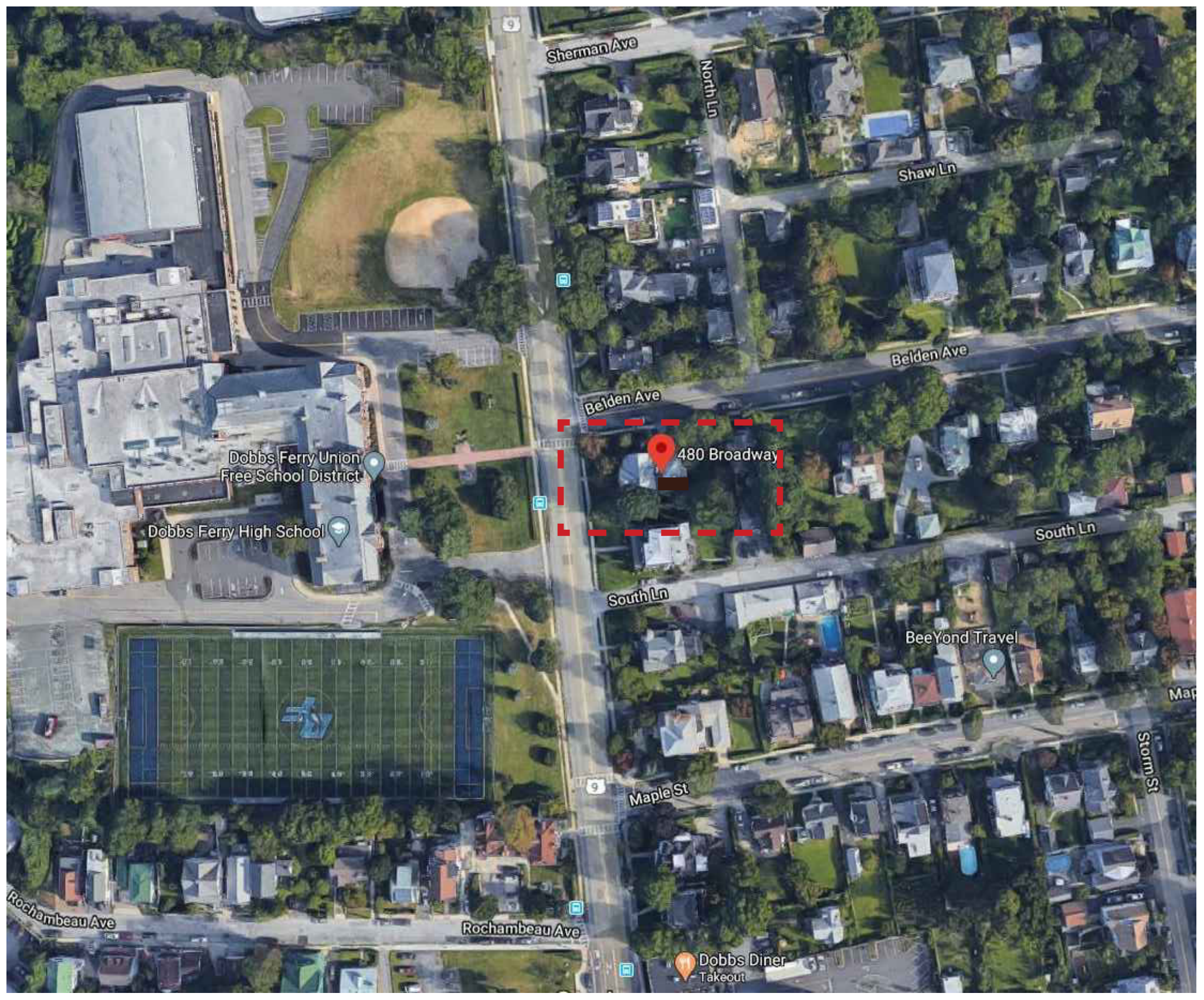
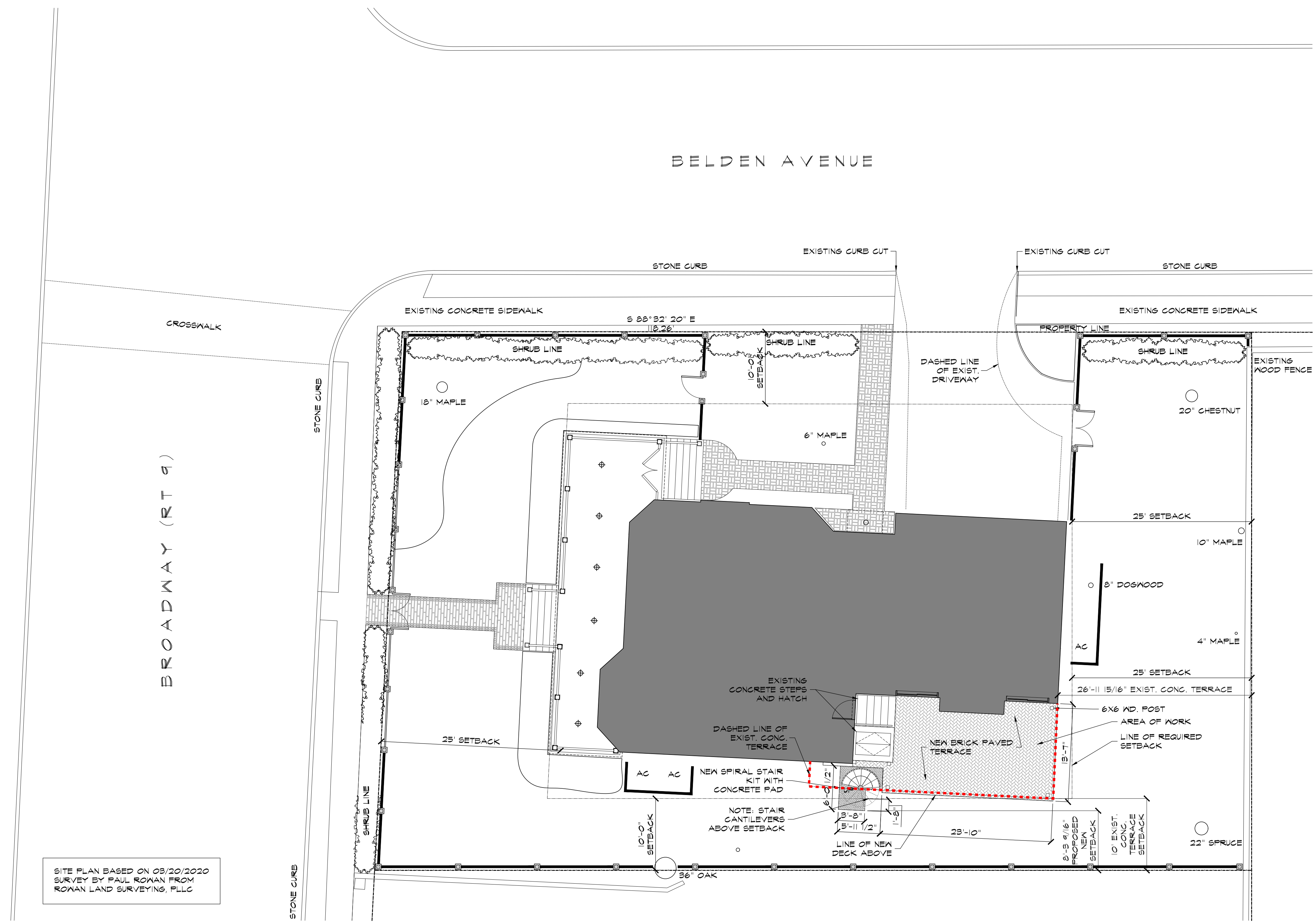


