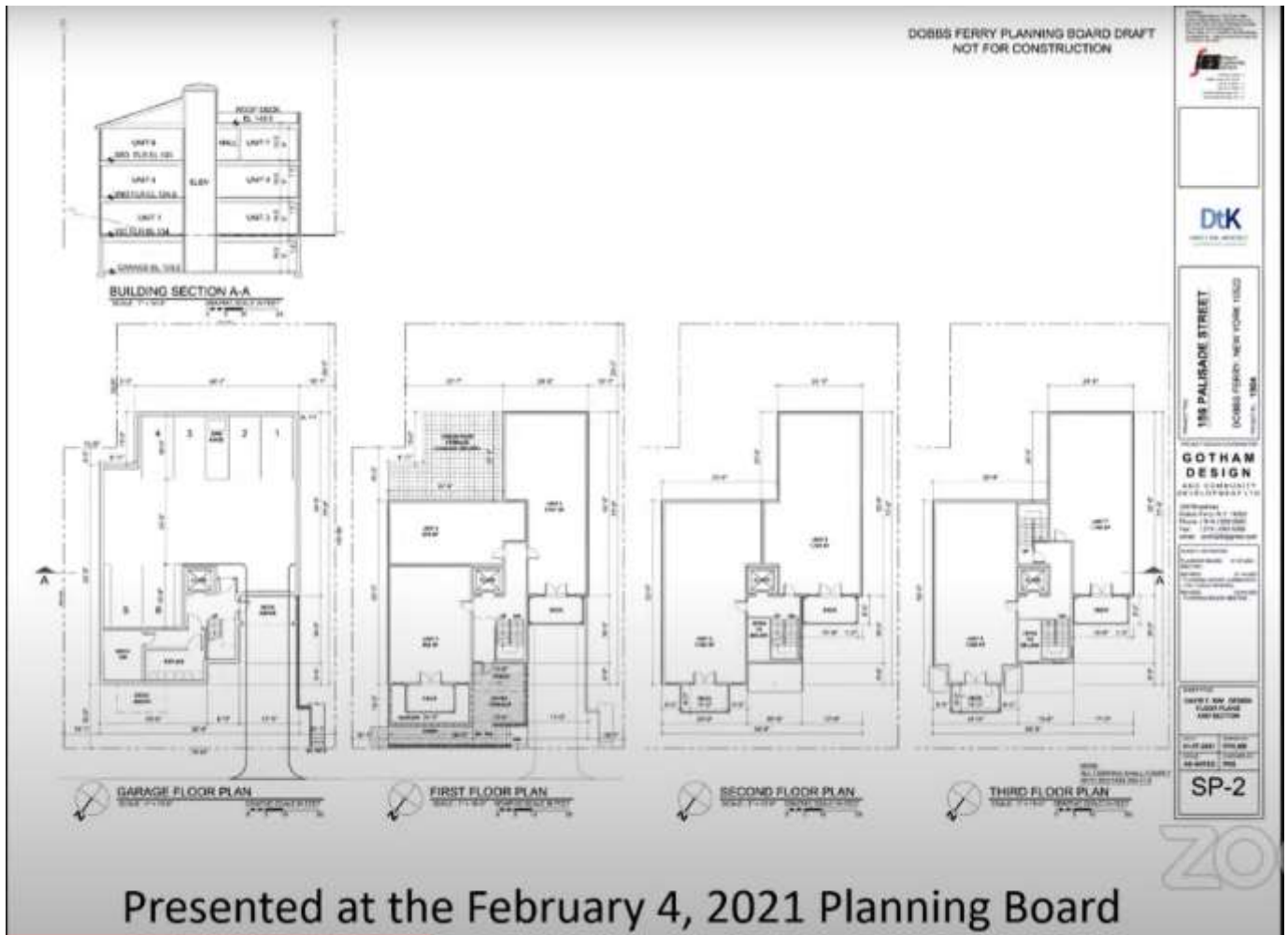
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BUILDING COVERAGE TABLE			
	UNITS	EXISTING	PROPOSED
EXISTING HOUSE	SQ.FT.	1,287	
EXISTING METAL SHEEDS	SQ.FT.	175	
TOTAL EXISTING		1,472	
TOTAL EXISTING BUILDING COVERAGE		1,472 / 8,875 = 16.57 %	
PROPOSED GARAGE	SQ.FT.	3,700	42 % OF LOT
PROPOSED FIRST FLOOR	SQ.FT.	3,000	34.8 % OF LOT
PROPOSED PORCH	SQ.FT.	52	1.06 % OF LOT
PROPOSED DECKS	SQ.FT.	238	2.72 % OF LOT

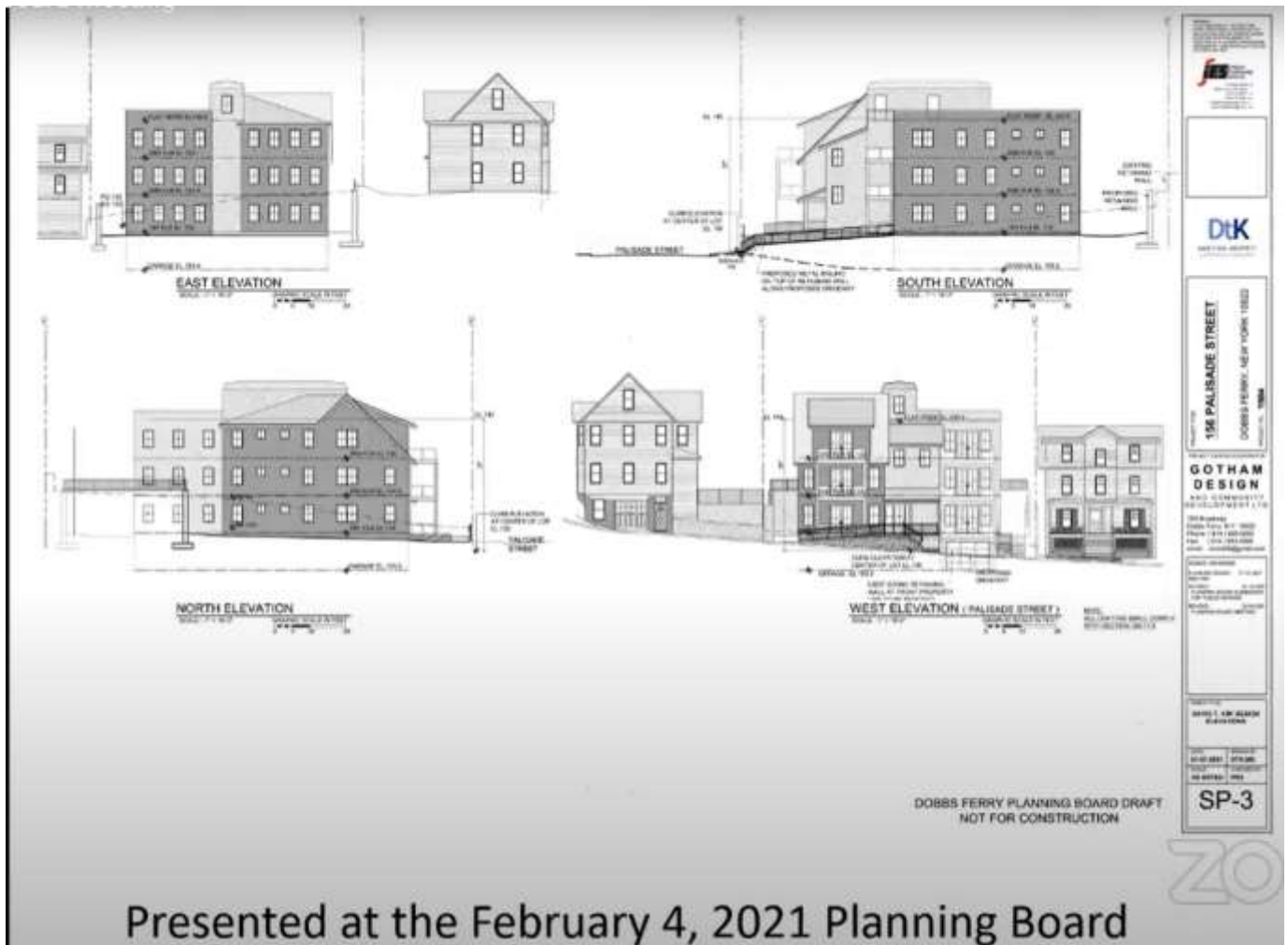
IMPERVIOUS COVERAGE TABLE			
	UNITS	EXISTING	PROPOSED
HOUSE	SQ.FT.	1,287	
METAL SHEEDS	SQ.FT.	175	
WALKS AND STEPS	SQ.FT.	529	
RETAINING WALLS	SQ.FT.	403	
TOTAL EXISTING		2,445	
TOTAL EXISTING IMPERVIOUS COVERAGE		2,445 / 8,875 = 28.18 %	
EXISTING RETAINING WALLS TO REMAIN	SQ.FT.		238
PROPOSED BUILDING	SQ.FT.		3,700
PROPOSED PORCHES / DECKS	SQ.FT.		338
PROPOSED RAMP	SQ.FT.		174
PROPOSED RETAINING WALLS	SQ.FT.		479
PROPOSED ENTRY TERRACE AND STEPS	SQ.FT.		377
PROPOSED WALK AND STEPS	SQ.FT.		380
PROPOSED DRIVEWAY	SQ.FT.		430
		TOTAL PROPOSED	
		5,898 / 8,875 = 67.16 %	

Presented at the February 4, 2021 Planning Board

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Presented at the February 4, 2021 Planning Board

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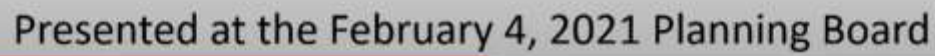
Presented at the February 4, 2021 Planning Board



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Discussion:

- The discussion continued and Mr. Steinschneider and Mr. Kim addressed questions from the Board.

Motion by Chairman Hunter, seconded by Mr. Hale to open the public hearing for the application of 156 Palisade Street, for site plan review for proposed new multi-family building, a joint meeting with the Architectural & Historic Review Board.

CHAIRMAN HUNTER	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
STEPHEN BROSNAHAN	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
ROB LANE	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
ALLEN HALE	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
LAURA HAUPT	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
PETER WINDER, 1ST ALTERNATE MEMBER	<input type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
VOTE TOTALS	<input type="text" value="5"/> AYE	<input type="text" value="0"/> NAY	<input type="text" value="0"/> ABSTAIN	<input type="text" value="0"/> RECUSE	<input type="text" value="0"/> ABSENT/EXCUSED
RESULT:	MOTION: PASSES				

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Discussion:

- The following people addressed the Board regarding the proposed application: Ms. Denise Woodin/154 Palisade Street; and Mr. Glenn Varcasia/Property owner of 154 Palisade Street.
- Chairman Hunter thanked the speakers for their views.
- The discussion continued and Mr. Steinschneider addressed questions from the Board.

Action:

Motion by Chairman Hunter, seconded by Mr. Brosnahan to adjourn the public hearing for the application of 156 Palisade Street, for site plan review for proposed new multi-family building, a joint meeting with the Architectural & Historic Review Board, to March 4, 2021.

CHAIRMAN HUNTER	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
STEPHEN BROSNAHAN	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
ROB LANE	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
ALLEN HALE	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
LAURA HAUPT	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
PETER WINDER, 1ST ALTERNATE MEMBER	<input type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
VOTE TOTALS	<div><div>5</div> AYE</div>	<div><div>0</div> NAY</div>	<div><div>0</div> ABSTAIN</div>	<div><div>0</div> RECUSE</div>	<div><div>0</div> ABSENT/EXCUSED</div>
RESULT:	MOTION: PASSES				

4. 189 Broadway- Continuation of pre-submission conference for proposed minor subdivision & new town houses

The following correspondence was received:

Ms. Patricia Turken submitted the following letter dated February 4, 2021:

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February 4, 2021

Dobbs Ferry Planning Board Agenda Item number 4

**4.189 Broadway – Continuation of Pre-submission Conference for
Proposed Minor Subdivision & New Townhouses**

To the Dobbs Ferry Planning Board:

**As a 29-year resident of Dobbs Ferry and currently living at 191 Broadway,
an abutter to this proposal, I'm opposed to this development.**

**Dobbs Ferry has developed at least 4-5 new condo and/or town home
developments in the past 5 years that I'm aware of.**

**We don't have any affordable housing in Dobbs Ferry to my knowledge. If
we do, please put in the next Mayor's newsletter, so we can consider it.**

**This beautiful open-space lawn with vista toward the Palisades, next to the
most charming yellow house in Dobbs Ferry at 189 Broadway would be
ruined by this proposed development. Isn't it true that the residence is
already receiving rental income from its multi-units?**

**Do we want to become like Yonkers? They destroyed the corridor on
Warburton Ave. between the border of Hastings and Odell Ave. and south.**

**Part of the reason people move to our Village is for its unspoiled beauty
and charm with open space and views.**

**A lot of landowners want to capitalize on the Hudson River views and mass
exodus from NYC due to Covid-19.**

**We don't have the downtown and infrastructure to support more multi-unit
dwellings.**

Dobbs Ferry does not need any more Townhouses for the wealthy.

Respectfully submitted,

**Patricia Turken
191 Broadway, 4D
Dobbs Ferry, NY 10522**

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Ms. Marian Ferrer submitted the following e-mail dated February 3, 2021:

From: dfpottery@aol.com [mailto:dfpottery@aol.com]
Sent: Wednesday, February 3, 2021 10:12 AM
To: Liz Dreaper <ldreaper@dobbsferry.com>
Subject: RE: RE: 189broadway protest

[EXTERNAL] This email is from outside the Village of Dobbs Ferry - Please use caution when opening links and attachments!

Thank you. Is it possible to again forward my 12/27/20 e mail to board members since 189 was not on the Jan agenda? Just a reminder to my concerns having skipped a month.

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Liz Dreaper

From: dfpottery@aol.com
Sent: Sunday, December 27, 2020 10:46 AM
To: Liz Dreaper
Subject: Fwd: RE: 189broadway protest

[EXTERNAL] This email is from outside the Village of Dobbs Ferry - Please use caution when opening links and attachments!

From: dfpottery <dfpottery@aol.com>
Date: Sunday, December 27, 2020
Subject: RE: 189broadway protest
To: dfpottery <dfpottery@aol.com>

Some questions regarding December board meeting from marian ferrer 191 broadway 11.

1. Javier continually refers to the right to develop 27% of property. The problem for me is that it looks like he is planning on 50% of the property with the Howell three family house, carport and yard the other half. The thick wall of new buildings, driveway and necessary walkways leaves no room for patios or open space. What is this 27%, and how was 3 townhouses and now 5 within that limit?

2. Howells house is clearly special as architecture goes, not traditionally Victorian. One like it in Irvington by the river. It has flowing lines, a jumble of levels and shapes, two stories at various levels, a wrap-around porch unifying its style and grace. Javier will bring the overwhelming wall of sussex hall right up to the house, ponderous at three stories, hard lined, cutting off the house, destroying the flow and lightness. Putting the house in shadow and cutting off all their privacy

3. Although the driveway will be wide enough between sussex and development for firetrucks, the driveway goes nowhere. There is no circle or turnaround for the trucks to move away from a fire in either building. Also, no way for fire trucks to reach back of sussex hall. I thought a circle was required.

4. The land behind sussex falls into a sloping hill. Will it withstand development? Is it structurally sound enough for townhouses and is there, in fact, enough space for walkways buildings, driveway? How will such development effect houses below? I remember land collapsing in rain on the Livingston development.

5 I repeat my concern of totally blocked windows of our nine apartments, Lack of natural light, exhaust fumes and noise. The new development and house will experience the exact same concerns. Will these houses sell in such a cramped

Situation, or will they sit empty? Tarrytown developments offer much more open space. If people are buying for the school district, this will not draw children.

Please share my concerns with board members for the next meeting. Thank you and happy holidays.

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On Thursday, December 3, 2020 dfpottery <dfpottery@aol.com> wrote:

I sent an email letter to pat harney last week and was told it would be distributed to board for tonight's zoom meeting. Could you let me know if this was processed. Marian ferrer at 191broadway.

Dfpottery@aol.com

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Mr. Clifford Davis submitted the following letter dated February 3, 2021:

CLIFFORD L. DAVIS
ATTORNEY AT LAW
202 MAMARONECK AVENUE
THIRD FLOOR
WHITE PLAINS, NEW YORK 10601-5301
—
(914) 781-1003 • FAX: (914) 997-8829
cdavis@clifforddavis.com
www.clifforddavis.com

February 3, 2021

Honorable Stephen Hunter
and Honorable Members of the Village of Dobbs Ferry Planning Board
112 Main Street
Dobbs Ferry, NY 10522

Re: 189 Broadway Application

Dear Chairman Hunter and Honorable Members of the Planning Board,

I am counsel for the owner of 191 Broadway, Dobbs Ferry, historic Sussex Hall, adjacent to 189 Broadway, Dobbs Ferry, New York. We further submit this letter in opposition to this Application for a vague three lot subdivision, one lot is the existing house, and the other two lots appear to contain 2-3 family houses.

Incredibly, the Applicant submits limited information to this Board, despite clear direction from the Board showing how the subdivision would be created. It is also discourteous to my client that it has to guess what the Applicant is thinking before the meeting, without giving a proper opportunity to address a proposed plan.

The renderings reinforce that the proposed structures will create a canyon adjacent to my client's property and continually block multiple tenant views, as previously stated in my prior letters. The drawings further confirm that 191 Broadway is surrounded on all sides by this project.

The agenda refers to a minor subdivision and townhouses. Those are inconsistent terms. If two or three family dwellings are proposed that requires a three lot subdivision (the existing house and the proposed developments); if a town house is still proposed there needs to be a subdivision for each unit as each unit of a townhouse must be on a separate lot, together with the existing house. Zoning Code Section 300-15.B.2(e). Nor is this a minor lot line adjustment, but an application for what should be a subdivision.

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What appears to be created is a flag pole lot in Lot B. Pursuant to Zoning Code Section 300-33 the access strip must be a minimum of 25 feet in width. It appears that the Applicant does not meet that 25 feet width requirement. Nor does Lot B meet the front yard setback of 20 feet. Applicant's plans only provide 16 feet. Lot A also requires a front yard requirement of 20 feet, but only provides 15 feet. Additionally, without creating actual subdivision lines it is impossible to tell if there is compliance with all requirements. Notably, Applicant's plans do not even recognize that Lot B is a flag lot, which is never beneficial to a community, but recognizes a developer trying to squeeze profits.

Recognizing that flag lots are disfavored Zoning Code Section 300-33.B(2)(c) and (d) give this Board the authority to require the access strip to be suitably landscaped to screen the access strip from adjacent properties (191 Broadway) and to impose any other measures to protect adjacent neighbors. The Applicant has failed to do this and cannot do this as proposed.

It is also unclear as to whether Lot A is relying on the access strip of Lot B. It appears that if so it is not permitted. Pursuant to Zoning Code Section 300-33.B(3)(c) the lots can only share the access strip (the flag pole) if both lots had been previously subdivided or were separate parcels existing on September 15, 1987. There is only one parcel here; accordingly, proposed lots A and B cannot share the access strip.¹

The Zoning compliance issues need to be reviewed by the Building Department. That the Applicant is relying on obtaining area variances and on obtaining a flag pole lot demonstrates poor planning and trying to squeeze a round peg into a square hole; it just does not fit.

This Board has continually raised issues, as did my prior letters, as to the impact on Sussex Hall. The plans evidence the impact to Sussex Hall.