SHEET LIST	
ARB-01	ZONING INFO
ARB-02	SITE PLAN- FIRST FLOOR
ARB-03	SITE PLAN- SECOND FLOOR
ARB-04	NORTH ELEVATION & WEST ELEVATION
ARB-05	SOUTH ELEVATION & EAST ELEVATION
ARB-06	RAILING AND POST DETAILS
ARB-07	EXISTING CONDITIONS IMAGES
ARB-08	EXISTING & PROPOSED VIEW LOOKING NORTH-WEST
ARB-09	EXISTING & PROPOSED VIEW LOOKING NORTH-EAST
ARB-10	EXISTING & PROPOSED VIEW LOOKING NORTH-EAST 2
ARB-11	EXISTING & PROPOSED VIEW LOOKING NORTH-EAST 3

<b>Spinella-Kreuch Residence</b> 480 Broadway Dobbs Ferry, NY 10522 Section, Lot, Block #: 3.50-16-26 Owner of Record: Maria Spinella & Steven Kreuch			
<b>Zoning Calculations</b>			
Zoning District: B - Broadway			
	<b>Required</b>	<b>Provided</b>	<b>Notes</b>
Minimum net lot area	5000 s.f.	9014 s.f.	No change
Minimum lot area per dwelling unit	800 s.f.	9014 s.f.	No change
Minimum lot width	50 ft.	75.1 ft.	No change
Minimum lot depth	100 ft.	118.3 ft.	No change
Maximum lot coverage by buildings	30%	27.8% (2505 s.f.)	
Maximum lot coverage by impervious surfaces	60%	43.4% (3912.65 s.f.)	
Minimum front yard setback	Prevailing	23.4 ft.	No change
Minimum rear yard setback	25 ft.	25.0 ft.	No change
Minimum side yard setback (each)	10 ft.	10.2 ft.	No change
Minimum side yard setback (both)	20 ft.	22.12 ft.	Note revised combined setback
Minimum side yard setback (North)	10 ft.	13.83 ft.	Complies
Minimum side yard setback (South)	10 ft.	8.29 ft.	1.71 ft. Variance Required