The plans, in color and 3D, show they will negatively impact Sussex Hall. They create deep shadowed canyons between the two developments. The plans still reflect the garages facing Sussex Hall. Why would Sussex Hall want to look at these two garages and parking spaces? The garages should face in the other direction. The newly revised plans demonstrate that the units will

¹

It is unclear what Lot C the Applicant is referring to.

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significantly block numerous views of tenants of this historical building. This is why flag lots should be avoided.

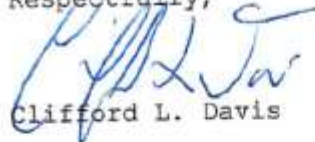
It is unclear whether the Applicants are still pursuing roof top solar panels. This needs to be clarified and we are opposed to Sussex Hall tenants looking at these solar panels.

Do these units still have roof decks which would face the tenants of Sussex Hall? If so, this will cause tenants at Sussex Hall to lose precious privacy. It is absurd that the Applicants, who wish to squeeze extra units out of this site, must do so at the expense of Sussex House tenants, who have enjoyed their views since in or about 1930. The Applicants have not explained why they cannot be a good neighbor, but instead seek to harm tenants at Sussex House, and diminish the value of that property. The Applicants have no absolute right to maximize their profits at the expense of its historical neighbor and impact negatively so many tenants.

The Applicant has had an additional month to submit proper drawings to this Board. It is respectfully submitted that the Applicant should not be permitted to do so at the last second, not in compliance with this Board's rules.

Again, our analysis is only preliminary in its breadth at this time as we expect the Planning Board, consistent with its comments, to greatly limit this development.

Respectfully,



Clifford L. Davis

Discussion:

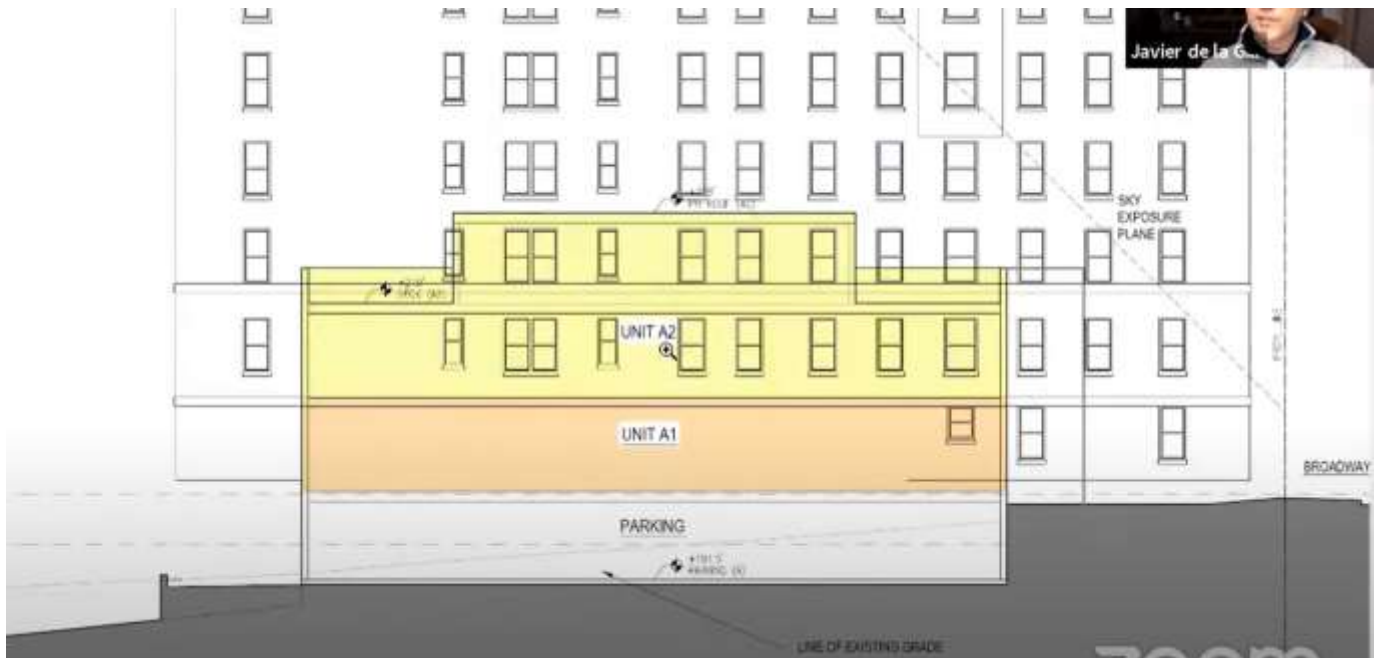
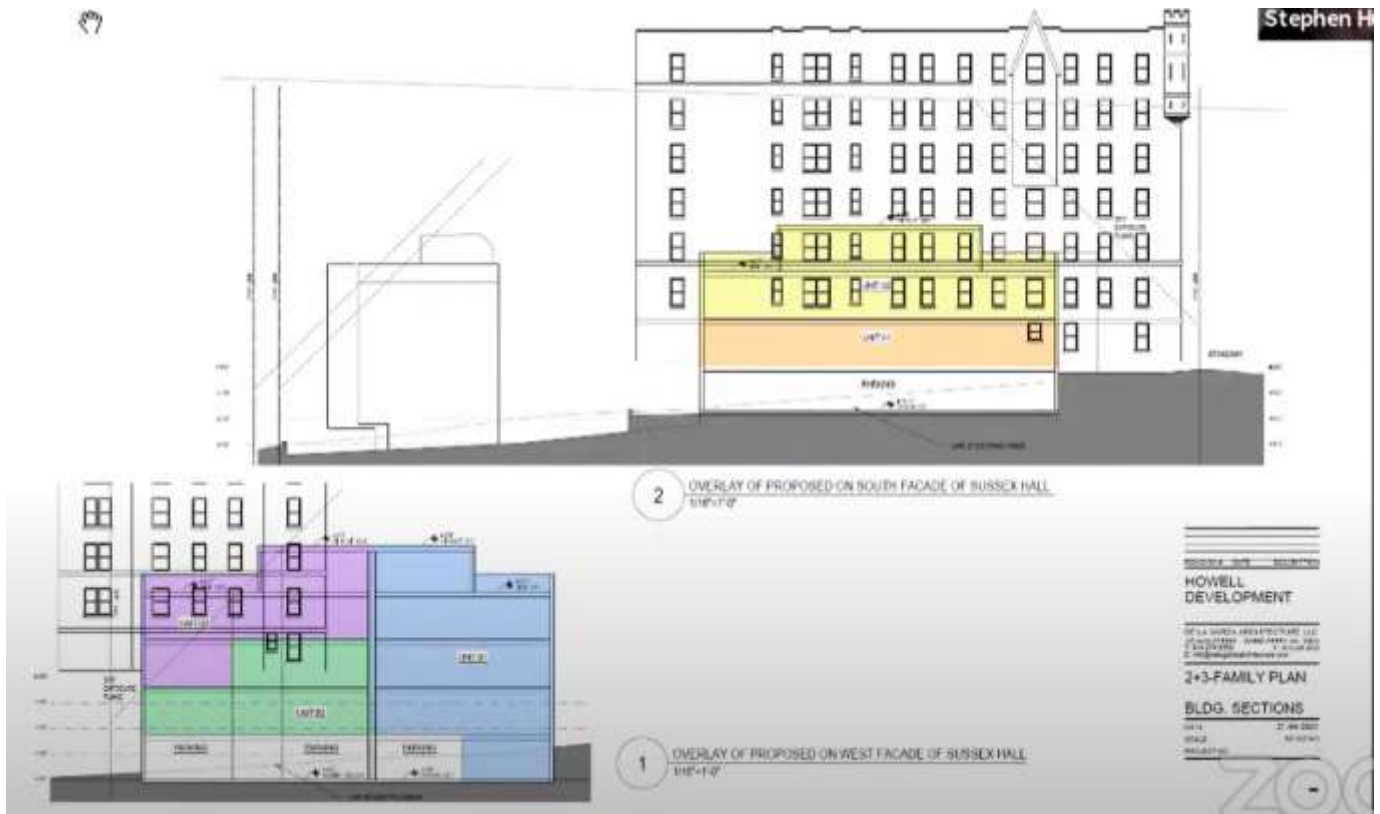


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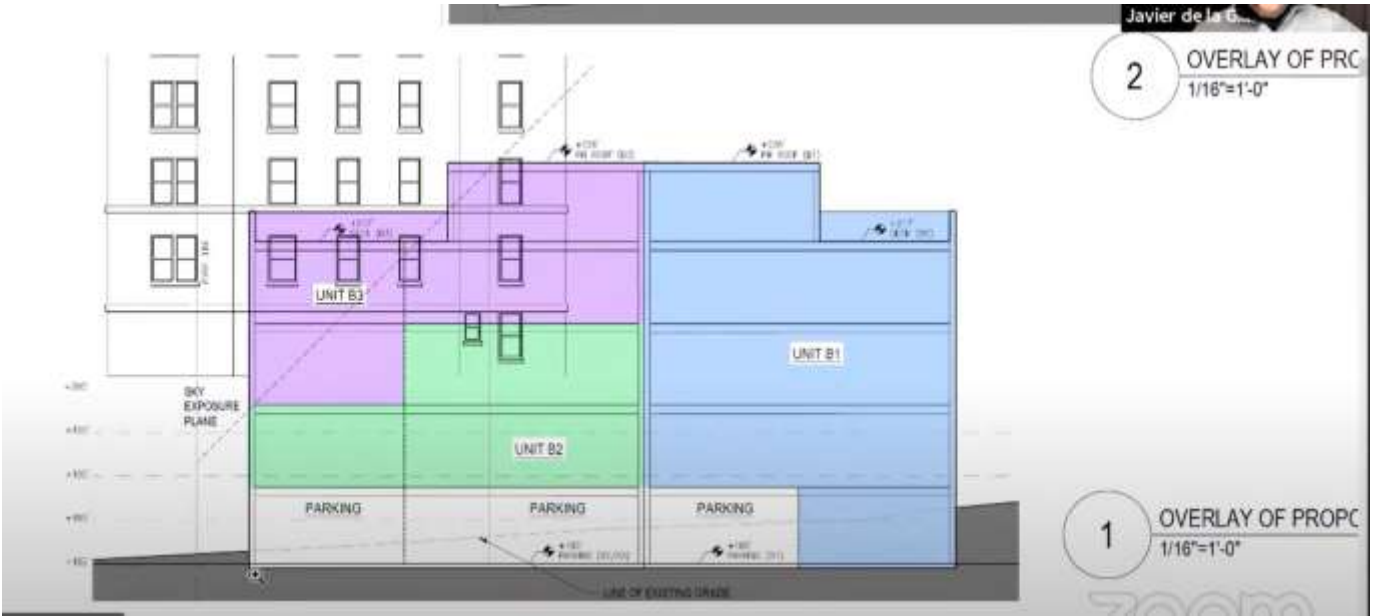




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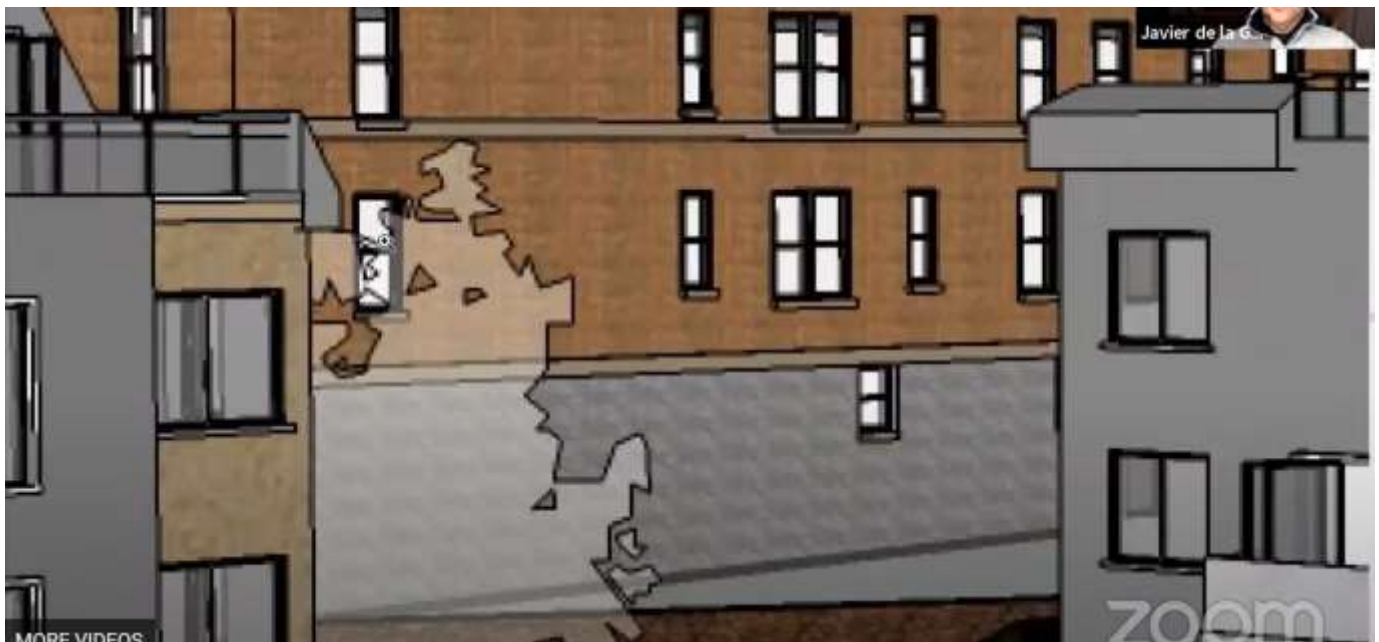
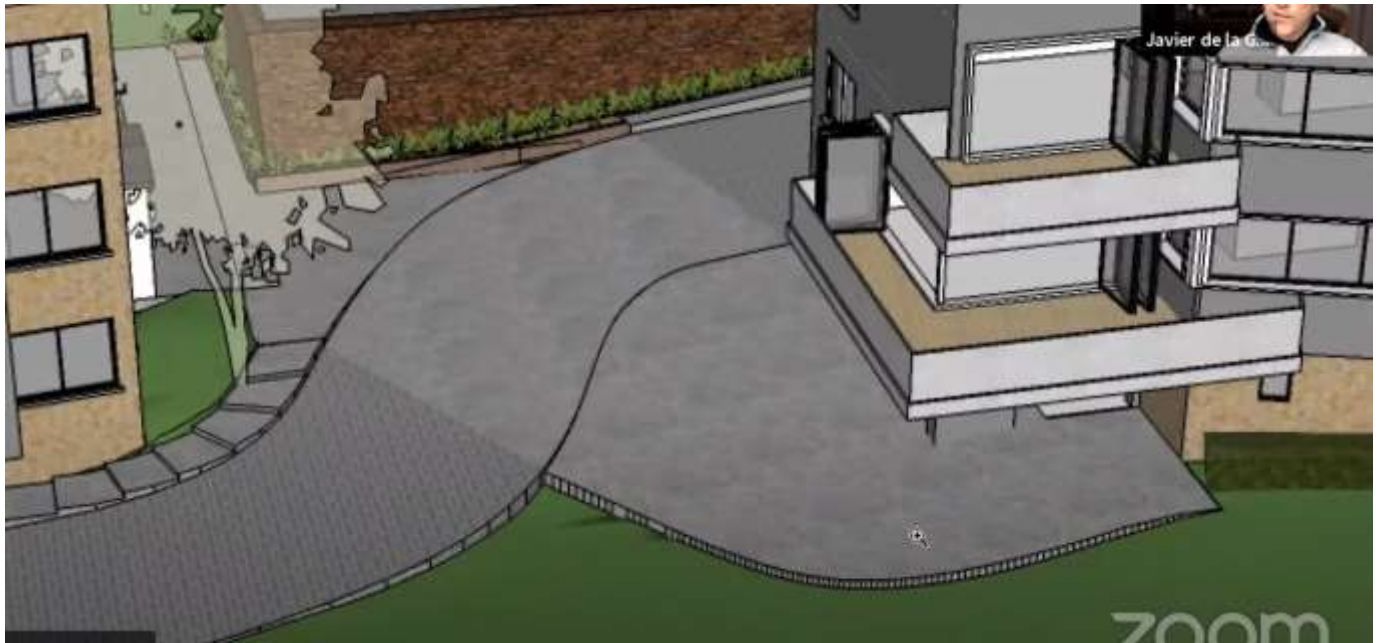
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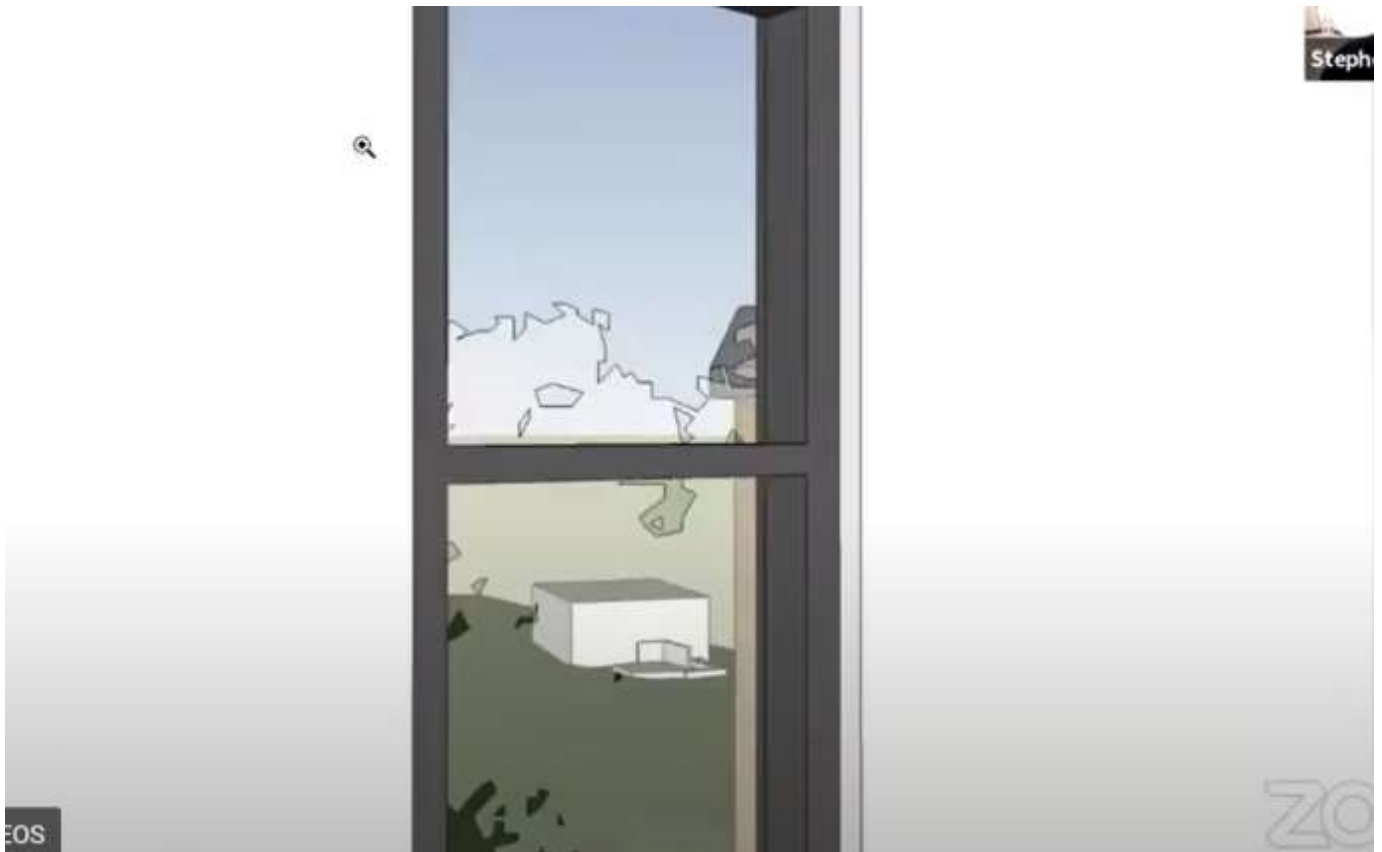
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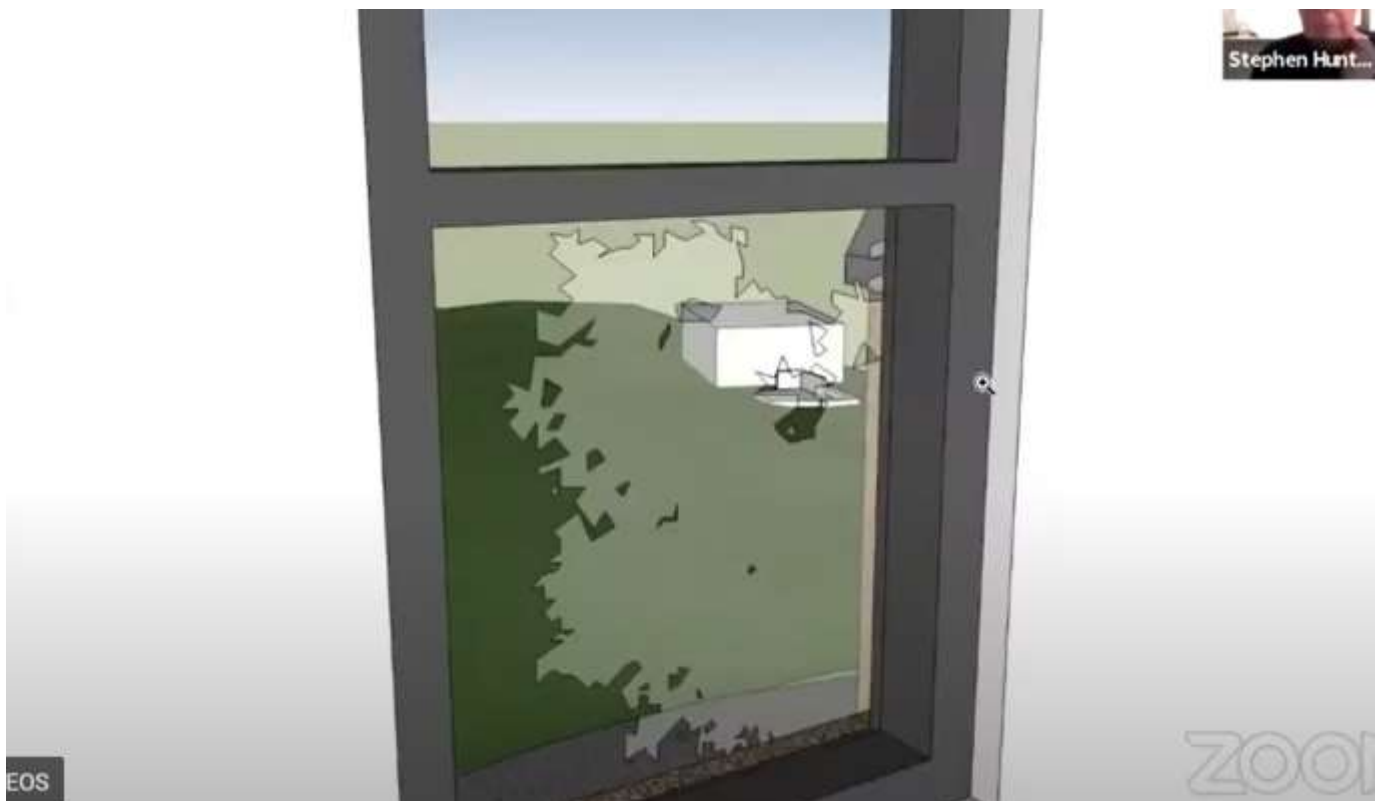
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Discussion:

- A discussion was held and Mr. De La Garza addressed questions from the Board.
- Mr. De La Garza said he will be in touch with Mr. Manley and Mr. Pommer regarding some of the site issues.
- Mr. Manley asked for a more complete set of plans for the zoning review and we can see if we can move forward with this design.
- Ms. Haupt asked who responds to any questions that are raised in correspondence that is received. Mr. Pozin said all correspondence is sent to the applicant as well so if there are issues that they have to respond to they will take those into account.
- Mr. De La Garza discussed amendments that were made in response to issues sent in correspondences.

Action:

Chairman Hunter said the pre-submission conference for the application of 189 Broadway for proposed minor subdivision and new town houses will be continued to the next meeting on March 4, 2021.

5. 253 Palisade Avenue – Public hearing for site plan review for proposed new retaining walls

Chairman Hunter said he is going to recuse himself because the property is adjacent to his property.

Chairman Hunter has left the meeting and Mr. Brosnahan is the Acting Chairman.

Motion by Mr. Brosnahan, seconded by Mr. Hale to open the public hearing for the application of 253 Palisade Avenue for site plan review for proposed new retaining walls.

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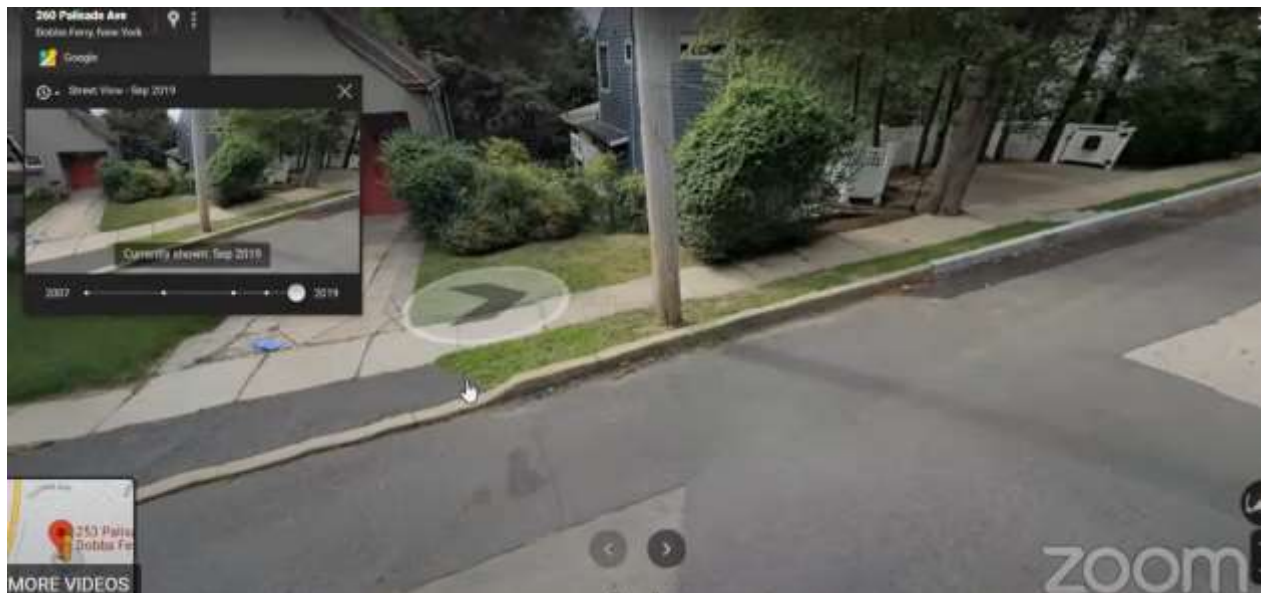
CHAIRMAN HUNTER	<input type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input checked="" type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
STEPHEN BROSNAHAN	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
ROB LANE	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
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LAURA HAUPT	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
PETER WINDER, 1ST ALTERNATE MEMBER	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
VOTE TOTALS	5 AYE	0 NAY	0 ABSTAIN	1 RECUSE	0 ABSENT/EXCUSED
RESULT:	MOTION: PASSES				

Mr. Ubadah Abdullah/Hudson Engineering and Mr. Zack Roth/Property owner were present to represent the application.

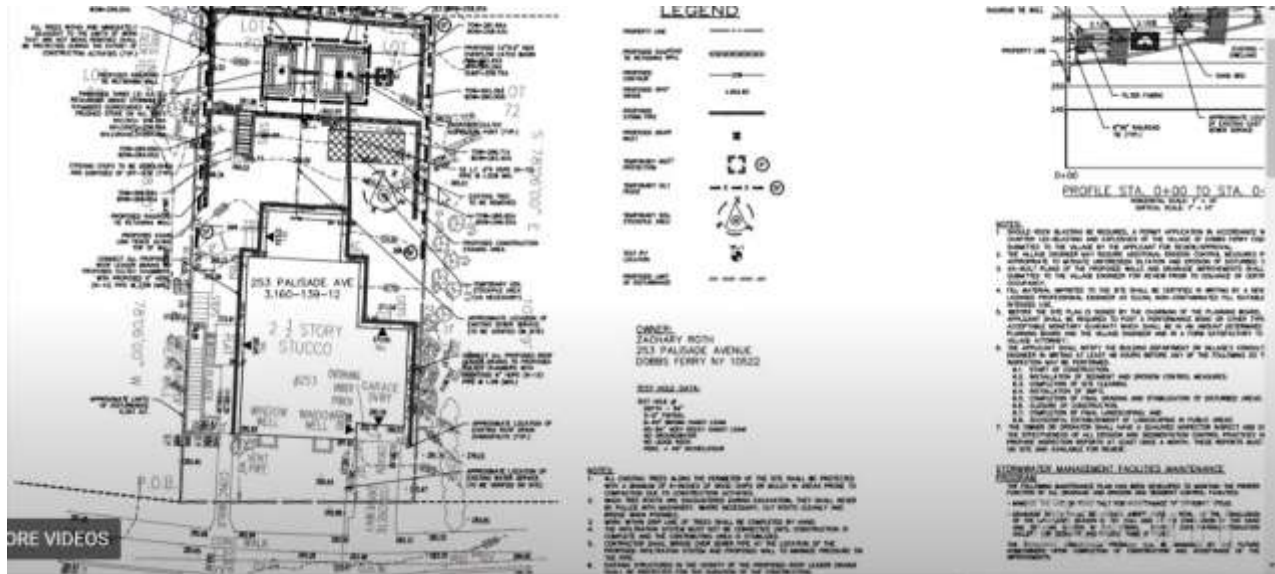
Discussion:

- Mr. Abdullah said they have addressed all the comments from Mr. Pommer's office.
- The Board said they did not have any additional comments.
- The following people addressed the Board regarding the proposed application: Mr. Mark Hefter/255 Palisade Avenue
- Mr. Manley noted that Mr. Pommer has looked at Hudson Engineering's site plan for this project and water retention plans.
- Mr. Pommer said he spoke with Hudson Engineering today and they are going to add a note to the plan that indicates that if the driveway lip is less than the maximum they were going to adjust it accordingly.