First Floor Site Plan  
Scale: 1/8" = 1'-0"









NO NEW WORK PROPOSED ON NORTH SIDE  
OF RESIDENCE - FOR REFERENCE ONLY



West Elevation  
Scale: 1/4" = 1'-0"



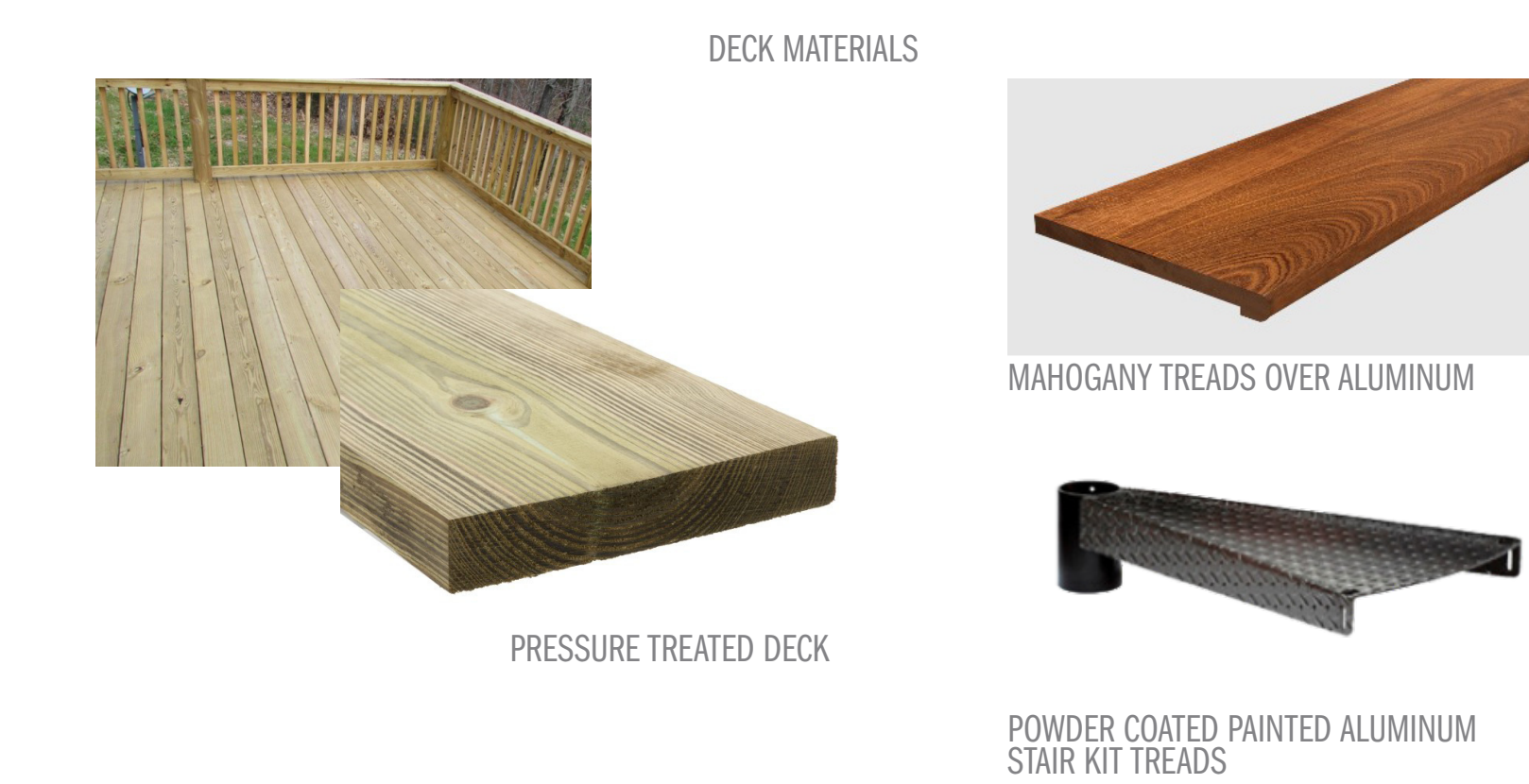
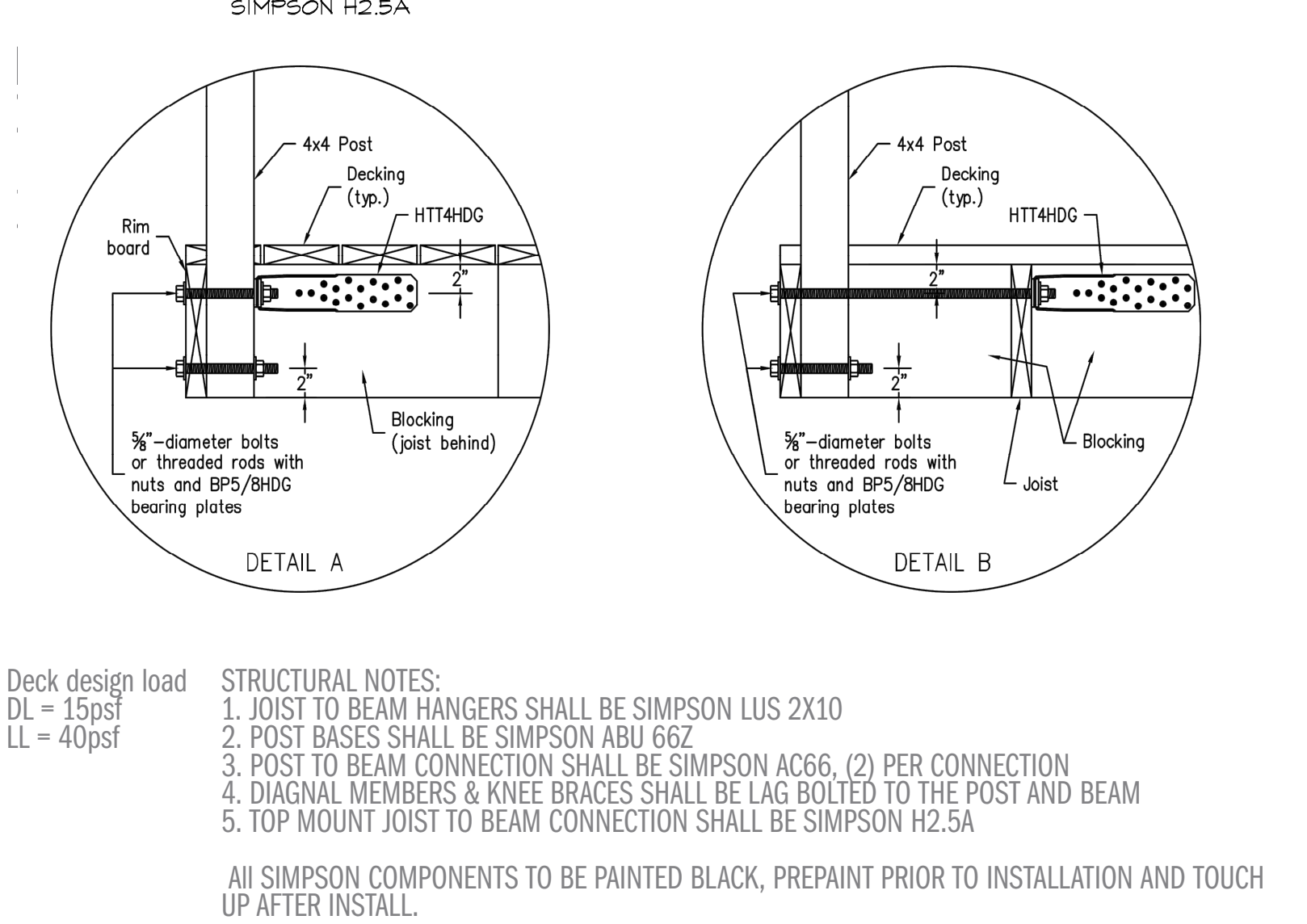
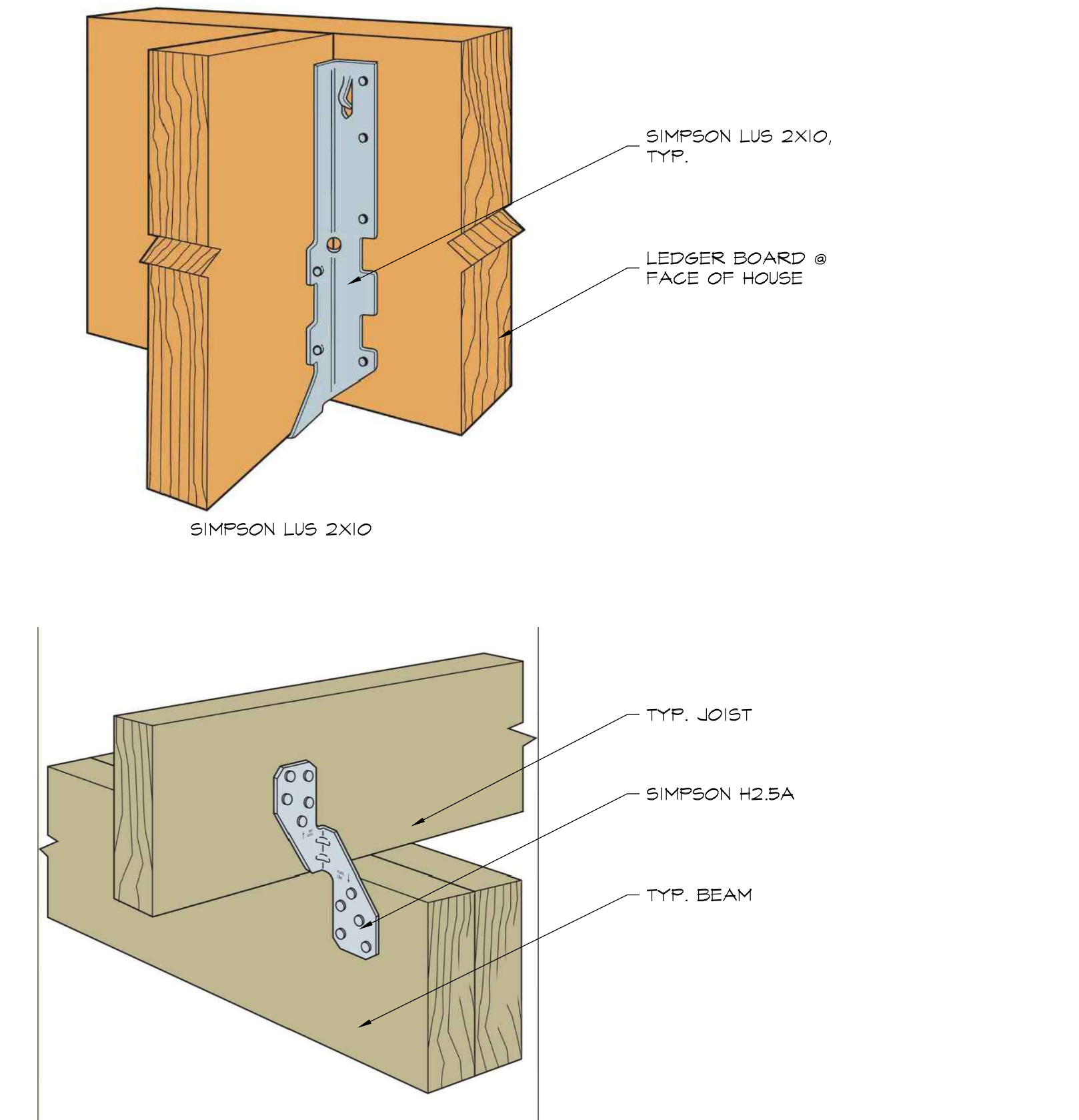
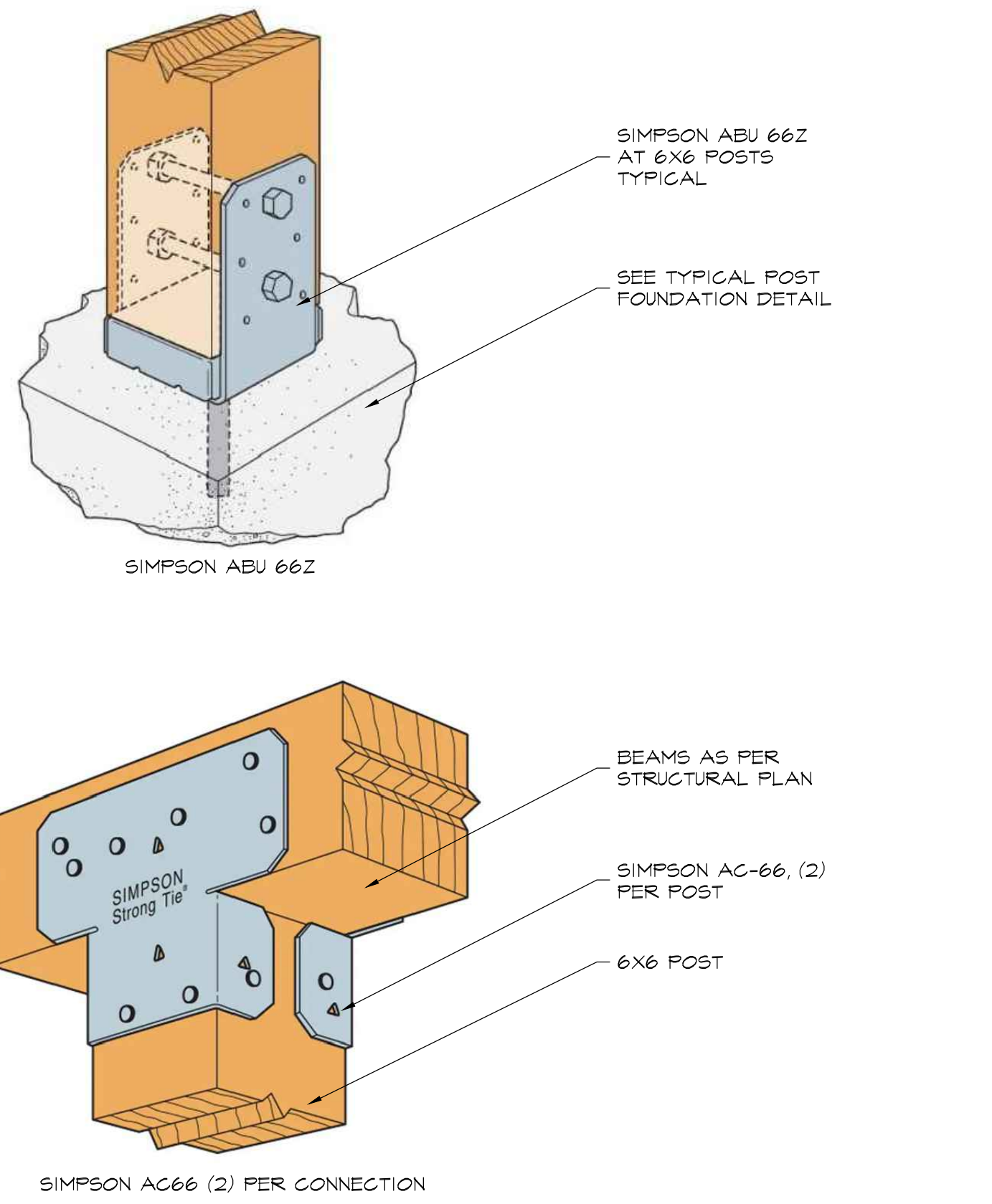
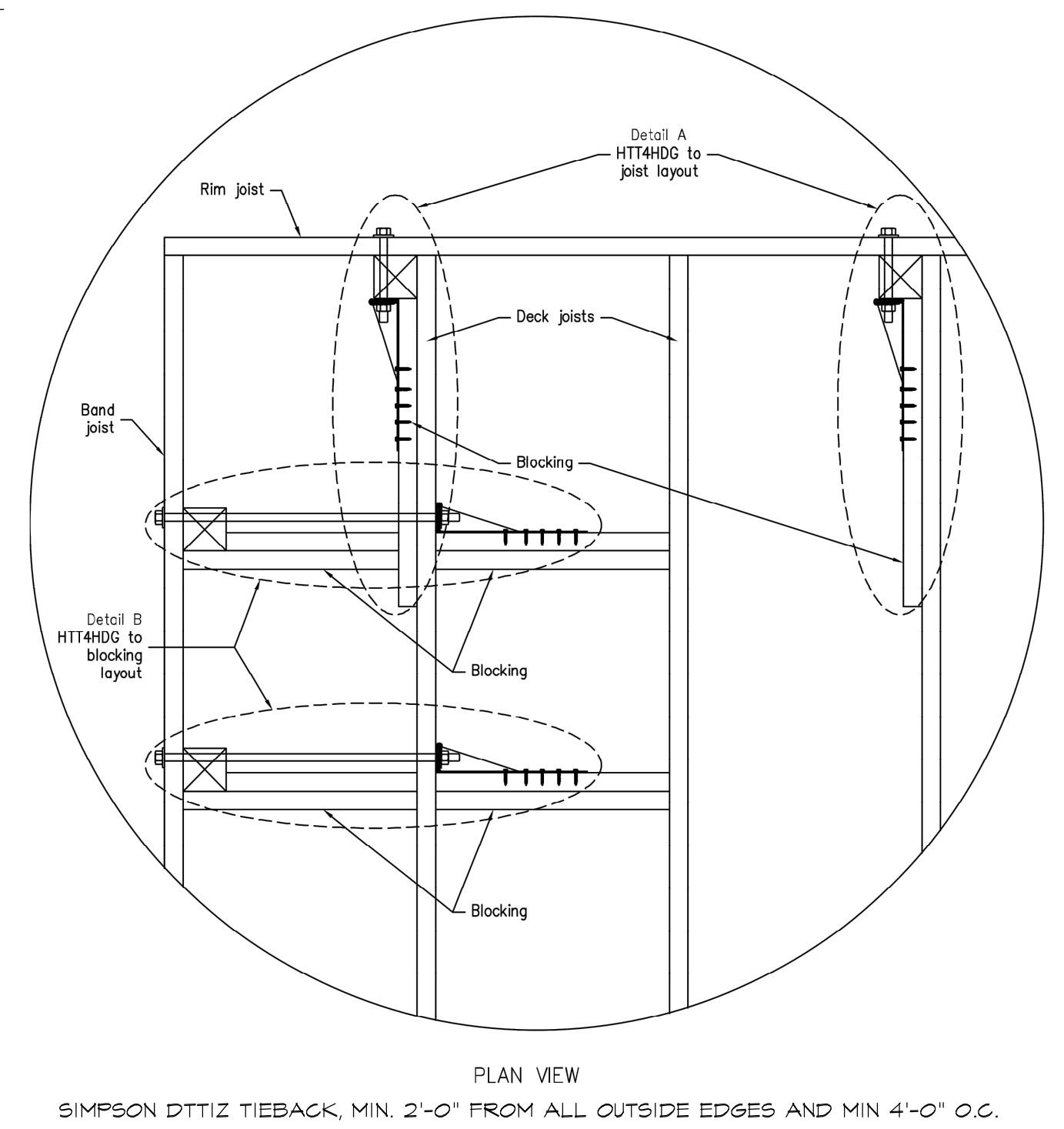
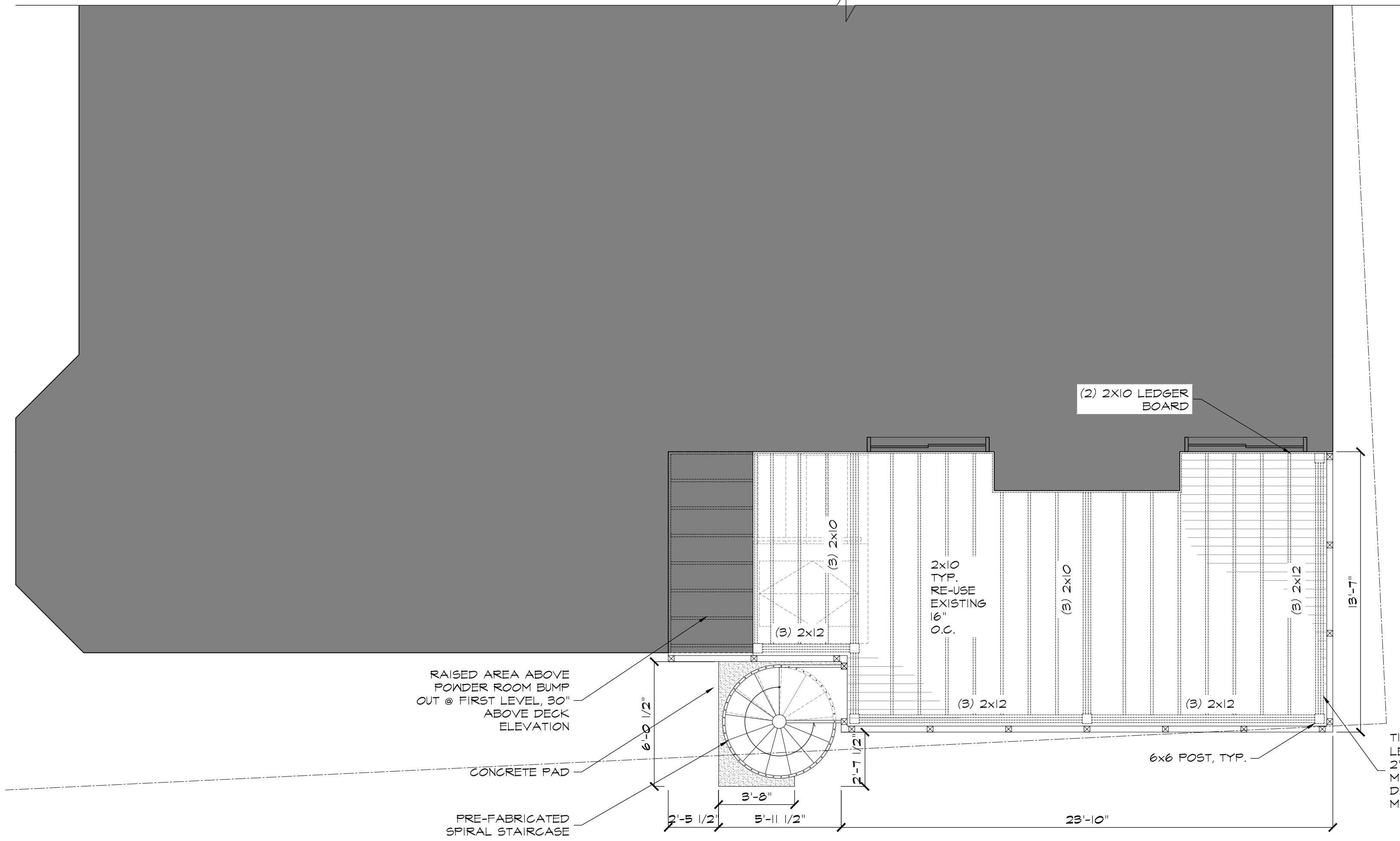