The following slides were displayed:



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Action:

Motion by Mr. Brosnahan, seconded by Mr. Hale to close the public hearing for the application of 253 Palisade Avenue for site plan review for proposed new retaining walls.

CHAIRMAN HUNTER	<input type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input checked="" type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
STEPHEN BROSNAHAN	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
ROB LANE	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
ALLEN HALE	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
LAURA HAUPT	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
PETER WINDER, 1ST ALTERNATE MEMBER	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
VOTE TOTALS	5 AYE	0 NAY	0 ABSTAIN	1 RECUSE	0 ABSENT/EXCUSED
RESULT:	MOTION: PASSES				

Mr. Brosnahan offered the following resolution which was seconded by Ms. Haupt:

RESOLUTION 1-2021

**VILLAGE OF DOBBS FERRY PLANNING BOARD RESOLUTION
GRANTING SITE PLAN APPROVAL FOR THE CONSTRUCTION OF RETAINING WALLS AND
RELATED DRAINAGE IMPROVEMENTS AT
253 Palisades Avenue**

WHEREAS, Zachary Roth and Cassi Feldman, owners, have applied for site plan approval to construct retaining walls in the rear yard of a single family house and make related drainage

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improvements on the property at 253 Palisades Avenue, and denoted on the tax assessment maps as Section 3.160, Block 139, Lot 12, and located in the OF-5 zoning district, and

WHEREAS, the following plans and documents were submitted as part of the application:

“Stormwater Management Plan”, Revised 1/19/21, Sheet C-1.
“Details”, Revised 1/19/21, Sheet C-2.
Letter from Abdulazeez Yusuf, Dated 12/31/20.
Stormwater Management Plan & Drainage Analysis, Dated 8/31/20.
Site Plan Application, Dated 10/21/20.
Coastal Assessment Form (CAF), Dated 11/4/20.
Short Environmental Assessment Form, Dated 11/4/20.

WHEREAS, the Planning Board is familiar with the site and surrounding area and the proposed improvement plans and at their meetings of January 7 and February 4, 2021 held a duly noticed public hearing and all comments were considered, and

WHEREAS, the proposed construction of retaining walls and other drainage work as herein proposed constitutes a type II action under the State Environmental Quality Review Act (“SEQRA”), and is therefore exempt from further environmental review.

NOW THEREFORE BE IT RESOLVED, that the Planning Board of the Village of Dobbs Ferry herein grants site plan approval for the subject application, conditioned on the following:

1. All applicable provisions of the Village, County, and State regulations shall be met.
2. Prior to the issuance of a Building Permit, all required site plan and Village consultants’ review fees shall be paid and all items in the Village Consulting Engineer’s memorandum dated February 3, 2021 shall be addressed to his satisfaction.
3. The following Language shall be added to the plan:

“Approved subject to all requirements and conditions of a February 4, 2021 resolution of the Planning Board of the Village of Dobbs Ferry, New York. Any change, erasure, modification, or revision of this plan, absent re-approval from the Planning Board, shall void this approval”.

BE IT FURTHER RESOLVED, that this Resolution shall have an effective date of February 4, 2021.

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CHAIRMAN HUNTER	<input type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input checked="" type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
STEPHEN BROSNAHAN	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
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ALLEN HALE	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
LAURA HAUPT	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
PETER WINDER, 1ST ALTERNATE MEMBER	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
VOTE TOTALS	<input type="text" value="5"/> AYE	<input type="text" value="0"/> NAY	<input type="text" value="0"/> ABSTAIN	<input type="text" value="1"/> RECUSE	<input type="text" value="0"/> ABSENT/EXCUSED
RESULT:	MOTION: PASSES				

Chairman Hunter has returned to the meeting.

Mr. Roth thanked the Board for approving the application. Mr. Roth asked who he follows up with to get the permit.

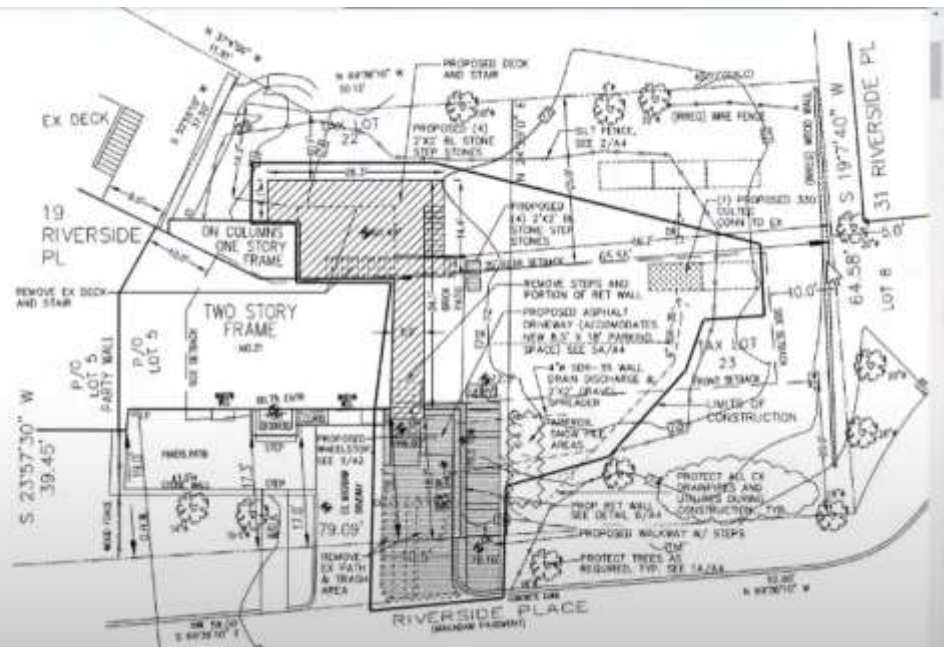
Mr. Manley said we will need a new site plan as conditioned by Mr. Pommer and the applicant's Engineer. Mr. Manley said we will review the new site plan and inform the applicant of any additional requirements. Mr. Manley said we would also need the contractor's license and insurance information. Mr. Manley said Mr. Roth can e-mail him at: emanley@dobbbsferry.com with any questions that he has.

6. 21 Riverside Place – Public hearing for site plan review for proposed deck expansion, additional off street parking & change of use from single family to two family

Mr. Steven Secon/Architect was present to represent the application.

Discussion:

- Mr. Secon discussed the proposed application and displayed the following slides:



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Discussion:

- Mr. Secon said he has addressed all the comments from Hahn Engineering.

Motion by Chairman Hunter, seconded by Mr. Brosnahan to open the public hearing for the application of 21 Riverside Place for site plan review for proposed deck expansion, additional off street parking and change of use from single family to two family.

CHAIRMAN HUNTER	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
STEPHEN BROSNAHAN	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
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PETER WINDER, 1 ST ALTERNATE MEMBER	<input type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
VOTE TOTALS	<input type="text" value="5"/> AYE	<input type="text" value="0"/> NAY	<input type="text" value="0"/> ABSTAIN	<input type="text" value="0"/> RECUSE	<input type="text" value="0"/> ABSENT/EXCUSED
RESULT:	MOTION: PASSES				

Discussion:

- No one from the public addressed the Board regarding the proposed application.

Action:

Motion by Mr. Hale, seconded by Chairman Hunter to close the public hearing for the application of 21 Riverside Place for site plan review for proposed deck expansion, additional off street parking and change of use from single family to two family.

CHAIRMAN HUNTER	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
STEPHEN BROSNAHAN	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
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ALLEN HALE	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
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PETER WINDER, 1 ST ALTERNATE MEMBER	<input type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
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RESULT:	MOTION: PASSES				

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Chairman Hunter offered the following resolution which was seconded by Mr. Hale:

RESOLUTION 2-2021

**VILLAGE OF DOBBS FERRY PLANNING BOARD RESOLUTION
GRANTING SITE PLAN APPROVAL FOR THE CONSTRUCTION OF A DECK, RETAINING
WALL AND RELATED SITE IMPROVEMENTS AT
21 Riverside Place**

WHEREAS, Amy Jo Neill, owner, has applied for site plan approval to construct a deck in the rear yard and a retaining wall for an expanded driveway in the front yard of a single family house and make related site and drainage improvements on the property at 21 Riverside Place, and denoted on the tax assessment maps as Section 3.80, Block 36, Lot 22, and located in the MDR-1 zoning district, and

WHEREAS, the following plans and documents were submitted as part of the application:

“Outline Specifications, Site Plan, Zoning Data, Notes & Legend”,
Revised 1/12/21, Sheet A-0.
“Exiting Floor Plans and Elevations”, Revised 1/12/21, Sheet A-1.
“Proposed Basement and First Floor Plans”, Revised 1/12/21, Sheet A-2.
“Proposed Elevations”, Revised 1/12/21, Sheet A-3.
“Proposed Section, Schedules, and Details”, Revised 1/12/21, Sheet A-4.
Site Plan Application, Dated 10/28/20.
Coastal Assessment Form (CAF), Dated 10/28/20.
Short Environmental Assessment Form, Dated 10/28/20.

WHEREAS, the Planning Board is familiar with the site and surrounding area and the proposed improvement plans and at their meeting of February 4, 2021 held a duly noticed public hearing and all comments were considered, and

WHEREAS, the proposed construction of a deck, retaining wall and related site improvements as herein proposed constitutes a type II action under the State Environmental Quality Review Act (“SEQRA”), and is therefore exempt from further environmental review.

NOW THEREFORE BE IT RESOLVED, that the Planning Board of the Village of Dobbs Ferry herein grants site plan approval for the subject application, conditioned on the following:

4. All applicable provisions of the Village, County, and State regulations shall be met.
5. Prior to the issuance of a Building Permit, all required site plan and Village consultants’ review fees shall be paid.
6. The following Language shall be added to the plan:

“Approved subject to all requirements and conditions of a February 4, 2021 resolution of the Planning Board of the Village of Dobbs Ferry, New York. Any change, erasure, modification, or revision of this plan, absent re-approval from

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the Planning Board, shall void this approval”.

BE IT FURTHER RESOLVED, that this Resolution shall have an effective date of February 4, 2021.

CHAIRMAN HUNTER	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
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PETER WINDER, 1 ST ALTERNATE MEMBER	<input type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
VOTE TOTALS	<input type="text" value="5"/> AYE	<input type="text" value="0"/> NAY	<input type="text" value="0"/> ABSTAIN	<input type="text" value="0"/> RECUSE	<input type="text" value="0"/> ABSENT/EXCUSED
RESULT:	MOTION: PASSES				

Mr. Secon thanked the Board and asked if he could apply for the AHRB.

Mr. Manley said they may apply for the AHRB.

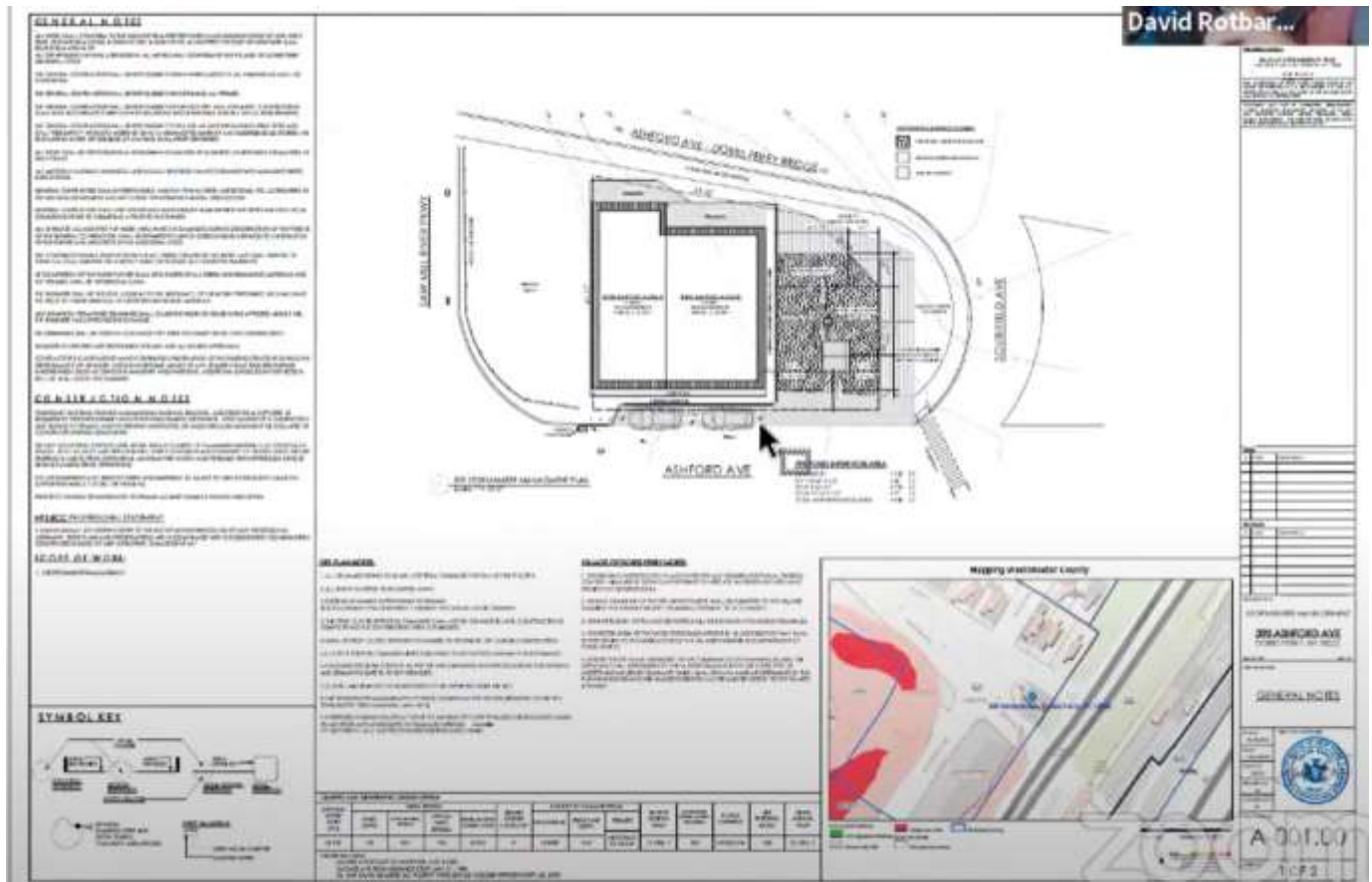
7. 398 Ashford Avenue – Public hearing for site plan review for proposed change of use, add a parking space & paving existing area

Mr. David Rotbard was present to represent the application.

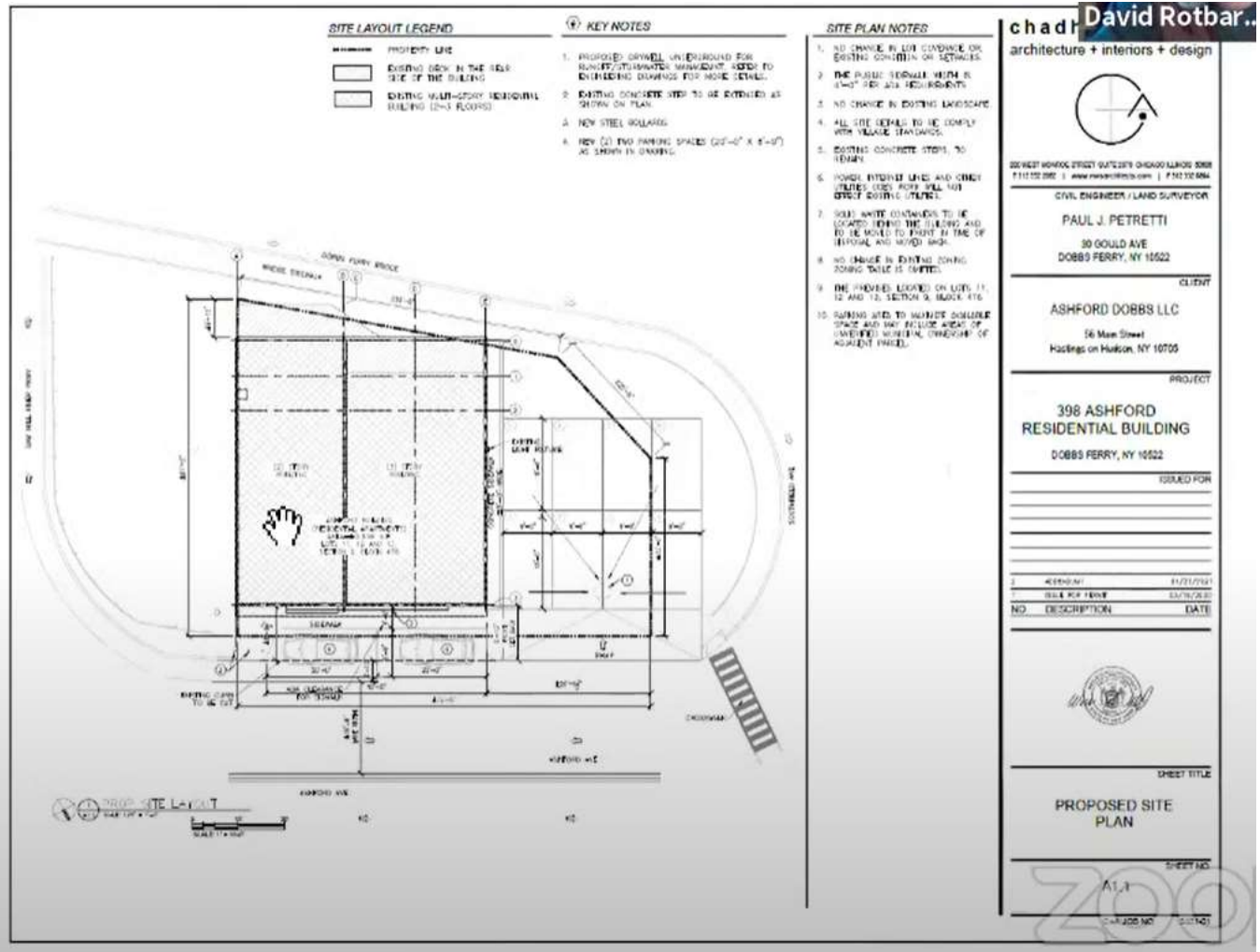
Motion by Mr. Brosnahan, seconded by Ms. Haupt to open the public hearing for the application of 398 Ashford Avenue for site plan review for proposed change of use, add a parking space and paving existing area.