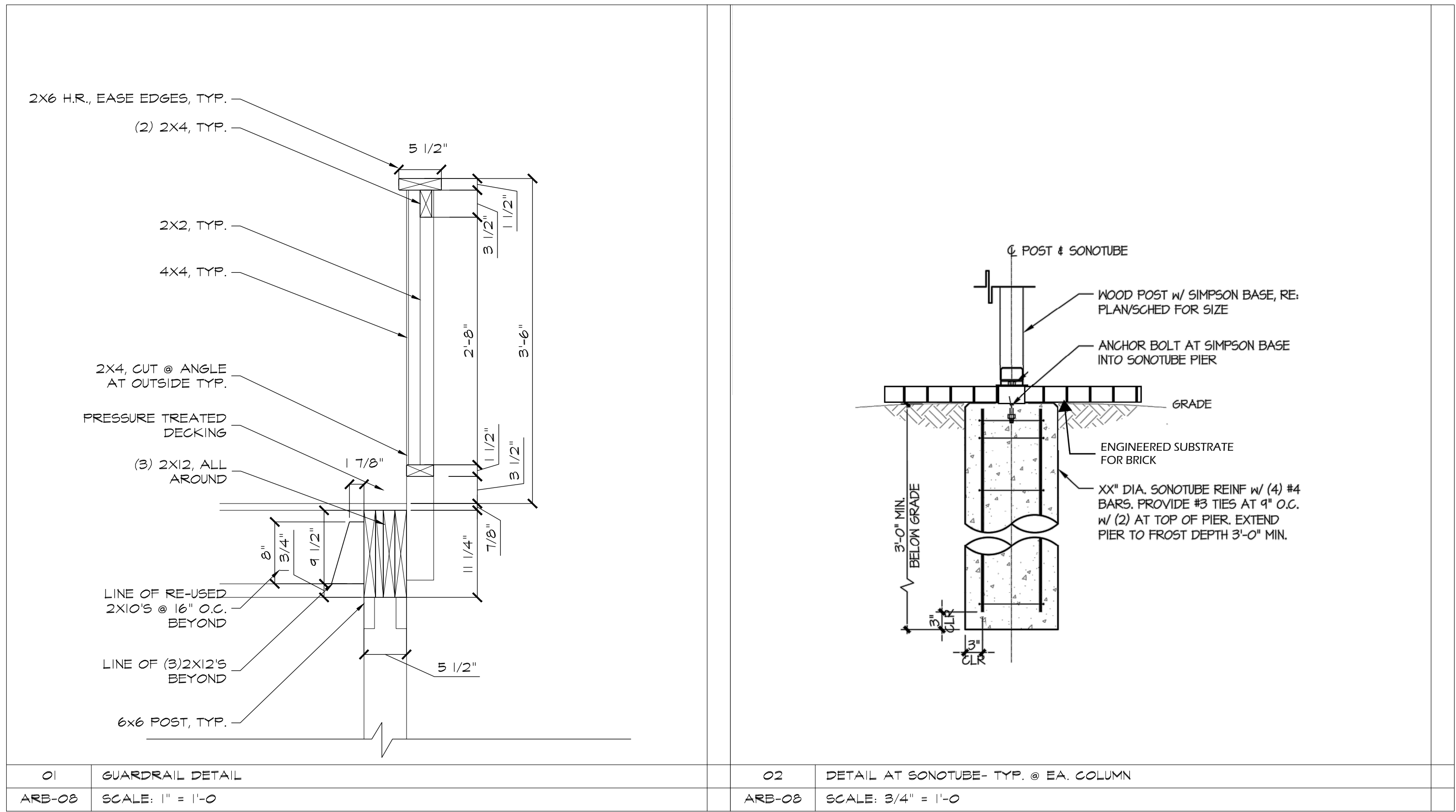


East Elevation and Plan  
Scale: 1/4" = 1'-0"



South Elevation and Plan  
Scale: 1/4" = 1'-0"









484 Broadway



Intersection of Broadway and Belden



480 Broadway  
Street view looking East on Broadway



474 Broadway



12 Belden Ave.  
Property to the East on Belden  
view Looking South on Belden



North Elevation  
Street view Looking South on Belden



North-West Elevation



South-East Elevation  
Looking North-West on rear yard

Existing- Condition Images





Before : View Looking North-West



After : View Looking North-West





Before : View Looking North-East



After : View Looking North-East





Before : View Looking North-East



After : View Looking North-East





Before : View Looking North-East



After : View Looking North-East