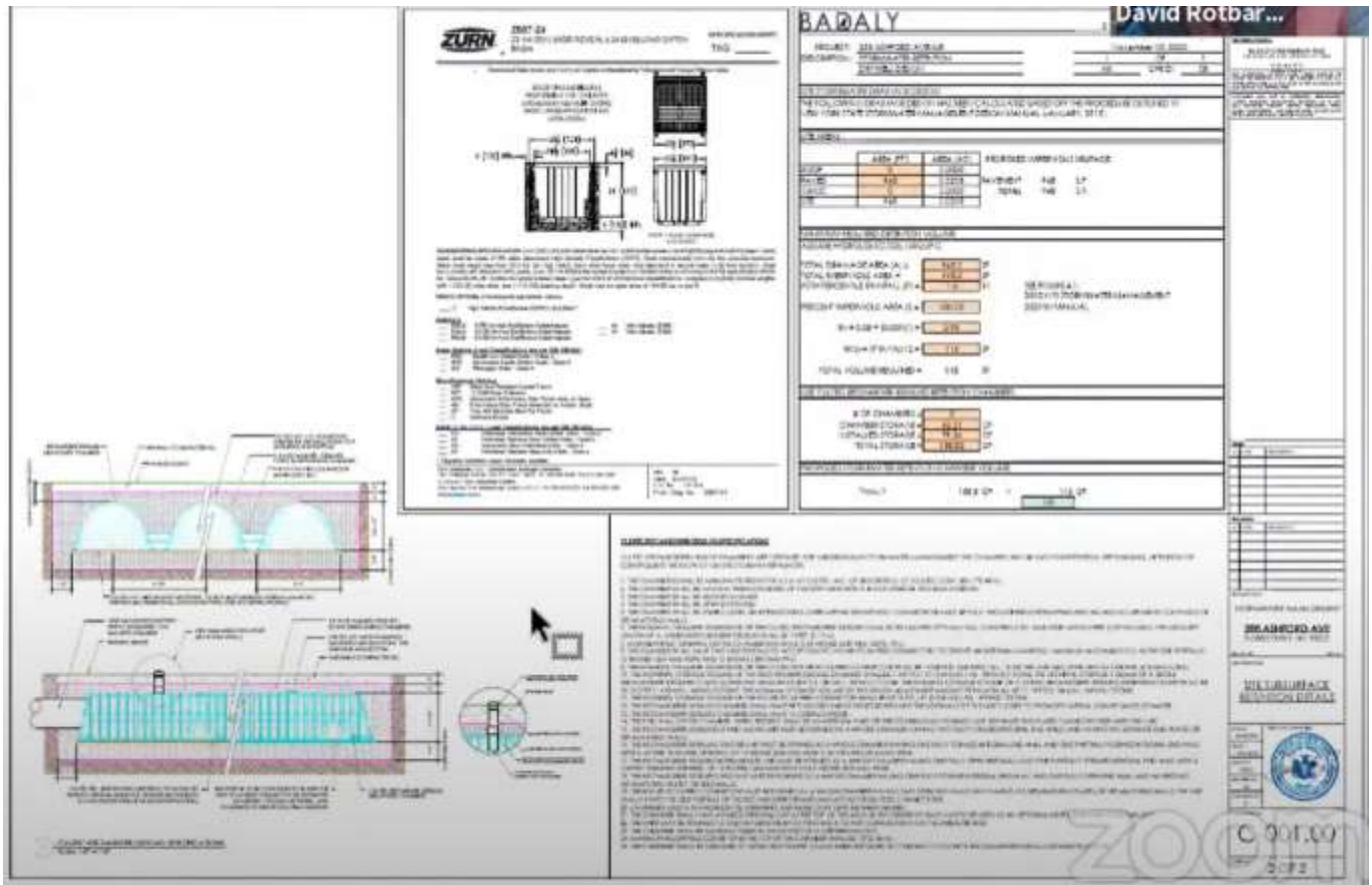
CHAIRMAN HUNTER	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
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PETER WINDER, 1 ST ALTERNATE MEMBER	<input type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
VOTE TOTALS	<input type="text" value="5"/> AYE	<input type="text" value="0"/> NAY	<input type="text" value="0"/> ABSTAIN	<input type="text" value="0"/> RECUSE	<input type="text" value="0"/> ABSENT/EXCUSED
RESULT:	MOTION: PASSES				

- Mr. Pommer gave the Board an update on the proposed application and on the issues addressed by the applicant.
- Mr. Rotbard discussed the proposed application and displayed the following slides:



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Discussion:

- Mr. Rotbard wanted to know if he could move forward with the change of use so he could move forward as residential units and what would the PILOP be.
- Mr. Manley said Mr. Rotbard will need variances for parking and Mr. Pommer can look at the drainage for that. Mr. Manley said the rest can stay grass and he could park on it. Mr. Manley said the ownership of that is not his and we have not found a deed for it.
- Mr. Manley said he is also cutting in two spaces on the public right-of-way, moving his sidewalk back. Mr. Manley said what he has a question about is they show no little island between the rear of the two parking spaces and the driveway and on one plan it shows it protruding out, which would make it harder for these people to park then to get out and possibly cause an accident. Mr. Rotbard said that has been removed.
- Mr. Manley said he will list the variances. Mr. Manley said this has to go back to the Board of Trustees with a recommendation letter from the Planning Board and a drainage review from Hahn Engineering.
- Mr. Manley said the whole plan gets approved by the Board of Trustees and then by the Building Department for permit. Mr. Manley said this is the plan review. Mr. Manley said Hahn Engineering will look at the drainage into the drywells for the pavement and just that black area is what they are going to be paving.
- Mr. Manley said by code we do not allow gravel driveways on commercial properties. Mr. Manley said they could do open weave pavers or something like that and that would reduce the amount of stormwater.
- A discussion was held and Mr. Rotbard addressed questions from the Board.
- The Board said they believe that the best use for the property would be residential.
- The following people addressed the Board regarding the proposed application: Mr. Paddy Steinschneider/329 Broadway.
- Mr. Rotbard thanked the Board.

Action:

Motion by Mr. Brosnahan, seconded by Mr. Hale to adjourn the public hearing for the application of 398 Ashford Avenue for site plan review for proposed change of use, add a parking space and paving existing area, to the next meeting of the Board on March 4, 2021.

CHAIRMAN HUNTER	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
STEPHEN BROSNAHAN	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
ROB LANE	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
ALLEN HALE	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
LAURA HAUPT	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
PETER WINDER, 1ST ALTERNATE MEMBER	<input type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
VOTE TOTALS	<input type="text" value="5"/> AYE	<input type="text" value="0"/> NAY	<input type="text" value="0"/> ABSTAIN	<input type="text" value="0"/> RECUSE	<input type="text" value="0"/> ABSENT/EXCUSED
RESULT:	MOTION: PASSES				

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8. 39 Brace Terrace – Pre-submission conference for site plan review for proposed retaining wall

Mr. Paul Petretti/Engineer was present to represent the application.

Discussion:

- Mr. Petretti discussed the proposed application.
- A discussion was held and Mr. Petretti addressed questions from the Board.
- The Board said the applicant can go to the AHRB and they would like to receive comments from the AHRB prior to the March Planning Board meeting.

Action:

Motion by Mr. Hale, seconded by Ms. Haupt to schedule a public hearing for the application of 39 Brace Terrace for site plan review for proposed retaining wall, at the next meeting of the Board on March 4, 2021.

CHAIRMAN HUNTER	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
STEPHEN BROSNAHAN	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
ROB LANE	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
ALLEN HALE	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
LAURA HAUPT	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
PETER WINDER, 1ST ALTERNATE MEMBER	<input type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
VOTE TOTALS	<input type="text" value="5"/> AYE	<input type="text" value="0"/> NAY	<input type="text" value="0"/> ABSTAIN	<input type="text" value="0"/> RECUSE	<input type="text" value="0"/> ABSENT/EXCUSED
RESULT:	MOTION: PASSES				

9. 110 Buena Vista Drive – Pre-submission conference for proposed rear addition

No one was present to represent the application.

Action:

The application will be continued at the March 4, 2021 meeting as a pre-submission.

10. MDR-2 Zone – Continuation of discussion on possible Zoning Code changes

Discussion:

- Mr. Lane updated the Board on the status of the possible Zoning Code changes.
- Mr. Brosnahan said Mr. Lane and Mr. Manley did a great job on the possible Zoning Code changes.
- A discussion was held and Mr. Lane and Mr. Manley addressed questions from the Board.
- The following people addressed the Board: Mr. Paddy Steinschneider/329 Broadway.

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Action:

Motion by Mr. Lane, seconded by Mr. Hale to schedule a public hearing for the purpose of making miscellaneous corrections to the Zoning Code and the map, and adopting the MDR-2 character guidelines, at the next meeting of the Board on March 4, 2021.

CHAIRMAN HUNTER	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
STEPHEN BROSNAHAN	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
ROB LANE	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
ALLEN HALE	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
LAURA HAUPT	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
PETER WINDER, 1ST ALTERNATE MEMBER	<input type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
VOTE TOTALS	<input type="text" value="5"/> AYE	<input type="text" value="0"/> NAY	<input type="text" value="0"/> ABSTAIN	<input type="text" value="0"/> RECUSE	<input type="text" value="0"/> ABSENT/EXCUSED
RESULT:	MOTION: PASSES				

Motion by Chairman Hunter, seconded by Mr. Hale to close the meeting.

CHAIRMAN HUNTER	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
STEPHEN BROSNAHAN	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
ROB LANE	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
ALLEN HALE	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
LAURA HAUPT	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
PETER WINDER, 1ST ALTERNATE MEMBER	<input type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
VOTE TOTALS	<input type="text" value="5"/> AYE	<input type="text" value="0"/> NAY	<input type="text" value="0"/> ABSTAIN	<input type="text" value="0"/> RECUSE	<input type="text" value="0"/> ABSENT/EXCUSED
RESULT:	MOTION: PASSES				

The meeting adjourned at 11:15 p.m.